



**CITY OF CHESTERFIELD
PLANNING AND PUBLIC WORKS COMMITTEE MEETING**

**THURSDAY, JANUARY 10, 2019
5:45 P.M.**

CONFERENCE ROOM 101

I. APPROVAL OF MEETING SUMMARY

- A. [Approval of the November 8, 2018 Planning & Public Works Meeting Summary](#)

II. UNFINISHED BUSINESS

- A. [Aventura at Wild Horse Creek \(Above All Development\)](#): A Site Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 12.6 acre tract of land located on the south side of Old Chesterfield Road, northwest of the intersection with Wild Horse Creek Road. (18T630205, 17T310016 18T630173, 18T640226). (Ward 2)

III. NEW BUSINESS

- A. [Board of Adjustment Nominee Interview](#)
- B. [P.Z.18-2016 17511 Chesterfield Airport Rd. \(Time Extension Request\)](#): A request for an eighteen (18) month extension of time to submit a Site Development Concept Plan or Site Development Plan for a 13.01 acre tract of land located north of Chesterfield Airport Road, east of Long Road, west of Arnage Boulevard, and south of Interstate 64/US 40 (17U510084). (Ward 4)
- C. [P.Z. 07-2018 City of Chesterfield \(Unified Development Code - Article 3\)](#): An ordinance amending Article 3 of the Unified Development Code to revise the "AG" Agricultural District regulations and the Use Table for Nonresidential Districts.
- D. [Vector Control Services Contract](#)

IV. OTHER

V. ADJOURNMENT

Note: The Planning and Public Works Committee will consider and act upon the matters listed above, and such other matters as may be presented at the meeting and determined to be appropriate for discussion at that time.

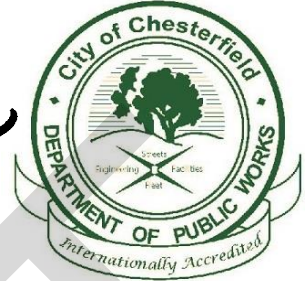
PERSONS REQUIRING AN ACCOMMODATION TO ATTEND AND PARTICIPATE IN THE PLANNING & PUBLIC WORKS COMMITTEE MEETING SHOULD CONTACT CITY CLERK VICKIE HASS (636)537-6716 AT LEAST TWO (2) WORKDAYS PRIOR TO THE MEETING.

MEMORANDUM

TO: Mike Geisel, City Administrator

FROM: Justin Wyse, Director of Planning & Development Services
James Eckrich, Director of Public Works/City Engineer

SUBJECT: Planning & Public Works Committee Meeting Summary
Thursday, November 8, 2018,



A meeting of the Planning and Public Works Committee of the Chesterfield City Council was held on Thursday, November 8, 2018 in Conference Room 101.

In attendance were: **Chair Michelle Ohley** (Ward IV), **Councilmember Mary Ann Mastorakos** (Ward II), and **Councilmember Dan Hurt** (Ward III). Councilmember Barry Flachsbart (Ward I) was absent.

Also in attendance were: Mayor Bob Nation; Planning Commission Chair Merrell Hansen; Jim Eckrich, Director of Public Works/City Engineer; Justin Wyse, Director of Planning & Development Services; and Kathy Juergens, Recording Secretary.

The meeting was called to order at 5:30 p.m.

I. APPROVAL OF MEETING SUMMARY

A. Approval of the October 18, 2018 Committee Meeting Summary

Councilmember Mastorakos made a motion to approve the Meeting Summary of **October 18, 2018**. The motion was seconded by Councilmember Hurt.

Discussion after the Motion

Chair Ohley noted that on Page 7, second paragraph, "Commissioner" Mastorakos should be corrected to "Councilmember" Mastorakos.

The **October 18, 2018 Committee Meeting Summary**, as amended, was passed by a voice vote of 3-0.

II. UNFINISHED BUSINESS – None.

Councilmember Hurt made a motion to suspend the rules and move New Business Item G before Item A. The motion was seconded by Chair Ohley and passed by a voice vote of 3-0.

III. NEW BUSINESS

- G. P.Z.14-2016 18331, 18333 & 18335 Chesterfield Airport Rd. (LSL I, LLC and LSL II, LLC.) (Time Extension Request):** A request for an eighteen (18) month extension of time to submit a Site Development Concept Plan or Site Development Plan for a 16.0 acre area of land zoned "PC" Planned Commercial District located at the northwest side of the intersection of Chesterfield Airport Rd. and Spirit of St. Louis Blvd. (17V410060, 17V410026 and 17V410037).

STAFF REPORT

Justin Wyse, Director of Planning & Development Services, stated the property owner is requesting an 18-month time extension to submit a Site Development Concept Plan or Site Development Plan. The property was zoned "PC" Planned Commercial District in June of 2017. To date, no plans for development have been submitted and the property owner is requesting an 18-month extension of time to submit plans in accordance with the planned district ordinance. Staff has reviewed the request and recommends approval.

DISCUSSION

In response to Councilmember Hurt's question, Mr. Wyse stated that this is the first extension request from the property owner.

Councilmember Hurt stated he does not necessarily want to grant the extension as he prefers the previous zoning of "M3" or a "PI" district which he feels are more appropriate for this area. He favors an industrial district that creates more jobs rather than a commercial district. Mr. Wyse stated that if Council prefers an industrial zoning, then Council would have to initiate a rezoning process.

There was some further discussion on rezoning the property. There was also discussion with regard to restricting the time extension to 12 months versus 18 months.

Councilmember Mastorakos made a motion to forward an 18-month time extension for P.Z.14-2016 18331, 18333 & 18335 Chesterfield Airport Rd. (LSL I, LLC and LSL II, LLC.) to City Council with a recommendation to approve. The motion was seconded by Councilmember Ohley and passed by a voice vote of 3-0.

[Please see the attached report prepared by Justin Wyse, Director of Planning and Development Services, for additional information on P.Z.14-2016 18331, 18333 & 18335 Chesterfield Airport Rd. (LSL I, LLC and LSL II, LLC.) (Time Extension Request).]

A. Chesterfield Hockey Association Agreement

STAFF REPORT

Jim Eckrich, Director of Public Works/City Engineer, stated that Chesterfield Hockey Association is developing a multi-sport ice complex. The associated parking lot is eligible for reimbursement through the Chesterfield Valley Transportation Development District (TDD). As a condition of eligibility, Chesterfield Hockey Association is required to provide the City and the TDD an easement to allow use of the parking lot. The easement agreement stipulates that Chesterfield Hockey will be responsible for all parking lot maintenance.

Mike Murray, Armstrong Teasdale, further explained the request and pointed out the exact location of the easement. He stated there is really no downside to the City or the TDD in granting the easement as Chesterfield Hockey Association will be responsible for the maintenance of the parking lot.

DISCUSSION

In response to questions from the Committee, Mr. Murray confirmed that this easement expires when the bonds are paid off. He also stated that if for some reason Chesterfield Hockey Association were to dissolve, maintenance responsibilities for the area would transfer to the next property owner, or a bank in the case of foreclosure.

Councilmember Hurt made a motion to forward to City Council an ordinance authorizing the City of Chesterfield to enter into and execute an easement and maintenance agreement with Chesterfield Hockey Association with a recommendation to approve. The motion was seconded by Councilmember Ohley and **passed by a voice vote of 3-0.**

Note: One Bill, as recommended by the Planning & Public Works Committee, will be needed for the November 19, 2018 City Council Meeting. See Bill #

[Please see the attached report prepared by Jim Eckrich, Director of Public Works/City Engineer, for additional information on Chesterfield Hockey Association Agreement.]

B. Special Activity Permits

STAFF REPORT

Jim Eckrich, Director of Public Works/City Engineer, explained the proposed Special Activity Permit Policy, and cited examples of Special Activities such as parades, bike rides, block parties, carnivals and promotional events. Before such an event can take place, a Special Activity Permit (SAP) must be issued. Applications are reviewed by each department, coordinated by the Planning & Development Services Department. Mr. Eckrich stated that the requirement for an SAP is not currently contained within the City Code or addressed by City Policy. Therefore, Staff recommends that Public Works Policy No. 39 be established to regulate the issuance of SAPs.

Councilmember Hurt made a motion to forward Public Works Policy No. 39, Special Activity Permits to City Council with a recommendation to approve. The motion was seconded by Councilmember Mastorakos.

Discussion after the Motion

In response to Councilmember Mastorakos' question relating to insurance, Mr. Eckrich stated that insurance is not required if the event takes place within a single subdivision. However, if an event encompasses multiple streets and/or subdivisions, such as a large bike ride or run, insurance would then be required.

The above motion passed by a voice vote of 3-0.

[Please see the attached report prepared by Jim Eckrich, Director of Public Works/City Engineer, for additional information on Special Activity Permits.]

C. Stop Signs – Lydia Hill and Veterans Place

STAFF REPORT

Jim Eckrich, Director of Public Works/City Engineer, stated there is currently a stop sign on Veterans Place with through traffic on Lydia Hill. The Riparian Trail's permanent connection will be located at that intersection. Many residents will use the Central Park parking lot in order to access the Riparian Trail. Additionally with the completion of the Watermark Development, there will be four-way traffic at that intersection. In accordance with City Policy, stop signs are not constructed on through streets such as Lydia Hill Drive, unless the intersection meets the warrants established in the Manual of Uniform Traffic Control Devices (MUTCD). Staff believes this intersection meets the warrants for an all-way stop condition, and recommends approval of an All Way Stop condition.

Councilmember Mastorakos made a motion to forward an ordinance amending schedule VI of the Model Traffic Ordinance of the City by adding an all-way stop condition at the intersection of Lydia Hill Drive and Veterans Place Drive to City Council with a recommendation to approve. The motion was seconded by Councilmember Hurt and **passed** by a voice vote of 3-0.

Note: One Bill, as recommended by the Planning & Public Works Committee, will be needed for the November 19, 2018 City Council Meeting. See Bill #

[Please see the attached report prepared by Jim Eckrich, Director of Public Works/City Engineer, for additional information on Stop Signs-Lydia Hill and Veterans Place.]

D. 2019 Emerald Ash Borer Funding Authorization

STAFF REPORT

Jim Eckrich, Director of Public Works/City Engineer, stated that we will soon be entering year 4 of the 7-year plan to remove all Ash trees within the City right of way. Staff initially expected an annual cost of \$583,000 per year. That cost is being reduced this year because there have been fewer replacement trees requested than was anticipated. With the cumulative savings from the previous year's reforestation efforts, Staff believes that additional funding for restoration is not necessary in 2019. Therefore, Staff is requesting an allocation of \$419,000 for 2019.

Councilmember Hurt made a motion to forward to City Council a recommendation to approve a \$419,000 allocation from the General Fund - Fund Reserves for costs associated with the 2019 Emerald Ash Borer Preparedness Plan. The motion was seconded by Councilmember Mastorakos and **passed** by a voice vote of 3-0.

[Please see the attached report prepared by Jim Eckrich, Director of Public Works/City Engineer, for additional information on 2019 Emerald Ash Borer Funding Authorization.]

E. 2019 Snow Removal Recoupment for Private Streets Funding Authorization

STAFF REPORT

Jim Eckrich, Director of Public Works/City Engineer, stated that in accordance with Public Works Policy 21, annual funding is being requested for snow removal costs on private streets. This requires a recommendation from this Committee and ultimately an allocation from City Council.

There are 51 subdivisions eligible to participate in the program with a maximum financial obligation of \$163,021. Therefore, Staff recommends a transfer from the General Fund - Fund Reserves account in the amount of \$163,021.

Councilmember Hurt made a motion to forward to City Council a recommendation of a 2019 transfer of \$163,021 from the General Fund - Fund Reserves, over the 40% policy, to fund the Snow Removal Recoupment Program for private streets. The motion was seconded by Councilmember Ohley and **passed by a voice vote of 3-0.**

[Please see the attached report prepared by Jim Eckrich, Director of Public Works/City Engineer, for additional information on Snow Removal Recoupment Program for Private Streets 2019 Funding Authorization.]

F. 2018/2019 Snow Removal – Priority Road List

STAFF REPORT

Jim Eckrich, Director of Public Works/City Engineer, stated that Public Works Policy 33, Snow Removal for Private Driveways within Public Right-of-Way, will again be followed during the 2018/2019 winter season. This Policy establishes the procedure Staff uses to remove snow and ice from the driveway aprons of qualifying residents. This Policy has been adopted on a trial basis and will remain in effect until eliminated or permanently adopted by City Council.

Staff has also reviewed the Priority Road List and made a few updates. This list differs from the primary and secondary streets that are delineated in the City's Snow Maps. When warranted, these Priority Roads (including bridges) will be pre-treated prior to snow/ice storms. This list will be used by Public Works Staff throughout the winter season and updated as necessary.

Councilmember Hurt made a motion to implement Staff's Priority Road List during subsequent snow/ice events. The motion was seconded by Councilmember Mastorakos and **passed by a voice vote of 3-0.**

IV. OTHER – None.

V. ADJOURNMENT

The meeting adjourned at 5:59 p.m.



Memorandum

Department of Planning & Development Services

To: Planning and Public Works Committee

From: Mike Knight, Planner *Jmk*

Date: January 10, 2019

RE: **Aventura at Wild Horse Creek (Above All Development):** A Site Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 12.6 acre tract of land located on the south side of Old Chesterfield Road, northwest of the intersection with Wild Horse Creek Road. (18T630205, 17T310016 18T630173, 18T640226)

Summary

This request is to allow for development of two apartment buildings containing a total of 176 units. Other significant features within the site include a clubhouse, pool, cabana, maintenance building with carwash, trash compactor with recycle center, and multiple carport structures. The exterior materials primarily range from thin set manufactured stone veneer and cementitious fiber siding, stucco board siding, vinyl shutters, and roofs consisting of architectural asphalt shingles.

The subject site is currently zoned "R-6AA" Residence District. This is a conventional zoning district that has a minimum lot size of 3,000 square feet per unit. The area is designated Urban Core within the City of Chesterfield's Comprehensive Land Use Plan. The site will have prominent views from both Wild Horse Creek Road and Old Chesterfield Road.

On Thursday July 12th 2018, the Aventura at Wild Horse Creek (Above All Development) project was reviewed by the Architectural Review Board. Based on discussion at this meeting, the applicant requested that no action be taken on the project in order to allow time to address issues raised and bring the project back to the ARB at a future meeting.

On Thursday August 09th 2018, the project was reviewed by the ARB. At this meeting, the applicant requested that no vote be taken but the applicant wanted to show the ARB substantial changes they have made and receive comment/direction to move forward.

On Thursday September 13th 2018, the project was reviewed by the ARB. At that time the Board made a motion to forward the Site Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Aventura at Wild Horse Creek (Above All Development) to Staff with a recommendation to approve with conditions.

The applicant fulfilled the recommendation from the ARB and addressed all comments from Staff. Power of Review was called in accordance to Section 31-02-20 of the Unified Development Code on October 11th 2018.

On October 18th 2018, the project was reviewed by the Planning and Public Works Committee. The Committee expressed the desire for the applicant to revise the plan to position the entrance of the development to align with the Burkhardt Place curb cut. A motion was made to forward the updated plan of Aventura at Wild Horse Creek to the ARB for review and comment, and then return it to the Planning and Public Works Committee. The motion passed by a voice vote of 4-0.

On November 18th 2018 the project was reviewed again by the Architectural Review Board. At this meeting a motion was made to forward the updated plans to the Planning and Public Works Committee with a recommendation for approval with conditions, which passed by a voice vote of 5-0. Those conditions were to consider additional landscaping or monument features incorporated at the main entrance drive to better celebrate the entranceway and that once the configuration of the trail is better defined, the interaction with the entrance to the site should be reviewed.

The applicant has since fulfilled the recommendation from the ARB and addressed all comments from Staff.

Below is a table outlining significant changes to the submittal since it was last viewed by the Planning and Public Works Committee in October.

Significant Updates to the Site Plan	
Entrance	The entrance now aligns with Burkhardt Place curb cut
Buildings	Two (4-story) buildings vs three (3-story) buildings
Parking	Increase in parking from 296 to 342 spaces
Tree Preservation	Preservation lowered to 27% Mitigation plantings have been added
Trail Alignment	The current alignment is reflected along the western property line
Pet Park	Addition of 1,750 square foot pet park
Pocket Park	Addition of 850 square foot pocket park
Water Feature	Water feature has been added to the south of the pocket park along WHCR

Attached to this report please find an updated copy of the Site Plan, Lighting Plan, Landscape Plan, Tree Stand Delineation, Tree Preservation Plan, Architectural Elevations, and Architect's Statement of Design.

- Attachments:
- Site Plan
 - Landscape Plan
 - Tree Preservation Plan
 - Tree Stand Delineation
 - Lighting Plan
 - Architectural Elevations
 - Architect's Statement of Design



Figure 1: Subject Site Aerial

AVENTURA AT WILD HORSE CREEK

SITE PLAN

PART OF AVENTURA AT WILD HORSE CREEK, A CONSOLIDATION PLAT IN U.S. SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

SETBACK REQUIREMENTS

OLD CHESTERFIELD ROAD	20'
WILDHORSE CREEK RACD	20'
WESTERN BOUNDARY OF LOT	15'
30' LANDSCAPE BUFFER ALONG ALL BOUNDARY LINES	

PARKING SUMMARY

TYPE	STANDARD	ACCESSIBLE	TOTAL
SURFACE (9'X19')	217	5	222
CARPOT COVERED(9'X19)	117	3	120
TOTAL	334	8	342

ORDINANCE PARKING REQUIRED:
1.75 PS REQUIRED PER UNIT = 1,75(176)=308 PS
TOTAL REQUIRED PARKING = 308 PS

MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED = 8, WHERE THE TOTAL NUMBER OF SPACES IS BETWEEN 301 AND 400, PER ADAAG. NUMBER OF ACCESSIBLE SPACES PROVIDED = 8

SITE COVERAGE CALCULATIONS

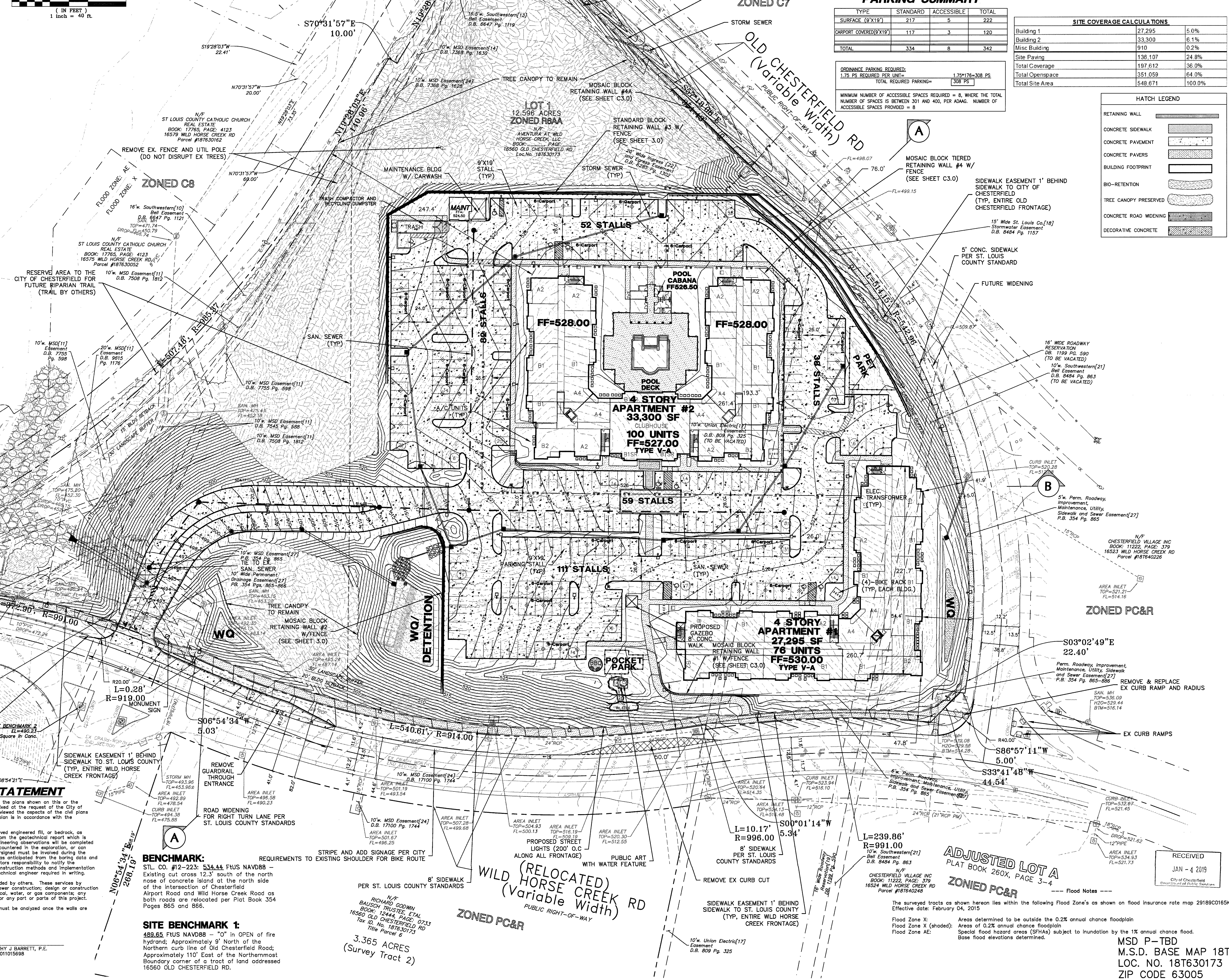
Building 1	27,295	5.0%
Building 2	33,300	6.1%
Misc Building	910	0.2%
Site Paving	138,107	24.8%
Total Coverage	197,612	36.0%
Total OpenSpace	351,059	64.0%
Total Site Area	548,671	100.0%

HATCH LEGEND

RETAINING WALL	[Hatch Pattern]
CONCRETE SIDEWALK	[Hatch Pattern]
CONCRETE PAVEMENT	[Hatch Pattern]
CONCRETE PAVERS	[Hatch Pattern]
BUILDING FOOTPRINT	[Hatch Pattern]
BIO-RETENTION	[Hatch Pattern]
TREE CANOPY PRESERVED	[Hatch Pattern]
CONCRETE ROAD WIDENING	[Hatch Pattern]
DECORATIVE CONCRETE	[Hatch Pattern]

EXISTING PROPOSED

- | | |
|----------------------------------|------|
| UTILITY POLE | ← |
| GUY WIRE | ← |
| LIGHT STANDARD | ⊙ |
| ELECTRIC BOX | ⊙ |
| ELECTRIC METER | ⊙ |
| ELECTRIC MANHOLE | ⊙ |
| OVERHEAD ELECTRIC LINE | — |
| UG ELECTRIC LINE | — |
| TELEPHONE BOX | ⊙ |
| TELEPHONE MANHOLE | ⊙ |
| UG TELEPHONE LINE | — |
| FIRE HYDRANT | ⊙ |
| WATER METER | ⊙ |
| WATER VALVE | ⊙ |
| WATER MANHOLE | ⊙ |
| WATER LINE | — |
| GAS METER | ⊙ |
| GAS VALVE | ⊙ |
| GAS DRIP | ⊙ |
| GAS LINE | — |
| STREET SIGN | ⊙ |
| BOLLARD OR POST | ⊙ |
| MAILBOX | ⊙ |
| SANITARY SEWER | — |
| STORM SEWER | — |
| STORM DRAIN GRATE INLET | ⊙ |
| STORM DRAIN AREA INLET | ⊙ |
| STORM DRAIN MANHOLE | ⊙ |
| SANITARY SEWER MANHOLE | ⊙ |
| FLARED END SECTION | ⊙ |
| FENCE: CHAIN LINK OR WIRE | — |
| FENCE: WOOD CONSTRUCTION | — |
| GUARDRAIL | — |
| MINOR CONTOUR INTERVAL | 51.3 |
| MAJOR CONTOUR INTERVAL | 51.0 |
| SPOT ELEVATION | ⊙ |
| BUSH OR SHRUB | ⊙ |
| TREE W/APPROXIMATE DIAMETER SIZE | ⊙ |
| FOUND SURVEY MONUMENT AS NOTED | ⊙ |
| SET SURVEY MONUMENT AS NOTED | ⊙ |
| CLEAN-OUT/DOWN-SPOUT | ⊙ |
| SWALE | — |
| UTILITY EASEMENT | — |



GEOTECHNICAL ENGINEER'S STATEMENT

Soil Engineering, Inc. and the undersigned engineer have not prepared any part of the plans shown on this or the attached sheets. The seal of the undersigned professional engineer has been affixed at the request of the City of Chesterfield and is a professional opinion to indicate that the undersigned has reviewed the aspects of the civil plans relating to soils engineering and it is his opinion that the approved shown on the plan is in accordance with the geotechnical report for this project dated June 2018.

Roads and building foundations may be supported on approved natural soil, approved engineered fill, or bedrock, as recommended in the geotechnical report. The above opinion is based on data from the geotechnical report which is based on wisely spaced explorations and assumes that the construction and engineering observations will be completed as recommended in the geotechnical report. Conditions may vary from those encountered in the exploration, or can change due to construction activities or weathering. Therefore, the undersigned must be involved during the construction phase of this project to determine if the subsurface conditions are as anticipated from the boring data and the recommendations relative to construction are implemented. It is the contractor's responsibility to notify the undersigned if the observations can be made at the proper time. Construction methods and implementation of the grading plans shall be left to the contractor with verification by the geotechnical engineer required in writing.

Soil Engineering, Inc. and the undersigned have no responsibility for services provided by others. These services by others include but are not limited to: establishment of grades; sewer pipes or sewer construction; design or construction of retaining walls; drainage, boundary, and topographic surveys; structural, electrical, water, or gas components; any other engineering documents or instruments relating to or intended to be used for any part or parts of this project.

In concept, the retaining walls indicated appear feasible; however, global stability must be analyzed once the walls are designed.

PREPARED FOR:
ABOVE ALL DEVELOPMENT
CONTACT: BRYAN ASTON
10411 CLAYTON ROAD, SUITE 308
FRONTENAC, MO 63131
PH: (314) 363-9693

PREPARED BY:
TIMOTHY J. BARRETT, P.E.
PE-201015698

BENCHMARK:

STL. CO. #12-223: 534.44 FUS NAVD88 - Existing cut cross 12.3' south of the north nose of concrete island at the north side of the intersection of Chesterfield Airport Road and Wild Horse Creek Road as both roads are relocated per Plat Book 354 Pages 865 and 866.

SITE BENCHMARK 1:

489.65 FUS NAVD88 - "O" IN OPEN OF fire hydrant; Approximately 9' North of the Northern curb line of Old Chesterfield Road; Approximately 110' East of the Northernmost Boundary corner of a tract of land addressed 16560 OLD CHESTERFIELD RD.

CRIMES CONSULTING, INC.
Civil Engineering & Surveying Services
12200 OLD TESSON ROAD
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ST. LOUIS, MO 63128
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REV. NO.	DATE	REMARKS
1	7/18/18	PER CITY COMMENTS
2	10/2/18	PER COUNTY COMMENTS
3	10/25/18	REVISED LAYOUT
4	12/27/18	CITY COMMENTS

SITE PLAN FOR AVENTURA AT WILD HORSE CREEK
CHESTERFIELD MO 63005

SITE PLAN

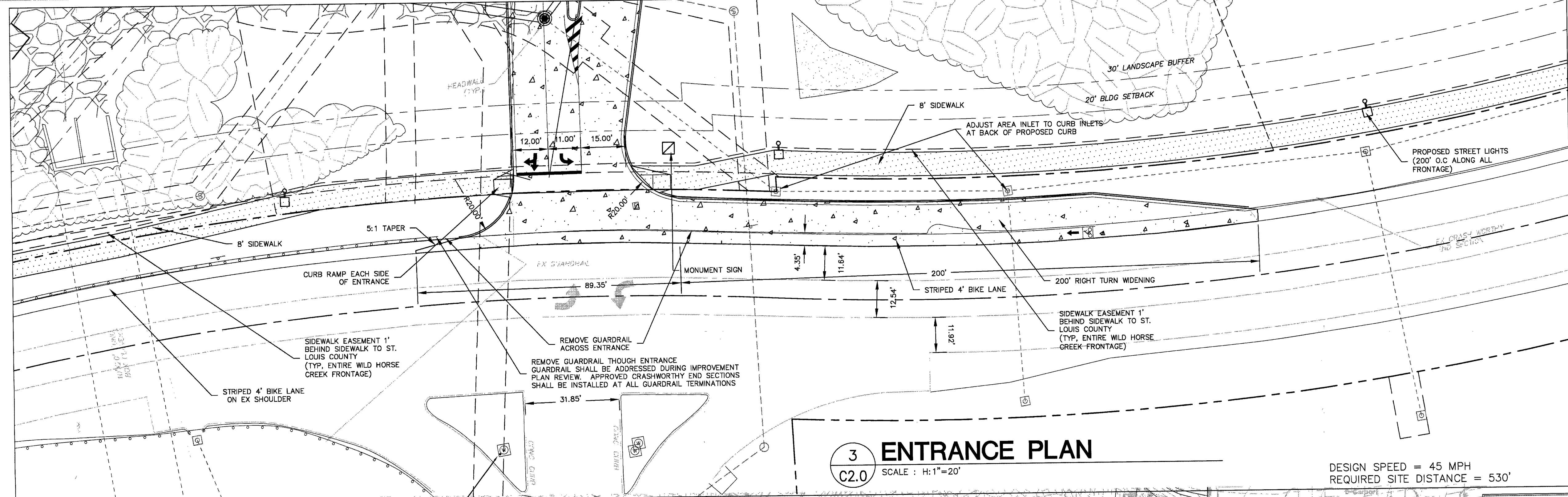
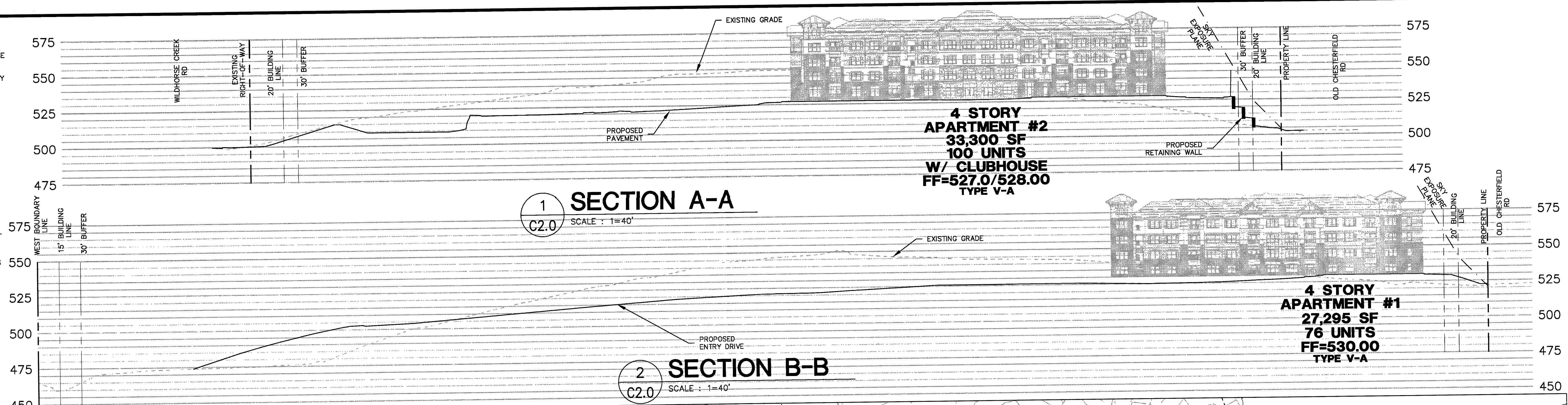
SHEET TITLE

JOB NUMBER: 3044
DRAWN BY: JLW
DATE: 10/10/18
CHECKED BY: LJM
DATE: 10/10/18
SHEET:

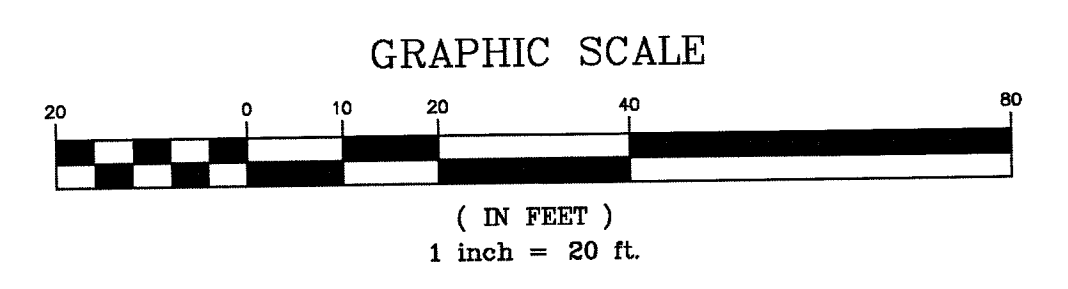
PSP3.3

GENERAL NOTES:

- THE UTILITIES SHOWN HEREIN WERE OBTAINED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, OR LOCATION OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.
- ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
- BOUNDARY AND TOPOGRAPHIC SURVEY BY GRIMES CONSULTING.
- ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF CHESTERFIELD, MO.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING.
- GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES MAY BE REQUIRED.
- ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- ALL PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- ALL STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- NO SLOPES SHALL EXCEED A 1V:3H SLOPE (UNLESS JUSTIFIED BY A GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY CHESTERFIELD).
- DEVELOPMENT SHALL COMPLY WITH ALL APPROPRIATE ZONING AND SUBDIVISION ORDINANCES.
- ALL SIDEWALKS TO BE CONSTRUCTED TO ADA STANDARDS.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO CITY OF CHESTERFIELD STANDARDS.
- A LAND DISTURBANCE PERMIT WILL BE REQUIRED. SITE PLAN/PLAT APPROVAL IS NOT TO BE CONSTRUED AS APPROVAL OF A LAND DISTURBANCE PERMIT.
- ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED, OR ITS VISUAL IMPACT OTHERWISE REDUCED, AS APPROVED BY THE PLANNING COMMISSION ON THE SITE DEVELOPMENT PLAN.
- ALL UTILITY SERVICE SHALL BE INSTALLED UNDERGROUND.
- SIGNAGE APPROVAL IS A SEPARATE PROCESS.
- MAXIMUM HEIGHT OF ALL LIGHT STANDARDS SHALL BE 20 FEET MEASURED FROM FINISHED GRADE.
- TRASH ENCLOSURE SHALL CONSIST OF A BRICK VENEER ON BLOCK BACK-UP TO MATCH THE VENEER OF THE BUILDING.



