



**IV.B.**

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## **Architectural Review Board Staff Report**

**Project Type:** Amended Site Development Plan (3<sup>rd</sup>)

**Meeting Date:** September 12, 2019

**From:** Mike Knight, Planner

**Location:** A 48.2 acre tract of land located north of North Outer 40 Road and east of Boone's Crossing.

**Description:** **Chesterfield Outlets (17107 N Outer 40 Road – The District)**: An Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 48.2 acre tract of land located north of N Outer 40 Road and east of Boone's Crossing. (17T420027)

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### **PROPOSAL SUMMARY**

This request is to allow for the construction of phase one of an entertainment district within the Chesterfield Outlets subdivision known as The District. The applicant has taken control of the property in an effort to redevelop and reposition the property into a regional entertainment district with a variety of entertainment themed options, including restaurants, a food hall, live music venue, and complementary retail/entertainment uses. **Phase one has three primary components: a 3,000 seat indoor theatre, a 2-story structured parking garage, and a 48,559 square foot recreational facility.**

### **SITE HISTORY**

St. Louis County zoned the subject site "NU" Non-Urban District in 1965. On November 21, 2011, the City of Chesterfield approved Ordinance 2682, which zoned the subject site from a "NU" Non-Urban District to a "PC" Planned Commercial District.

Subsequent to the change in zoning, a Site Development Plan was submitted proposing a 472,282 square foot outlet retail center on the site. The plan was approved by the City of Chesterfield on March 26, 2012. A minor amendment was approved in October of 2012 to relocate the management office from the westernmost building to the easternmost building.

In May of 2019, the current governing ordinance, City of Chesterfield Ordinance 3049, was approved by City Council. The primary purpose of this ordinance amendment was to establish a maximum height of 60 feet for the proposed pavilion and indoor theater uses, including rooftop mechanical equipment, screening, and architectural features.



Figure 1: Aerial Site Photo

## **STAFF ANALYSIS**

**Chesterfield Valley Design Policies:** The City of Chesterfield’s Comprehensive Plan has a specific Chesterfield Valley Policies Element. The policies include commercial development with particular concern over the image presented by development along I-64. There are six specific policies of which four are applicable to the design of this project. Staff outlines the applicable policies below and how the Amended Site Development Plan relates to those policies.

**Policy 1: Facades of Buildings Along I-64 and Arterial Roadways** – Care should be taken to make sure that any portion of a building is equally uniform in materials and attractiveness as the primary facade. The intent is to avoid projects having their view from I-64/US 40 or the roadways appear to be the rear or side of a development.

The primary view of the entertainment district would be from the south, east, and west as one would see the buildings driving east to west/ west to east along I-64 and North Outer 40 Road. Rivers Edge Park and the Levee Trail system are located directly to the north of the subject site.

**Policy 2: Lighting of Buildings Along I-64/US 40** - The facades of buildings facing I-64 should be lighted to provide an attractive image at night for individuals traveling along I-64.

The lighting currently submitted consists of both decorative and utilitarian lighting. Lights that are not fully shielded flat lensed fixtures that enhance the architecture (decorative) will require approval from Planning Commission.



**Policy 3: Automobile Parking for Buildings Along I-64** - Parking should be primarily located to the side or rear of any building façade facing I-64/US 40 or along North Outer 40.

Surface parking shown on the Amended Site Development Plan is primarily shown in the front of all the existing buildings, as seen in Figure 1 on the previous page. There is minimal change in surface parking for the site compared to the existing conditions. A new 2 story parking garage is being constructed on the site and the proposed location is west of both the existing and proposed building footprint.

**Policy 4: Pedestrian Circulation** - In order to promote pedestrian movement, each development is required to address pedestrian circulation within and between all developments. This pedestrian system shall be designed in an overall safe, clearly understood plan meeting ADA (American Disabilities Act) requirements.

The site currently does not have a sidewalk along N Outer 40 Road, and there is not one being proposed within the scope of the redevelopment. The neighboring site to the east has an approved site plan that depicts a sidewalk connection internally from the Summit-Topgolf subdivision to a positioned cross walk on the eastern edge of the subject site.

**General Requirements for Site Design:**

The applicant has stated that The District project is being proposed in phases. This submittal is for Phase one, which consists of some existing buildings to remain and three proposed buildings: (1) parking garage, (2) music venue, and (3) recreational facility. Below (Figure 2) is an image of the overall conceptual master plan, followed by Figure 3, which solely depicts the scope of phase one.



Figure 2: Conceptual Master Plan for The District

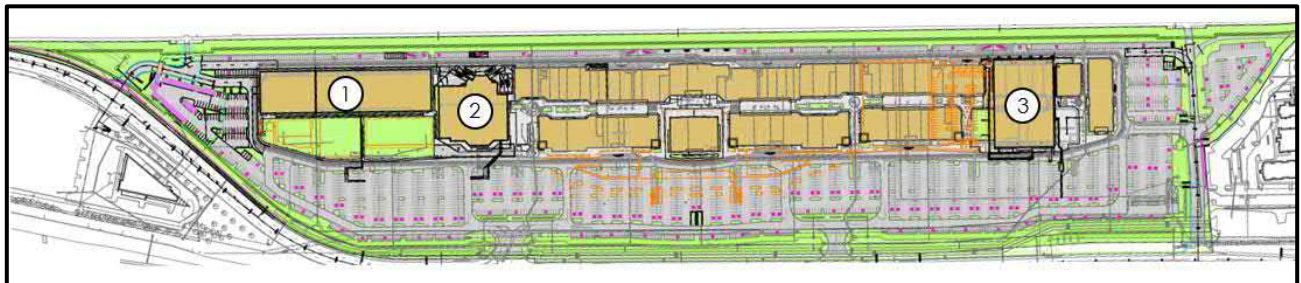


Figure 3: Completion of Phase One Color Site Plan

### **A. Site Relationships**

The subject site is located north of North Outer 40 Road and east of Boone's Crossing in what is classified as the Chesterfield Valley Area within the City's Comprehensive Land Use Plan. Given that North Outer 40 Road is a major arterial in accordance to the City of Chesterfield Street Classification Map and given the site's close proximity to I-64, the south, east, and west façades are highly visible. The site is also visible from the north from the Monarch Chesterfield Levee Trail. Directly to the east is Lot A of the Summit-Topgolf subdivision in which there is an approved site plan for a hotel that is 4 stories in height and roughly 85,000 square feet of gross floor area. The Topgolf facility is Lot B of the Summit Topgolf subdivision and is directly east of the proposed hotel. Directly to the west of the subject site are two bank/office buildings and combined have roughly 28,000 square feet of gross floor area.

The Unified Development Code outlines specific desirable and undesirable practices within site relationships. A desirable practice is to provide public plazas, courtyards, assembly areas, etc. Although Phase one does not specifically embody this practice, it should be noted that the conceptual master plan does include an outdoor pavilion at the center of the site which serves as one of the primary visual and physical focuses for the development as a whole.

### **B. Circulation and Access**

Vehicular access is composed of four entrances from N Outer 40 Road. The far western entrance will be relocated in conformance to the positioning as defined in the Traffic Study accomplished within the most recent ordinance amendment. It has been stated that the new parking garage will be primarily used for the proposed music venue. A traffic management plan has also been submitted in conjunction with the Amended Site Development Plan submittal to ensure the best traffic control for larger events.

Pedestrian access can largely be seen in two areas of the site. The first being on the west side of the tract via the Monarch Levee Trail and from the east internally with Lot A of the neighboring Summit-Topgolf subdivision.

### **C. Topography**

The site is relatively flat with a couple of feet of grade change from east to west and north to south for drainage. There is a large drainage channel along the southern edge of the site to remain. The finish floor elevation of the buildings are roughly 468'. For reference, the finish floor elevation for the neighboring Top Golf facility to the east is at 462' and the office/bank buildings to the west have finish floor elevations of 467' and 466'. There are no retaining walls existing or planned for this development.