Sight Distance (ft)	Sight Distance for Vehicle Entering Roadway from Stopped Position Associated with New Development			
	10'x10' Lane	10'x12' Lane	10'x14' Lane	10'x16' Lane
15	170	180	190	200
20	225	240	250	260
25	280	290	300	310
30	335	350	360	370
35	390	410	420	430
40	445	470	480	490
45	500	530	540	550
50	555	590	600	610
55	610	650	660	670
60	665	710	720	730
65	720	765	775	785
70	775	825	835	845



ST. LOUIS COUNTY NOTES:

- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
- NO SLOPES WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
- STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS SHALL MEET MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.
- ALL SIDEWALKS AND ASSOCIATED ACCESSIBILITY IMPROVEMENTS WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY ADA STANDARDS.
- A SIGNED/SEALED NOTE SHALL BE ADDED TO THE CONSTRUCTION PLANS INDICATING THAT THE UNIMPROVED EXISTING SIDEWALK/PEDESTRIAN PATH ALONG THE PROJECT FRONTAGE MEETS CURRENT ST. LOUIS COUNTY ADA STANDARDS.
- ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS.
- ALL HYDRANTS, POWER POLES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY ROAD RIGHT-OF-WAY SHALL HAVE A MINIMUM TWO (2) FOOT SETBACK FROM FACE OF CURB OR EDGE OF PAVEMENT, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
- ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE ST. LOUIS COUNTY AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
- PRIOR TO SPECIAL USE PERMIT/ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MAY BE REQUIRED TO BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.
- CONTINUOUS PEDESTRIAN ACCESS SHALL BE PROVIDED DURING THE CONSTRUCTION PROCESS. PRIOR TO THE START OF CONSTRUCTION, ADEQUATE PEDESTRIAN ACCESS AROUND THE SITE SHALL BE PROVIDED AND VERIFIED. NO EXISTING SIDEWALK SHALL BE REMOVED WITHOUT PROVIDING ADEQUATE PEDESTRIAN FACILITIES AND ROUTES DURING CONSTRUCTION ACTIVITIES.

PREPARED FOR:
ABOVE ALL DEVELOPMENT
CONTACT: BRYAN ASTON
10411 CLAYTON ROAD, SUITE 308
FRONTENAC, MO 63131
PH: (314) 363-9693

GRIMES CONSULTING, INC.
Civil Engineering & Surveying Services
LEONARD J. MEERS
PROFESSIONAL ENGINEER
E-28268

12000 OLD LESSON ROAD
SUITE 308
FRONTENAC, MO 63128
PH: (314) 846-0100
FAX: (314) 846-0100
www.grimescalting.com

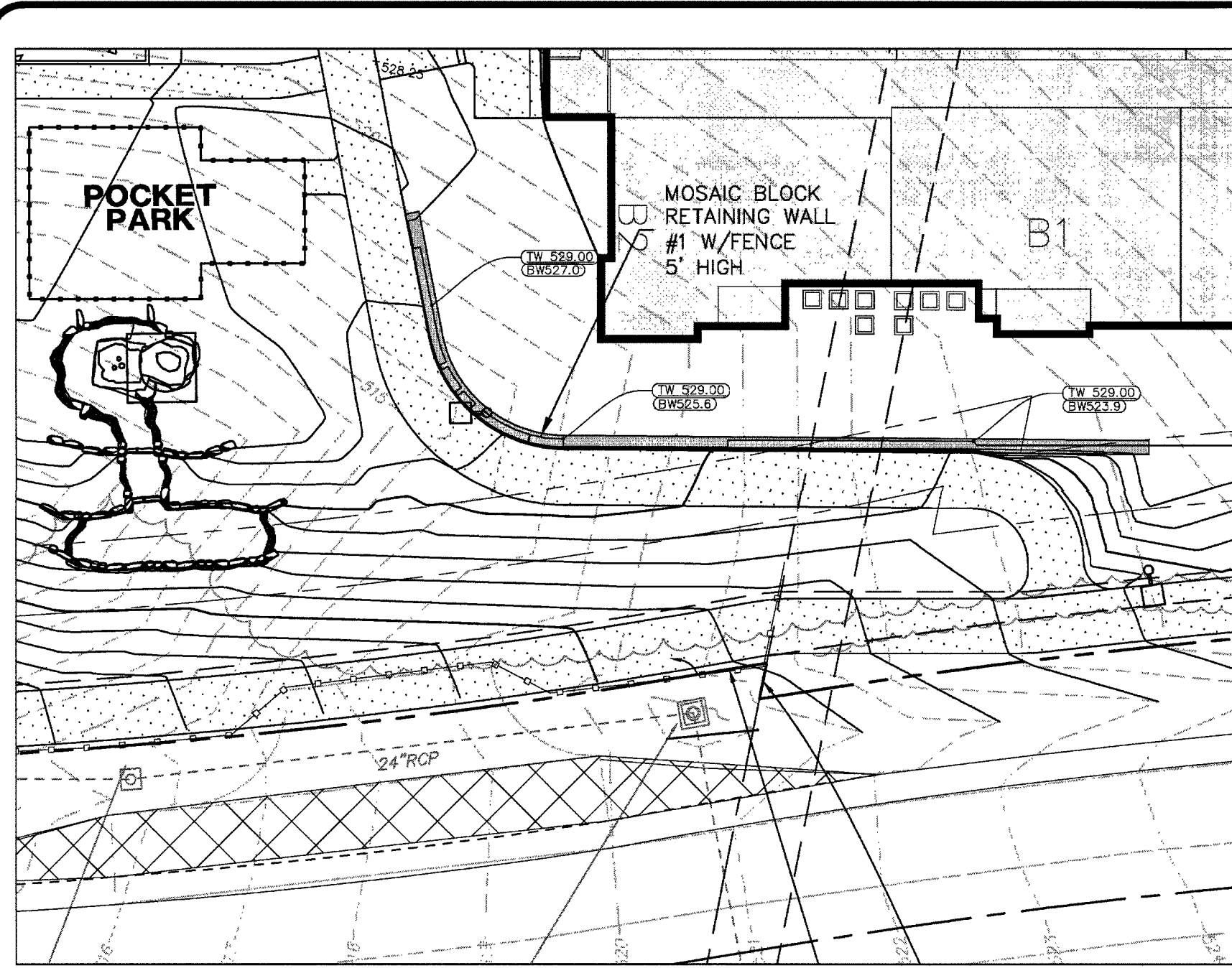
REV. NO.	REMARKS	DATE
1	PER CITY COMMENTS	7/16/18
2	PER COUNTY COMMENTS	10/2/18
3	REVISED LAYOUT	10/23/18
4	CITY COMMENTS	12/20/18

A SITE PLAN FOR
AVENTURA AT WILD HORSE CREEK
CHESTERFIELD MO 63005

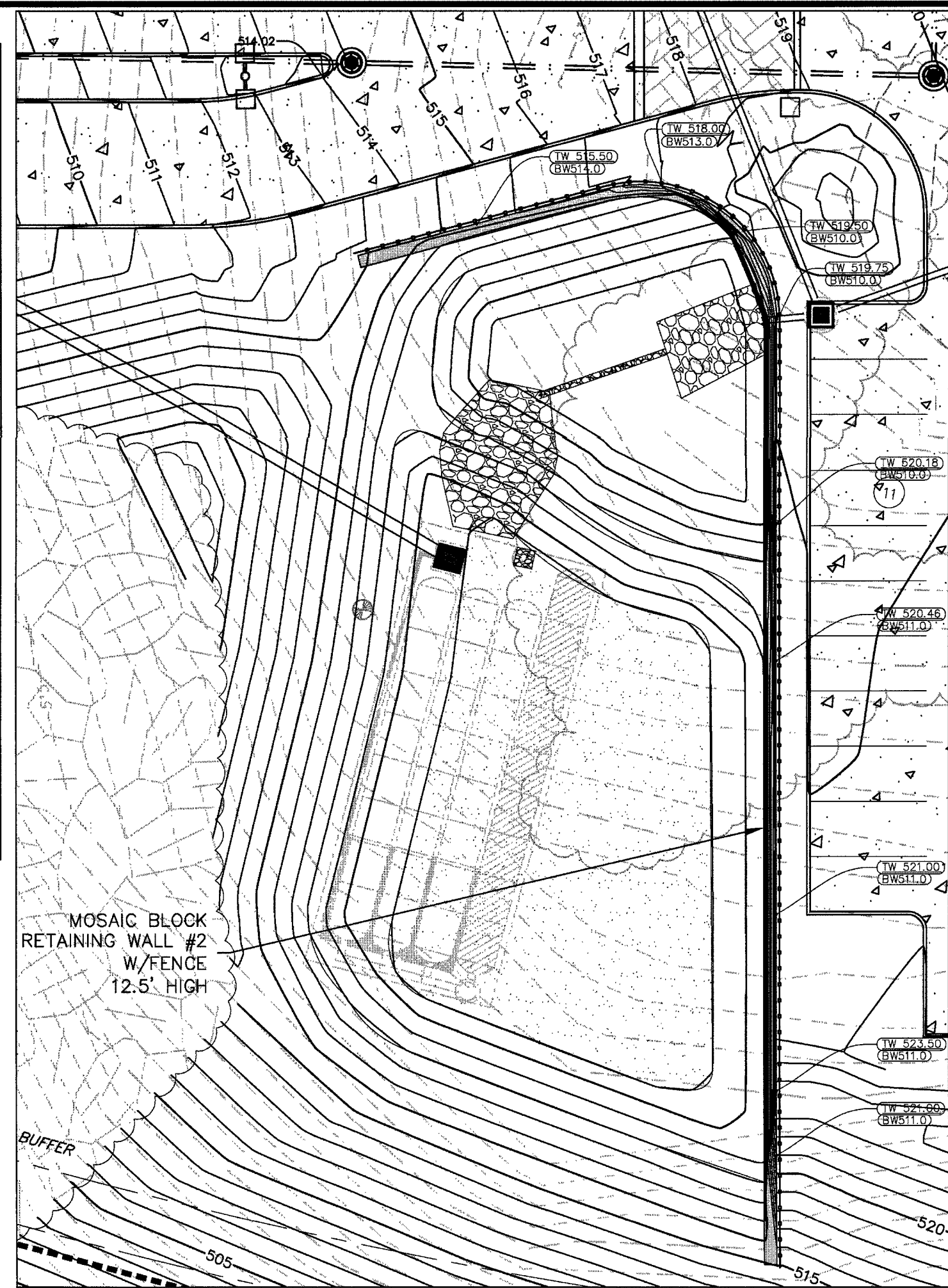
SHEET TITLE
SITE PLAN

JOB NUMBER: 3044
DRAWN BY: JLW
DATE: 10/10/18
CHECKED BY: LJM
DATE: 10/10/18
SHEET: C2.0

MSD P-TBD
M.S.D. BASE MAP 18T
LOC. NO. 18T630173
ZIP CODE 63005



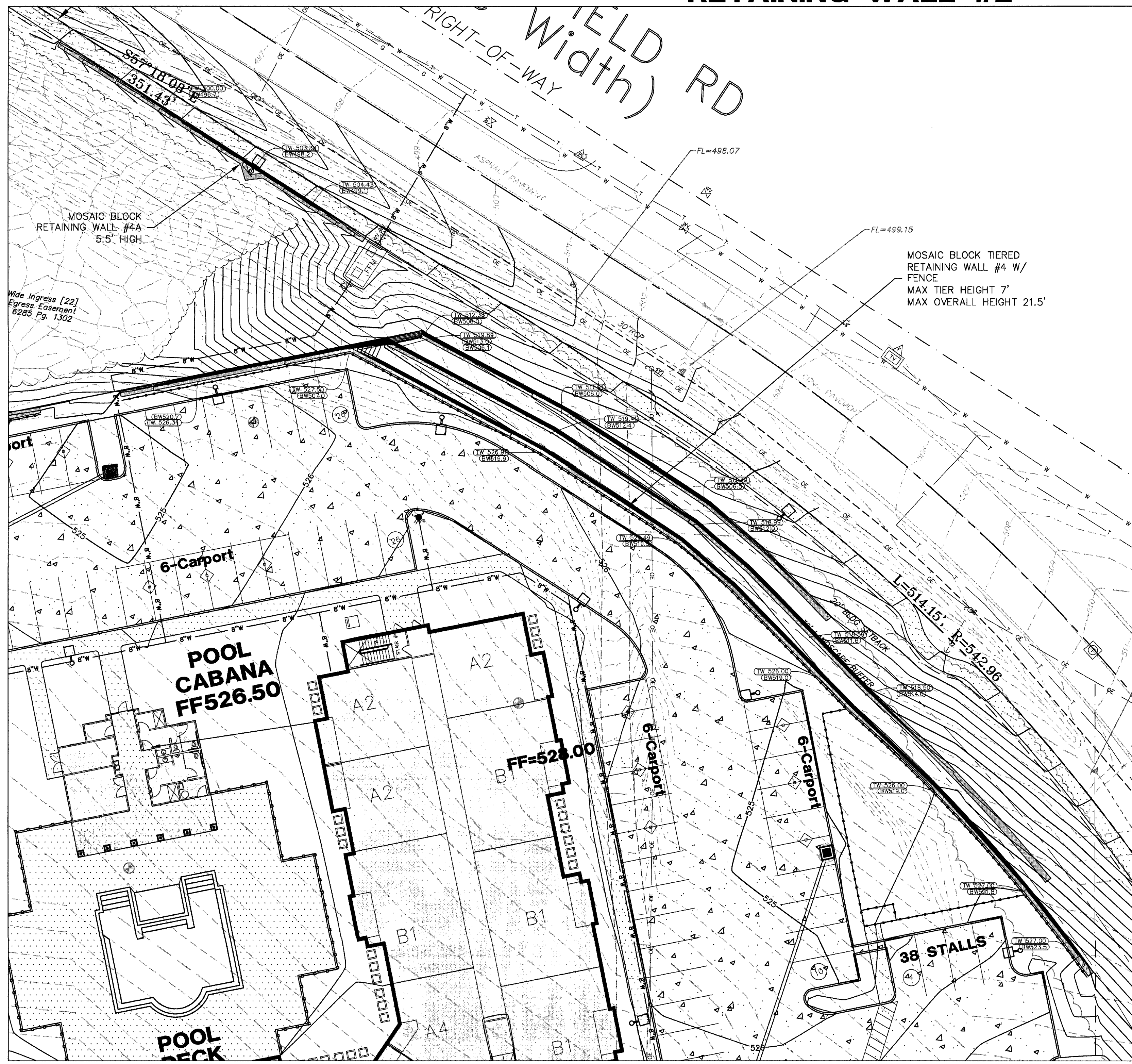
RETAINING WALL #1



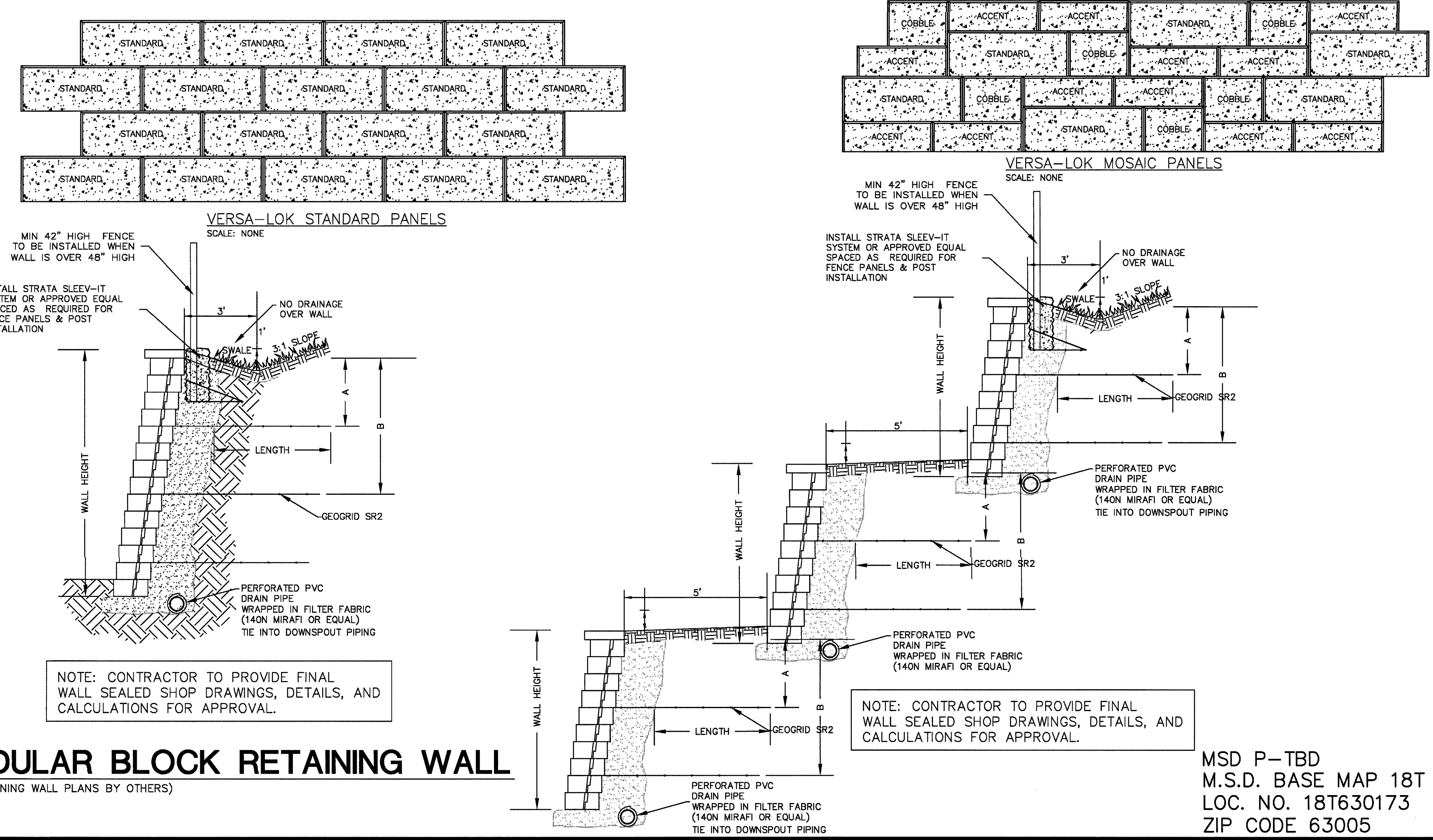
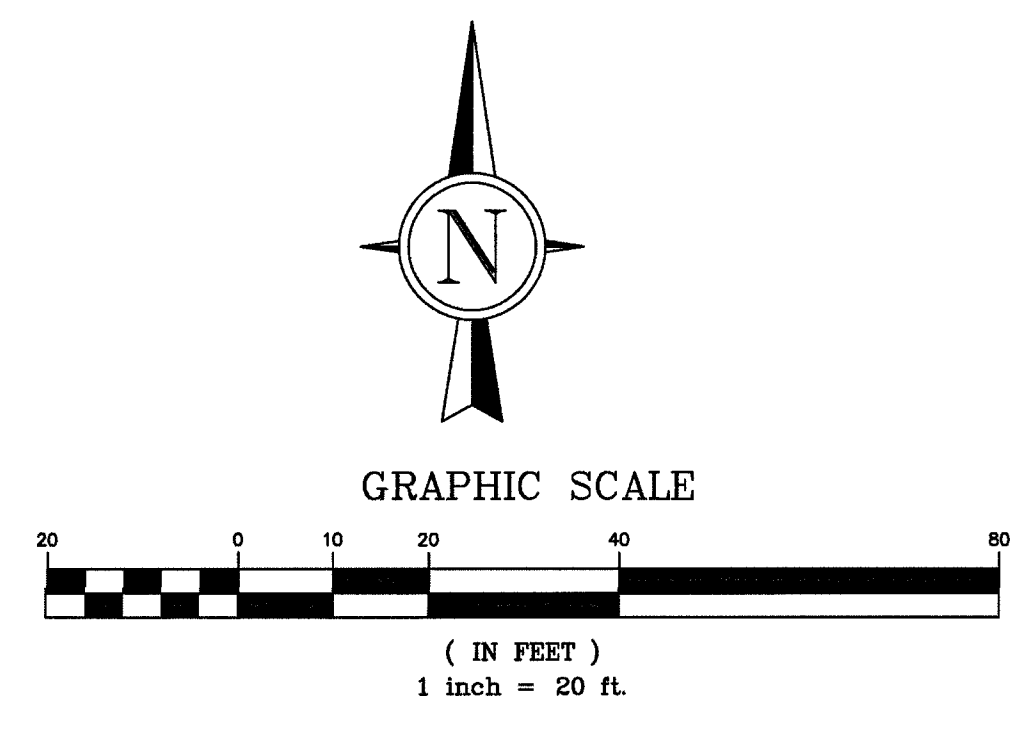
RETAINING WALL #2



RETAINING WALL #3



RETAINING WALL #4



5 MODULAR BLOCK RETAINING WALL
C2.0 (SEE RETAINING WALL PLANS BY OTHERS)

MSD P-TBD
M.S.D. BASE MAP 18T
LOC. NO. 18T630173
ZIP CODE 63005

GRIMES CONSULTING, INC.
Civil Engineering & Surveying Services
LEONARD J. MEERS
PROFESSIONAL ENGINEER
E-28288

1537 S. TESSON ROAD
ST. LOUIS, MO 63128
OFFICE: (314) 846-5000
FAX: (314) 846-5000
www.grimesconsulting.com

REV. NO.	REMARKS	DATE
1	PER CITY COMMENTS	7/8/18
2	PER COUNTY COMMENTS	10/2/18
3	REVISED LAYOUT	10/23/18
4	CITY COMMENTS	12/29/18

A SITE PLAN FOR
AVENTURA AT WILD HORSE CREEK
CHESTERFIELD MO 63005

SITE PLAN

SHEET TITLE

JOB NUMBER: 3044

DRAWN BY: JLW

DATE: 10/10/18

CHECKED BY: LJM

DATE: 10/10/18

SHEET:

C3.0

PREPARED FOR:
ABOVE ALL DEVELOPMENT
CONTACT: BRYAN ASTON
10411 CLAYTON ROAD, SUITE 308
FRONTENAC, MO 63131
PH: (314) 363-9693

TREE NUMBER	SPECIES_01	DBH_EXACT	CROWN_CLAS	CONDITION
1	oak northern red	26	31-40	Fair (60-69)
2	sycamore American	28	31-40	Good (70-79)
3	oak northern red	20	31-40	Fair (60-69)
4	sycamore American	20	31-40	Fair (60-69)
5	hackberry	20	31-40	Fair (60-69)
6	pine eastern white	28	41-50	Fair (60-69)
7	maple silver	25	31-40	Fair (60-69)
8	sycamore American	42	51-60	Good (70-79)
9	maple silver	32	41-50	Fair (60-69)
10	maple silver	20	31-40	Fair (60-69)
11	hackberry	20	31-40	Fair (60-69)
12	ash green	20	31-40	Fair (60-69)
13	maple silver	24	31-40	Fair (60-69)
14	hackberry	24	31-40	Fair (60-69)
15	walnut black	20	41-50	Fair (60-69)
16	Basswood spp	22	31-40	Fair (60-69)
17	oak northern red	20	31-40	Good (70-79)
18	hackberry	24	31-40	Fair (60-69)
19	maple silver	20	31-40	Fair (60-69)
20	oak shingle	24	41-50	Good (70-79)
21	oak northern red	22	41-50	Good (70-79)
22	oak chinkapin	24	41-50	Fair (60-69)
23	oak white	22	31-40	Good (70-79)
24	oak shingle	26	41-50	Good (70-79)
25	maple sugar	26	41-50	Good (70-79)
26	oak black	28	41-50	Fair (60-69)
27	oak black	20	31-40	Fair (60-69)
28	oak black	24	31-40	Fair (60-69)
29	oak black	24	31-40	Fair (60-69)
30	oak shingle	20	31-40	Fair (60-69)
31	ash green	20	31-40	Fair (60-69)
32	cherry black	22	31-40	Fair (60-69)
33	Basswood spp	24	41-50	Fair (60-69)
34	hackberry	24	41-50	Fair (60-69)
35	sycamore American	24	41-50	Fair (60-69)
36	sycamore American	28	41-50	Fair (60-69)
37	sycamore American	24	41-50	Fair (60-69)
38	maple sugar	24	41-50	Good (70-79)
39	maple sugar	20	31-40	Good (70-79)
40	maple silver	24	41-50	Good (70-79)
41	maple sugar	38	41-50	Fair (60-69)
43	oak black	38	51-60	Fair (60-69)
44	ash green	20	31-40	Fair (60-69)
45	maple silver	24	41-50	Fair (60-69)
46	maple sugar	40	41-50	Fair (60-69)
47	maple sugar	24	41-50	Fair (60-69)
48	cherry black	20	31-40	Fair (60-69)
49	oak black	30	41-50	Good (70-79)
50	oak black	22	31-40	Fair (60-69)
51	maple sugar	20	31-40	Fair (60-69)
52	maple sugar	22	31-40	Fair (60-69)
53	sycamore American	26	41-50	Dead (0)
54	maple silver	28	41-50	Fair (60-69)
55	cherry black	30	41-50	Fair (60-69)
56	oak white	28	41-50	Fair (60-69)
57	oak black	24	41-50	Fair (60-69)

NOTE: These larger trees were located and identified. However, it was determined that none of these met two or more of the criteria to be classified as Monarch trees.

LEGEND

- Location
- 109 - Reference Number
- Dead Tree

Tree Stand Delineation Narrative

September 13, 2017
The overall Lot comprises a total of 12.6 Ac and has a total of 10.4 AC of Woodlands. The attached detailed Tree Stand Delineation map was completed by field inspection.

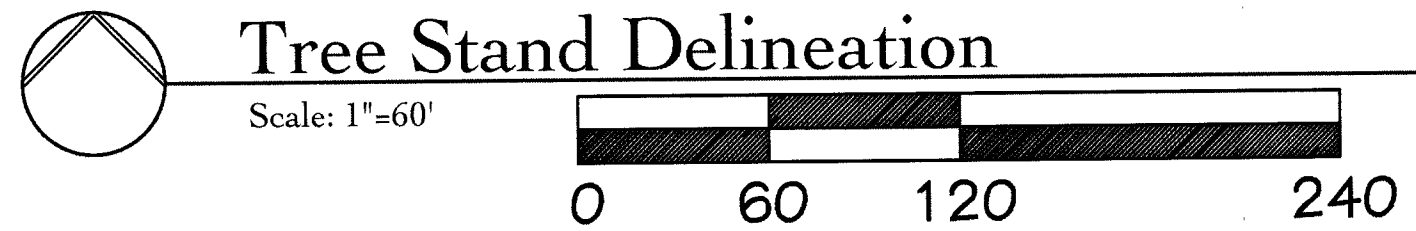
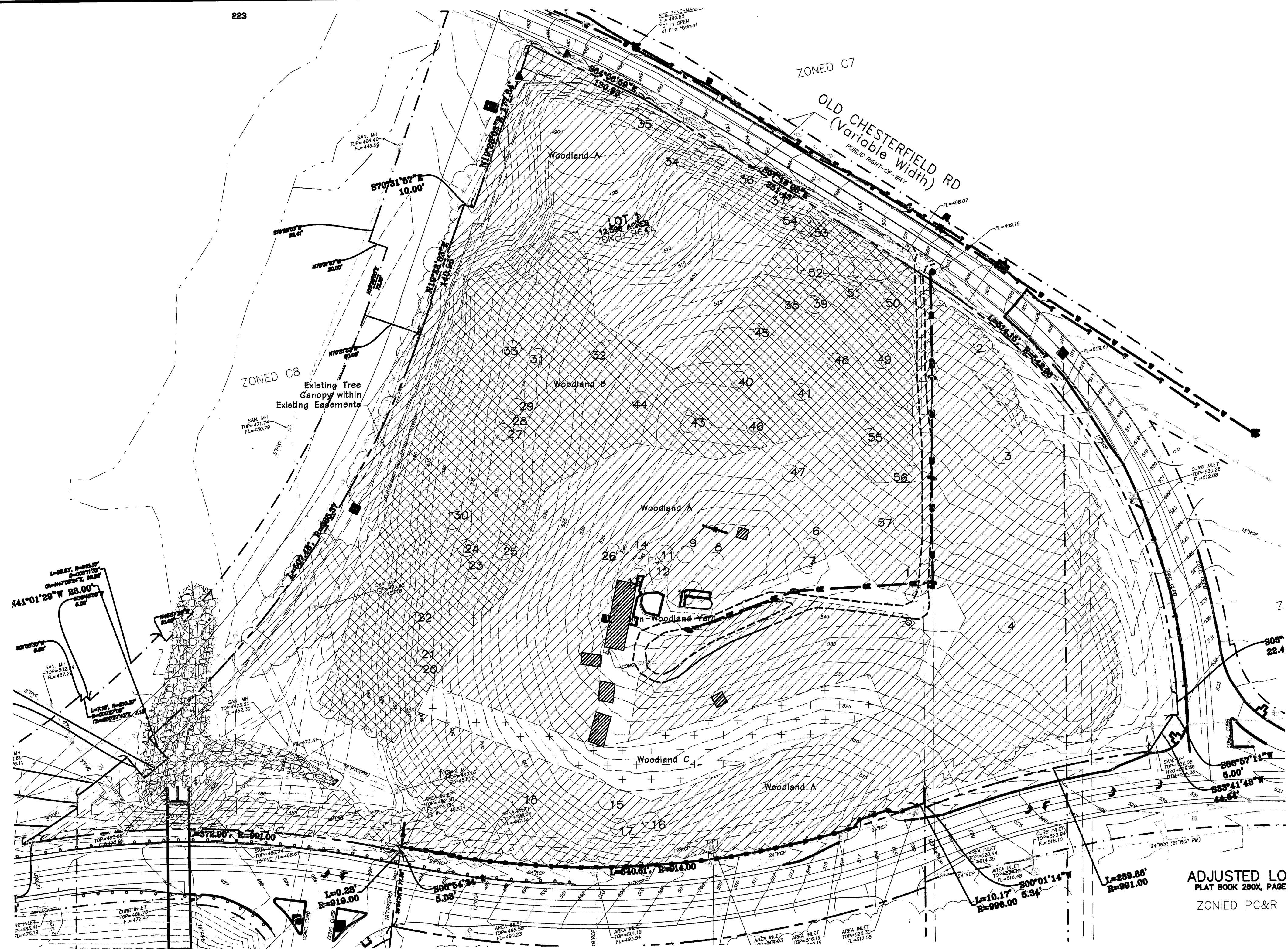
Woodland A: A majority of the site is young woodland that has signs of past disturbance. Overstory is a mix of oak species, sugar maple, silver maple, hackberry, and a few of the planted white pine. Understory varies from thick honeysuckle to elm and maple. This woodland covers acreage north of Wild Horse Creek Road. Part of it encompasses an area of old field near the gazebo that now is grown up in to young woodland. Average stand diameter is 8" DBH.

Woodland B: A high-quality hardwood stand with scattered large diameter oaks and sugar maple. While some exceed 20" DBH they do not meet the criteria to be classified as Monarch trees. Overstory is white oak, red oak, black oak, silver maple, and sugar maple. Understory is sparse due to dense canopy with very little honeysuckle intrusion. Average overstory diameter is 16" DBH.

Woodland C: Pine Plantings: Remnants of a double row of white pines are still present. Most have declined and have received no maintenance. Crown dieback and branch death is extensive. Some still have decent health and might add to the project. The remainder are in poor condition. Average diameter is 12" DBH.

Non-Woodland Yard Area: An abandoned yard area with no salvagable trees. The area is thick with small diameter volunteer sprouts and is comprised of impervious surfaces such as the house, outbuildings, roadway, and pool.

WOODLAND A =	7.2 Ac.	(315,583 sq. ft.)
WOODLAND B =	2.9 Ac.	(128,017 sq. ft.)
WOODLAND C =	0.6 Ac.	(21,439 sq. ft.)
Total Existing Canopy	10.7 Ac.	(465,016 sq. ft.)
Existing Canopy in Existing Easements:	(35,580 sq. ft.)	
Net Canopy:	(429,436 sq. ft.)	



Douglas A. DeLong, Landscape Architect LA-81
Consultants:
HANSEN'S
O'Fallon, MO Branson, MO
Phone: 636-378-1828
www.hansentree.com

Aventura at Wild Horse Creek Chesterfield, MO

Above All Development

Revisions:

Date	Description	No.
11/12/17	City Comments	1
9/20/18	Amended	2

Drawn: BAD
Checked: DAD

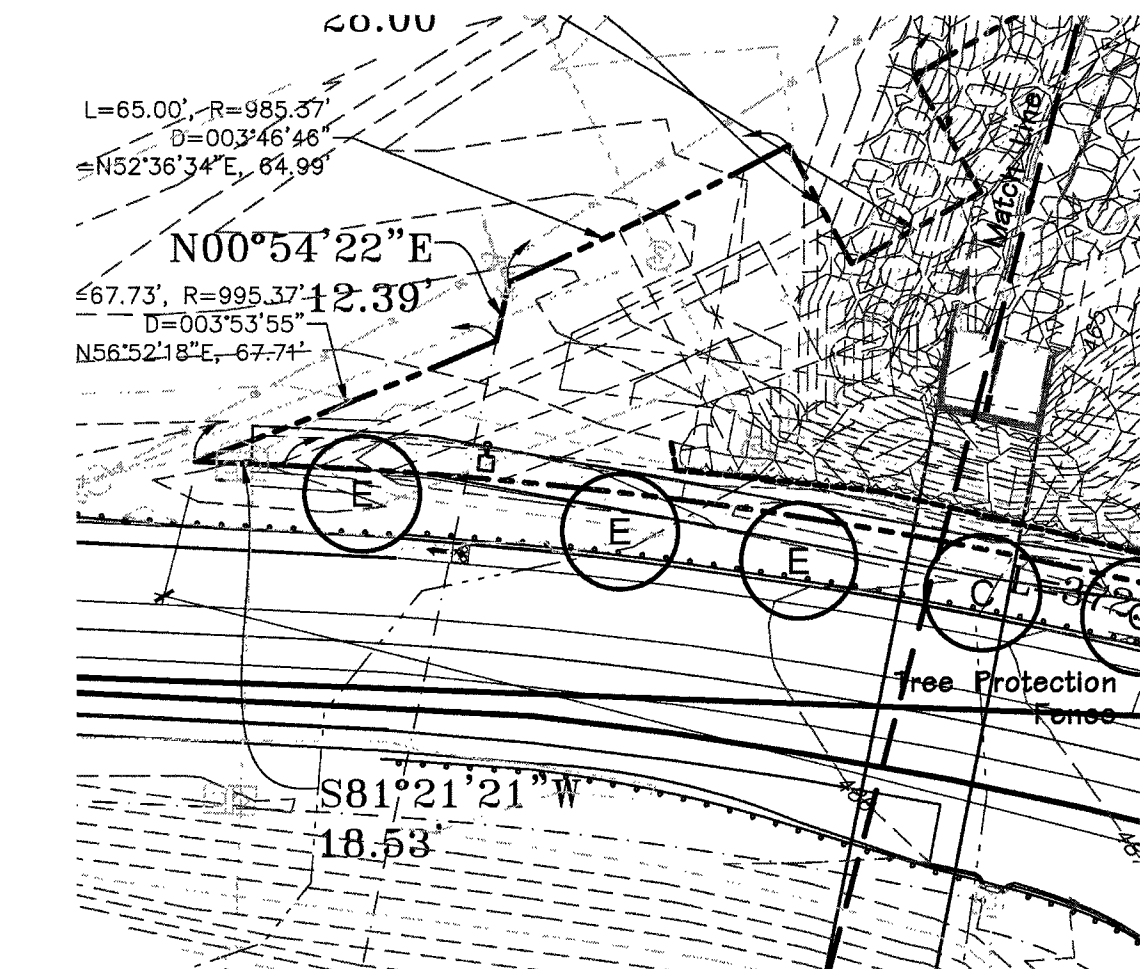
DeLong and DeLong Architecture, LLC
7620 West Bruno Ave
St. Louis, MO 63117
(314) 346-4856
delong.la@gmail.com
Missouri State Certificate of Authority: #91130601-05

Sheet Title:	Amended Tree Stand Delineation
Sheet No.:	TSD-1
Date:	9/13/2017
Job #:	127.006

Tree Stand Delineation Prepared under direction of Skip Kincaid of Hansen's Tree Service
Certified Arborist MW-0155BW
Skip Kincaid
Base Map Provided by: Grimes Consulting

GENERAL NOTES:

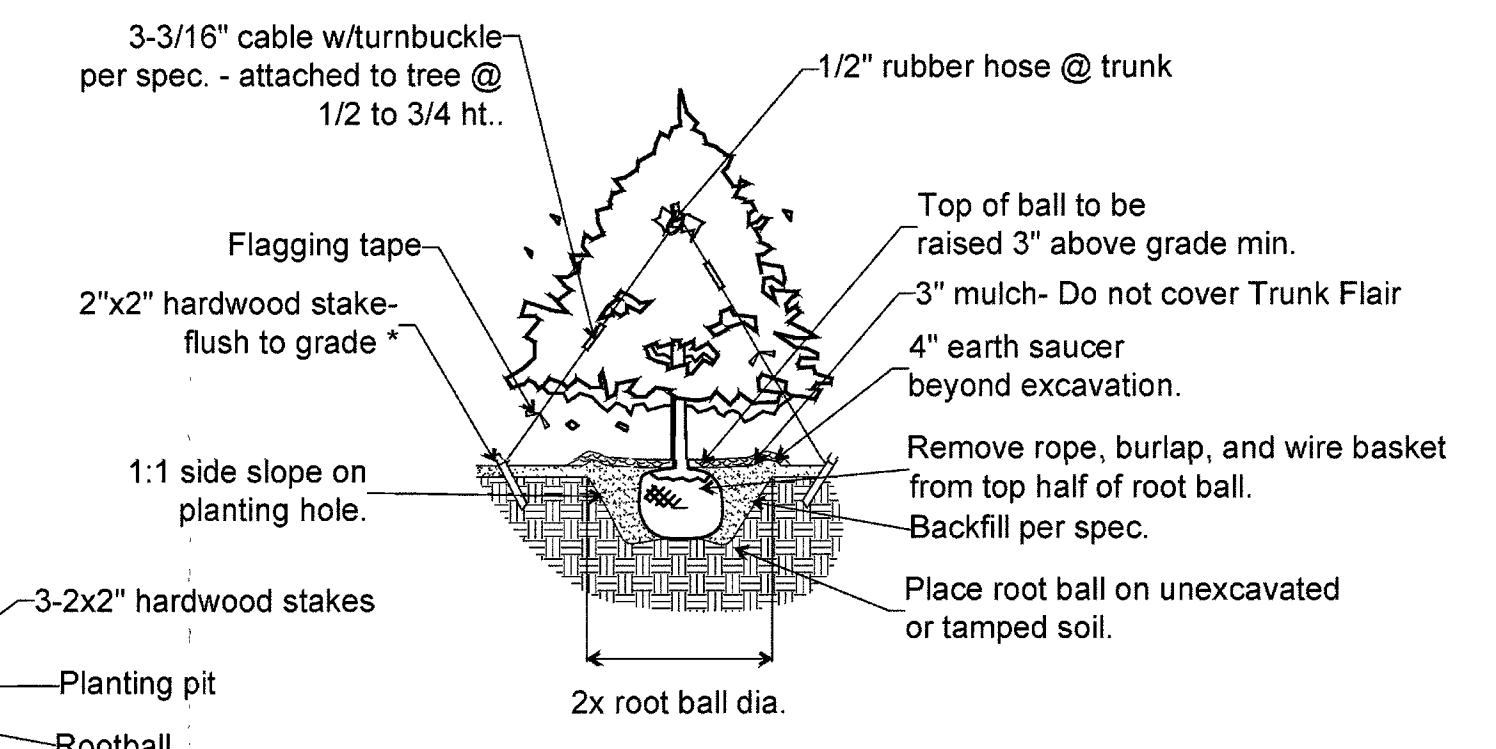
- 1) Openpace ratio is 64.0%. Total Site 546,671 SF/Open Space 351,059 SF
- 2) Street trees-Old Chesterfield Road 1,060.5 lf - 366.4 lf met by existing trees = 672.1 lf/50 13.5 or 14 street trees
- 3) Street Trees-Willhorse Creek Road - 1,171.9 lf/50 = 23.4 or 24 street trees
- 4) All street trees will be located at least 3' from proposed curb.
- 5) All street trees will be located at least 10' from all storm sewer structures.
- 6) All street trees will be located at least 25' from all Street lights, Signs, and Intersections.
- 7) Street Trees along Old Chesterfield Road to be small ornamental trees where under overhead electric lines.
- 8) All turf areas around building will be sodded balance of site will be seeded.
- 9) An in-ground irrigation system will be provided.



Street Tree
SCALE 1"=40'-0"

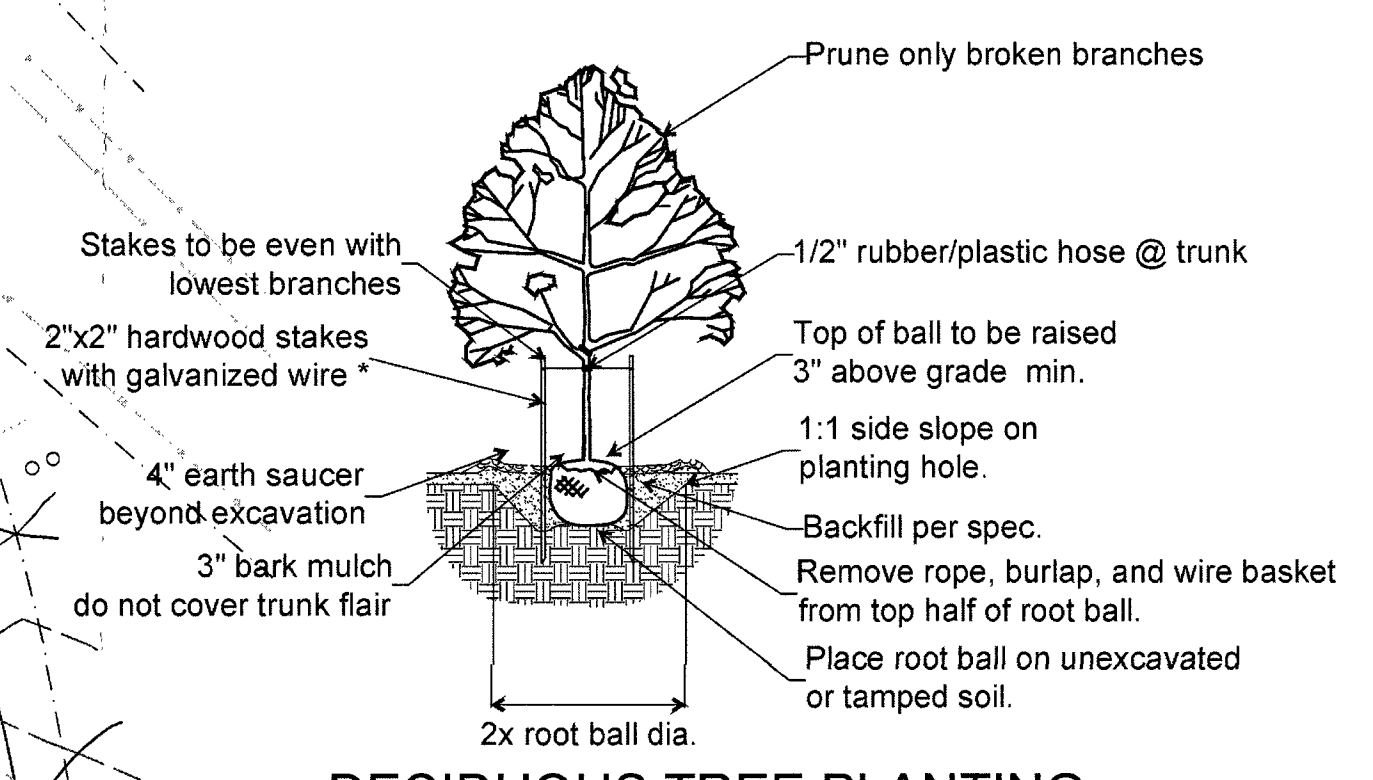
PLANTING SCHEDULE									
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT	NAME	CATEGORY	PERCENTAGE	
A	33	<i>Picea pungens</i>	Colorado Spruce	6-10'	30-40'	Medium Growing	Evergreen	13.9%	
B	24	<i>Pinus strobus</i>	White Pine	6-10'	45'+	Fast Growing	Evergreen	10.1%	
C	39	<i>Acer rubrum 'Red Sunset'</i>	Red Sunset Red Maple	2 1/2'	45'+	Fast Growing	Deciduous	16.5%	
D	21	<i>Gleditsia triacanthos 'Shademaster'</i>	Shademaster Honeylocust	2 1/2'	45'+	Fast Growing	Deciduous	6.9%	
E	22	<i>Tilia americana 'Redmond'</i>	Redmond Linden	2 1/2'	45'+	Medium Growing	Deciduous	9.3%	
F	10	<i>Quercus bicolor</i>	Swamp White Oak	2 1/2'	45'+	Medium Growing	Deciduous	4.2%	
G	8	<i>Taxodium distichum</i>	Bald Cypress	6-10'	45'+	Medium Growing	Deciduous	3.3%	
H	9	<i>Cercis canadensis 'Merlot'</i>	Merlot Red Bud	2 1/2'	25'+	Fast Growing	Ornamental	3.6%	
J	16	<i>Crataegus laevigata 'Superba'</i>	Crimeon cloud Hawthorn	2 1/2'	25'+	Medium Growing	Ornamental	6.7%	
K	12	<i>Ostrya virginiana</i>	Hophornbeam	2 1/2'	30'+	Slow Growing	Ornamental	5.0%	
L	18	<i>Carpinus caroliniana</i>	American Hornbeam	2 1/2'	20'+	Medium Growing	Ornamental	7.6%	
M	16	<i>Cornus florida</i>	Flowering Dogwood	2 1/2'	20'+	Medium Growing	Ornamental	6.7%	
N	8	<i>Juniperus virginiana 'Taylor'</i>	Taylor Juniper	6-8'		Maintain @ 7' Ht	Evergreen	3.3%	
a	26	<i>Thuja occidentalis 'Emerald'</i>	Emerald Arborvitae	4-6'		4' O.C.			
b	176	<i>Ilex X 'Meeg' China Girl'</i>	China Girl Holly	24"		3' O.C.			
c	103	<i>Itea virginica 'Henry's Garnet'</i>	Henry's Garnet Sweetpire	24"		3' O.C.			
d	97	<i>Juniperus sabina 'Buffalo'</i>	Buffalo Juniper	16-24"		4' O.C.			
e	135	<i>Hibiscus syriacus 'Antong Two'</i>	Lil' Kim Rose of Sharon	24"		3' O.C.			
f	16	<i>Euonymus alatus 'Compata'</i>	Dwarf Burning Bush	24-30"		4' O.C.			
g	56	<i>Viburnum x juddii</i>	Judd Viburnum	24-30"		4' O.C.			
h	94	<i>Berberis thunbergii a. 'Rose Glow'</i>	Rose Glow Barberry	24"		30' O.C.			
aa	354	<i>Hemerocallis 'Stella de Oro'</i>	Stella de Oro Daylily	1 qt		16' O.C.			
bb	483	<i>Rudbeckia fulgida 'Goldstrum'</i>	Black-eyed Susan	1 qt		12' O.C.			
cc	89	<i>Calamagrostis a. 'Karl Foerster'</i>	Feather Reed Grass	1 qt		16' O.C.			
dd	336	<i>Liriope muscari 'Big Blue'</i>	Big Blue Liriope	1 qt		12' O.C.			
ee	730	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 qt		16' O.C.			
	500	Annuals to be selected		C. P.		9' O.C.			
	-	Bioretention Plantings per MSD		C. P.		16' O.C.			

Evergreen 65 = 27.5%
Deciduous 100 = 42.4%
Ornamental 67 = 26.4%

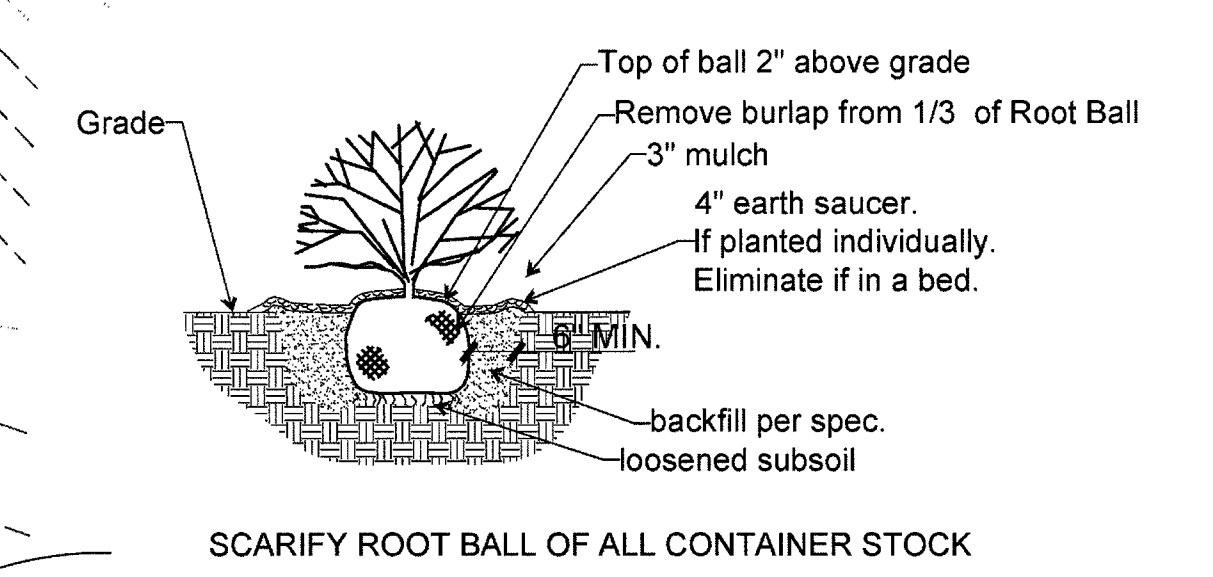


TYPICAL EVERGREEN PLANTING

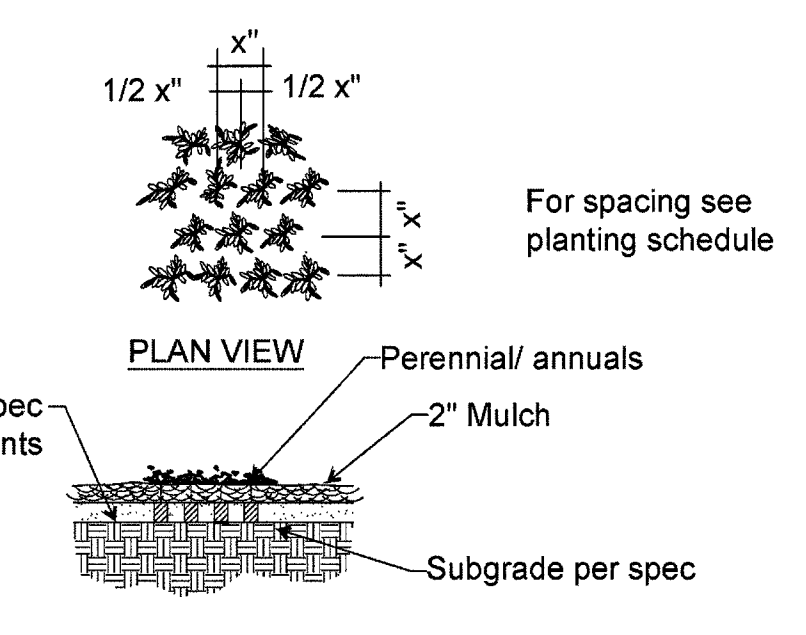
- * Staking should be done only when:
- Planting in soft, loose soils
- Root balls with sandy soil, or wet clay
- Trees located in an extremely windy location



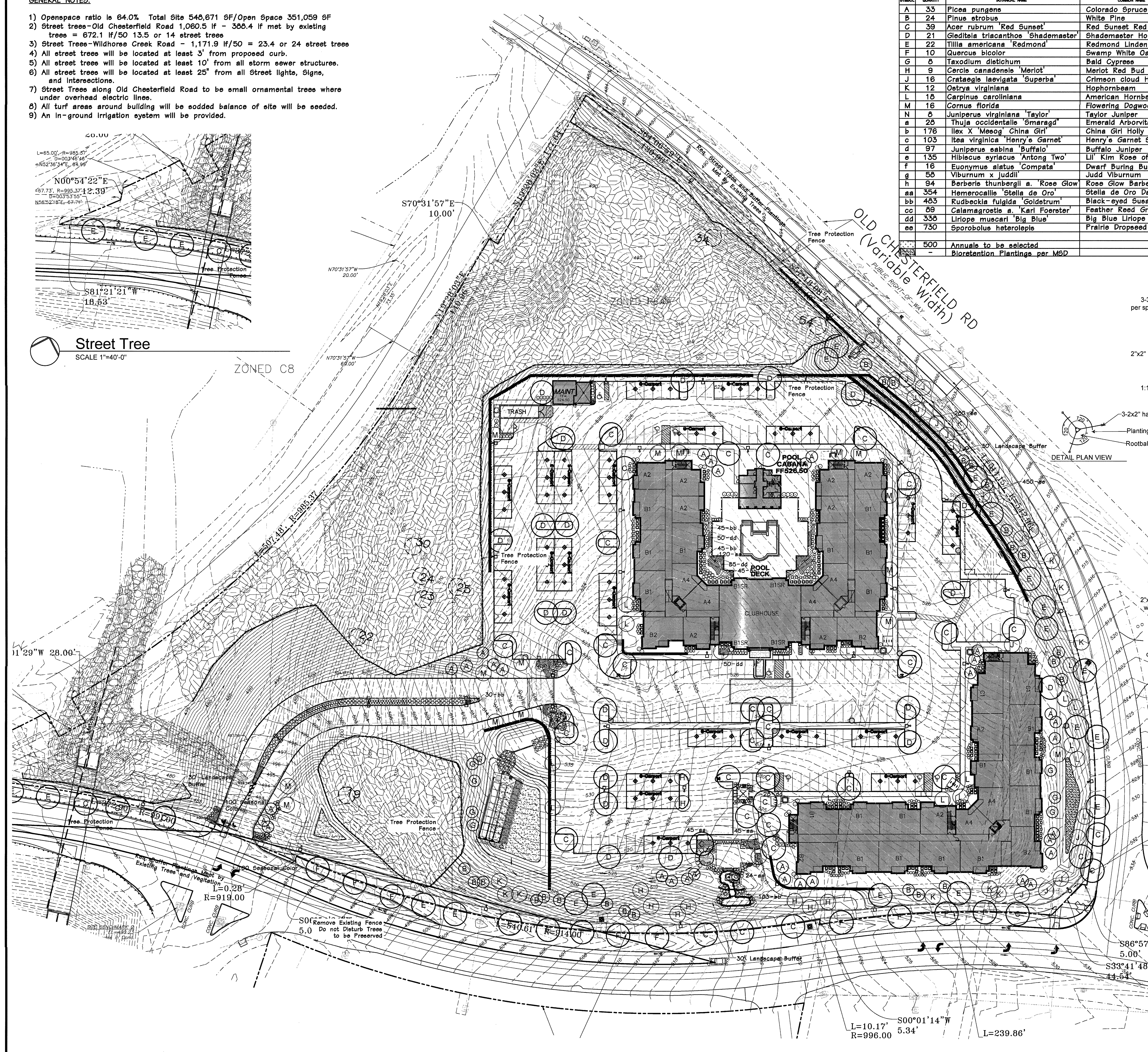
DECIDUOUS TREE PLANTING



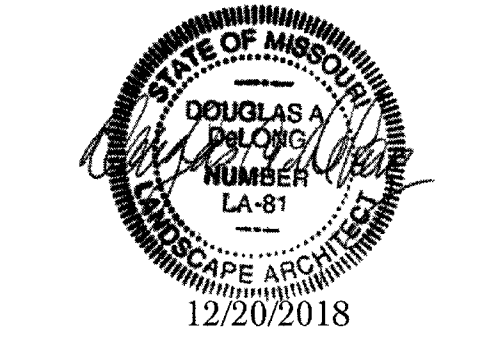
TYPICAL SHRUB PLANTING



TYPICAL PERENNIAL PLANTING



Aventura At Wild Horse Creek
Chesterfield, Missouri
Above All Development



Consultants:
HANSEN'S
OF ILLINOIS, MO & INDIANAPOLIS, IN
Phone: 636-378-1830
www.hansens.com

Revisions:

Date	Description	No.
6/11/18	City Comments	1
7/23/18	City Comments	2
9/19/18	City Comments	4
10/11/18	City Comments	5
10/25/18	Site Plan	6
11/27/18	City Comments	7
12/20/18	City Comments	8

Drawn: **BAD**
Checked: **DAD**

DeLong and Associates, LLC
7620 West Bruno Ave
St. Louis, MO 63117
(314) 546-6856
delongla@gmail.com

Sheet Title: **Landscape Plan**
Sheet No: **L-1**

Date: **6/11/2018**
Job #: **127.006**

Revisions:

Date	Description	No.
6/11/18	City Comments	1
7/23/18	City Comments	2
8/28/18	Added Details	3
9/19/18	City Comments	4
10/11/18	City Comments	5
10/23/18	Site Plan	6
11/27/18	City Comments	7
12/20/18	City Comments	8

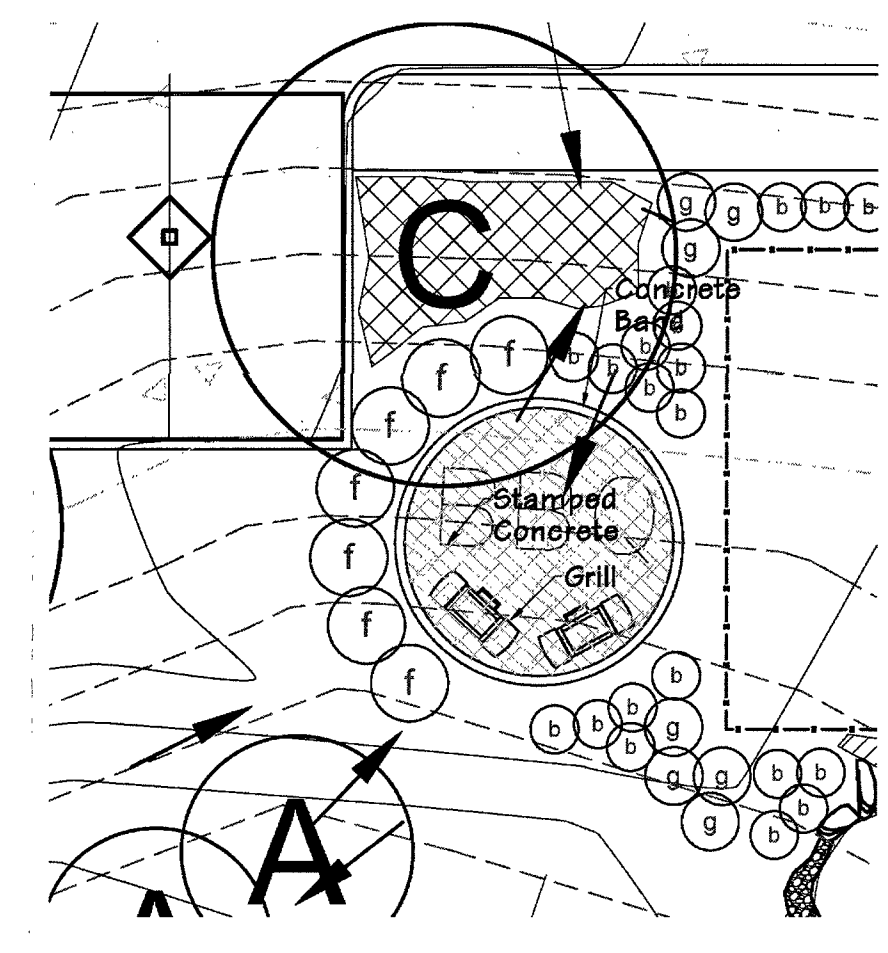
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Checked: DAD

DeLong Landscape Architecture, LLC
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St. Louis, MO 63117
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delong.la@gmail.com