### **General Requirements for Building Design:**

This request is to permit the construction of phase one of the re-development of the existing outlet mall located within the Chesterfield Outlets subdivision. Phase one has three primary components: A 2-story structured parking garage, a 3,000 seat indoor theatre, and a 48,559 square foot recreational facility. The parking garage has a gross floor area of 66,452 square feet and contains 375 spaces, which is roughly 15% of the total parking for the site. The indoor theatre is 52,063

square feet and is roughly 60 feet in height which is the largest habitable structure on the site. The recreational facility is 48,559 square feet and roughly 38’ in height.

**A. Scale**

Given this development will ultimately be achieved in phases, new buildings will be situated adjacent to the existing buildings and this review is for the development incorporating these changes. There are no planned changes to the existing buildings to remain. The existing buildings have a base height of 20’ with accents ranging from 24-28’ in height. Feature elements at the corners reach a maximum height of 40’. The new buildings will range in maximum height from 38’ (Recreational Facility) to 60’ (Music Venue). The height differential between existing and proposed buildings is depicted in blue in Figure 4 below. The appearance will also change visually from east to west. Approximately 946’ of the total 2,566 linear feet of virtually contiguous buildings, or 37% of the visual frontage, will be new in appearance, as seen in orange also in Figure 4.

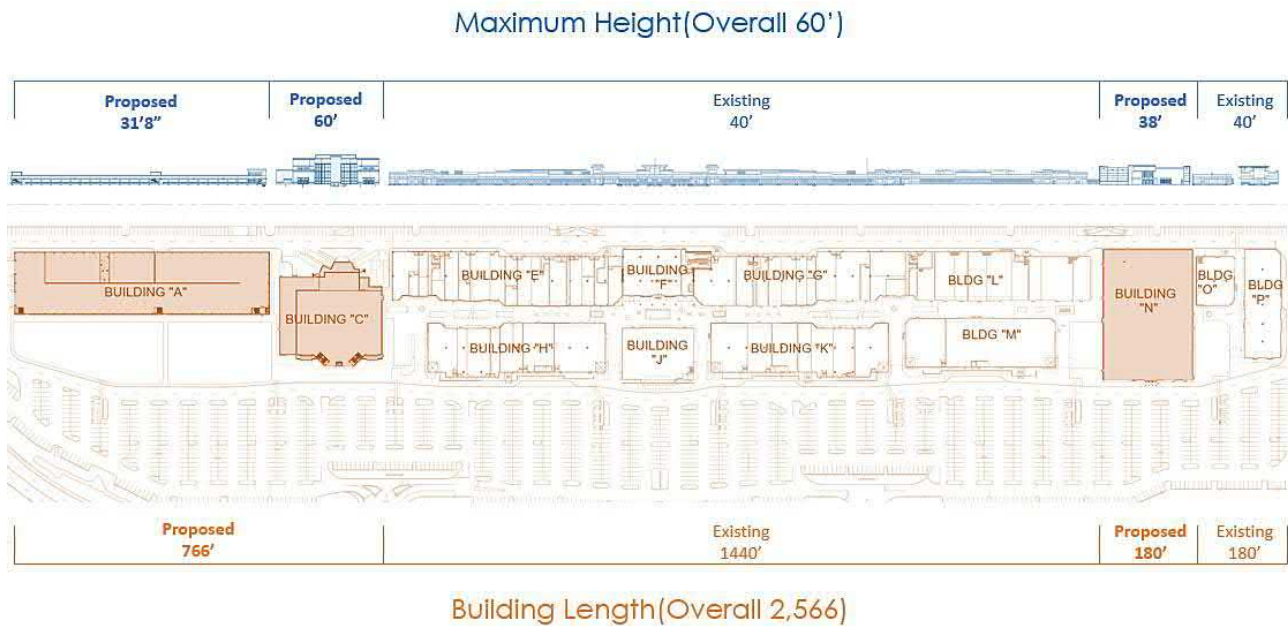


Figure 4: Existing vs Proposed Height and Length

**B. Design**

The applicant states within the provided Architectural Statement that Vintage Industrial is the architectural style chosen for the redevelopment. As previously mentioned, the development will be completed in phases, and when completed, the central portion will contain a main steel structure. This structure or “pavilion” is intended to be a communal area with a stage and open space to be used for concerts and a variety of entertainment options. Also in a future phase are multiple restaurant uses that surround or flank the community gathering space. The pavilion and flanking restaurants may be seen in Figure 2 on page 3.

The design of the current outlet mall was intended to be a classic retail pedestrian “shopping street” as stated in the associated previous ARB submittal. The project has an alternating series of

landscaped open court yards and sky lit covered pavilions. The far east anchor building acts as a “bookend” to the west and is scheduled to remain.

**C. Materials and Colors**

The existing buildings have a neutral/earthy palette of colors and materials. The colors include beiges, tans, terra cotta, and tones of gray, with a primarily white trim for much of the buildings. The materials include veneer brick, veneer stone, along with painted tilt-up concrete panels and applied EIFS trim and cornices.

The proposed buildings include materials primarily consisting of brick, stone, concrete tilt-up panels, EIFS systems, with aluminum glass and glazing. The colors of the proposed buildings are also earthy including beige, sand, walnut, gray and black. One exception to the neutral/earthy colors to both the existing and proposed buildings would be the utilization of Cobalt Stone Blue and Alpolc CFB Blue on the recreational facility and the utilization of yellow with the associated recreational facility bollards in front of the building as seen in Figure 7 on the following page.

North Outer 40 Road and I-64 are major arterials in accordance with the City of Chesterfield Street Classification Map and travel east to west parallel to the site and thus renders the south elevation the most prominent of all the elevations. Figures 5-7 depict the south elevations of all 3 proposed buildings in order from west to east. Each elevation will call out the primary materials and their associated (color).

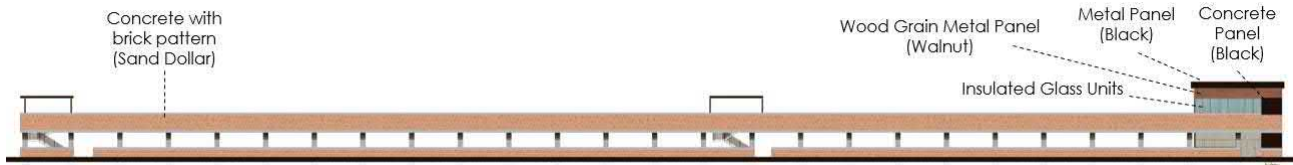


Figure 5: Parking Garage – South Elevation



Figure 6: Music Venue – South Elevation





Figure 7: Recreational Facility – South Elevation

#### D. Landscape Design and Screening

A Landscape Plan has been submitted in conjunction with the submittal. Most of the existing plantings are scheduled to remain, with most of the changes to the existing incorporated through adjusted landscape islands within the updated parking configuration. In total, there is a mixture of 13 new trees (Birch, Maple, and Oak) being proposed and 938 new shrubs of various species. All screening of rooftop mechanical units of proposed buildings is to be screened naturally by the building parapets. All trash enclosures and ground mechanical units are scheduled to remain or match the existing enclosures and can be seen in Figure 8 below.