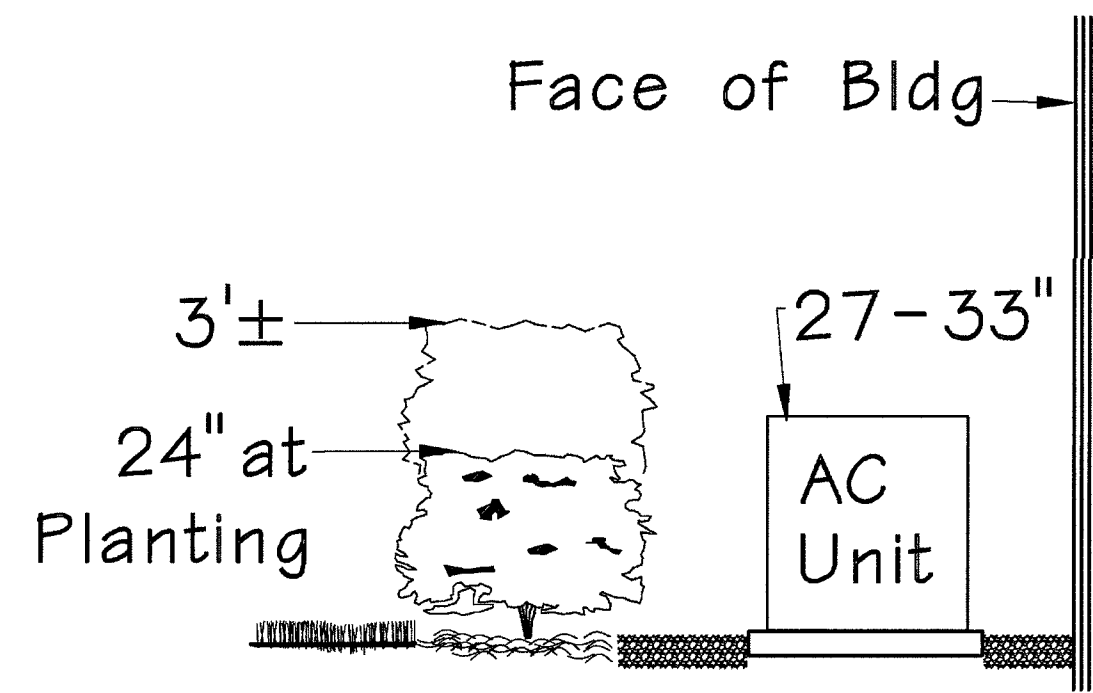
Sheet Title: Landscape Details

Sheet No: L-2

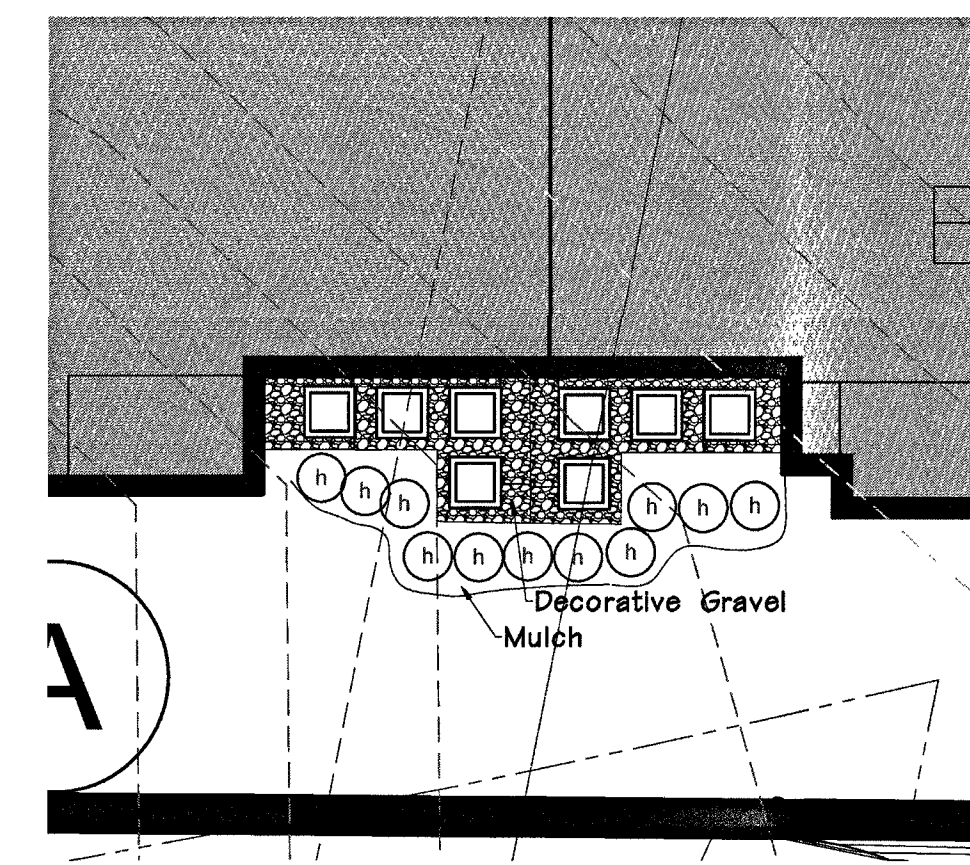
Date: 7/19/2018
Job #: 127.006



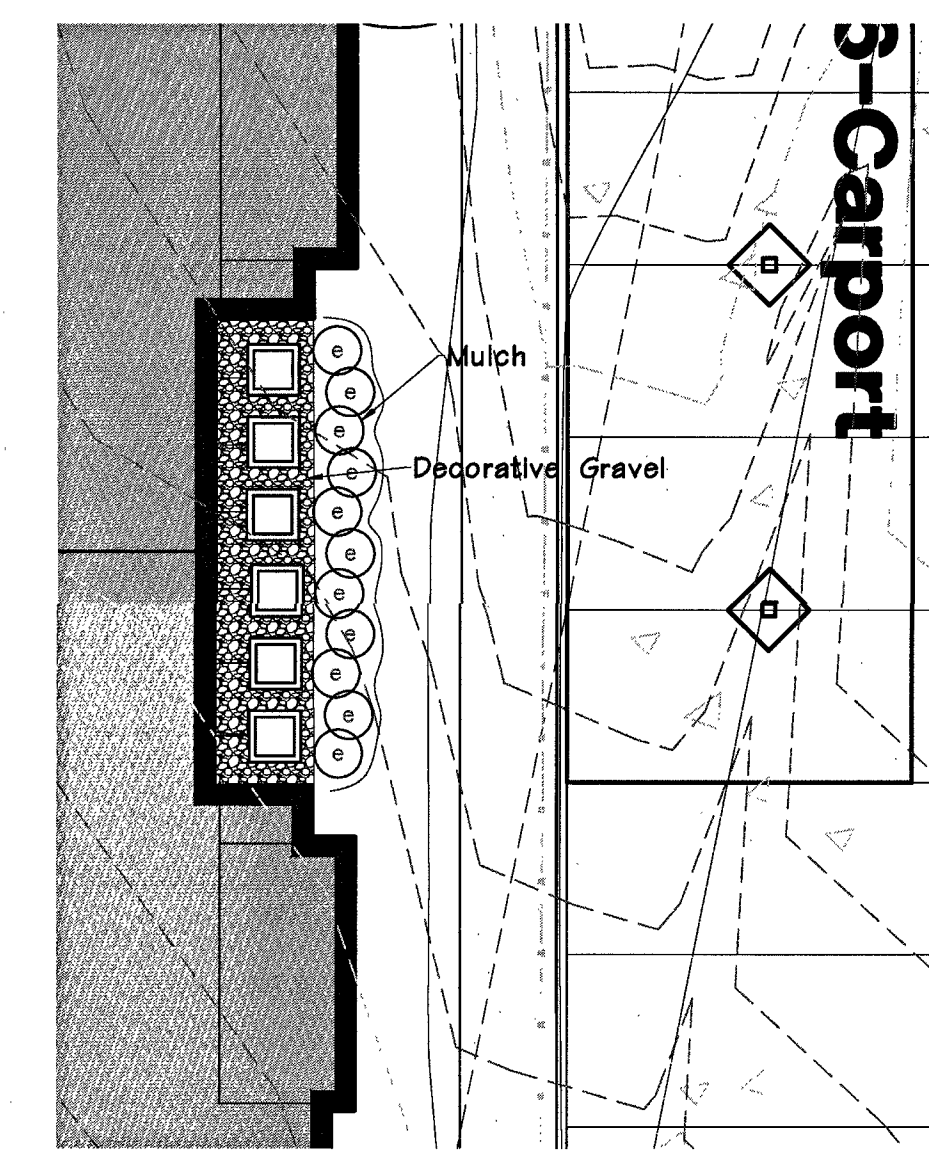
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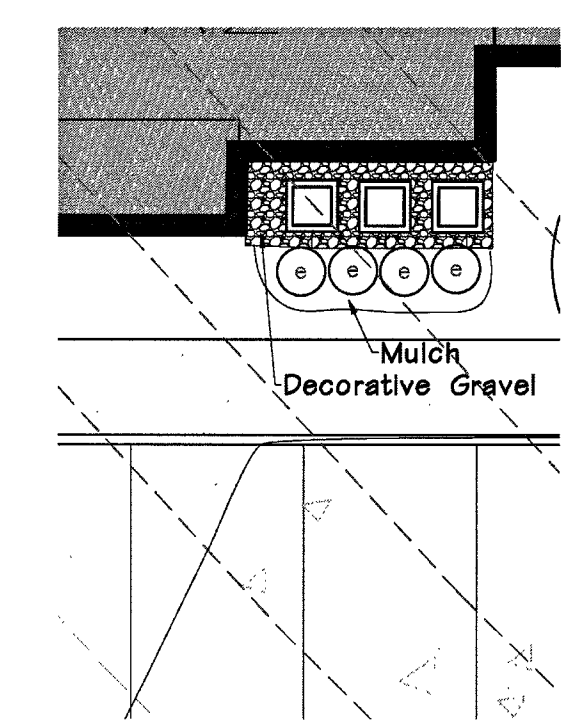
4 Section AC Unit Screening
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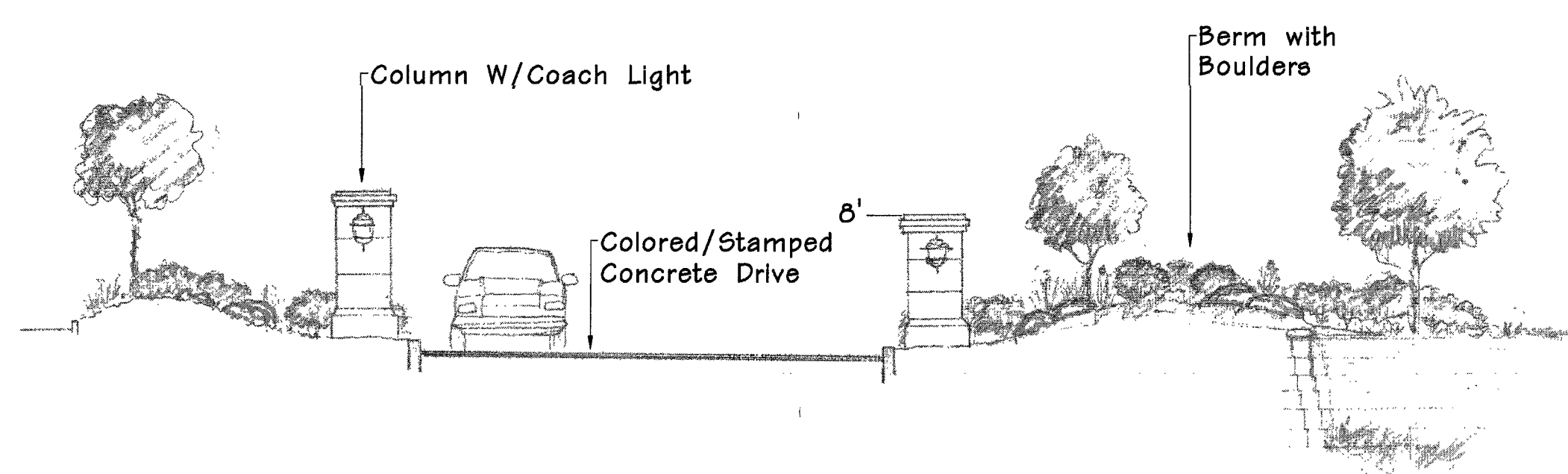
3 8 AC Unit Screening
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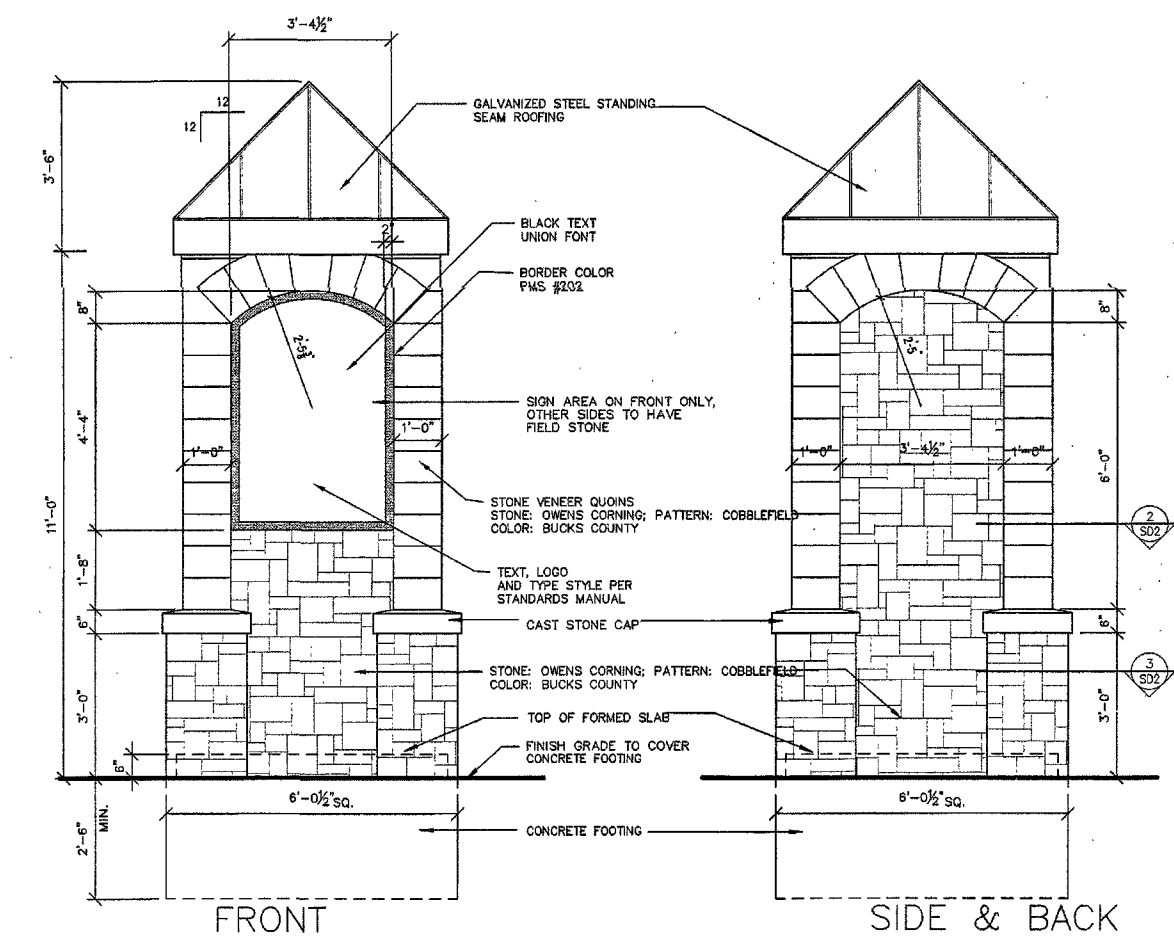
2 6 AC Unit Screening
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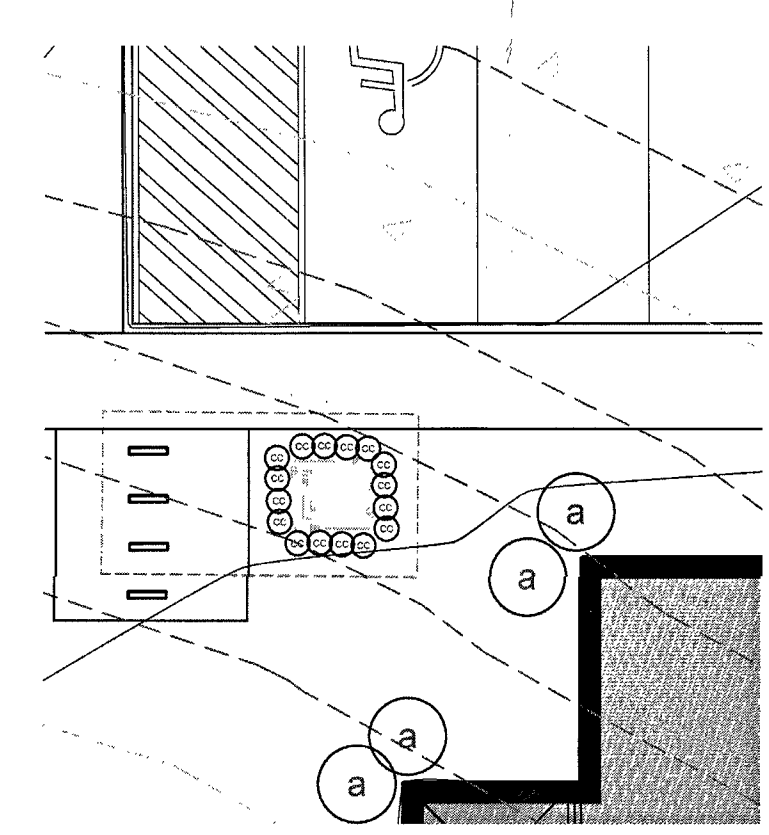
1 3 AC Unit Screening
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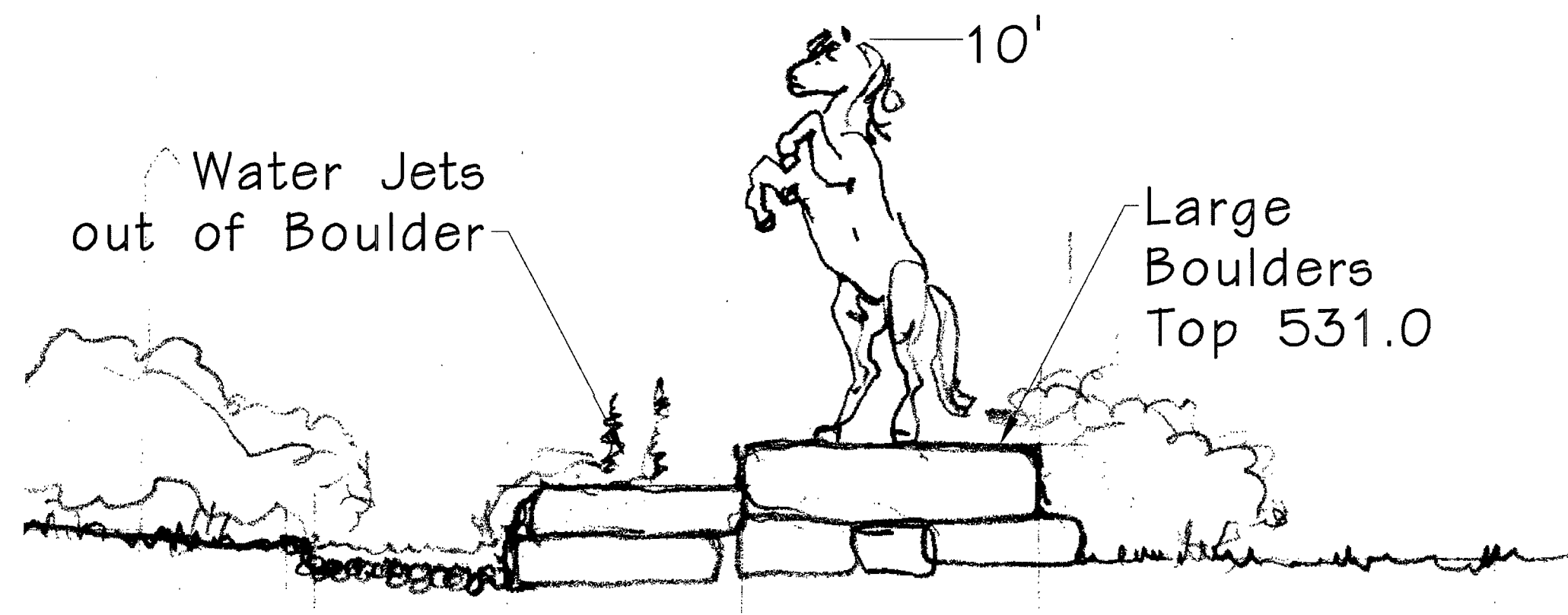
6 Entry Feature
SCALE 1"=8'-0"



7 Entry Monument
SCALE 1"=4'-0"



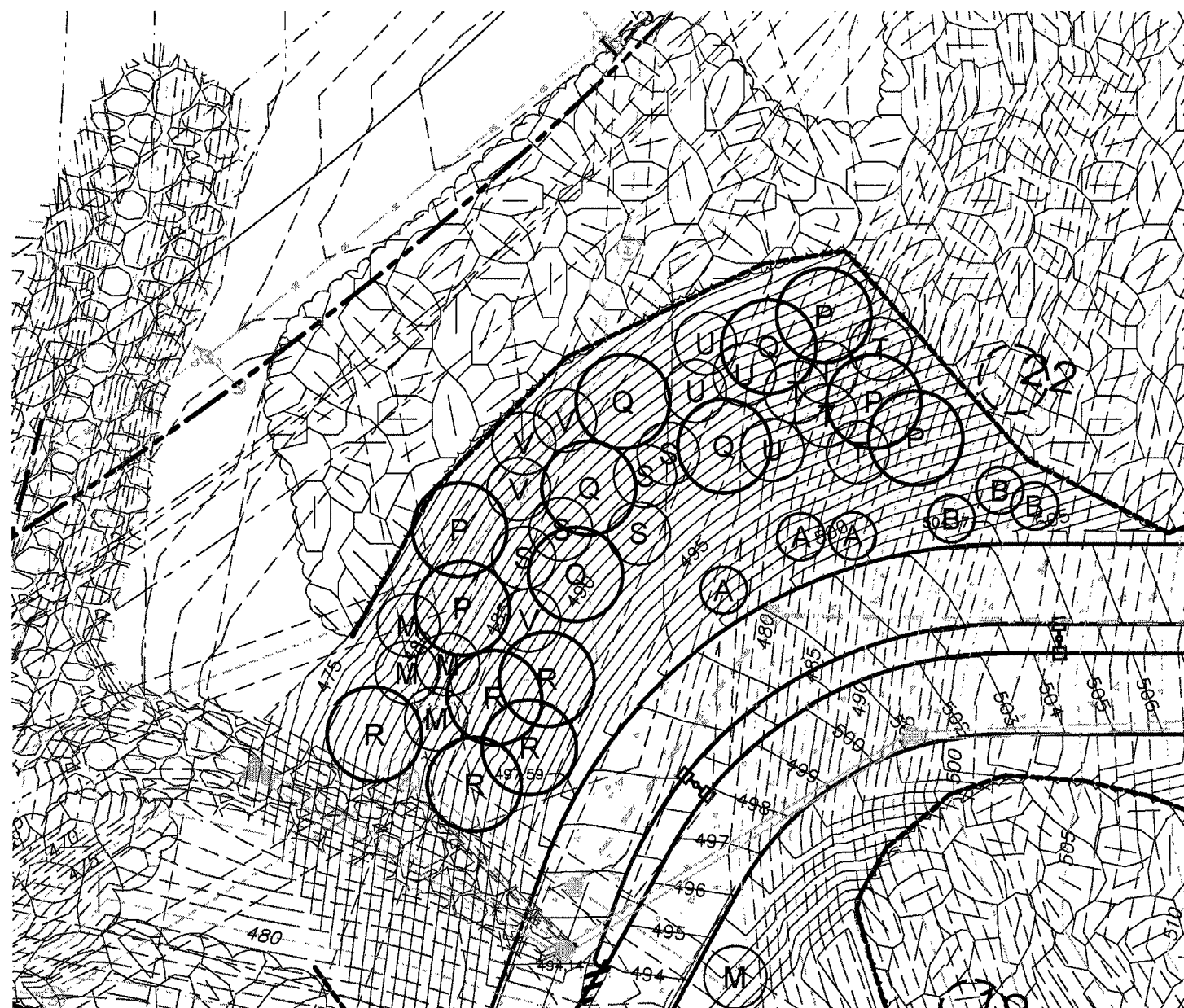
8 Typical Transformer Screening
SCALE 1"=10'-0"



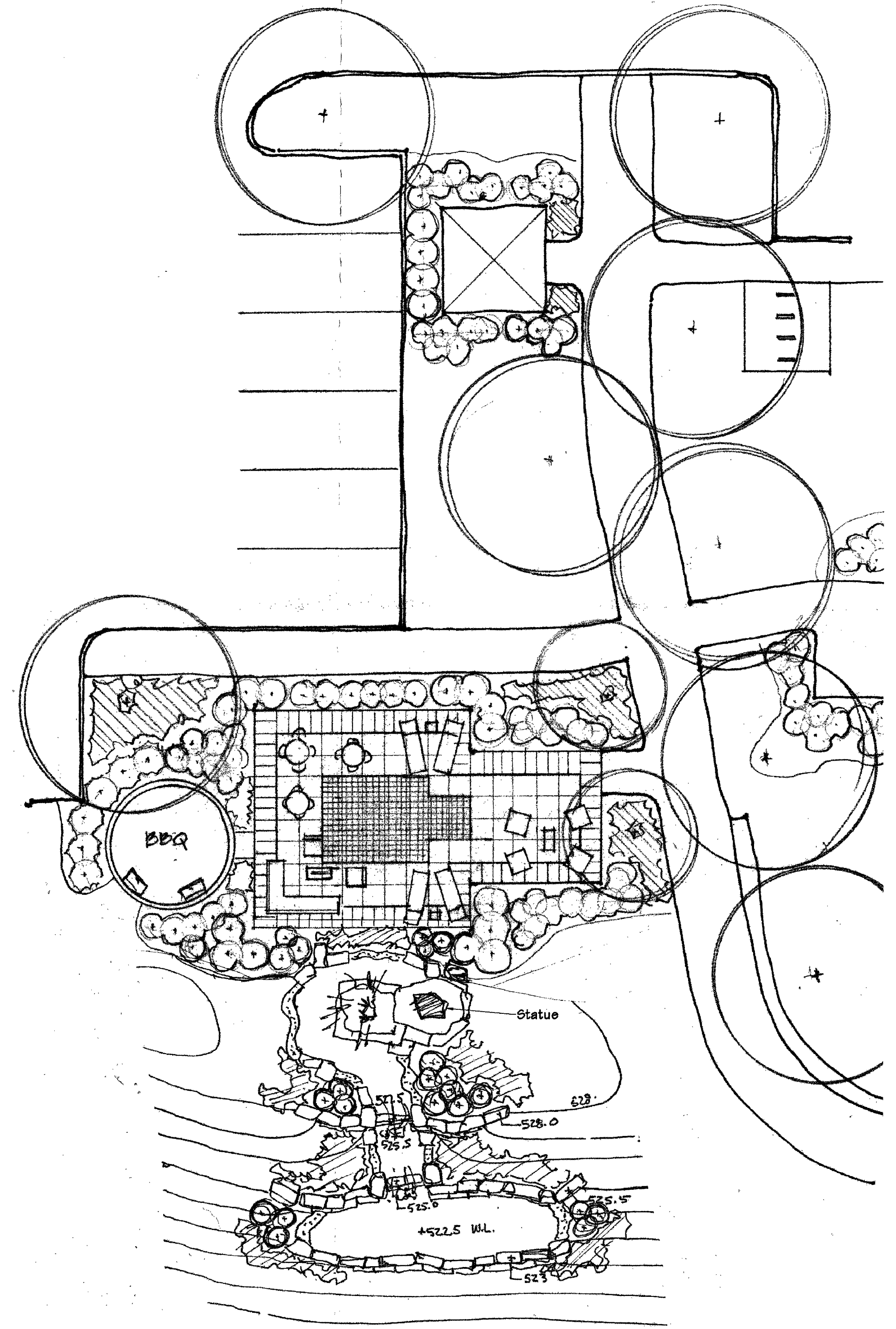
9 Section Through Water Feature
SCALE 1"=10'-0"

TREE MITIGATION SUMMARY:
Required Preservation 30% of Net Tree Canopy = 128,830.8 sq. ft.
Mitigation required for 128,860 - 116,626 = 12,204 sq ft
Mitigation provided: 15 large trees X 400 sf = 6,000 sq ft
13 Medium trees X 300 sf = 3,900 sq ft
12 small trees X 200 sf = 2,400 sq ft
12,300 sq ft

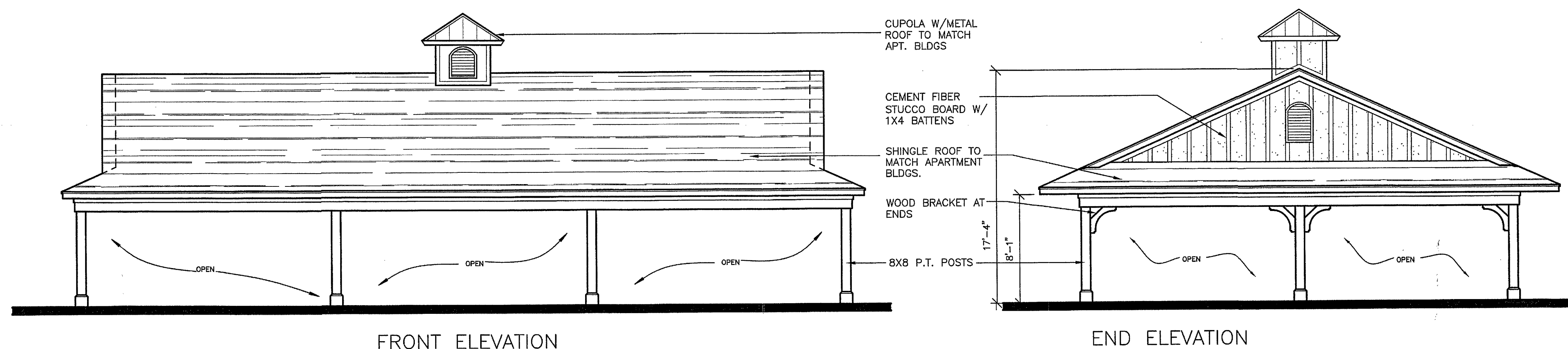
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT	Notes	CATEGORY	PERCENTAGE
A	3	<i>Picea pungens</i>	Colorado Spruce	6-10'	30-40'	Medium Growing	Med/Evergreen	7.5
B	3	<i>Pinus strobus</i>	White Pine	6-10'	45'+	Fast Growing	Large/Evergreen	7.5
M	4	<i>Cornus florida</i>	Flowering Dogwood	2 1/2"	20'+	Slow Growing	Small/Ornamental	10
P	5	<i>Quercus alba</i>	White Oak	2 1/2"	45'+	Medium Growing	Large/Deciduous	12.5
Q	4	<i>Quercus rubra</i>	Red Oak	2 1/2"	45'+	Medium Growing	Large/Deciduous	10
R	3	<i>Acer saccharum</i>	Sugar Maple	2 1/2"	45'+	Slow Growing	Large/Deciduous	7.5
S	5	<i>Amelanchier arborea</i>	Serviceberry	6-10'	45'+	Medium Growing	Med/Deciduous	12.5
T	5	<i>Cercis canadensis</i>	Redbud	2 1/2"	25'+	Fast Growing	Med/Ornamental	12.5
U	4	<i>Crataegus phaenopyrum</i>	Washington Hawthorn	2 1/2"	25'+	Medium Growing	Small/Ornamental	10
V	4	<i>Carpinus caroliniana</i>	American Hornbeam	2 1/2"	20'+	Medium Growing	Small/Ornamental	10



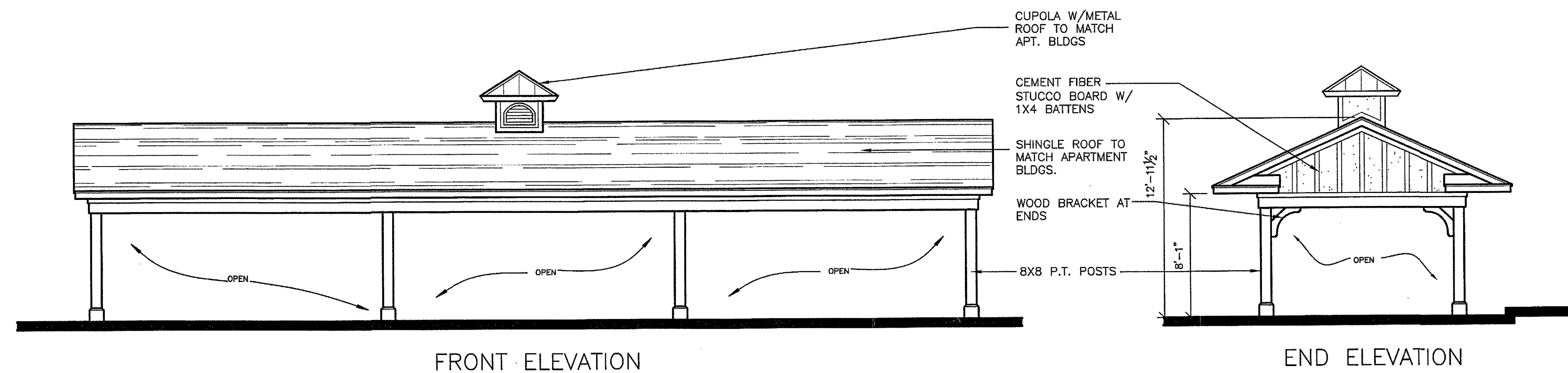
Mitigation Plantings
SCALE 1"=40'-0"



Pocket Park/Water Feature
SCALE 1"=10'-0"



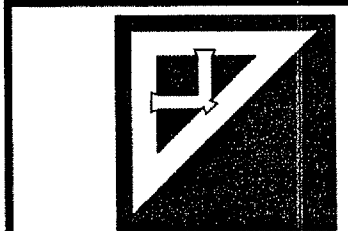
2 TYPICAL DOUBLE BAY CARPORT ELEVATION
3/16"=1'-0"



1 TYPICAL SINGLE BAY CARPORT ELEVATION
3/16"=1'-0"

RECEIVED
JAN - 4 2019
City of Chesterfield
Department of Public Services

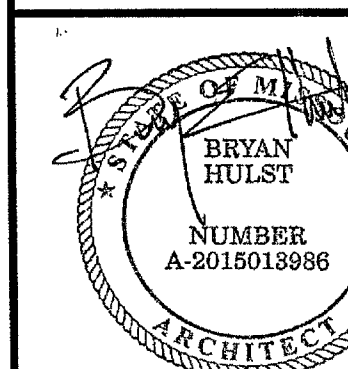
Aventura at Wild Horse Creek
Chesterfield, Missouri



Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2485

Aventura at Wild Horse Creek, LLC
10411 CLAYTON RD., STE. 308
ST. LOUIS, MO 63131
PH 314-363-9693

BRYAN HULST - ARCHITECT OF RECORD
MISSOURI LICENSE A-2015015896



JOB NUMBER: 218011
DRAWN BY: SL,HA
DATE: 4/5/18

CARPORT ELEVATION

SHEET NUMBER SD4 OF 4

12-21-18

TREE PROTECTION NOTES:

- 1) Preserved woodland canopy is delineated with shading.
- 2) Pre-construction meeting to be held on-site to include a presentation of tree protection measures to operators; construction supervisors; developer's representative; and city zoning inspector.
- 3) Clearing Limits to be rough staked in order to facilitate location for installation of protection fencing. No early maintenance schedule is required. Where noted on plan, contractor to trench and root prune prior to any grading activity. Required siltation devices to be installed along limit of disturbance line.
- 4) No clearing or grading shall begin in areas where the treatment and preservation measures have not been completed including the installation of tree protection fencing along all "Limit of Disturbance" lines shown on the plan.
- 5) Tree Protection Fencing shall be 4-foot high temporary plastic construction fence. No equipment traffic/parking, concrete washout, material storage or other such construction activity shall be permitted to penetrate the protection fencing or disrupt the Protected Woodland Area except for the removal of dead or invasive plant material. Any proposed plantings shall be subject to the review and approval of the City Arborist. All ground plane shall be mulched with hardwood bark mulch. Tree Protection Signage will be placed along the Protection Fencing as shown as the dashed line on the plan.
- 6) Tree protection measures to be maintained throughout construction sequence.