Figure 8: Existing Trash, Electrical Switchgear, and Utility Screening

#### E. Lighting

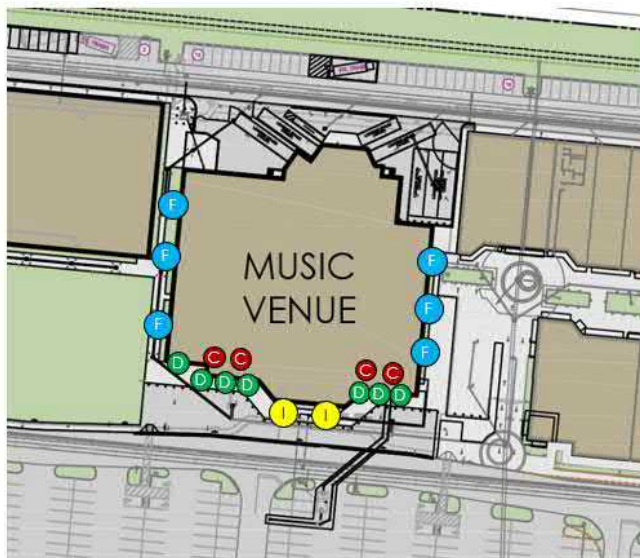
Lighting consists of utilitarian and decorative lighting within the Amended Site Development Plan submittal. The development will utilize several different lighting strategies. For the site lighting, 20' high silver pole mounted, black flat lensed fixtures with full cut features are used. This is for general light levels in the parking and other site spaces. Lights that are not fully shielded flat lensed fixtures that enhance the architecture (decorative) will require approval from Planning Commission.

Figure 9 below depicts the decorative lighting for the Music Venue. This lighting will include two features that are directed upward. One is a flood light approximately 1 foot above grade and one is

an ingrade uplight. The Unified Development Code specifically states to avoid floodlighting for facades of buildings facing I-64. The applicant has also stated that no uplighting will trespass beyond the roofline of any structure. Other decorative fixtures include a canopy downlight and wall sconces solely on the south façade.

Figure 10 below depicts the decorative lighting for the Recreational Facility. There is one decorative fixture which is a linear LED grey light fixture programmed with a static white output.

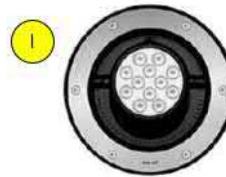
All three proposed buildings will include various utilitarian wall packs.



Flood Uplight



Canopy Downlight



Ingrade Uplight



Wall Sconce

Figure 9: Music Venue Lighting



LED Linear

Figure 10: Recreational Facility Lighting

## **DEPARTMENT INPUT**

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff's report to the Planning Commission.

Staff requests review and recommendation on this submittal for Chesterfield Outlets (17107 N Outer 40 Road – The District)

## **MOTION**

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Chesterfield Outlets (17107 N Outer 40 Road – The District), as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Chesterfield Outlets (17107 N Outer 40 Road – The District) to the Planning Commission with the following recommendations..."

### Attachments

1. Architectural Review Packet Submittal



THE

DISTRICT

AT CHESTERFIELD

ARCHITECTURAL REVIEW BOARD SUBMITTAL PACKAGE

AUGUST 16, 2019  
REVISED AUGUST 28, 2019

DEVELOPER

PREPARED BY



The Staenberg Group  
2127 Innerbelt Business Center Dr. Suite #310  
St. Louis, Missouri 63114 - 314.513.1500  
tsgproperties.com

Chiodini Architects  
1401 South Brentwood Blvd.  
St. Louis, Missouri 63144 - 314.725.5588  
chiodini.com







ARCHITECTURAL REVIEW BOARD  
Project Statistics and Checklist

Date of First Comment Letter Received from the City of Chesterfield 07/12/19  
Project Title: Chesterfield Outlets - The District Location: 17107 North Outer Forty Road  
Developer: TSG Chesterfield Lifestyle Architect: Chiodini Architects Engineer: Stock & Associates

PROJECT STATISTICS:

Size of site (in acres): 48.151 Total Square Footage: Building Height: Varies  
Proposed Usage: PC - Planned Commercial - Retail, Office, Entertainment  
Exterior Building Materials: Brick, stone, EIFS, metal panels, Concrete Tilt-up walls  
Roof Material & Design: Membrane roof system over rigid insulation  
Screening Material & Design: Perforated metal panels on Steel structure  
Description of art or architecturally significant features (if any):  
The central portion of The District, under the main steel structure of the development, will be a communal area with a stag

ADDITIONAL PROJECT INFORMATION:

- Checklist: Items to be provided in an 11" x 17" format
- Color Site Plan with contours, site location map, and identification of adjacent uses.
  - Color elevations for all building faces.
  - Color rendering or model reflecting proposed topography.
  - Photos reflecting all views of adjacent uses and sites.
  - Details of screening, retaining walls, etc.
  - Section plans highlighting any building off-sets, etc. (as applicable)
  - Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
  - Landscape Plan.
  - Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
  - Large exterior material samples. (to be brought to the ARB meeting)
  - Any other exhibits which would aid understanding of the design proposal. (as applicable)
  - Pdf files of each document required.

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ARB 12/2015

Page 1 of 2



THE DISTRICT – Architectural Statement

We see the reimagining of the old Taubman Outlet Mall to be a chance to bring people together to eat, drink, shop and play in a convenient one-stop center to be rebranded, The District. A development that combines a variety of uses brings vitality to the area, providing young and old from Chesterfield and the metropolitan St. Louis area with a safe, convenient and fun place to gather.

Site Relationship - The District is located on North Outer Forty just west of Top Golf development and east of the Boone's Crossing bridge. Surrounding the development is The Midwest Bank Building, proposed Hotel and Top Golf.

Circulation and access – The District have four entrances from North Outer Forty to the development. The entrance on the west end of the development will be relocated to accommodate the proposed changes to the development based on the traffic study.

Topography – The site is relatively flat with a slight grade east to west and north to south for drainage.

Retaining walls – There are no retaining walls on the existing development nor are any planned for the proposed changes to the development.

Design Materials - The development is an established project with existing materials that will be used or enhanced to the new "Vintage Industrial" look. The materials consist of brick, stone, concrete tilt-up panels, EIFS systems, Aluminum glass and glazing.

Landscape Design and Screening - The landscape is established for the development and the new landscaping will match the existing landscaping and the guidelines established by the City of Chesterfield. There are various screening methods developed for the development and all new screens required will match the establish existing screening methods and materials.

Site Lighting - The site lighting will remain and will be adjusted to accommodate the new buildings being added on the west end of the development.

The development will be done in phases and when the development is completed the central portion of The District, under the main steel structure of the development, will be a communal area with a stage and open space to be used for concerts and a variety of entertainment options. Flanking this community gathering space will be a myriad of restaurant, retail and entertainment choices.

Vintage Industrial is the architectural style chosen for the redevelopment. The raw simplicity of industrial style buildings combined with the retro feel of vintage architecture creates a statement of sleek but simple sophistication and a vibe that's comfortable, accessible and fun. The architectural design of industrial buildings depends mostly on how pronounced the standard features and characteristic lines of the structures are. Characteristic features include various engineering structures, such as flues and ventilation ducts, pipelines, and exposed equipment. The appearance of industrial buildings depends in great part on the artistic treatment of the materials and structures used, the shape of structures, the system used to divide walls into prefabricated elements, the surface finish, and the color of structural and finishing materials.

The beauty of Vintage Industrial architecture is that it's timeless, neutral, simple and natural.

Programming | Planning | Architecture | Interior | Graphics  
1401 South Brentwood Blvd. | Suite 575 | Saint Louis, Missouri 63144  
314.725.5388 | FAX 314.733.9999 | arch@chiodini.com

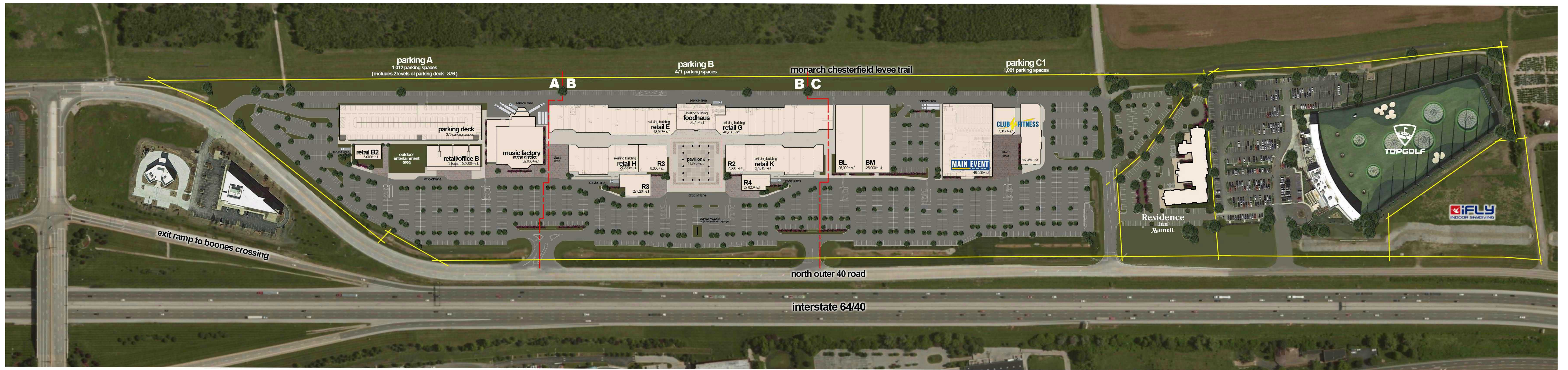


Sheet Name: ARCHITECTURAL STATEMENT

Date: AUGUST 15, 2019  
REVISED AUGUST 28, 2019

THE DISTRICT AT CHESTERFIELD THE STAENBERG GROUP DESIGN DEVELOP DELIVER Proposed Renovation and Expansion 17057 North Outer 40 Road Chesterfield, Missouri 63005 Chiodini ARCHITECTS Chiodini Associates - Architects | Interior Design | Graphics 1401 South Brentwood Blvd. Studio 575 Saint Louis, Missouri 63144 314.725.5388 | FAX 314.733.9999





## CONCEPTUAL MASTER PLAN

Sheet Name: OVERALL CONCEPT PLAN

Date: AUGUST 16, 2019

THE DISTRICT  
AT CHESTERFIELD

**THE STAENBERG GROUP**  
DESIGN • DEVELOP • DELIVER

Proposed Renovation and Expansion  
17057 North Outer 40 Road  
Chesterfield, Missouri 63005

*Chiodini*  
ARCHITECTS

Chiodini Associates - Architects | Interior Design | Graphics  
1401 South Brentwood Blvd. Studio 575  
Saint Louis, Missouri 63144  
314.725.5588 | FAX 314.733.9999





OVERALL COLOR SITE PLAN

Sheet Name: OVERALL COLOR SITE PLAN - PHASE 1 Date: AUGUST 16, 2019  
REVISED: AUGUST 28, 2019

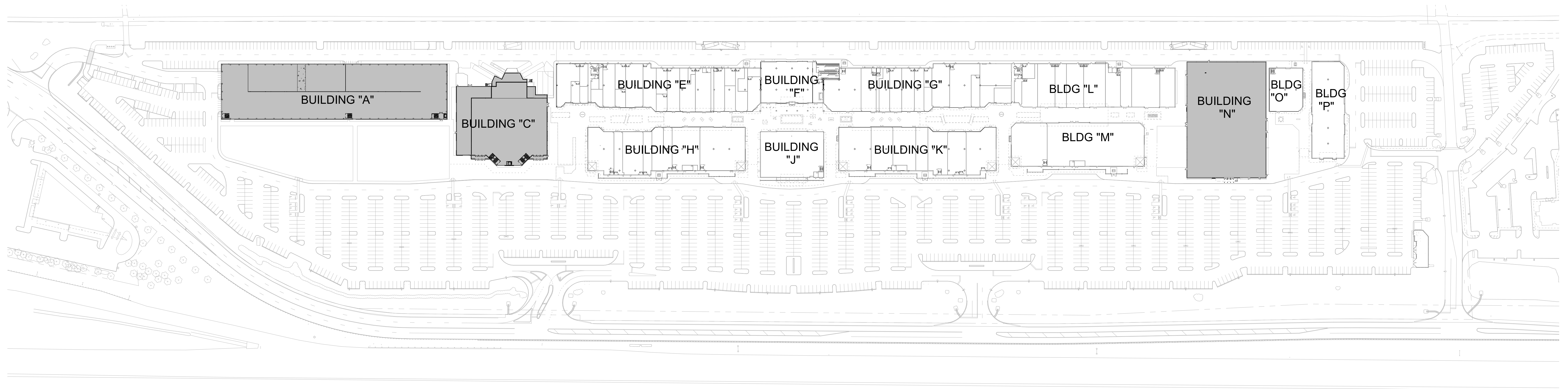
**THE DISTRICT**  
AT CHESTERFIELD

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Proposed Renovation and Expansion  
17057 North Outer 40 Road  
Chesterfield, Missouri 63005

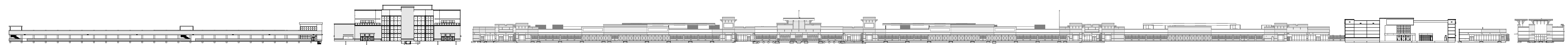
*Chiodini*  
ARCHITECTS  
Chiodini Associates - Architects | Interior Design | Graphics  
1401 South Brentwood Blvd. Studio 575  
Saint Louis, Missouri 63144  
314.725.5588 | FAX 314.733.9999





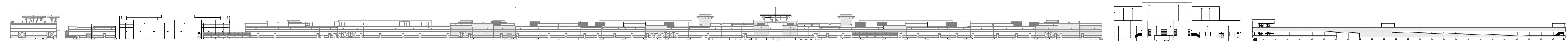
**OVERALL SITE PLAN - PHASE 1**

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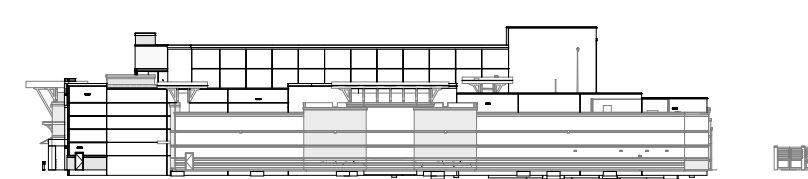
**OVERALL SOUTH ELEVATION - PHASE 1**

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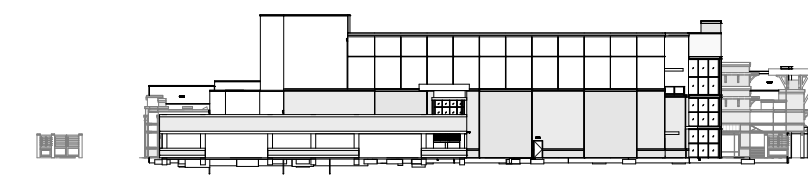
**OVERALL NORTH ELEVATION - PHASE 1**

scale: 1" = 80'



**OVERALL EAST ELEVATION - PHASE 1**

scale: 1" = 80'



**OVERALL EAST ELEVATION - PHASE 1**

scale: 1" = 80'

Sheet Name: PHASE 1 - OVERALL PLAN & ELEVATIONS Date: AUGUST 16, 2019

**THE DISTRICT**  
AT CHESTERFIELD

**THE STAENBERG GROUP**  
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Proposed Renovation and Expansion  
17057 North Outer 40 Road  
Chesterfield, Missouri 63005

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ARCHITECTS  
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TOP GOLF ON THE EAST SIDE OF THE DEVELOPMENT



BANK BUILDING ON THE WEST SIDE OF THE DEVELOPMENT



FIRST COMMUNITY BUILDING ACROSS HIGHWAY ON THE SOUTH SIDE OF THE DEVELOPMENT

Sheet Name: SURROUNDING AREA PHOTOGRAPHS Date: AUGUST 16, 2019





LOOKING SOUTHEAST FROM BACK DRIVE @ NEW BUILDING "A & C"



LOOKING NORTHEAST FROM FRONT DRIVE @ NEW BUILDING "A & C"



LOOKING EAST FROM EAST ENTRY @ NEW BUILDING "A"