TREE PROTECTION ACTION KEY SEQUENCE:

- 1) Survey limit of disturbance.
- 2) Install tree protection fencing.
- 3) Post tree protection signage on fence (No signs will be posted on trees).
- 4) Maintain tree protection area as an off-limits zone.

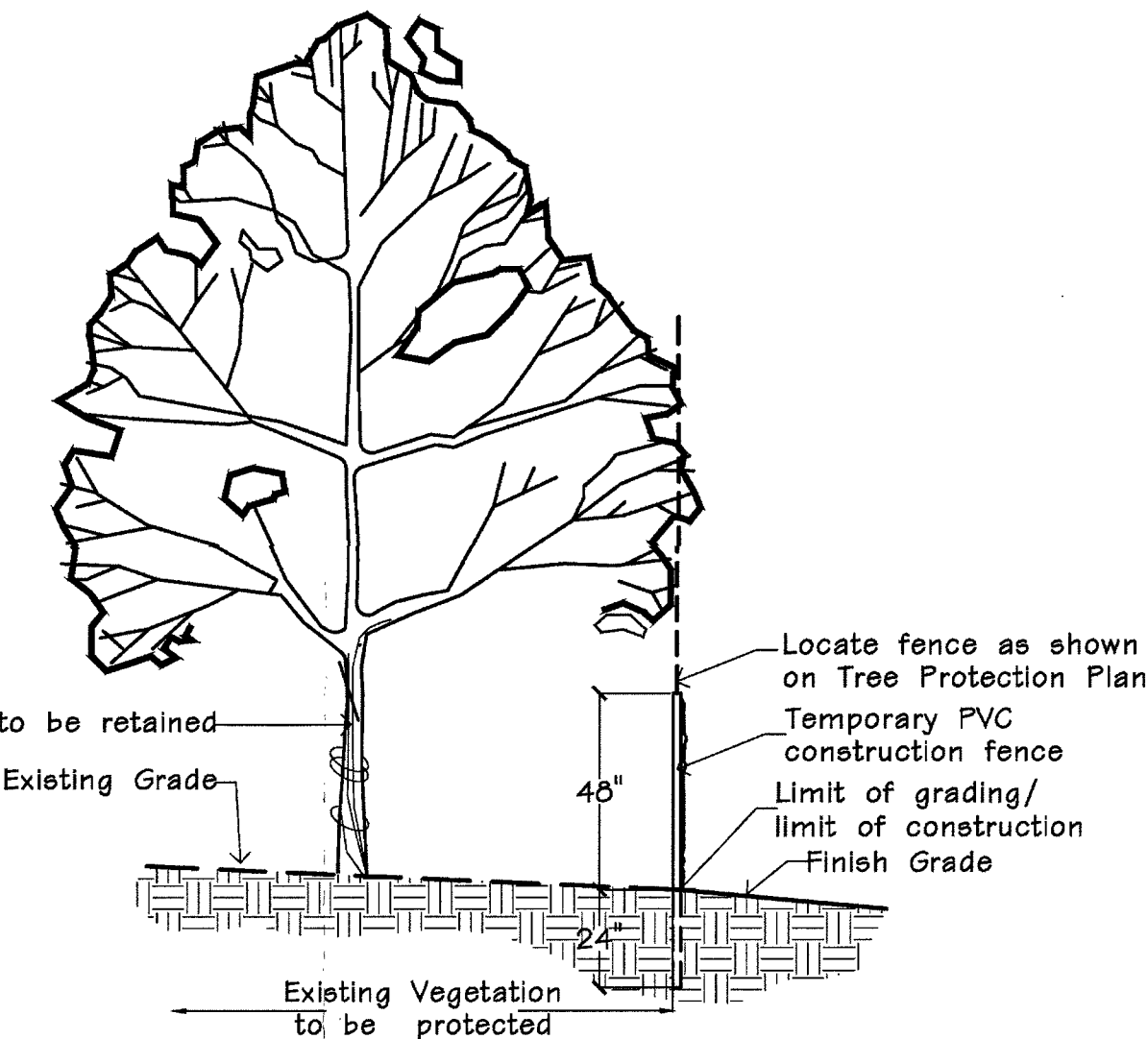
TREE PRESERVATION SUMMARY:
 Total Site Area = 548,671 sq. ft. or 12.59 Ac.
 Existing Tree Canopy Coverage = 465,016 sq. ft. or 10.7 Ac.
 Existing Tree Canopy in Easements = 35,580.0 sq. ft.
 (Excludes Easements to be Vacated)
 Net Existing Tree Canopy = 429,436.0 sq. ft.

Total Canopy proposed for removal = 327,544.0 sq. ft. (70.4%)
 Total Canopy proposed for preservation = 137,472.0 sq. ft. (29.6%)
 Total Canopy preserved in Easements = 20,846.0 sq. ft.
 Net Canopy preserved = 116,626.0 sq. ft. (27.2% of Net Existing Canopy)

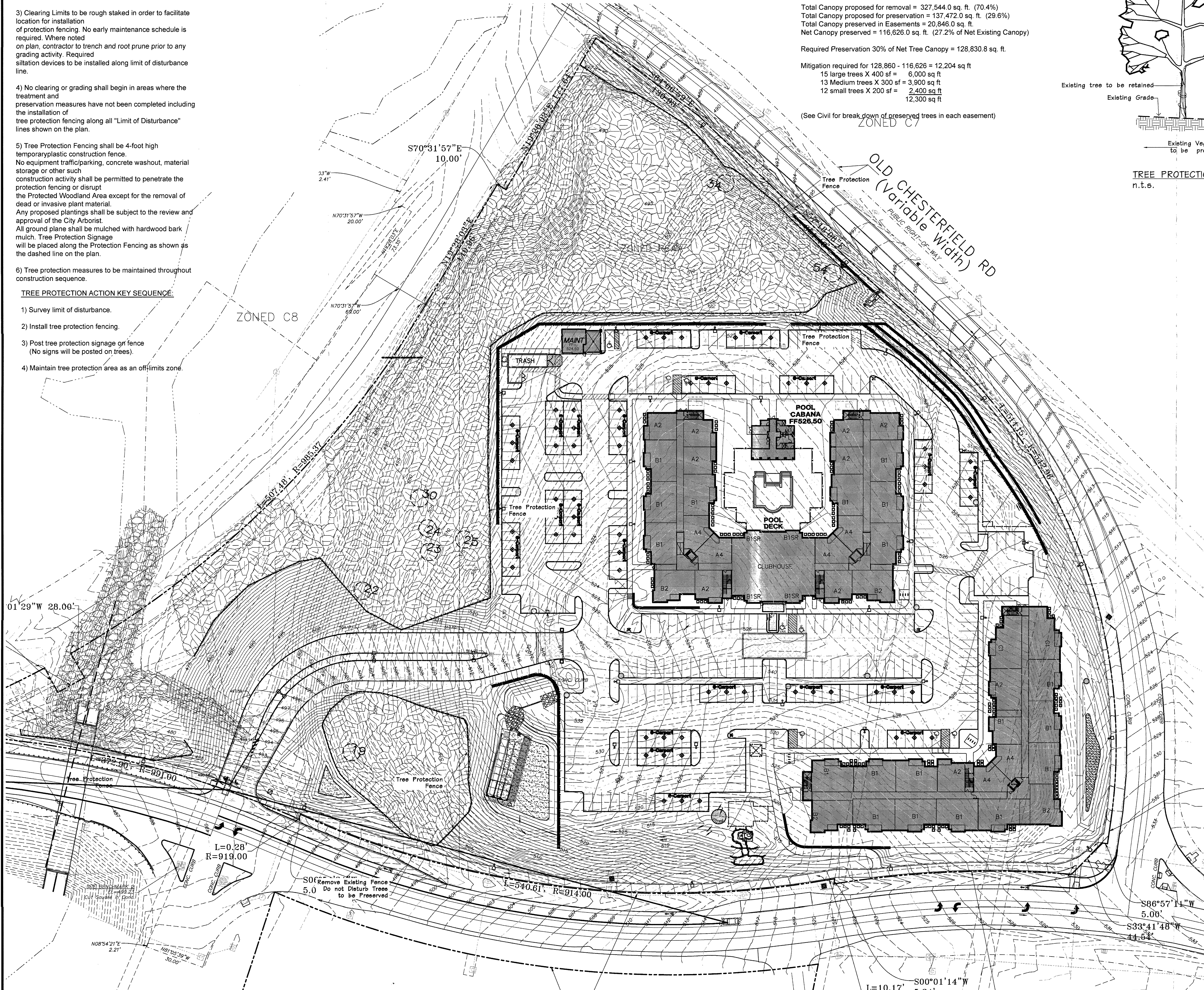
Required Preservation 30% of Net Tree Canopy = 128,830.8 sq. ft.

Mitigation required for 128,860 - 116,626 = 12,204 sq ft
 15 large trees X 400 sf = 6,000 sq ft
 13 Medium trees X 300 sf = 3,900 sq ft
 12 small trees X 200 sf = 2,400 sq ft
 12,300 sq ft

(See Civil for break down of preserved trees in each easement)

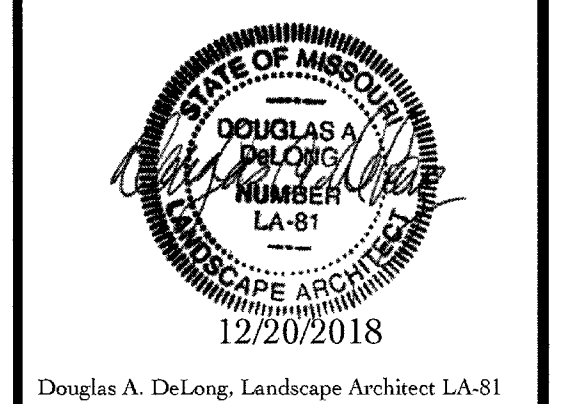


TREE PROTECTION DETAIL
n.t.s.



TREE NUMBER	SPECIES_01	DBH_EXACT	CROWN_CLAS	CONDITION	T.B.R.
1	oak northern red	25	31-40	Fair (60-69)	T.B.R.
2	sycamore-American	28	31-40	Good (70-79)	T.B.R.
3	oak northern red	20	31-40	Fair (60-69)	T.B.R.
4	sycamore-American	20	31-40	Fair (60-69)	T.B.R.
5	hackberry	20	31-40	Fair (60-69)	T.B.R.
6	pine eastern white	20	41-50	Fair (60-69)	T.B.R.
7	maple silver	26	31-40	Fair (60-69)	T.B.R.
8	sycamore-American	42	51-60	Good (70-79)	T.B.R.
9	maple silver	32	41-50	Fair (60-69)	T.B.R.
10	maple silver	20	31-40	Fair (60-69)	T.B.R.
11	hackberry	20	31-40	Fair (60-69)	T.B.R.
12	ash-green	20	31-40	Fair (60-69)	T.B.R.
13	maple silver	24	31-40	Fair (60-69)	T.B.R.
14	hackberry	24	31-40	Fair (60-69)	T.B.R.
15	weinat-black	20	41-50	Fair (60-69)	T.B.R.
16	Basswood spp	22	31-40	Fair (60-69)	T.B.R.
17	oak northern red	20	31-40	Good (70-79)	T.B.R.
18	hackberry	24	31-40	Fair (60-69)	T.B.R.
19	maple silver	20	31-40	Fair (60-69)	T.B.R.
20	oak shingle	24	41-50	Good (70-79)	T.B.R.
21	oak northern red	22	41-50	Good (70-79)	T.B.R.
22	oak chinkapin	24	41-50	Fair (60-69)	T.B.R.
23	oak white	22	31-40	Good (70-79)	T.B.R.
24	oak shingle	26	41-50	Good (70-79)	T.B.R.
25	maple sugar	26	41-50	Good (70-79)	T.B.R.
26	oak black	28	41-50	Fair (60-69)	T.B.R.
27	oak black	20	31-40	Fair (60-69)	T.B.R.
28	oak black	24	31-40	Fair (60-69)	T.B.R.
29	oak black	24	31-40	Fair (60-69)	T.B.R.
30	oak shingle	20	31-40	Fair (60-69)	T.B.R.
31	ash-green	20	31-40	Fair (60-69)	T.B.R.
32	cherry black	22	31-40	Fair (60-69)	T.B.R.
33	Basswood spp	24	41-50	Fair (60-69)	T.B.R.
34	hackberry	24	41-50	Fair (60-69)	T.B.R.
35	sycamore-American	24	41-50	Fair (60-69)	T.B.R.
36	sycamore-American	28	41-50	Fair (60-69)	T.B.R.
37	sycamore-American	24	41-50	Fair (60-69)	T.B.R.
38	maple sugar	24	41-50	Good (70-79)	T.B.R.
39	maple sugar	20	31-40	Good (70-79)	T.B.R.
40	maple silver	24	41-50	Good (70-79)	T.B.R.
41	maple sugar	38	41-50	Fair (60-69)	T.B.R.
42	oak black	38	51-60	Fair (60-69)	T.B.R.
43	oak black	20	31-40	Fair (60-69)	T.B.R.
44	ash-green	20	31-40	Fair (60-69)	T.B.R.
45	maple silver	24	41-50	Fair (60-69)	T.B.R.
46	maple sugar	40	41-50	Fair (60-69)	T.B.R.
47	maple sugar	24	41-50	Fair (60-69)	T.B.R.
48	cherry black	20	31-40	Fair (60-69)	T.B.R.
49	oak black	30	41-50	Good (70-79)	T.B.R.
50	oak black	22	31-40	Fair (60-69)	T.B.R.
51	maple sugar	20	31-40	Fair (60-69)	T.B.R.
52	maple sugar	22	31-40	Fair (60-69)	T.B.R.
53	sycamore-American	26	41-50	Dead (0)	T.B.R.
54	maple silver	28	41-50	Fair (60-69)	T.B.R.
55	cherry black	30	41-50	Fair (60-69)	T.B.R.
56	oak white	28	41-50	Fair (60-69)	T.B.R.
57	oak black	24	41-50	Fair (60-69)	T.B.R.

NOTE: These larger trees were located and identified. However, it was determined that none of these met two or more of the criteria to be classified as Monarch trees.



Consultants:
HANSEN'S
 O'Fallon, MO Branson, MO
 Phone: 636-378-1230
 www.hansensite.com

**Aventura At Wild Horse Creek
 Chesterfield, Missouri**
 Above All Development

Revisions:

Date	Description	No.
07/17/18	City Comments	1
07/19/18	City Comments	4
10/21/18	City Comments	5
10/24/18	Site Plan	6
11/27/18	City Comments	7
12/20/18	City Comments	8

Drawn: **BAD**
 Checked: **DAD**

DeLong Architecture, LLC
 7620 West Bruno Ave
 St. Louis, MO 63117
 (314) 346-4856
 delong.a@gmail.com
 Missouri State Certificate of Authority: #003000165

Sheet Title:	Tree Preservation Plan
Sheet No.:	TPP
Date:	6/11/2018
Job #:	127.006

Tree Preservation Plan
 SCALE 1"=40'-0"

Tree Protection Plan Prepared under direction of Skip Kincaid of Hansen's Tree Service Certified Arborist MW-0155BW

 Base Map Provided by: Grimes Consulting

N/F
UNION ELECTRIC COMPANY
BOOK: 9515, PAGE: 312
18618 OLD CHESTERFIELD RD
Parcel #171310467

N/F
ST LOUIS COUNTY CATHOLIC
CHURCH REAL ESTATE
BOOK: 17765, PAGE: 4123
16579 WILD HORSE CREEK RD
Parcel #187630162

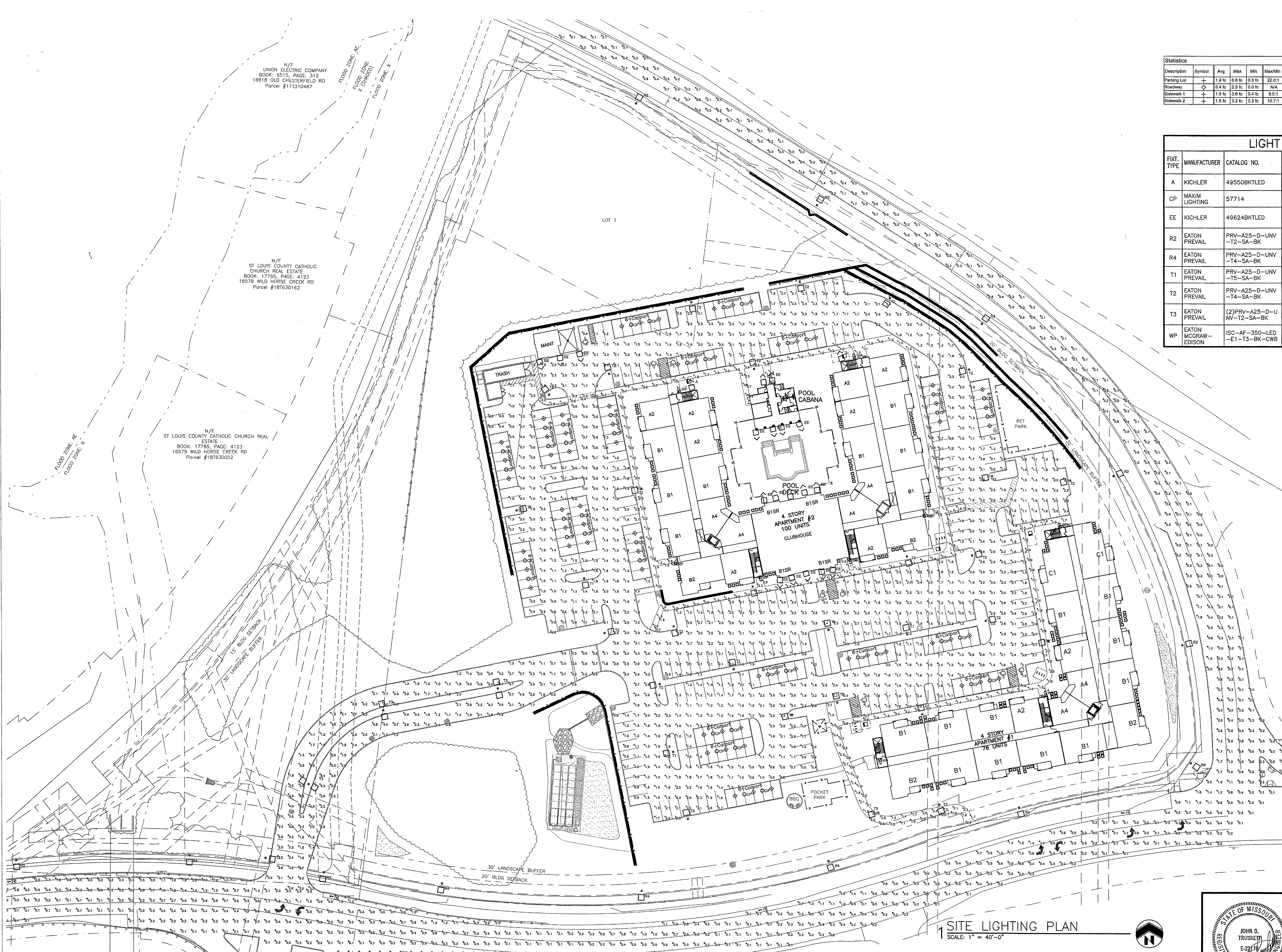
N/F
ST LOUIS COUNTY CATHOLIC CHURCH REAL
ESTATE
BOOK: 17765, PAGE: 4123
16575 WILD HORSE CREEK RD
Parcel #187630052

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	1.9 fc	6.6 fc	0.3 fc	22.0:1	6.3:1
Roadway	◇	0.4 fc	2.5 fc	0.0 fc	N/A	N/A
Sidewalk 1	+	1.5 fc	3.6 fc	0.4 fc	3.0:1	3.8:1
Sidewalk 2	+	1.5 fc	3.2 fc	0.3 fc	10.7:1	5.0:1

LIGHT FIXTURE SCHEDULE										
FIXT. TYPE	MANUFACTURER	CATALOG NO.	QTY	VOLTS	WATTS	#	LAMP(S)	FINISH	MOUNT	REMARKS
A	KICHLER	49550BKTL	2	120	8	-	LED, 3000°K	TEXTURED BLACK	WALL, +12'-0"	ADDRESS
CP	MAXIM LIGHTING	57714	42	120	20	-	LED, 3000°K	WHITE	CARPORIT CEILING	CARPORIT
EE	KICHLER	49624BKTL	19	120	17	-	LED, 3000°K	TEXTURED BLACK	WALL, +10'-0"	
R2	EATON PREVAIL	PRV-A25-D-UNV-T2-SA-BK	7	120	87	-	LED, 4000°K	BLACK	20' POLE	TYPE 2 DISTRIBUTION
R4	EATON PREVAIL	PRV-A25-D-UNV-T4-SA-BK	6	120	87	-	LED, 4000°K	BLACK	20' POLE	TYPE 4 DISTRIBUTION
T1	EATON PREVAIL	PRV-A25-D-UNV-T5-SA-BK	4	120	87	-	LED, 4000°K	BLACK	20' POLE	TYPE 5 DISTRIBUTION
T2	EATON PREVAIL	PRV-A25-D-UNV-T4-SA-BK	27	120	87	-	LED, 4000°K	BLACK	20' POLE	TYPE 4 DISTRIBUTION
T3	EATON PREVAIL	(2)PRV-A25-D-UNV-T2-SA-BK	3	120	180	-	LED, 4000°K	BLACK	20' POLE	TYPE 2 DISTRIBUTION
WP	EATON MCGRAW-EDISON	ISC-AF-350-LED-E1-T3-BK-CWB	9	120	20	-	LED, 4000°K	BLACK	WALL, +20'-0"	WALLPACK, BATTERY PACK

GENERAL NOTES

- 1 ALL ELECTRIC LIGHTING SHALL BE CONTROLLED AUTOMATICALLY BY PHOTOELECTRIC CELLS. STREET AND RESIDENTIAL LIGHTING SHALL BE ON FROM DUSK TO DAWN.
- 2 THE SOURCE OF ILLUMINATION SHALL NOT BE LOWER THAN TEN (10) FEET ABOVE GRADE.
- 3 MOUNTING HEIGHTS OF LIGHTING FIXTURES SHALL NOT EXCEED TWENTY (20) FEET.



1 SITE LIGHTING PLAN
SCALE: 1" = 40'-0"

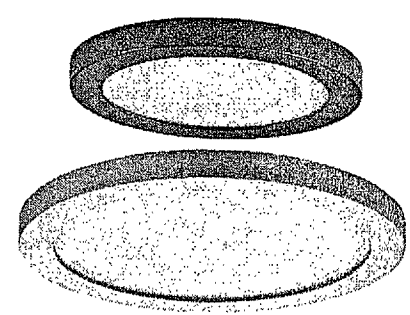
Aventura at Wild Horse Creek
Chesterfield, Missouri

	Aventura at Wild Horse Creek, LLC 10411 CLAYTON RD., STE. 308 ST. LOUIS, MO 63131 PH 314-363-9993
	Parker Associates Tulsa, LLC 2202 E. 49th Street, Suite 200 Tulsa, Oklahoma 74105 918-742-2485

BRYAN HULST - ARCHITECT OF RECORD MISSOURI LICENSE A-2015013986	JOHN D. TRUSKEWICZ REGISTERED PROFESSIONAL ENGINEER STATE OF MISSOURI E-22176 01/03/2019
	EDA/JA LLC 2202 East 49th, Suite #100 Tulsa, Oklahoma 74105 Phone (918) 742-4444 Fax (918) 742-4444 Consulting Engineering Mechanical • Electrical • Energy
JOB NUMBER: 218011 DRAWN BY: JT/AC/RL/DM/OB/SN DATE: 01/03/2019	SHEET NUMBER SL1 OF 3

WAFFER LED | SURFACE MOUNT
57710 / 57712 / 57714

- Die Cast Aluminum
- Size options between 5", 7" and 10"
- Ultra Thin 0.5" H
- Approved for use in closets and storage spaces
- Available in White (W), Bronze (B), and Satin Nickel (SN)
- Thick Dimmable with Electronic Low Voltage Dimmers
- Easy to install: fits in 3.25" and 4" Outlet Box
- Edge-LED Technology
- Suitable for Wet Location
- ETL/cETL IP65



TYPE CP

Job Name: _____
Job Type: _____
Quantity: _____
Comments: _____

PRODUCT DESCRIPTION

Wafer was designed for the discriminating consumer who wants the low profile look of recessed without the high cost. Manufactured of die cast aluminum, Wafer brings ultimate heat dissipation to its edge LED technology. Edge lighting gives very even light distribution while dispersing heat over a larger area. The result of this is longer LED life and better light diffusion.

FINISHES OPTIONS:

- White (W)
- Bronze (B)
- Satin Nickel (SN)

MEASUREMENTS

MODEL	DIMENSION	HANGING WEIGHT
57710	5"D x 0.5"H	0.88 lb
57712	7"D x 0.5"H	1.21 lb
57714	10"D x 0.5"H	1.75 lb

LAMPING

MODEL	BULB TYPE	LUMENS	COL	TEMP.	DIMMABLE	INPUT
57710	10W PCB LED [Integrated]	90*	700	400	3000K	ELV 120V
57712	15W PCB LED [Integrated]	90*	1050	900	3000K	ELV 120V
57714	20W PCB LED [Integrated]	90*	1400	1200	3000K	ELV 120V

MATERIAL:

Die Cast Aluminum
PMMA Acrylic Diffuser

AVAILABLE SIZES:

5" | 7" | 10"

RATINGS:

ETL/cETL IP65
Wet Location
Energy Star
CA Title 24
ADA

ADDITIONAL:

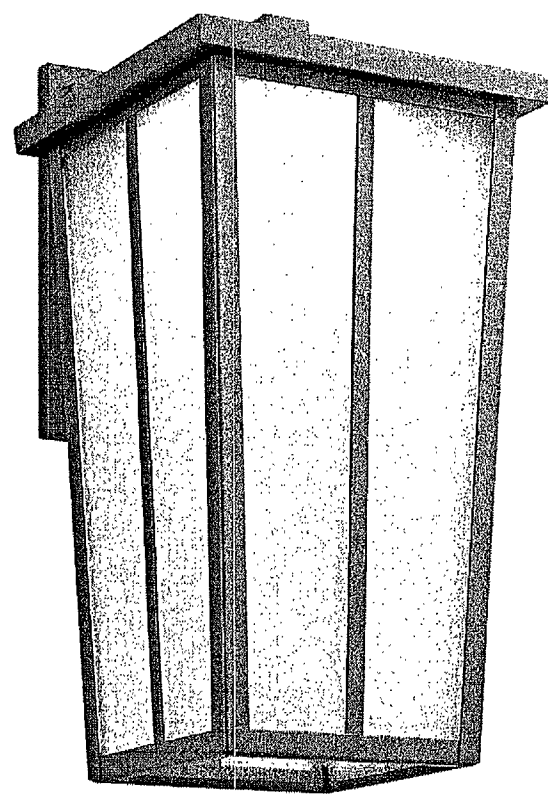
RAISED LIFE: 50,000 Hours
OPERATING TEMP: 20°C (-4°), 40°C (104°F)
PHOTOMETRIC: Report Found Online

Always consult a qualified electrician before installing any lighting product



WESTERN DISTRIBUTION CENTER (HEADQUARTER)
253 NORTH VINELAND AVE. CITY OF INDUSTRY, CA 91744
EASTERN DISTRIBUTION CENTER
1420 SHIRLEY DR. LITTLE ROCK, SC 29393
F: 426.956.4200 | F: 426.956.4225 | info@maximlighting.com

Amber Valley Collection
Amber Valley Large LED Wall Lantern BKT
49624BKTLED (Textured Black)



Dimensions

Height	17.25"
Width	8.75"

Project Name: _____
Location: _____
Type: _____
City: _____
Comments: _____

Ordering Information
Product ID: 49624BKTLED
Finish: Textured Black
Collection: Amber Valley Collection

Dimensions
Extension: 10.00"
Height from center of Wall opening: 3.75"
Base Backplate: 6.25 X 9.00
Weight: 7.14 LBS

Photometrics
Kelvin Temperature: 3000 K
Color Rendering Index: 90

Specifications
Material: Aluminum
Diffuser Description: Etched Seeded

Electrical
Dimmable: Yes
This LED is compatible with most standard incandescent dimmers, LED dimmers, and electronic low voltage dimmers. For more information, go to kichler.com/dimming.

Dimmable Notes
Voltage: 120 V
Input Voltage: Single(120)

Qualifications
Safety Rated: Wet
Title 24: Yes
Expected Life Span: 40,000 Hours
Warranty: www.kichler.com/warranty

Primary Lamping
Light Source: LED
Lamp Included: Integrated
of Bulbs/LED Modules: 1
Delivered Lumens: 875
Initial Lumens: 1400
Delivered Efficacy: 51

Kichler
7711 East Pleasant Valley Road
Cleveland, Ohio 44131-2010
Toll Free: 800.588.5700 or kichler.com

Notes:
1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.
2) Incandescent Equivalent: The incandescent equivalent is expressed in an approximate number and is for reference only.



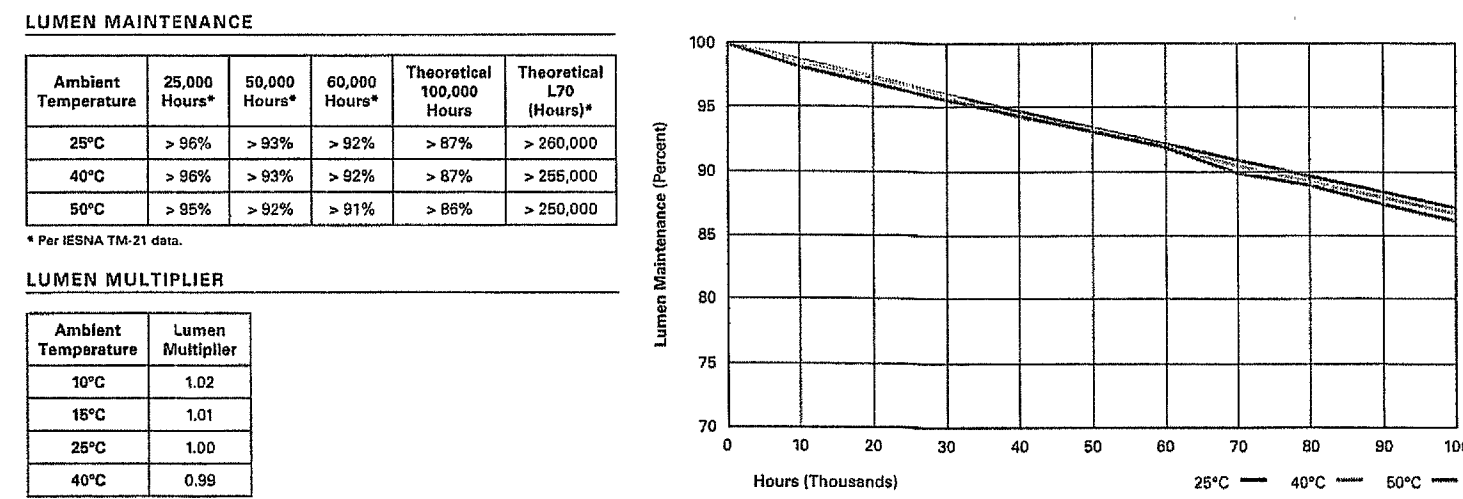
Amber Valley Collection
Amber Valley Large LED Wall Lantern BKT
49624BKTLED (Textured Black)

Project Name: _____
Location: _____
Type: _____
City: _____
Comments: _____

Max or Nominal Watt: 17W
Dimming: Yes

Kichler
7711 East Pleasant Valley Road
Cleveland, Ohio 44131-2010
Toll Free: 800.588.5700 or kichler.com

Notes:
1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.
2) Incandescent Equivalent: The incandescent equivalent is expressed in an approximate number and is for reference only.