LOOKING NORTHWEST FROM FRONT DRIVE @ NEW BUILDING "C"



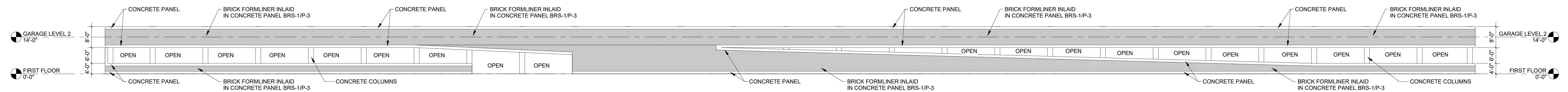
LOOKING NORTH FROM FRONT DRIVE @ NEW BUILDING "N"



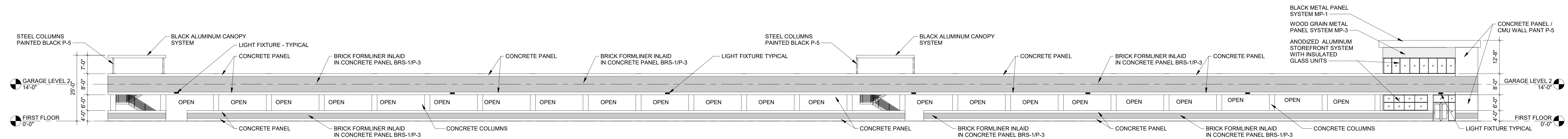
Sheet Name: EXISTING SITE PHOTOGRAPHS

Date: AUGUST 16, 2019

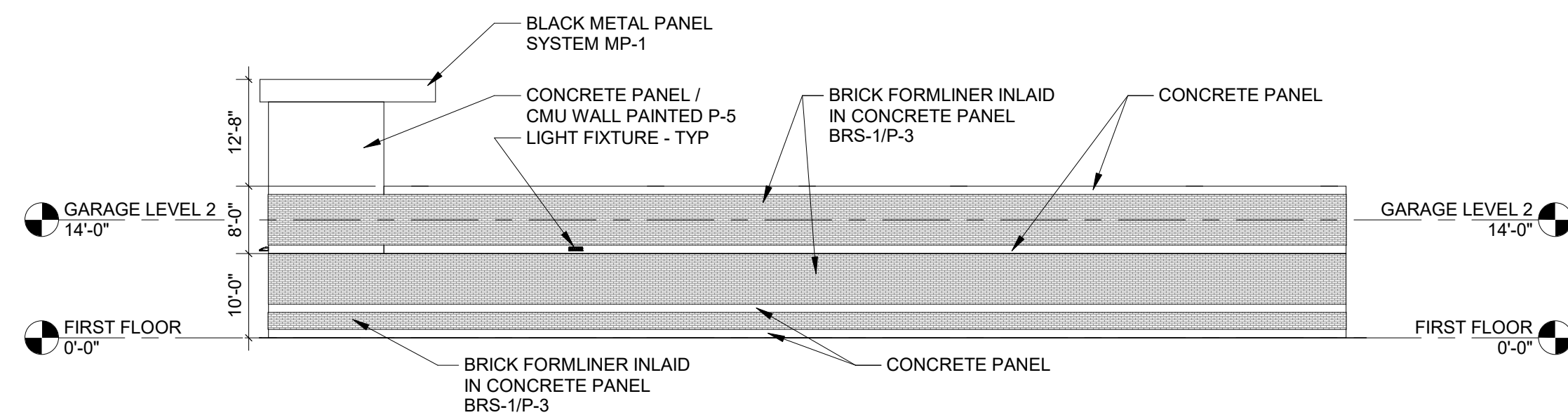




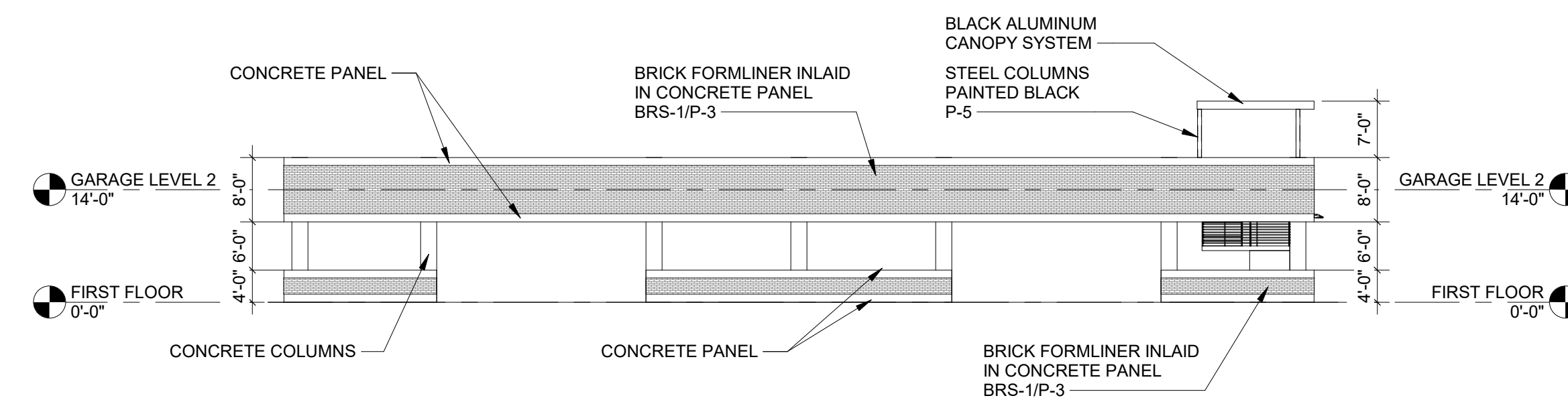
1 NORTH ELEVATION - BUILDING "A"  
1/16" = 1'-0"



2 SOUTH ELEVATION - BUILDING "A"  
1/16" = 1'-0"



3 EAST ELEVATION - BUILDING "A"  
1/16" = 1'-0"

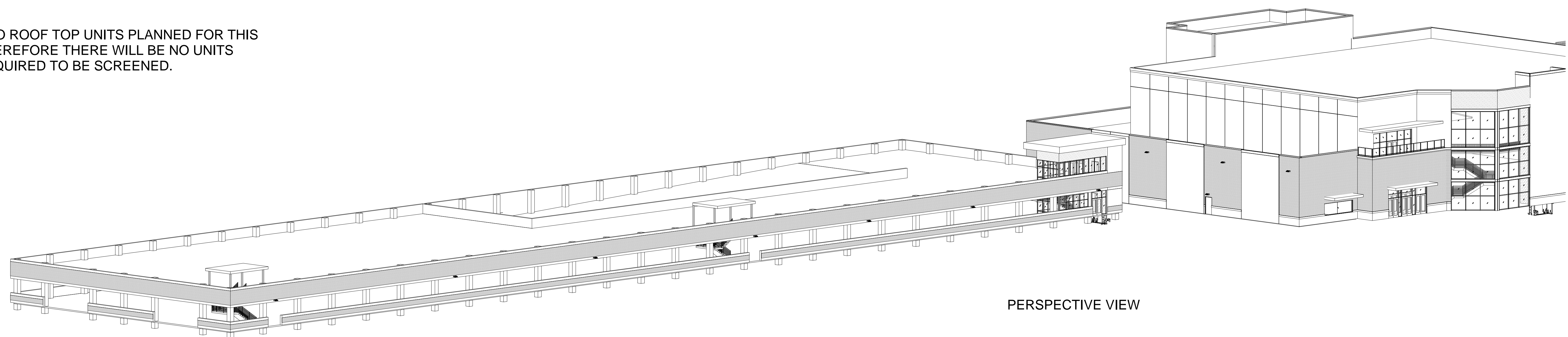


4 WEST ELEVATION - BUILDING "A"  
1/16" = 1'-0"

**EXTERIOR FINISH MATERIAL  
LEGEND - BUILDING A**

BRS-1	<b>BRICK STAMP PATTERN IN CONCRETE</b>
P-2	<b>PAINT - EXTERIOR PAINT SYSTEM</b> SHERWIN WILLIAMS CUSTOM COLOR #SANDLEWOOD BEIGE
P-3	<b>PAINT - EXTERIOR PAINT SYSTEM</b> SHERWIN WILLIAMS CUSTOM COLOR #BAND DOLLAR
P-5	<b>PAINT - EXTERIOR PAINT SYSTEM</b> BENJAMIN MOORE #2119-10 "SPACE BLACK"
MC-3	<b>METAL COPING SYSTEM</b> BLACK
MP-1	<b>METAL PANEL SYSTEM</b> BLACK
MP-3	<b>METAL PANEL SYSTEM</b> ROLLFAB ALUMINUMBOARD 6" PLANK - LIGHT NATIONAL WALNUT TEXTURED

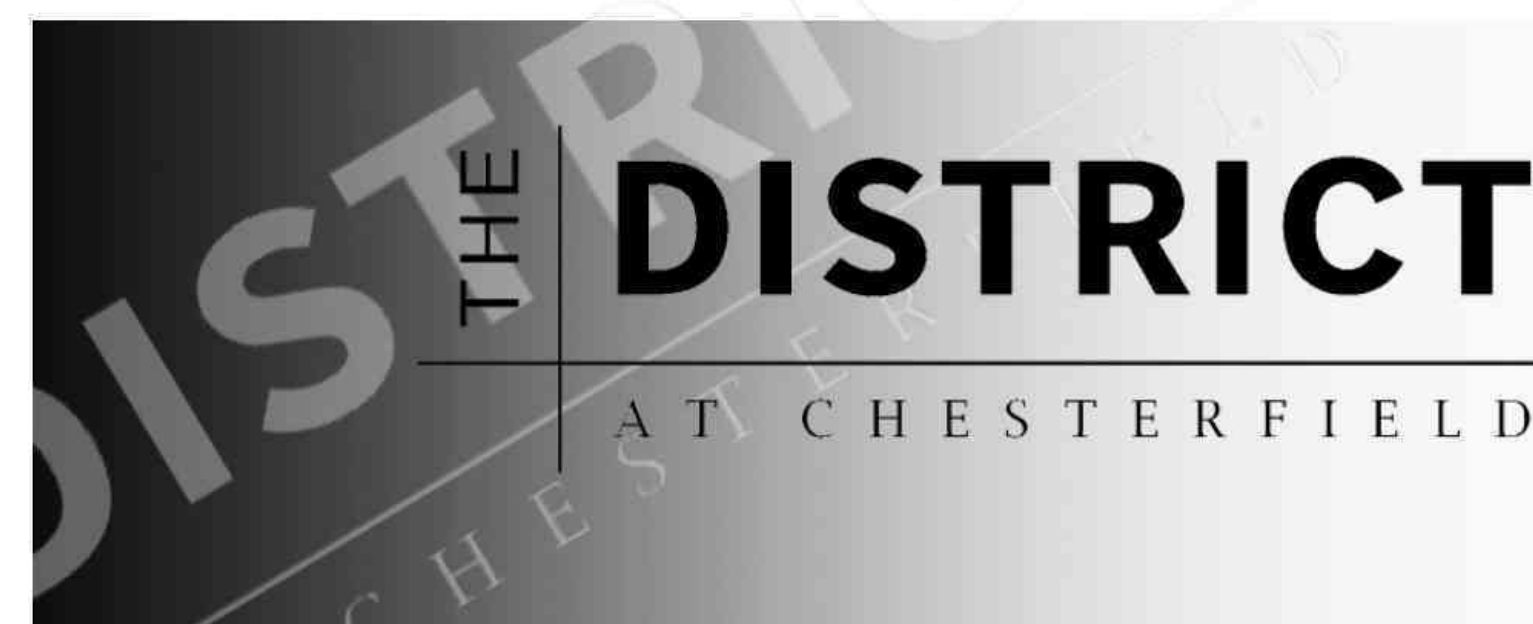
THERE ARE NO ROOF TOP UNITS PLANNED FOR THIS BUILDING, THEREFORE THERE WILL BE NO UNITS THAT ARE REQUIRED TO BE SCREENED.



PERSPECTIVE VIEW

Sheet Name: EXTERIOR ELEVATIONS - BLDG "A"

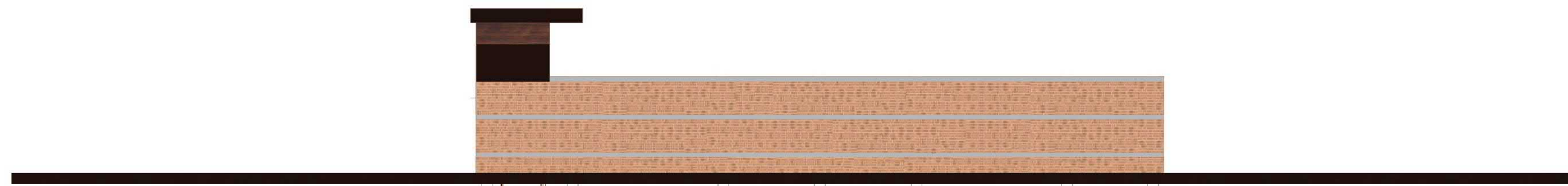
Date: AUGUST 16, 2019  
REVISED - AUGUST 30, 2019



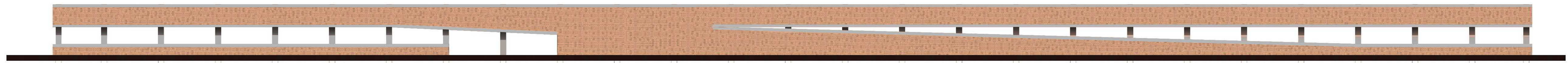
Proposed Renonovation and Expansion  
17057 North Outer 40 Road  
Chesterfield, Missouri 63005







EAST ELEVATION



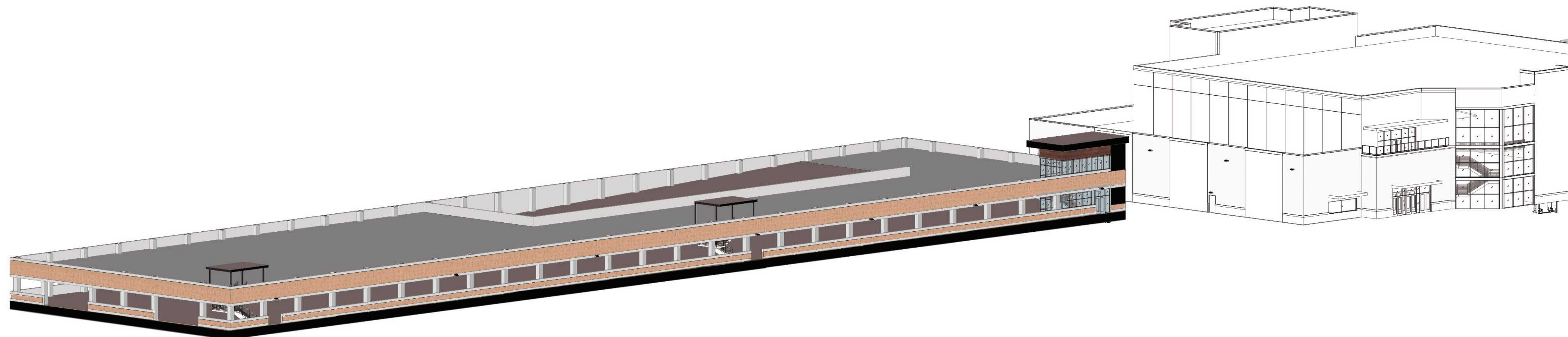
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



PERSPECTIVE VIEW

Sheet Name: COLOR ELEVATIONS - BLDG "A"