ORDERING INFORMATION

Product Family	Light Engine*	Driver*	Voltage	Distribution	Mounting	Accessories (Order Separately) #	Color*
PRVw/Preval	A16+1 LED 6,100 Nominal Lumens A26+2 LED 10,200 Nominal Lumens A46+2 LED 16,300 Nominal Lumens A66+2 LED 18,800 Nominal Lumens	Dimming (0-10V) 120-277V 24-480V	120-277V 24-480V	T3-Type III T4-Type IV T5-Type V	Standard Wall Mounting Arm MA-Mast Arm WB-Wall Mount Arm	AP-Dry BZ-Bronze (Standard) BL-Black DP-Dark Platinum GM-Gloss Metallic WH-White	AP-Dry BZ-Bronze (Standard) BL-Black DP-Dark Platinum GM-Gloss Metallic WH-White

Options (Add as Suffix):
 7330-70 CRI / 3000K CCT*
 7350-70 CRI / 3000K CCT*
 10K-10V/10A UL 1449 Fused Surge Protective Device
 LWR-Luminaire Wireless Remote, Wide Area for 8" - 16" Mounting Height
 LWR-Luminaire Wireless Remote, Narrow Area for 18" - 40" Mounting Height
 MSP-DIM-L30-Integrated Sensor for Dimming Operation, 12" - 30" Mounting Height
 MSP-DIM-L30-Integrated Sensor for Dimming Operation, 12" - 30" Mounting Height
 MSP-DIM-L30-Integrated Sensor for CHVDF Operation, 12" - 30" Mounting Height
 PRV-NEMA 3-PIN Twistlock Photocontrol Receptacle**
 PRV-NEMA 3-PIN Twistlock Photocontrol Receptacle**
 HSS-House Side Shield
 HSA-High Ambient Temperature
 L30-Optic Rotated 90° Right
 L30-Optic Rotated 90° Left

POWER AND LUMENS

Light Engine	A16	A26	A46	A66
Nominal Power (Watts)	57W	67W	143W	163W
Input Current @ 120V (A)	0.49	0.78	1.23	1.34
Input Current @ 277V (A)	0.22	0.35	0.54	0.60
Input Current @ 347V (A)	0.18	0.28	0.45	0.49
Input Current @ 480V (A)	0.13	0.21	0.33	0.35
Lumens	6,100	10,200	16,300	18,800

STOCK ORDERING INFORMATION

Product Family	Light Engine	Voltage	Distribution	Options (Add as Suffix)
PRVw/Preval	A16+1 LED 6,100 Nominal Lumens A26+2 LED 10,200 Nominal Lumens A46+2 LED 16,300 Nominal Lumens A66+2 LED 18,800 Nominal Lumens	120-277V 24-480V	T3-Type III T4-Type IV	MSP-DIM-L30-Integrated Sensor for Dimming Operation, 12" - 30" Mounting Height Mastarm 30" Mounting Height

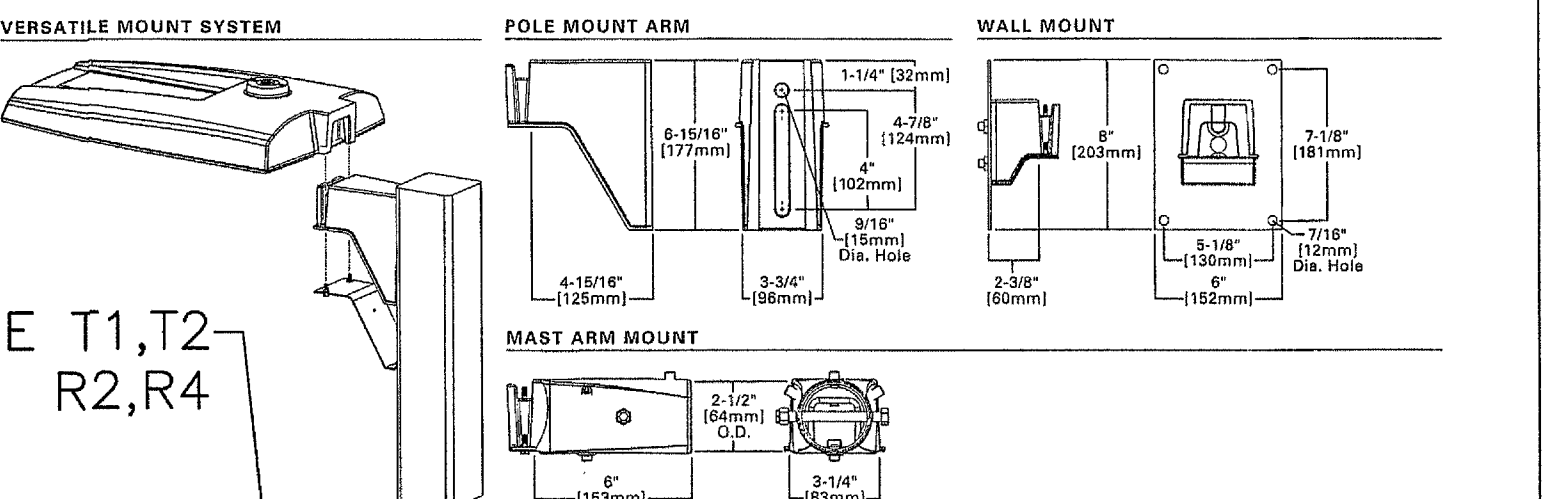
Notes:
1. Customer is responsible for engineering analysis to confirm loads and future compatibility for all applications. Refer to installation instructions 880000202 and pole/wire page 991919101EN for additional support information.
2. Design/Load Consultant: Qualified and certified for IBC Standard, refer to www.designlights.org for details.
3. Standard 400K CCT and 70 CRI.
4. Consult factory for other type or specification values.
5. Only for use with 480V Wye systems. For NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded systems).
6. Different housing color impact lumen output. IES files for the non-standard colors are available upon request.
7. Standard heat sink option. Use standard IES file for 3000K or 4000K when specifying housing. These files are published on the PRVw/Preval luminaire product page on the website.
8. Luminaire Power Factor is 0.99. For more information on power factor, refer to the website.
9. Luminaire Power Factor is 0.99. For more information on power factor, refer to the website.
10. Not available in combination with Mastarm package at 18" High Ambient.
11. Not available with MSP or CHVDF options.
12. Replace AX with pair code.



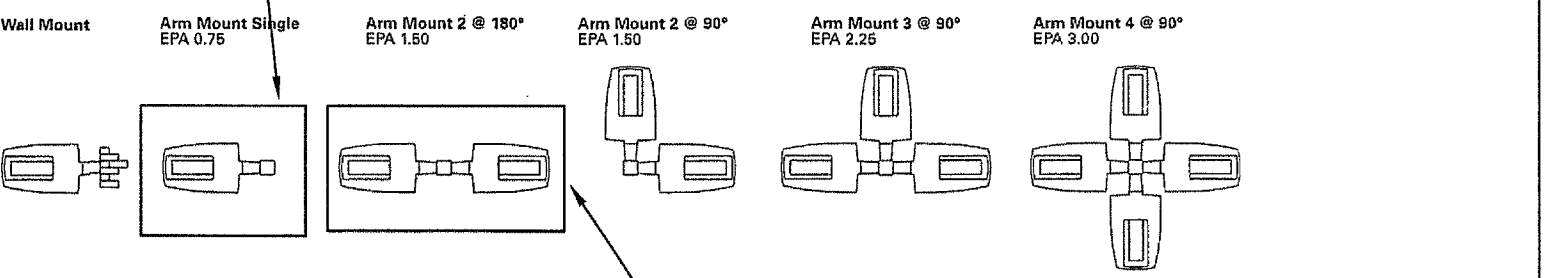
111 Highway 76 South
Peachtree City, GA 30092
Tel: 770.486.6200
www.faton.com/lighting

Specifications and dimensions subject to change without notice.

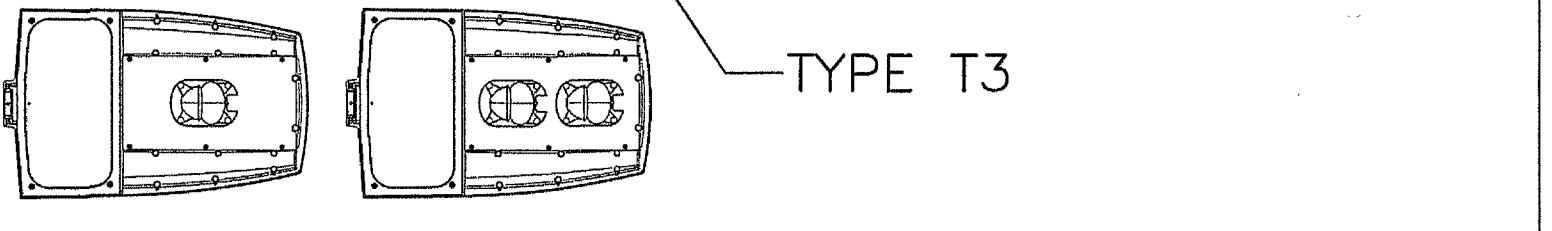
TDS0001EN
May 18, 2018 11:58 AM



MOUNTING CONFIGURATIONS AND EPAS



OPTICAL CONFIGURATIONS



POWER AND LUMENS

Light Engine	A16	A26	A46	A66
Nominal Power (Watts)	57W	67W	143W	163W
Input Current @ 120V (A)	0.49	0.78	1.23	1.34
Input Current @ 277V (A)	0.22	0.35	0.54	0.60
Input Current @ 347V (A)	0.18	0.28	0.45	0.49
Input Current @ 480V (A)	0.13	0.21	0.33	0.35
Lumens	6,100	10,200	16,300	18,800

STOCK ORDERING INFORMATION

Product Family	Light Engine	Voltage	Distribution	Options (Add as Suffix)
PRVw/Preval	A16+1 LED 6,100 Nominal Lumens A26+2 LED 10,200 Nominal Lumens A46+2 LED 16,300 Nominal Lumens A66+2 LED 18,800 Nominal Lumens	120-277V 24-480V	T3-Type III T4-Type IV	MSP-DIM-L30-Integrated Sensor for Dimming Operation, 12" - 30" Mounting Height Mastarm 30" Mounting Height

Notes:
1. Customer is responsible for engineering analysis to confirm loads and future compatibility for all applications. Refer to installation instructions 880000202 and pole/wire page 991919101EN for additional support information.
2. Design/Load Consultant: Qualified and certified for IBC Standard, refer to www.designlights.org for details.
3. Standard 400K CCT and 70 CRI.
4. Consult factory for other type or specification values.
5. Only for use with 480V Wye systems. For NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded systems).
6. Different housing color impact lumen output. IES files for the non-standard colors are available upon request.
7. Standard heat sink option. Use standard IES file for 3000K or 4000K when specifying housing. These files are published on the PRVw/Preval luminaire product page on the website.
8. Luminaire Power Factor is 0.99. For more information on power factor, refer to the website.
9. Luminaire Power Factor is 0.99. For more information on power factor, refer to the website.
10. Not available in combination with Mastarm package at 18" High Ambient.
11. Not available with MSP or CHVDF options.
12. Replace AX with pair code.



111 Highway 76 South
Peachtree City, GA 30092
Tel: 770.486.6200
www.faton.com/lighting

Specifications and dimensions subject to change without notice.

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May 18, 2018 11:58 AM

TYPE T1,T2,T3,R2,R4 Lumark

DESCRIPTION
The Prevail LED area, site luminaire combines optical performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the Prevail luminaire delivers unparalleled uniformity resulting in greater pole spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installations. With energy savings greater than 82%, the Prevail fixture replaces T50-450W metal halide fixtures in general area lighting applications such as parking lots, walkways, roadways and building areas.

CONSTRUCTION FEATURES
Construction
Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. The die-cast aluminum door is hinged to provide easy access to the driver if replacement is required. A one-piece silicone gasket seals the door to the fixture housing. The optics is mounted on a versatile aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and 3G vibration rated (ANSI C136.31) to insure strength of construction and longevity in the selected application.

Optics
Precision molded, high efficiency optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. Available in Type II, III, IV and V distributions with lumen packages ranging from 6,100 to 18,800 nominal lumens. Light engine configurations consist of 1 or 2 high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life up to 152,900 hours at 25°C per IESNA TM-21. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed.

Controls
The Prevail LED luminaire control options are designed to be simple and cost-effective ASHRAE and California Title 24 compliant solutions. The ANSI C136-41 compliant NEMA 7-PIN receptacle enables wireless dimming when used with compatible photocontrol. An integrated dimming and occupancy sensor is a standalone control option available in on/off (MSP) and bi-level dimming (MSP/DIM) operation. The optional LumaWatt Pro system is best described as a peer-to-peer wireless network of luminaire-integral sensors that operate in accordance with programmable profiles. Each sensor is capable of motion and photo sensing, monitoring power consumption and wireless communication.

Mounting
Standard pole mount arm is bolted directly to the pole and the fixture slides onto the arm and locks in place with a bolt facilitating quick and easy installation. The versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting. Wall mount and mast arm mounting options are available. Mast arm adapter fits 2-3/8" O.D. stem.

Finish
Housing and cast parts finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, black, dark platinum and graphite metallic.

Warranty
Five-year warranty.

ENERGY DATA
UL and cUL Wet Location Listed
IP66-Rated
3G Vibration Rated
ISO 9001
Design-Lights Consortium* Qualified*

ENERGY DATA
Electronics LED Driver
0.9 Power Factor
~20% Total Harmonic Distortion
100-270V and 0/90V
347V/60Hz, 480V/60Hz
40°C Minimum Temperature Rating
+40°C Ambient Temperature Rating

SHIPPING DATA
Approximate Net Weight:
20 lbs. (9.0 kg)

EPA
Effective Projected Area (Sq. Ft.): 0.75

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May 18, 2018 11:58 AM

Aventura at Wild Horse Creek
Chesterfield, Missouri



Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2455

10411 CLAYTON RD., STE. 308
ST. LOUIS, MO 63131
PH 314-363-6693

BRYAN HULST - ARCHITECT OF RECORD
MISSOURI LICENSE A-2015013988

JOB NUMBER: 218011
DRAWN BY: JT/AC/RL/DM/DB/SN
DATE: 01/03/2018

SHIPPING DATA
Approximate Net Weight:
20 lbs. (9.0 kg)

EPA
Effective Projected Area (Sq. Ft.): 0.75

TDS0001EN
May 18, 2018 11:58 AM

Consulting Engineering
Mechanical • Electrical • Energy

SHEET NUMBER SL2 OF 3



Parker Associates Tulsa, LLC
2202 East 49th Street South
Suite 200
Tulsa, Oklahoma 74105

Phone 918-742-2485
Fax 918-742-2486
www.parkertulsa.com

Architect's Statement of Design

10/24/18

RECEIVED

JAN - 4 2019

City of Chesterfield
Department of Public Services

Project: Aventura at Wild Horse Creek Apartment Project

Location: Northwest Quadrant of the Wild Horse Creek Road and Old Chesterfield Road Intersection, Chesterfield, MO.

Project Overview:

The project contains two apartment buildings containing a total of 176 units. Site amenities will include the following: Clubhouse that is integral with apartment Building 2, pool, pool cabana, maintenance building with carwash, trash compactor with recycle center, and carport structures.

Site Access:

The site has one point of access off Wild Horse Creek Road. The boulevard entry drive aligns with an existing curb cut across from Burkhardt Place. The parking is generally centralized in the interior of the site and loops around Building 2 which allows for improved traffic flow. Apartment buildings and landscape berms screen the majority of the parking from the adjacent public right of ways. The parking area located at the northwest part of the site will be screened from off-site traffic by a substantial existing tree line. There is a public sidewalk along both public roads. The sidewalk at Wild Horse Creek ties to the interior sidewalks of the site. There is an accessible route that connects all buildings and amenities throughout the site.

Topography:

The existing topography is extensive with over 70' of change with the high point located near the center of the site. The proposal is to lower the grade at the center of the site creating a flattened area for the proposed structures. Even so, there will be the need for retaining walls at the perimeter of the site. The mosaic block retaining wall shown at Building 1 along Wild Horse Creek Road has a maximum height of 5'. The triple tiered mosaic block retaining wall along Old Chesterfield Road has an overall height of 21.5' height (maximum height of each tier is 7'). The standard versa-lok retaining wall at the NW corner of the site and along the bio-retention basin on the west are a maximum of 19' and 12.5' high respectively and are located along the tree preservation area and are screened from the public view. The retaining walls will be constructed of modular block and with a stone type finish that will complement the stone on the Buildings. The retaining walls will be required to be engineered with sealed drawings provided by the supplier.

Building Design:

Scale:

The proposed apartment buildings are 4-story in height with pitched roofs. The maximum height of Building 1 and 2 is 58' (tower element at building corners). The facades employ horizontal banding and material changes to break up the building height and length which help achieve a sense of human scale. Balcony elements and other building offsets occur at each unit which provides visual breaks and shadow lines along building elevations.

Design:

The buildings incorporate a number of design elements that lend a residential feel to the project. The exterior materials include stone, cementitious stucco board and cementitious horizontal siding. Elements including window shutters, cornice brackets and pitched roofs also give a residential feel. All buildings will be constructed of the same materials. Siding and stucco board areas will employ complementary color schemes including accent colors to visually break up the building scale and to provide interest.

Materials and Colors:

The exterior materials will include thin set manufactured stone, cementitious stucco board, cementitious horizontal siding and stucco which accentuate the club. Colors and sample board will be submitted by the Owner separate from this document.

Landscape Design and Screening:

A landscape design meeting the City standards is submitted separately from this document. Tree and shrubs are planned at the site perimeters as well as around each structure. Heat pump condensers located around the perimeter of the apartment buildings will be screened with shrubbery.

Lighting:

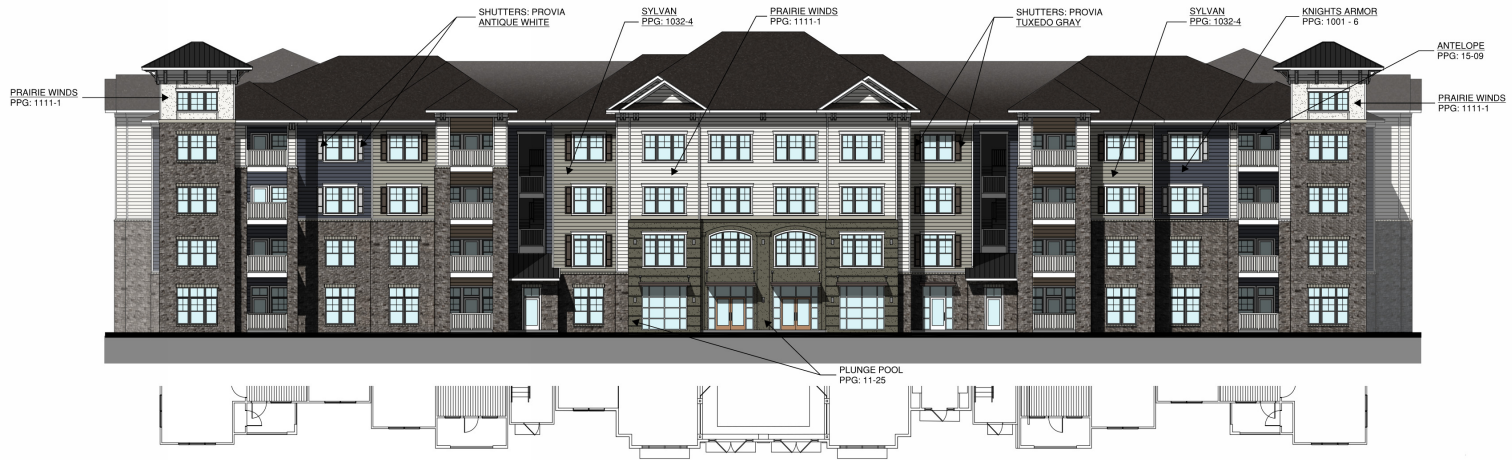
A site lighting plan is submitted separately from this document. The general parking lighting will be provided by LED fixtures that have zero up-light. The clubhouse will have 10 wall mounted decorative fixtures to accentuate the club entry. All site lighting will meet the Lighting Standards as provided for in the Unified Development Code.

Sincerely,



Bryan E. Hulst, AIA
Member





2 BUILDING TWO - SOUTH ELEVATION

3/32"= 1'-0"



1 BUILDING TWO - EAST ELEVATION

3/32"= 1'-0"



TRIM COLOR
PRAIRIE WINDS
PPG: 1111-1

ROOF COLOR
SHINGLE
MNFR: CERTAINTEED

METAL STANDING SEAM
MNFR: OTHERS
COLOR: TBD

STONE
MNFR: STONECRAFT



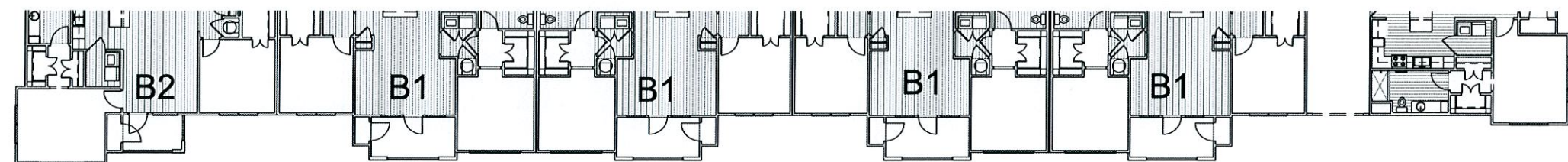
Parker Associates Tulsa, LLC

rosemann & ASSOCIATES P.C.

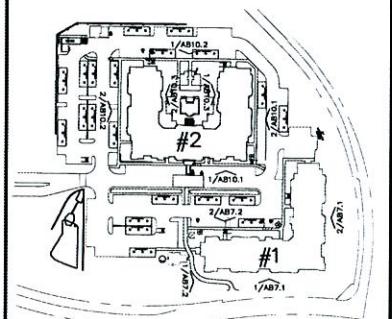
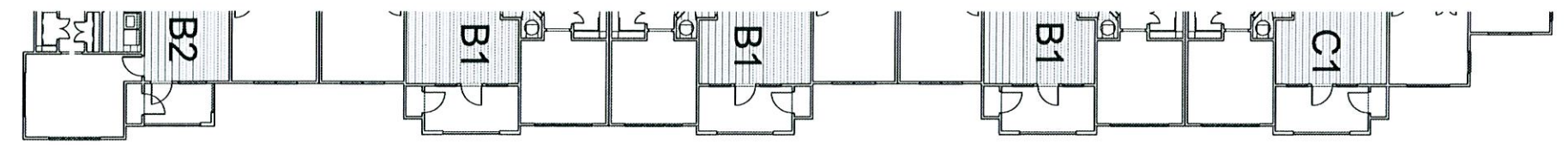
KEYNOTES



1 BUILDING ONE - SOUTH ELEVATION
3/32" = 1'-0"
STREET-SIDE ELEVATION



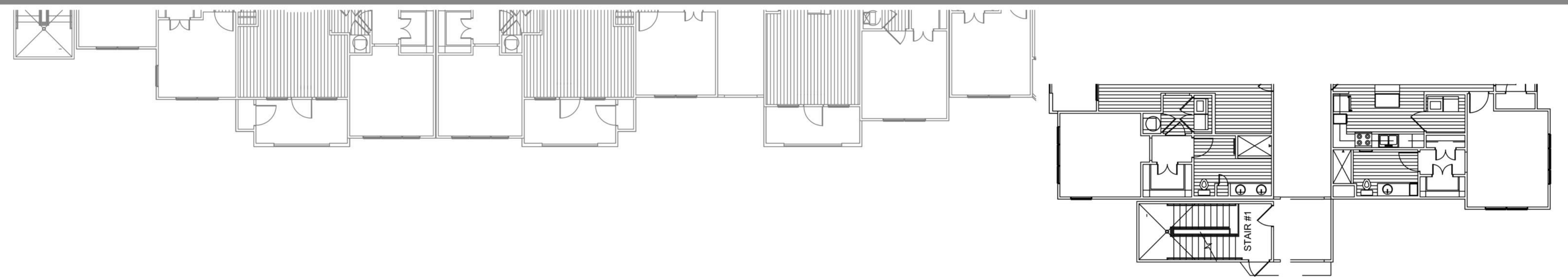
2 BUILDING ONE - EAST ELEVATION
3/32" = 1'-0"
STREET-SIDE ELEVATION



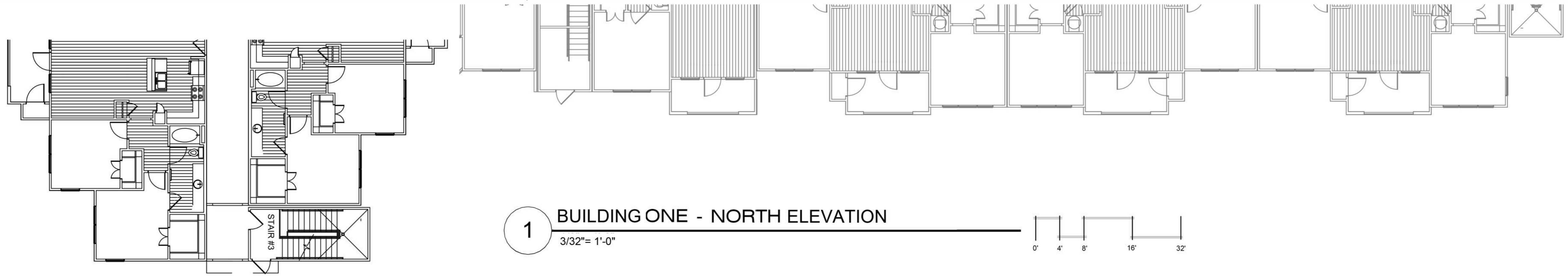
ELEVATION KEY PLAN

Aventura at Wild Horse Creek
Chesterfield, Missouri

 <p>Parker Associates Tulsa, LLC 2202 E. 49th Street, Suite 200 Tulsa, Oklahoma 74105 918-742-2455</p> <p>BRYAN HULST - ARCHITECT OF RECORD MISSOURI LICENSE A-2015013858</p>	<p>Aventura at Wild Horse Creek, LLC 10411 CLAYTON RD., STE. 308 ST. LOUIS, MO 63131 PH 314-363-9693</p>
	<p>JOB NUMBER: 218011 DRAWN BY: SL,HA DATE: 4/5/18</p>
<p>BUILDING ONE ELEVATIONS</p>	
<p>SHEET NUMBER AB7.1 OF 11</p>	



2 BUILDING ONE - WEST ELEVATION
 3/32" = 1'-0"
 0' 4' 8' 16' 32'



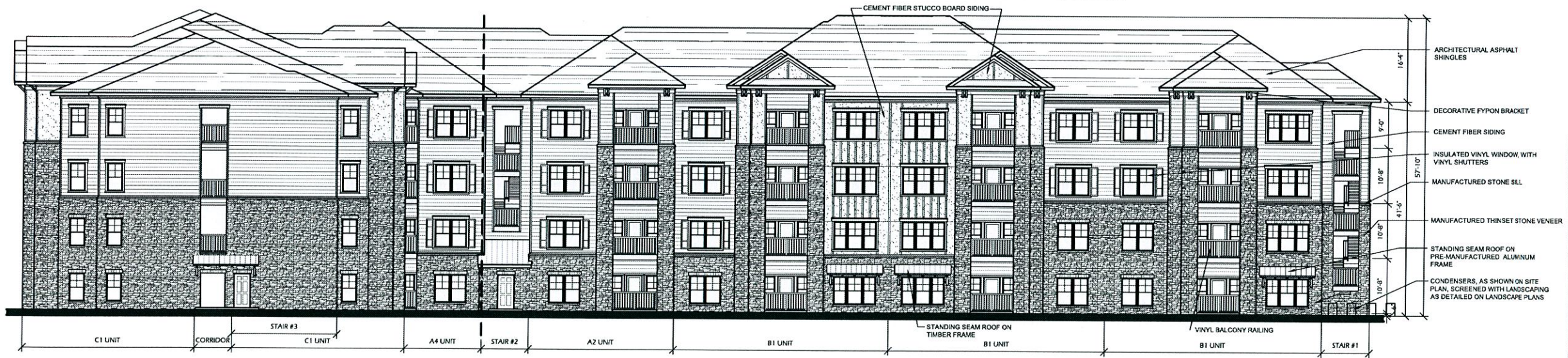
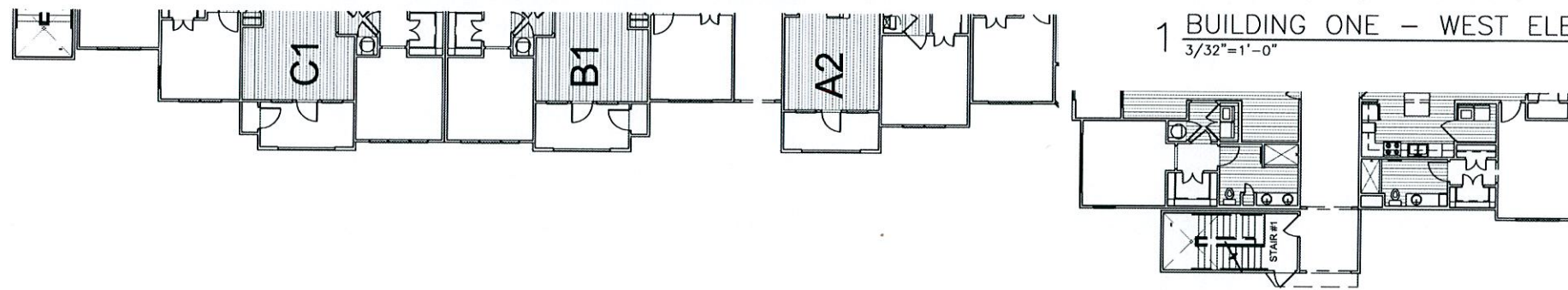
1 BUILDING ONE - NORTH ELEVATION
 3/32" = 1'-0"
 0' 4' 8' 16' 32'

- TRIM COLOR**
 PRAIRIE WINDS
 PPG: 1111-1
- ROOF COLOR**
 SHINGLE
 MNFTR: CERTAINTEED
- METAL STANDING SEAM**
 MNFTR: OTHERS
 COLOR: TBD
- STONE**
 MNFTR: STONECRAFT

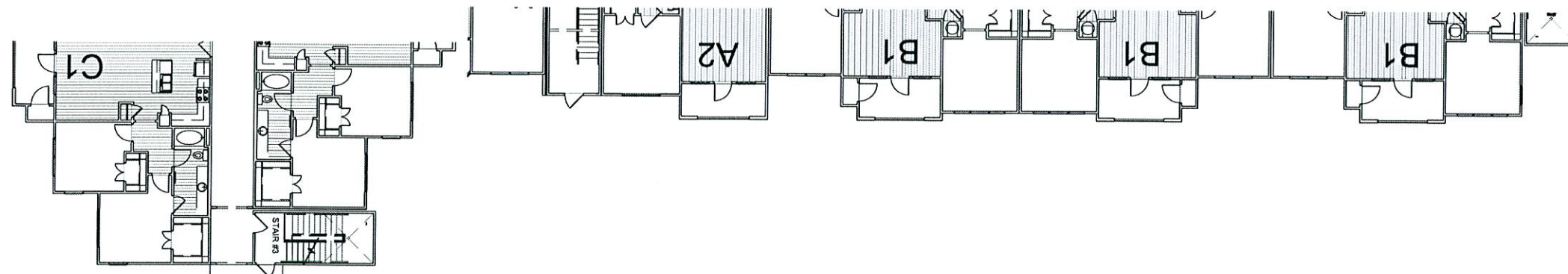




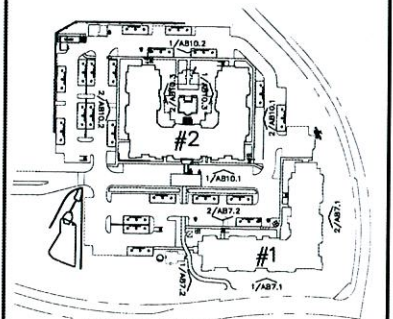
1 BUILDING ONE - WEST ELEVATION
3/32" = 1'-0"



2 BUILDING ONE - NORTH ELEVATION
3/32" = 1'-0"



KEYNOTES



ELEVATION KEY PLAN

Aventura at Wild Horse Creek
Chesterfield, Missouri

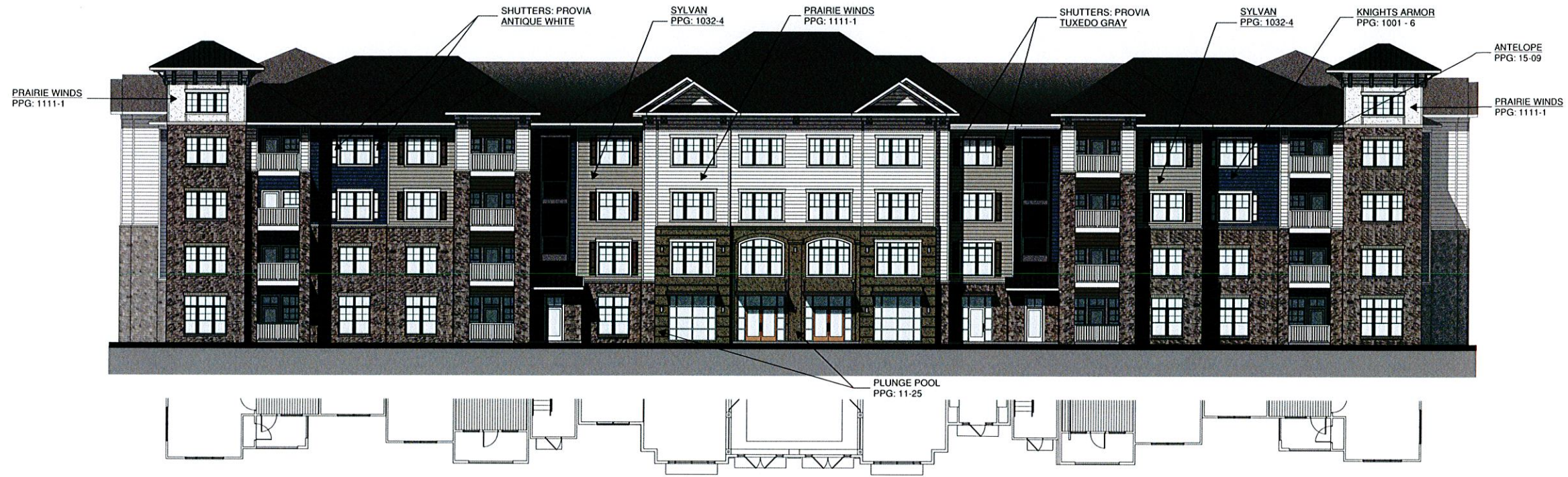
Parker Associates Tulsa, LLC
2202 E. 45th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2485
BRYAN HILST - ARCHITECT OF RECORD
MISSOURI LICENSE A-2015013668

Aventura at Wild Horse Creek, LLC
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ST. LOUIS, MO 63131
PH 314-363-9893

JOB NUMBER: 218011
DRAWN BY: SL,HA
DATE: 4/5/18

BUILDING ONE ELEVATIONS

SHEET NUMBER AB7.2 OF 11



2 BUILDING TWO - SOUTH ELEVATION
 3/32" = 1'-0"
 0 4 8 16 32



1 BUILDING TWO - EAST ELEVATION
 3/32" = 1'-0"
 0 4 8 16 32

TRIM COLOR
 PRAIRIE WINDS
 PPG: 1111-1

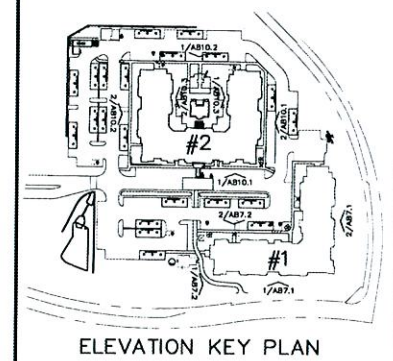
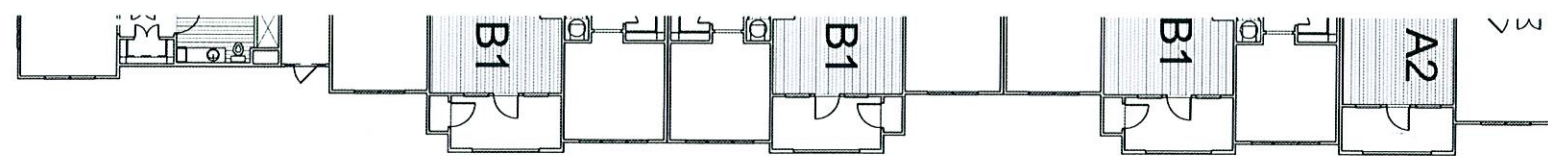
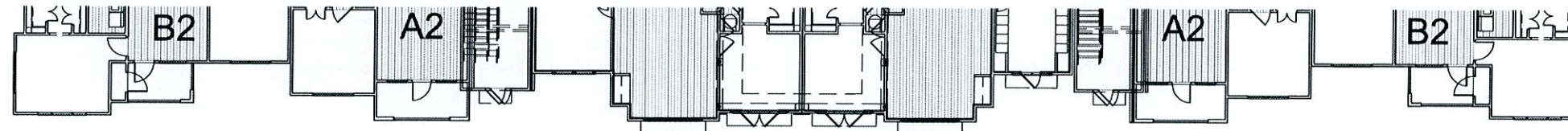
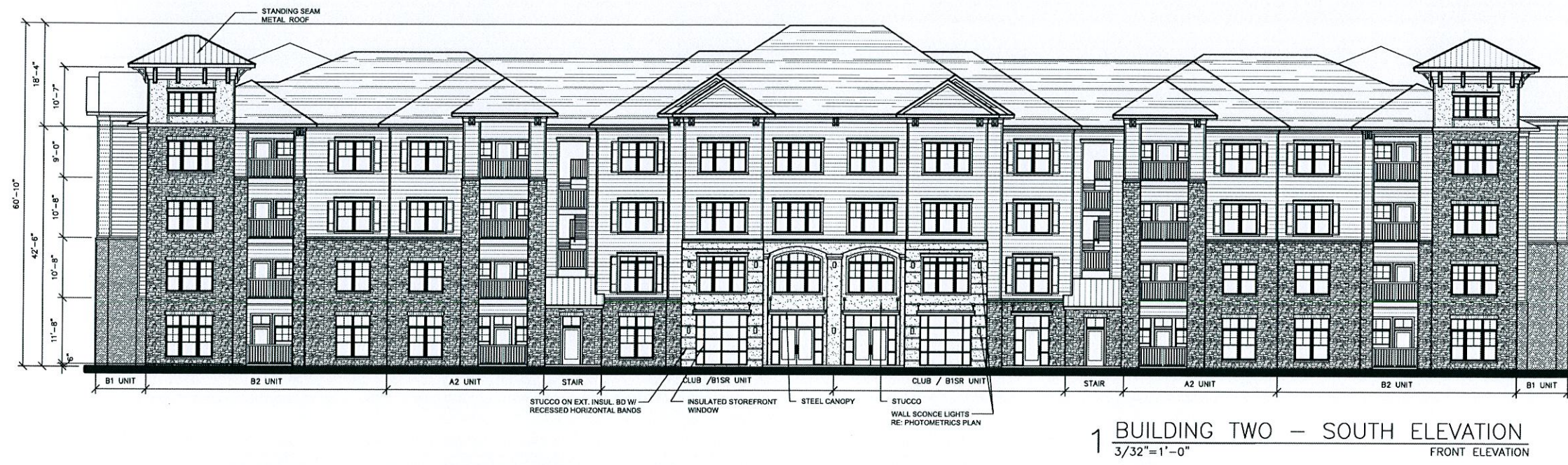
ROOF COLOR
 SHINGLE
 MNFTR: CERTAINTEED

METAL STANDING SEAM
 MNFTR: OTHERS
 COLOR: TBD

STONE
 MNFTR: STONECRAFT



KEYNOTES



Aventura at Wild Horse Creek
Chesterfield, Missouri

 Parler Associates Tulsa, LLC 2202 E. 49th Street, Suite 200 Tulsa, Oklahoma 74105 918-742-2465 <small>BRYAN HEIST - ARCHITECT OF RECORD MISSOURI LICENSE A-2015013988</small>	Aventura at Wild Horse Creek, LLC 10411 CLAYTON RD., STE. 308 ST. LOUIS, MO 63131 PH 314-383-9693
	JOB NUMBER: 218011 DRAWN BY: SL,HA DATE: 4/5/18

BUILDING TWO ELEVATIONS
SHEET NUMBER AB10.1 OF 11



2 BUILDING TWO - NORTH ELEVATION
 3/32" = 1'-0"
 0' 4' 8' 16' 32'

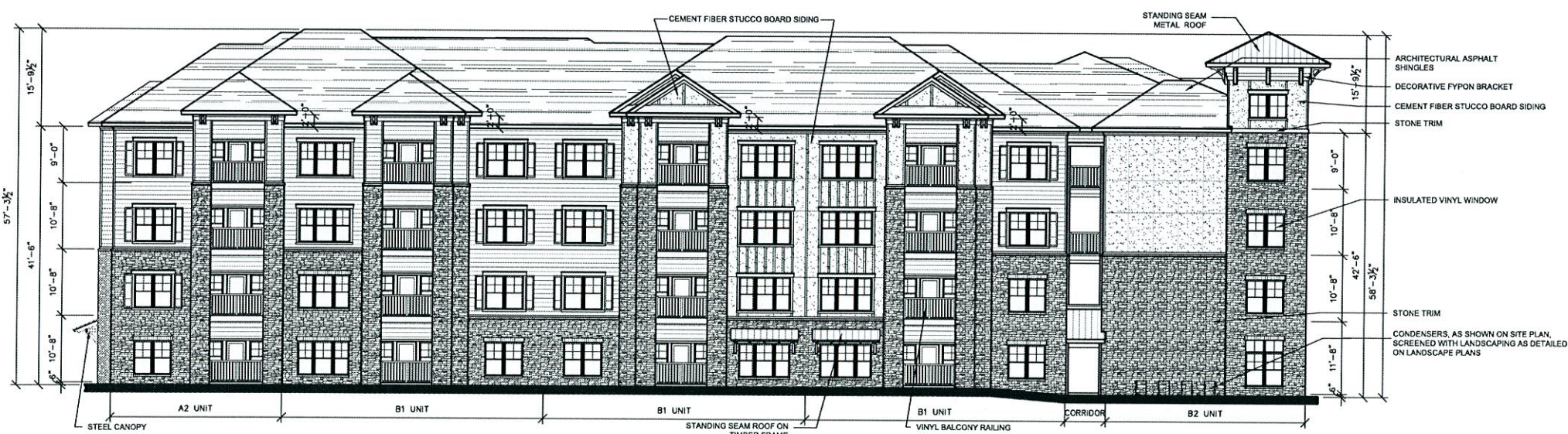
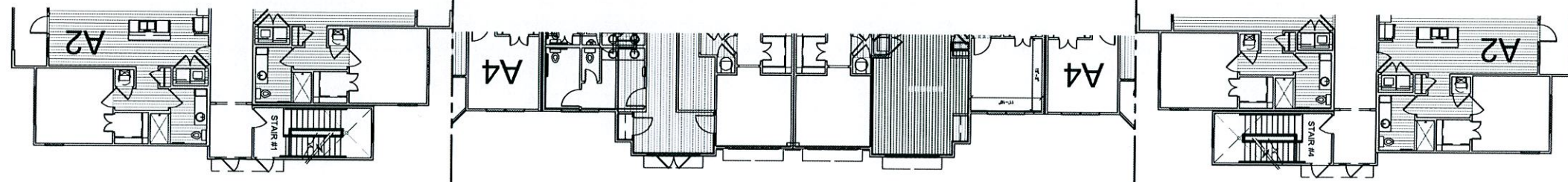


1 BUILDING TWO - EAST COURTYARD ELEVATION
 3/32" = 1'-0"
 0' 4' 8' 16' 32'

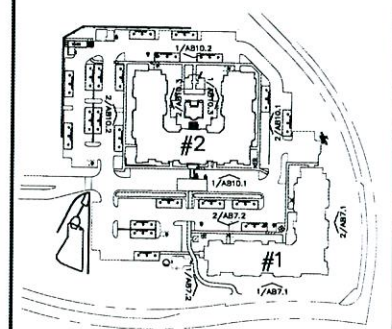
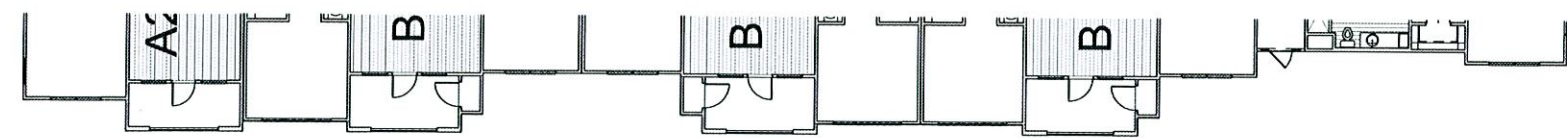
KEYNOTES



1 BUILDING TWO - NORTH ELEVATION
3/32"=1'-0"
COURTYARD ELEVATION



2 BUILDING TWO - WEST SIDE ELEVATION
3/32"=1'-0"
PARKING-SIDE ELEVATION



ELEVATION KEY PLAN

Aventura at Wild Horse Creek
Chesterfield, Missouri

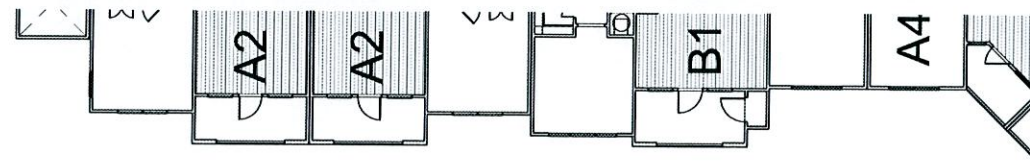
 Parker Associates Tulsa, LLC 2202 E. 49th Street, Suite 200 Tulsa, Oklahoma 74105 918-742-2455 BRYAN HILLET - ARCHITECT OF RECORD MISSOURI LICENSE A-2015013858	Aventura at Wild Horse Creek, LLC 10411 CLAYTON RD., STE. 308 ST. LOUIS, MO 63131 PH 314-383-9893
	JOB NUMBER: 218011 DRAWN BY: SL:HA DATE: 4/5/18

BUILDING TWO ELEVATIONS	
SHEET NUMBER AB10.2 OF 11	

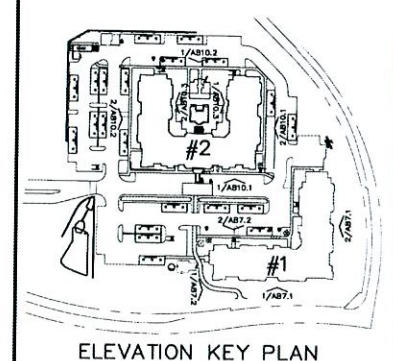
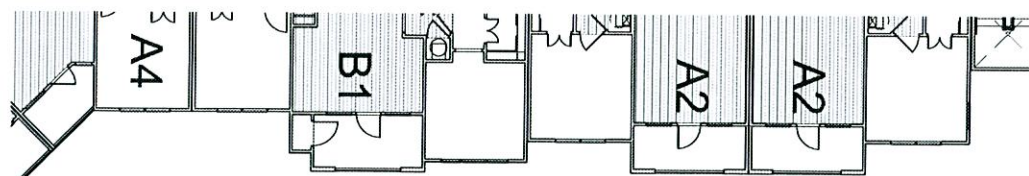
KEYNOTES




1 BUILDING TWO - EAST COURTYARD ELEVATION
3/32"=1'-0"

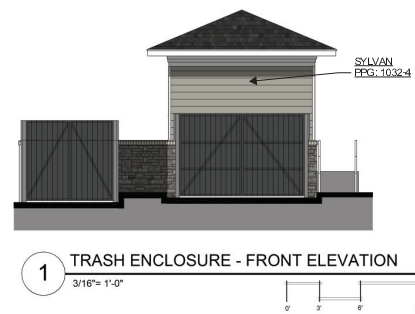
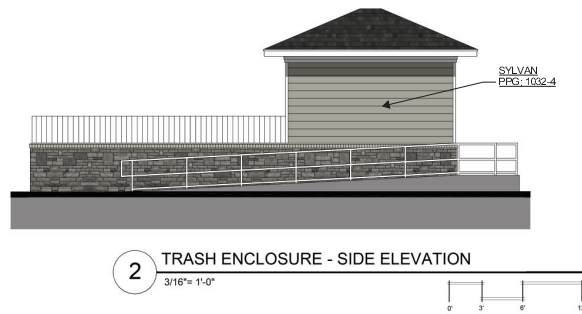
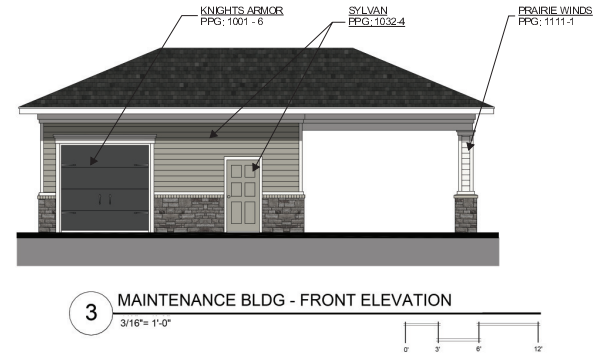
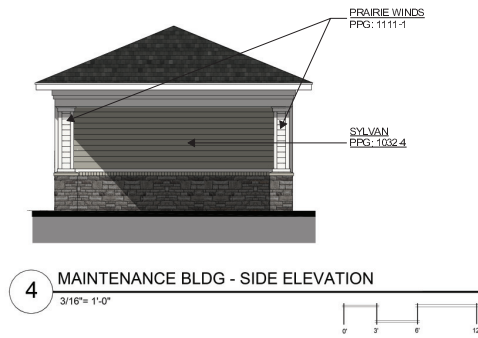


2 BUILDING TWO - WEST COURTYARD ELEVATION
3/32"=1'-0"



Aventura at Wild Horse Creek
Chesterfield, Missouri

 Parker Associates Tulsa, LLC 2202 E. 49th Street, Suite 200 Tulsa, Oklahoma 74103 918-742-2455 <small>BRYAN HEAST - ARCHITECT OF RECORD MISSOURI LICENSE A-2015013958</small>	Aventura at Wild Horse Creek, LLC 10411 CLAYTON RD., STE. 308 ST. LOUIS, MO 63131 PH. 314-363-9893
	JOB NUMBER: 218011 DRAWN BY: SLJ/HA DATE: 4/5/18
BUILDING TWO ELEVATIONS	
SHEET NUMBER AB10.3 OF 11	



TRIM COLOR
PRAIRIE WINDS
PPG: 1111-1

ROOF COLOR
SHINGLE
MNFTR: CERTAINTED

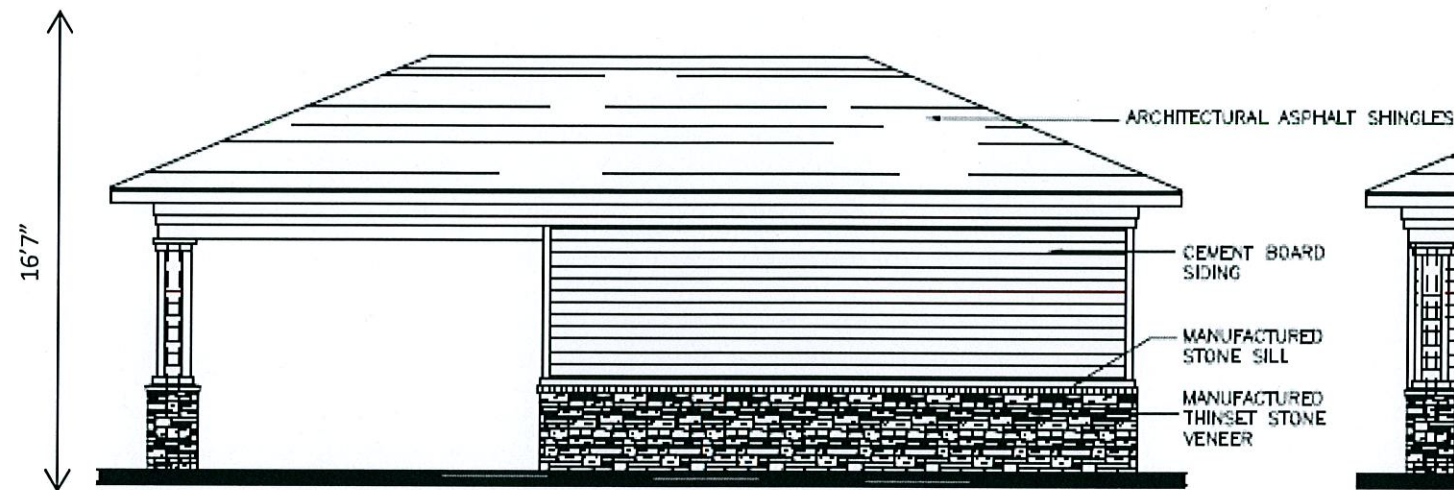
METAL STANDING SEAM
MNFTR: OTHERS
COLOR: TBD

STONE
MNFTR: STONECRAFT

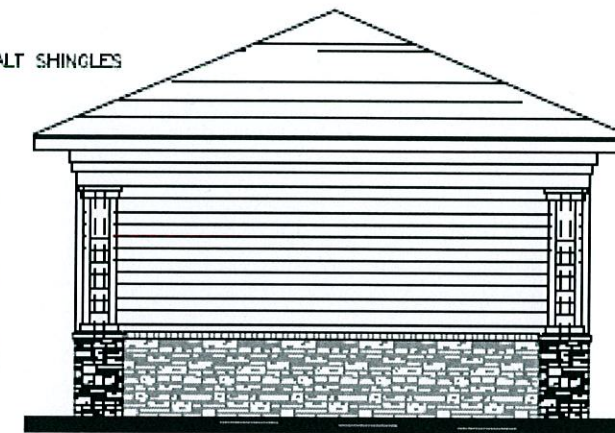


Parker Associates Tulsa, LLC

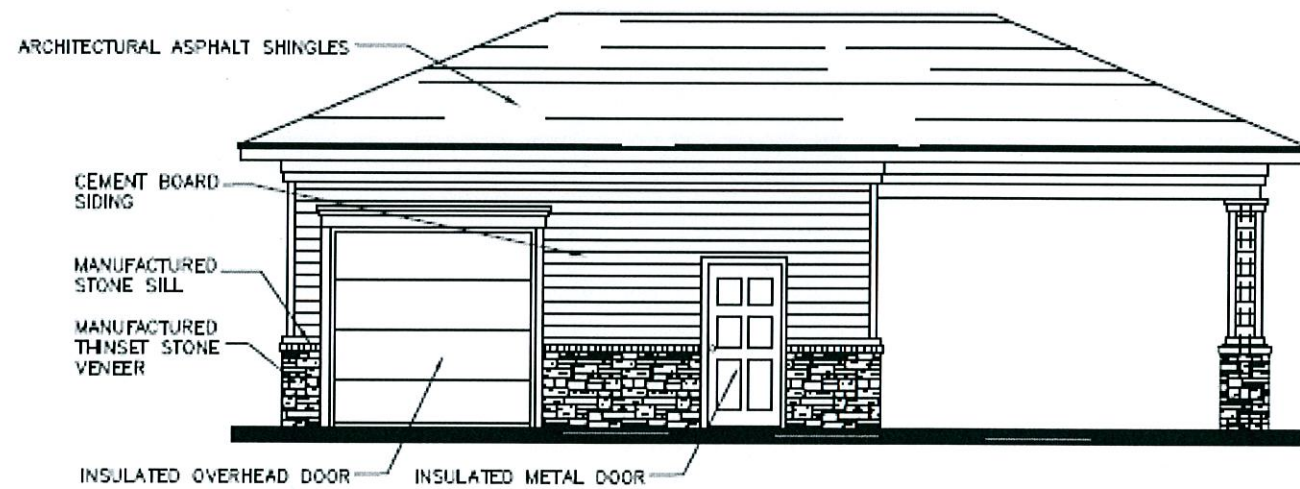
rosemann
& ASSOCIATES P.C.



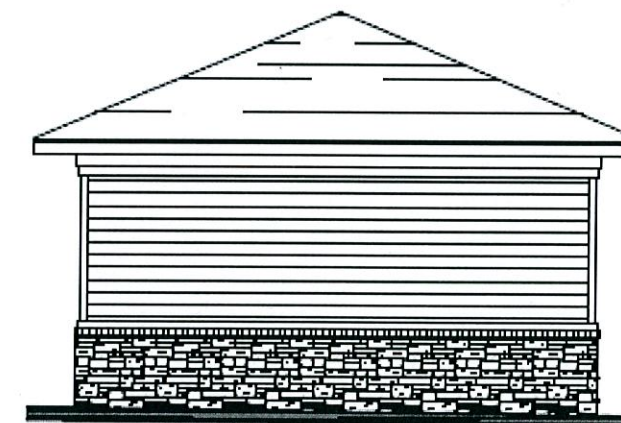
8 MAINTENANCE NORTH ELEV
 $\frac{3}{16}''=1'-0''$



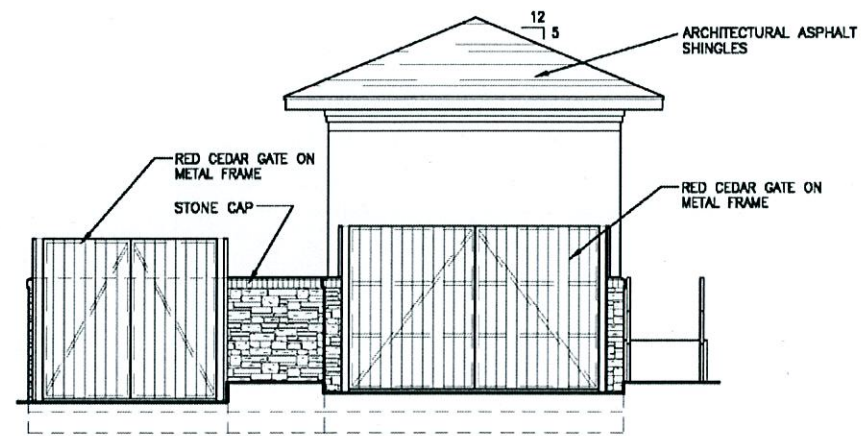
7 MAINTENANCE EAST ELEV
 $\frac{3}{16}''=1'-0''$



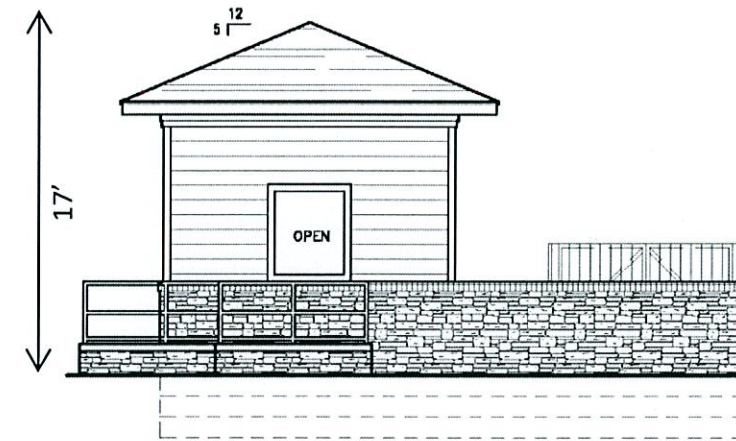
6 MAINTENANCE SOUTH ELEV
 $\frac{3}{16}''=1'-0''$



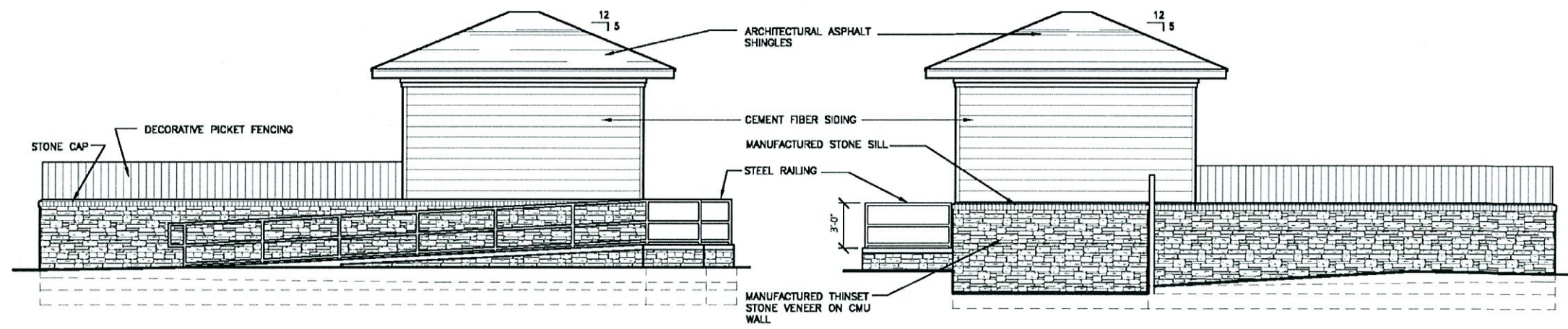
5 MAINTENANCE WEST ELEV
 $\frac{3}{16}''=1'-0''$



5 TRASH ENCL. FRONT ELEV
 $\frac{3}{16}'' = 1'-0''$

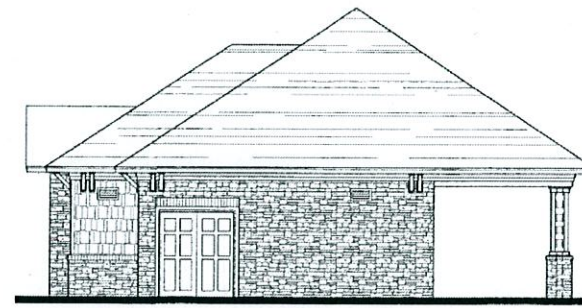


4 TRASH ENCL. REAR ELEV
 $\frac{3}{16}'' = 1'-0''$

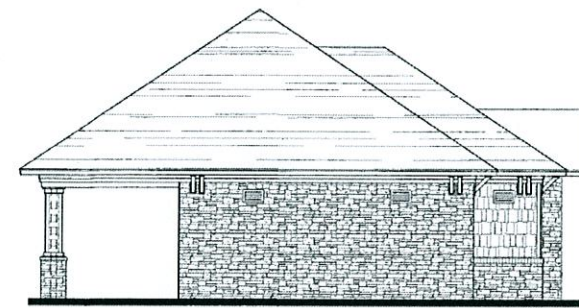


3 TRASH ENCLOSURE SIDE ELEV
 $\frac{3}{16}'' = 1'-0''$

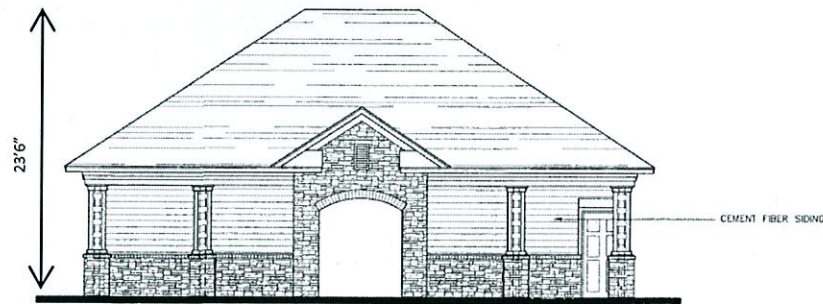
2 TRASH ENCLOSURE SIDE ELEV
 $\frac{3}{16}'' = 1'-0''$



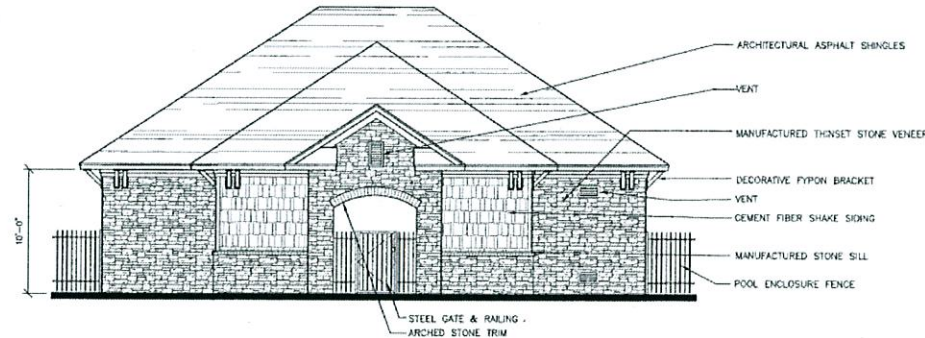
4 POOL CABANA WEST ELEV.
1/4"=1'-0"



3 POOL CABANA EAST ELEV.
1/4"=1'-0"



2 POOL CABANA SOUTH ELEV.
1/4"=1'-0"



1 POOL CABANA NORTH ELEV.
1/4"=1'-0"

KEYNOTES

Aventura at Wild Horse Creek
Chesterfield, Missouri

Parker Associates Tulsa, LLC
2202 E. 48th Street, Suite 200
Tulsa, Oklahoma 74116
918-743-2346
BRYAN HALEY - ARCHITECT OF RECORD
MISSOURI LICENSE A-2015612988

Aventura at Wild Horse Creek, LLC
10411 CLAYTON RD., STE. 300
ST. LOUIS, MO 63131
PH 314-383-8863



JOB NUMBER: 215011
DRAWN BY: SLH/A
DATE: 4/25/18

POOL CABANA ELEVATIONS

SHEET SD2 OF 2

Memorandum

Department of Planning & Development Services



To: Planning and Public Works Committee

From: Andrew Stanislav, Planner *AS*

Date: January 10, 2019

RE: P.Z.18-2016 17511 Chesterfield Airport Rd. (Time Extension Request):
A request for an eighteen (18) month extension of time to submit a Site Development Concept Plan or Site Development Plan for a 13.01 acre tract of land located north of Chesterfield Airport Road, east of Long Road, west of Arnage Boulevard, and south of Interstate 64/US 40 (17U510084).