Date: AUGUST 16, 2019





Sheet Name: RENDERING - BUILDING "A"

Date: AUGUST 16, 2019

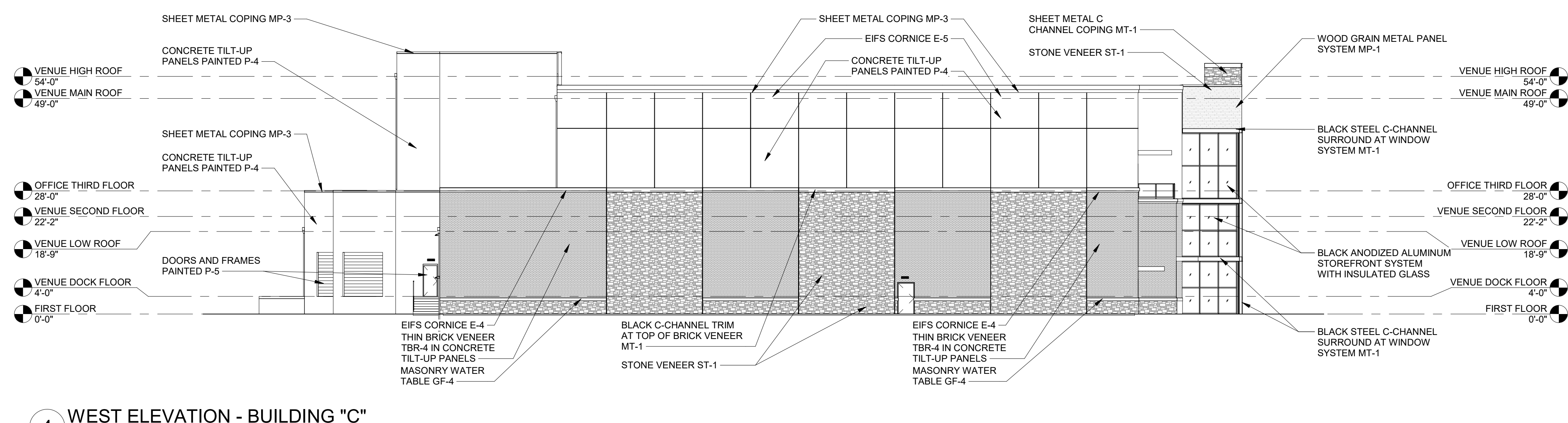
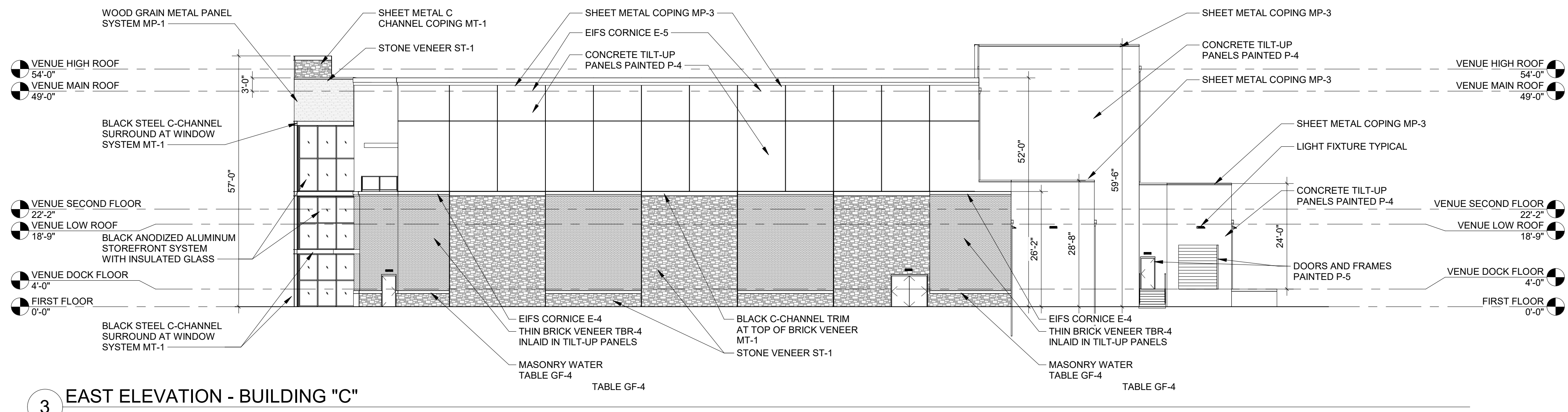
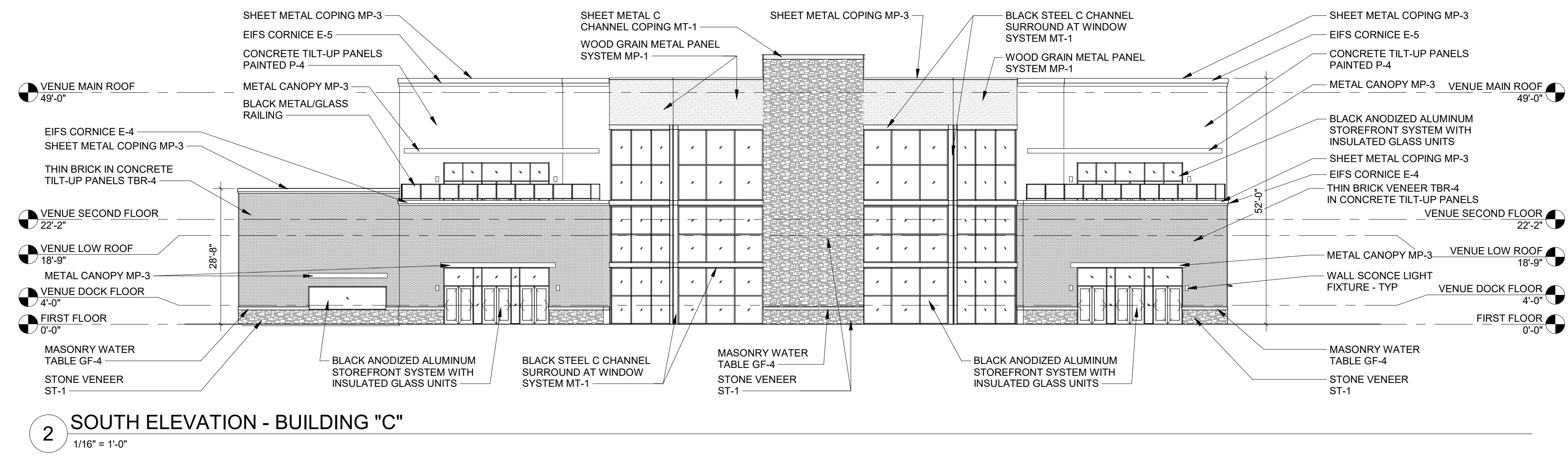
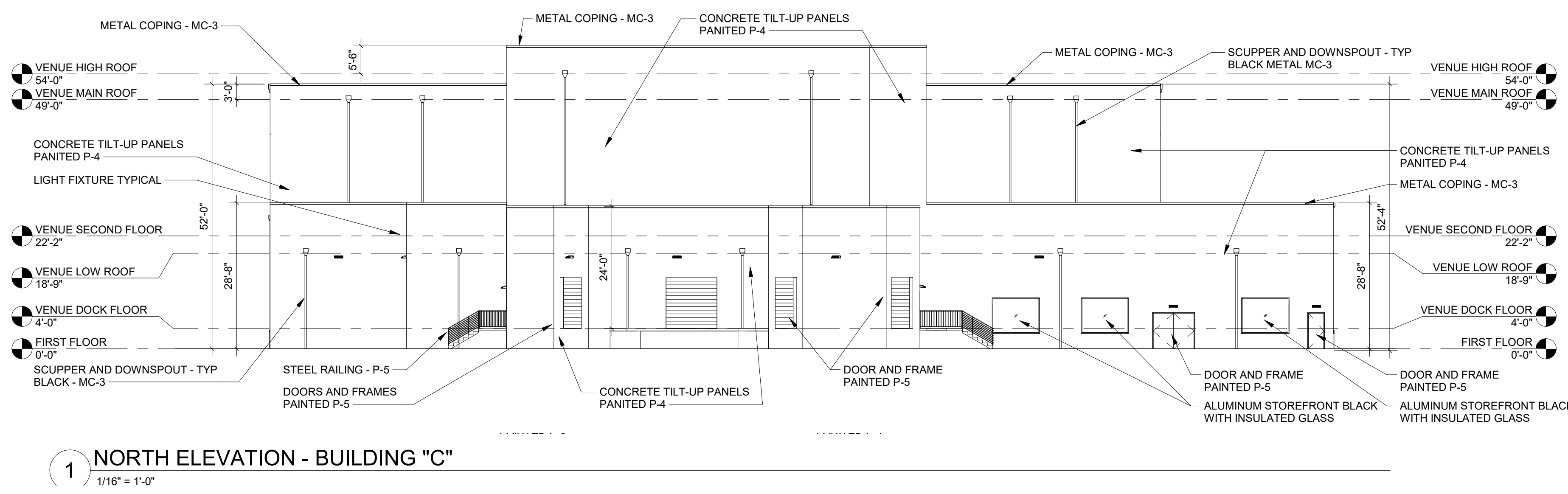
THE DISTRICT  
AT CHESTERFIELD