Summary

Jack E. Pohrer, on behalf of Save Gasoline Corp., has submitted a request for an eighteen (18) month extension of time to submit a Site Development Concept Plan or Site Development Plan for P.Z. 18-2016 17511 Chesterfield Airport Rd.

The subject property is currently vacant and was originally zoned “NU” Non Urban District by St. Louis County prior to the City’s incorporation. A petition was filed for a zoning map amendment in 2016 to the “PC” Planned Commercial District and was approved by the City of Chesterfield on August 7, 2017.

City of Chesterfield Ordinance 2969 has the requirement for a Site Development Concept Plan or Site Development Plan to be submitted within eighteen (18) months from the date of approval of the change of zoning. However, where due cause is shown by the developer, the time interval may be extended by the City Council.

The property at 17511 Chesterfield Airport Road was under contract for sale at the time of the change of zoning request in anticipation for development by a separate entity purchasing the property. The sale contract was terminated following the approval of the change of zoning request and the property owners are actively seeking development opportunities for future development. This is the first time extension request for this property and the current time for submitting a Site Development Concept Plan or Site Development Plan will expire on February 7, 2019.

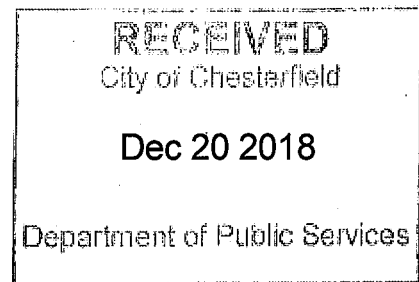
Staff has reviewed the request for an extension of time to file a Site Development Concept Plan or Site Development Plan and the conditions for development contained within the Attachment A of City of Chesterfield Ordinance 2969. Based on this review, Staff recommends approval of an eighteen (18) month extension for the submittal of a Site Development Concept Plan or Site Development Plan as requested by the applicant and recommends approval of the request. **If approved, the time extension would be valid until August 7, 2020.**

Attachments: Applicant's Letter



Figure 1: Subject Site Aerial

**Save Gasoline Corp.
1617 South 3rd Street
St. Louis, MO 63104**



December 20, 2018

Via Email: Jwyse@chesterfield.mo.us
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017
Attn: Justin Wyse, Director of Planning &
Development Services

**Re: 17511 Chesterfield Airport Road; Request Extension Under Ordinance
2969 of Deadline to Submit Site Development Concept Plan and Site
Development Section Plans**

Dear Mr. Wyse:

Save Gasoline Corp. ("Owner") is the owner of the real estate located at 17511 Chesterfield Airport Road, Chesterfield, Missouri (the "Real Estate") which is described in Chesterfield Ordinance No. 2969 ("Ordinance 2969").

Previously Owner had a sale contract with Palio Partners ("Palio") to sell the Real Estate to Palio (the "Palio Sale Contract"), which intended to develop the Real Estate for an end user (the "Palio End User"). While the Palio Sale Contract was pending, Palio applied to the City of Chesterfield (the "City") for a zoning change for the Real Estate which was approved by the City pursuant to Ordinance 2969. Ordinance 2969 requires submission to the City of a Site Development Concept Plan or Site Development Section Plans within 18 months of the date on which Ordinance 2969 was passed on August 7, 2017.

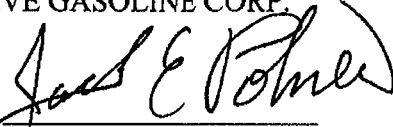
Subsequent to passage of Ordinance 2969, the Palio End User decided not to pursue its project, and the Palio Sale Contract was terminated. The Owner needs additional time to pursue other development possibilities, and requests that the deadline for submission of a Site Development Concept Plan or Site Development Section Plans be extended by eighteen (18)

December 20, 2018
Page 2

months, as allowed by Ordinance 2969 to give the Owner additional time to pursue other development opportunities before the zoning change made by Ordinance 2969 expires. Thank you.

Very truly yours,

SAVE GASOLINE CORP.

By 
Jack E. Pohrer, President

III.C.



**Memorandum
Department of Planning &
Development Services**

To: Planning and Public Works Committee
From: Jessica Henry, Assistant City Planner *jh*
Date: January 10, 2019
RE: Unified Development Code AG District Updates

Summary

The purpose of this petition is to amend the permitted and conditional uses contained within the Use Table for Nonresidential Districts for the “AG” Agricultural District. Staff was authorized to pursue these updates at the November 9, 2017 Planning and Public Works Committee meeting.

This request stems from numerous areas that are unprotected by the 500-year levee within the Chesterfield Valley. These areas are designated as “Agricultural / Flood Plain / Conservation” on the Future Land Use Map within the Comprehensive Plan. However, many of these areas are zoned either “M3” Planned Industrial District or “NU” Non-Urban District, as depicted in the zoning map image on the following page. The proposed revisions to the permitted and conditional uses of the “AG” Agricultural District would allow for more passive recreational uses as well as the current activities taking place in the area north of the Monarch Chesterfield Levee. In turn, the addition of these new uses would provide an incentive for property owners to zone away from the industrial type zoning that is currently in place in favor of the “AG” Agricultural District. This would better align the zoning designations in this area with the Comprehensive Plan’s Agricultural/Floodplain/Conservation land use designation, as shown in the images on the following page.

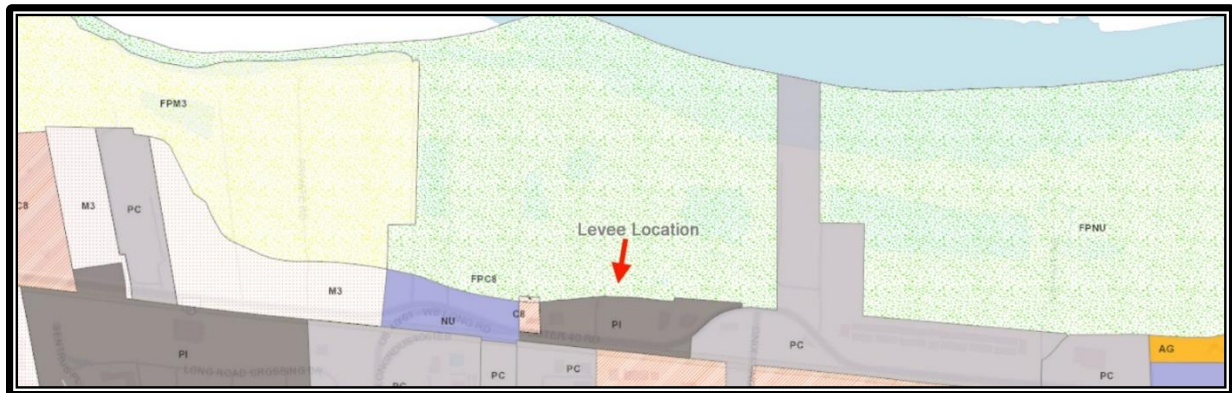


Figure 1: Zoning Map

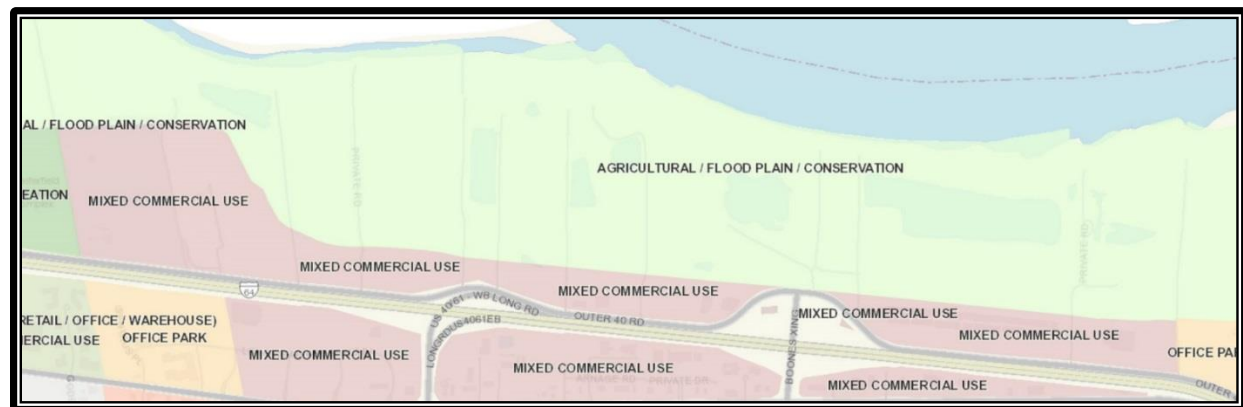


Figure 2: Future Land Use Map

A Public Hearing was held for this request at the October 8, 2018 Planning Commission meeting. At that time, one member of the public spoke in favor and one spoke from a neutral standpoint. Both speakers own property, operate businesses north of the levee, and are eligible to rezone into the “AG” Agricultural District. Following the Public Hearing, Staff corresponded with these property owners to ensure that they understand the proposed revisions and how they would be impacted if they chose to file a petition to rezone their properties to the “AG” Agricultural District.

This project was presented for vote at the November 26, 2018 Planning Commission meeting, at which time the Planning Commission recommended approval with one modification by a vote of 8-0. The modification was to add “Botanical Garden” as a conditional use in the “AG” Agricultural District. This change has been incorporated into the attached Use Table for Nonresidential Districts.

January 10, 2019

Additionally, there was discussion on the use “zoological garden” and Staff was asked about the differences between this use and “wildlife habitats, forests, conservation projects, and fish hatcheries” as these uses would pertain to a wild animal sanctuary or preserve. The following use definitions from the UDC and information are offered in response.

Zoological garden: An area, building, or structures, which contain wild animals on exhibition for viewing by the public.

Wildlife habitats, forests, conservation projects, and fish hatcheries: Lands that contain significant food, water, or cover for native terrestrial and aquatic species of animals. Examples include forests, fields, riparian areas, wetlands, and water bodies. Conservation projects: A project designed for the management of natural resources to prevent waste, destruction, or degradation.

Currently, the use “wildlife habits, etc...” is a permitted use in the “AG” Agricultural District, whereas “zoological garden” is neither a permitted nor a conditional use in this district.

If the Planning and Public Works Committee wishes to allow a *developed* wild animal sanctuary, with the structures, infrastructure, and exhibition space necessary to accommodate the public, Staff would recommend incorporating the use “zoological garden” as a conditional use in the “AG” Agricultural District. Note that the UDC defines conditional uses as “Uses which are not allowed as a matter of right within a zoning district. Conditional uses are those uses where analysis and judgment of the consequences of each development and use is necessary to preserve and to promote the public health, safety, and general welfare.”

Given the potential impacts of a zoological garden on adjacent properties, it is Staff’s opinion that the Conditional Use Permit is the appropriate mechanism should the Planning and Public Works Committee wish to add the “zoological garden” use to the “AG” Agricultural District.

However, if a passive, generally undeveloped wild animal preserve is desired, no action is necessary, as this use is already a permitted use in the “AG” Agricultural District.

A redline of the Use Table for Nonresidential Districts depicting the use changes as recommended by the Planning Commission is attached. If the Planning and Public Works Committee chooses to make additional revisions to the “AG” Agricultural District uses, Staff will prepare a Green Sheet Amendment as this project moves forward to City Council for consideration.

Attachments

1. Amendment to UDC Article 3 Use Table for Nonresidential Districts

Sec. 03-01. **USE TABLE FOR NON-RESIDENTIAL DISTRICTS**

Use Table for Non-Residential Districts

Uses:

P- Permitted

C-Conditional

* means the use is allowed with conditions. See Section 03-04 for additional regulations

** refers to light industrial type uses permitted in certain geographical areas in a PC district

USE GROUP	ZONING DISTRICTS
	AG
<i>AGRICULTURE</i>	
Agriculture and agricultural buildings	P
Livestock raising and keeping of animals	P
<i>CIVIC</i>	
Administrative offices for educational or religious institutions	C
Church and other places of worship	C
Community center	
Correctional institution	
Highway department garage	
Historic sites, including buildings	P
Library	
Natural or primitive areas and forests encompassed by the provisions of the Missouri State Forestry Law	P
Parks	P
Postal stations	
Public building facilities owned or leased by the City of Chesterfield	
Public safety facility	P
Railroad switching yard and tracks and associated structures	
Retreat center	C
Sales yard operated by a church, school, or other not-for-profit organization	
Wildlife habitats, forests, conservation projects and fish hatcheries	P
<i>RESIDENTIAL</i>	
Dwelling, employee	
Dwelling, single-family detached	
Dwellings, multi-family	
Home Occupation	P
Group residential facility	

USE GROUP	ZONING DISTRICTS
	AG
<i>PUBLIC/RECREATIONAL</i>	
Airport, public or private	C
Amusement park	
Arena and stadium	
Art gallery	
Art studio	
Athletic fields	P
Auditorium	
Banquet facility	
Botanical garden	P
Camping facility	C
Cemetery	C
Club	C
Correctional institution	
Driving ranges	
Fairground	
Farmer's market	C
Golf courses	C
Gymnasium	
Harbor, marina, and dock for water-borne vehicles including repair facilities and sales of fuel and supplies	
Heliport-public and private	
Mortuary	C
Museum	
Reading room	
Recreation facility	C
Riding stable	P
Transit transfer station	
Union halls and hiring halls	
Zoological gardens	
<i>OFFICE</i>	
Office-dental	
Office-general	
Office-medical	

USE GROUP	ZONING DISTRICTS
	AG
COMMERCIAL/SALES	
Automobile dealership	
Automotive detailing shop	
Automotive retail supply	
Bakery	
Bar	
Bowling center	
Brewery	
Brewpub	
Coffee shop	
Coffee shop, drive-thru	
Farming, livestock and stables. Farming includes cultivation and sale of crops, plants and domestic animals with no salesrooms	P
Grocery-community	
Grocery-neighborhood	
Grocery-supercenter	
Newspaper stand	
Pawnshop	
Plumbing, electrical, air conditioning, and heating equipment sales, warehousing and repair facility	
Restaurant-sit down	
Restaurant-fast food	
Restaurant-take out	
Retail sales establishment-community	
Retail sales establishment-neighborhood	
Retail sales establishment-regional	
Salesrooms for commercial gardens, plant nurseries, and greenhouses	C
Tackle and bait shop	
SERVICE/INDUSTRIAL	
Animal grooming service	
Barber or beauty shop	
Batching plant	
Blacksmith shop	
Boat (and marine supply) storage, charter, repair, sale	
Broadcasting studio	
Car wash	
Car wash, industrial	
Car wash, self service	
Check cashing facility	

USE GROUP	ZONING DISTRICTS
	AG
Commercial service facility	
Day care center	
Drug store and pharmacy	
Drug store and pharmacy, with drive-thru	
Dry cleaning establishment	
Dry cleaning establishment, with drive-thru	
Dry cleaning plant	
Extraction & processing of raw materials from the earth and processing thereof	P
Filling station and convenience store with pump stations	
Film drop-off and pick up stations	
Film processing plant	
Financial Institution, no drive-thru	
Financial Institution, drive-thru	
Heliport-public or private	
Hospice	
Hospital	
Hotel and motel	
Hotel and motel-extended stay	
Incinerator	
Industrial sales, service, and storage	
Junk or salvage yard	
Kennel, boarding	P*
Kennel, private	P*
Laboratory-professional, scientific	
Laboratory	
Laundromat	
Lumberyard	
Mail order sales warehouse	
Manufacturing, fabrication, assembly, processing, or packing except explosives or flammable gases or liquids	
Meat packing facility	
Nursing home	
Oil change facility	
Parking area (stand-alone), including garages, for automobiles. Not including sales or storage of damaged vehicles for more than 72 hours	
Professional and technical service facility	

USE GROUP	ZONING DISTRICTS
	AG
Research laboratory & facility	
Self-storage facility	
Sheet metal shop	
Shooting range, indoor	
Shooting range, outdoor	
Steel mill, foundry, and smelter	
Substance abuse facilities-outpatient	
Substance abuse facilities-inpatient	
Sulphur, cement, or rubber reclamation plants	
Tattoo parlor/body piercing studio	
Theatre, indoor	
Theatre, outdoor	
Tow yard	
Transit storage yard	
Transit transfer station and terminals for trucks, buses, railroads, watercraft or other modes of public transportation	
Trucks, trailers, construction equipment, agricultural equipment sales, rental, leasing, outdoor storage	
Vehicle repair and service facility	
Veterinary clinic	P
Warehouse, general	
Warehouse, wholesale or storage of live animals, explosives, or flammable gases and liquids	
Welding shop, sheet metal and blacksmith shop	
Yard for storage of contractors' equipment, materials and supplies	
EDUCATIONAL	
College/university	
Kindergarten or nursery school	
Specialized private school	
Vocational school	
Vocational school with outdoor training	
ADULT USES	
Adult bookstore	
Adult entertainment business or establishment	
Adult entertainment facility	
Adult motion picture theatre	
Bathhouse	
Massage parlor	
Modeling studio	
Specific sexual activities	
UTILITIES	

USE GROUP	ZONING DISTRICTS
	AG
Device for energy generation	P
Individual sewage treatment facilities	P
Public utility facilities	p*
Public facilities over 60 ft. in height	
Public utility transmission and distribution lines and pipelines, underground and aboveground, including booster stations	C
Radio, television, and communication transmitting, receiving, or relay towers and facilities	
Sanitary landfill	
Sewage treatment facilities, other than facilities permitted as an accessory use	C
Sewage system	
Solid waste, compost facility	
Solid waste, facility	
Solid waste, transfer facility	
Telecommunications structure	P
Telecommunications tower or facility	P

Memorandum

Department of Public Works



TO: Michael O. Geisel, P.E.
City Administrator

FROM: James A. Eckrich, P.E. *JAE*
Public Works Dir. / City Engineer

DATE: November 30, 2018

RE: Vector Control Services Contract

**PLEASE FORWARD TO PPW FOR
REVIEW AND INFORMATION, AND
TO OBTAIN RECOMMENDATION
FOR FULL COUNCIL APPROVAL.**

MO Geisel

11/29/2018

The City of Chesterfield recently received a letter from the St. Louis County Department of Health indicating that the current contract for vector control services expires on April 7, 2019. As you may recall, the Chesterfield City Council most recently approved a contract with St. Louis County for vector control services in 2014. The current contract renews automatically each year, but the number of automatic renewals cannot exceed four. Therefore, in order for St. Louis County to continue this service, the City of Chesterfield must adopt an ordinance authorizing approval of these services and rates. The proposed rates for larviciding, adulticiding, and rodent abatement are \$55 per hour, \$72 per hour, and \$32 per hour, respectively. These are the current rates the City pays for these services. Both parties have the right to terminate this contract at any time with thirty days written notice.

Public Works Staff finds the service and rates for vector control services acceptable, and recommends approval of the attached ordinance and contract. Should you have questions or need additional information, please let me know.

Action Recommended

This matter should be presented to City Council for its consideration of approval of the attached ordinance authorizing the City Administrator to execute a contract between the City of Chesterfield and St. Louis County for vector control services.

BILL NO. _____

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING THE CITY OF CHESTERFIELD TO ENTER INTO AND EXECUTE A CONTRACT WITH ST. LOUIS COUNTY, MISSOURI FOR VECTOR CONTROL SERVICES AND AUTHORIZING AND DIRECTING THE CITY ADMINISTRATOR OF THE CITY OF CHESTERFIELD TO ENTER INTO, ON BEHALF OF THE CITY, A CONTRACT WITH ST. LOUIS COUNTY, MISSOURI FOR VECTOR CONTROL SERVICE.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. The City Administrator shall execute a Contract with St. Louis County, Missouri, whereby St. Louis County, by and through its Department of Health will perform vector control services within the City of Chesterfield.

Section 2. The City shall compensate St. Louis County, Missouri for services rendered at the hourly rate set forth in the contract and as such rates are changed in accordance with the terms and conditions of the contract between the City and County.

Section 3. After execution thereof; this agreement shall be in effect for one (1) year with four (4) automatically renewable one (1) year periods (maximum five years). Either party may terminate the contract by written notice, at least thirty (30) days prior thereto.

Section 4. This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this _____ day of _____, 2019.

PRESIDING OFFICER

Bob Nation, MAYOR

ATTEST:

Vickie Hass, City Clerk

[FIRST READING HELD: _____]

Steven V. Stenger
County Executive



Dr. Emily Doucette
Acting Director

Spring Schmidt
Acting Director

October 22, 2018

To whom it may concern,

I wanted to reach out to you today to let you know that, according to our records, your contract with Saint Louis County regarding vector control services for your municipality has or will be expiring soon. Should you wish to renew your service, I have enclosed a new contract for your review and signature.

Vector Control Services are particularly important in protecting the public from vector-borne diseases. Arboviruses such as West Nile, Saint Louis encephalitis, Zika, Dengue, and Chikungunya are all transmitted by mosquitos. Salmonella, Leptospirosis, and Tularemia are just a few of the diseases that can be spread by rodents, such as Norway Rats. Rodents are further capable of spreading diseases such as Ehrlichiosis, Rocky Mountain spotted fever, Heartland Virus, and Bourbon Virus indirectly through the bite of infected ticks and mites that they may be carrying. Furthermore, rodents can cause extensive damage by contaminating property with their urine and feces, or by gnawing on structures and wiring. Extensive burrowing by Norway Rats can also cause damage by undermining foundations and concrete slabs and increase erosion to stream banks.

The Saint Louis County Department of Public Health Vector Control Program provides full-scale vector control services for the majority of Saint Louis County which includes all contracted municipalities in addition to all the unincorporated areas. Services provided include: adult mosquito surveillance, laboratory testing of adult mosquitoes for the presence of arboviral disease, larvicidal treatment of mosquito breeding sites, Ultra-Low Volume (ULV) and barrier applications for the control of adult mosquitoes and comprehensive rodent abatement in public areas.

Saint Louis County Department of Public Health – Vector Control strives to provide the best service possible to protect the health of our residents from the threat of vector-borne disease. All operations are conducted in accordance with Integrated Pest Management (IPM) principles which are overseen by Vector Control Specialists who are licensed and certified by the Missouri Department of Agriculture in Public Health Pest Control.

VECTOR CONTROL SERVICES

Facility: 10521 Baur Boulevard • Olivette, MO 63132 • PH 314/615-0680 • FAX 314/615-0681
Administration: 6121 North Hanley Road • Berkeley, MO 63134 • PH 314/615-0600 • FAX 314/615-6435
RelayMO 711 or 800-735-2966 • www.stlouisco.com/HealthandWellness
An Equal Opportunity Employer • Services Provided on a Non-Discriminatory Basis

Vector Control Services provided will include all of the following services:

1. Larviciding

The Saint Louis County Vector Control Program regularly monitors known mosquito breeding sites within the contracting municipality throughout the mosquito season. Types of sites monitored include ditches, ponds, lakes, creeks, canals, swamps, marshes, sewers, storm water detention basins, and any other areas on public property where standing water is present and the potential exists for mosquito breeding to occur. Sites in which mosquito breeding is identified or where conditions show a high potential for mosquito breeding are treated with an appropriate EPA-registered mosquito larvicide in accordance with the product label. Whenever possible, environmentally friendly mosquito control products and application methods are used to minimize potential impacts on beneficial organisms and the environment.

2. Adulticiding

To control adult disease carrying mosquitoes, the Saint Louis County Vector Control Program conducts nighttime Ultra-Low Volume (ULV) mosquito adulticide applications on public roads, using truck mounted ULV machines. Adulticiding is done at the discretion of Saint Louis County Vector Control and is based primarily upon mosquito surveillance and testing results. Adulticiding efforts are focused in areas where arboviral disease has been identified in the mosquito population and/or where surveillance has indicated the presence of high numbers of adult mosquitoes with the potential to transmit disease. In addition, the Vector Control Program applies adult mosquito barrier applications in public areas, such as parks or ball fields, or outdoor event areas, where conditions and criteria warrant the application of a barrier treatment. Barrier treatments are conducted upon reasonable advance request only and are applied at the discretion of Saint Louis County Vector Control.

3. Rodent Abatement

Saint Louis County Vector Control's Rodent Abatement Program is a request-driven program that provides rodent abatement services for the control of Norway Rats in public areas within the contracting municipality. Upon approval by the municipality's designated representative, Vector Control will investigate complaints of rat activity on public and private property as a reactive approach to rodent control. Municipal residents are instructed to contact their municipality to report rodent activity. The designated municipal representative will then notify Saint Louis County Vector Control when rat activity is observed or reported, authorizing an investigation by a Vector Control Specialist in the area of the complaint. Based on the specialist's findings, proper control methods are utilized in public areas according to Integrated Pest Management protocols. Public areas where Norway Rat activity has been identified will be re-treated by prescribed methods as indicated on rodenticide labeling until rodent activity has been eradicated. If rodent activity is noted on private property, residents receive professional recommendations on the control and exclusion of rodents and/or the resident is advised to contact a private pest control operator to treat their property. Per licensing restrictions, Saint Louis County cannot apply rodenticides on private property or provide residents with rodenticides.

Fees for the 2019 season are as follows:

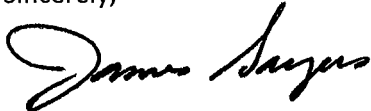
Larviciding - \$55.00/Hour
Surveillance / Arboviral Testing – No Charge
Adulticiding- \$82.00/Hour
Rodent Abatement - \$32.00/Hour

We are asking you to:

- 1) Complete, sign and return both copies of the enclosed contract, and
- 2) Enclose a copy of your enabling legislation that authorizes the contract (see enclosed model ordinance).

Vector Control is committed to providing the best service possible in accordance to Integrated Pest Management protocols. Your timely response is appreciated. Should you have any questions, please feel free to contact me via email (JSayers@stlouisco.com) or phone (314-615-0654).

Sincerely,



James Sayers
Vector Control Services Supervisor

Enclosures: One (1) Instruction Form
 Two (2) Original Contracts
 One (1) Sample Ordinance

VECTOR CONTROL SERVICES

Thank you for choosing St. Louis County for Vector Control Services. Below are instructions for submitting your contract. On this form, please fill in the point of contact information and the return address for the contract.

Please fill in the following areas:

- Page 1 – The name of the Municipal Corporation
Ordinance No. / Resolution No.
- Page 2 – Only fill out and sign in the “Municipality” box

Attach a copy of the Ordinance/Resolution

Provide the following information below:

Point of contact regarding this contract

Name : _____

Phone Number: _____

Email: _____

Return address for contract

Municipality: _____

Attn: _____

Address: _____

Send this letter and **two (2) signed and attested original** contracts to the address listed below:

Saint Louis County Department of Public Health
Attn: Contracts Representative, Administration
6121 North Hanley Road
Berkeley, MO 63134

If you have questions or need additional information, please contact the Saint Louis County Vector Control Program Supervisor, James Sayers, at (314) 615-0654.

**LOCAL GOVERNMENT CONTRACT WITH ST. LOUIS
COUNTY, MISSOURI FOR VECTOR CONTROL SERVICES**

This contract is made and entered into this _____ day of _____, 2018, by and between the _____, a Municipal Corporation, (hereinafter referred to as "Municipality") and St. Louis County, Missouri, (hereinafter referred to as "County").

Witnesseth:

Whereas, Municipality has enacted Ordinance No. /Resolution No. _____ authorizing said Municipality to enter into this contract with County for vector control services to be performed within said Municipality through County's Department of Public Health; and

Whereas, County is authorized by Article II, Section 2.180 (20) of County's Charter to cooperate and contract with other political subdivisions for common services; and

Whereas, Section 604.020 SLCRO 1974, as amended, authorizes the County Executive to contract on behalf of the Department of Public Health with political subdivisions to provide public health services; and

Whereas, in conformity with Section 604.040 SLCRO 1974, as amended, the St. Louis County Council has adopted Resolution No. 6281, 2018, that sets forth the terms and conditions upon which vector control services are to be provided to Municipality; and

Now therefore, in consideration of the mutual promises and undertakings herein set forth, County and Municipality agree as follows:

1. County shall provide vector control services as indicated:
 - a. Mosquito Control Services:
 1. Including Adulticiding, per County guidelines, to include all necessary materials, equipment, and personnel.

Other mosquito control services:

 2. Including Larviciding, per County guidelines, to include all necessary materials, equipment, and personnel.
 - b. Rodent abatement services:

Including rodent inspections and abatement, per County guidelines, to include all necessary materials, equipment, and personnel.
2. Municipality shall:
 - a. Pay County for vector control services including adulticiding at the hourly rate of eighty-two dollars (\$82.00), for other mosquito control services including larviciding at the hourly rate of fifty-five dollars (\$55.00), and for rodent abatement services at the hourly rate of thirty – two dollars (\$32.00).

- b. Make all payments by check payable to the order of "St. Louis County Department of Public Health". Billing will occur annually in January. Payments for the previous years' service, under above paragraph "a" of this section, must be received by County before the 31st day of March of the year services are provided. Remit payment to St. Louis County Department of Public Health, 6121 N. Hanley Road, Berkeley, MO 63134.
- 3. The costs per hour for services may be revised annually by County. County shall provide written notice to Municipality of the change in cost no later than May 1 of any year in which the services will be rendered.
- 4. The initial contract term shall be five (5) years, subject to changes in prices and services provided therein by County, as agreed to by Municipality. Either party may terminate this contract upon thirty days written notice.

St. Louis County, Missouri

By: _____
County Executive

Attest:

Administrative Director

APPROVED:

Director, Department of Public Health

Approved As To Legal Form:

County Counselor

APPROVED:

Accounting Officer

<p>To be completed by Municipality representative</p> <p>MUNICIPALITY</p> <p>_____ (Name Of)</p> <p>By:</p> <p>_____ (Signature of authorized individual)</p> <p>_____ (Type name/title of authorized individual)</p> <p>ATTEST:</p> <p>_____ City/Village Clerk</p>