THE STAENBERG GROUP  
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Proposed Renovation and Expansion  
17057 North Outer 40 Road  
Chesterfield, Missouri 63005

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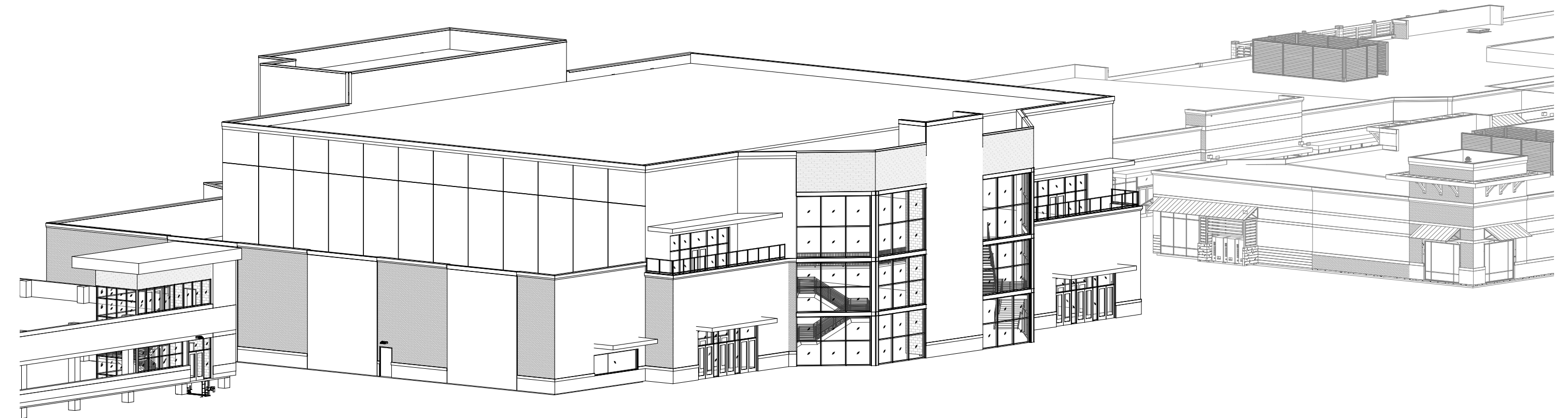


ALL MECHANICAL EQUIPMENT ON ROOF WILL BE SCREENED BY PARAPET WALLS

EXTERIOR ELECTRICAL SWITCHBOARD EQUIPMENT WILL BE SCREENED IN ACCORDANCE WITH THE SAME SCREENING METHODS ESTABLISHED FOR DEVELOPMENT

**EXTERIOR FINISH MATERIAL LEGEND - BUILDING C**

TBR-4	<b>THIN BRICK VENEER 1</b> FELDHUIS #717 ACCUDO - MEDIUM WARM GRAY BRICK
ST-1	<b>STONE - STONE VENEER 1</b> ELDORADO STONE WADSWORTH - STACKED STONE
P-4	<b>PAINT - EXTERIOR PAINT SYSTEM</b> BENJAMIN MOORE #2110-30 "SADDLE SOAP"
P-5	<b>PAINT - EXTERIOR PAINT SYSTEM</b> BENJAMIN MOORE #2119-10 "SPACE BLACK"
E-4	<b>EIFS - EXTERIOR INSULATION FINISH SYSTEM</b> MEDIUM WARM GRAY TO MATCH BENJAMIN MOORE #2119-10 "SPACE BLACK"
E-5	<b>EIFS - EXTERIOR INSULATION FINISH SYSTEM</b> BLACK TO MATCH BENJAMIN MOORE #2119-10 "SPACE BLACK"
MC-3	<b>METAL COPING SYSTEM</b> BLACK
MP-1	<b>METAL PANEL SYSTEM</b> ROLLFAB LUMASBOARD 9" PLANKS - LIGHT NATIONAL WALNUT TEXTURED
MP-3	<b>METAL PANEL SYSTEM</b> BLACK
MT-1	<b>METAL TRIM - "C" CHANNEL</b> BLACK
GF-4	<b>MASONRY - GROUND FACE UNIT</b> TRENDSSTONE - MEDIUM WARM GRAY



PERSPECTIVE VIEW - BUILDING "C"

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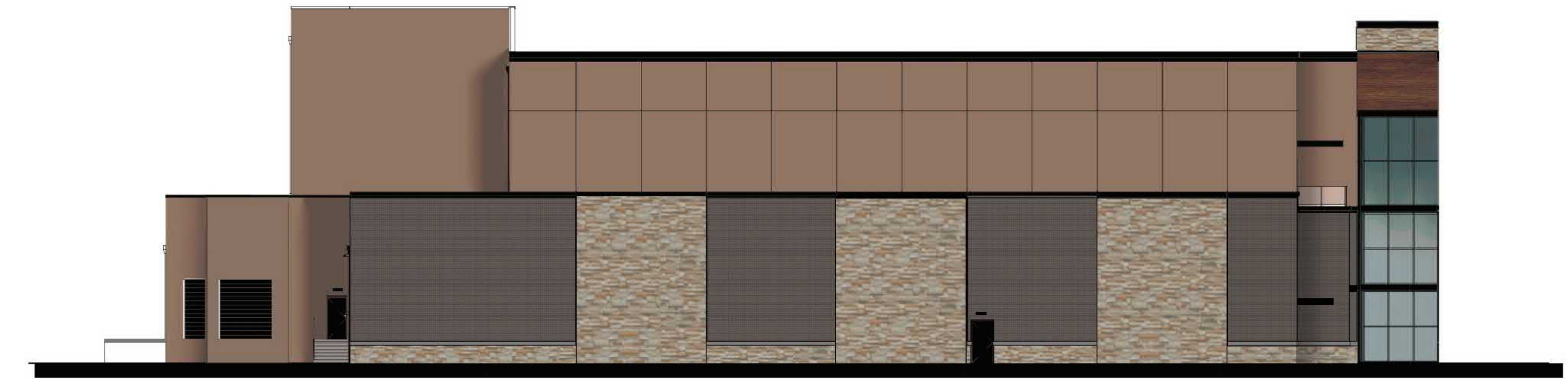
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



PERSPECTIVE VIEW

Sheet Name: COLOR ELEVATION - BLDG "C"

Date: AUGUST 16, 2019





Sheet Name: RENDERING - BUILDING "C"

Date: AUGUST 16, 2019

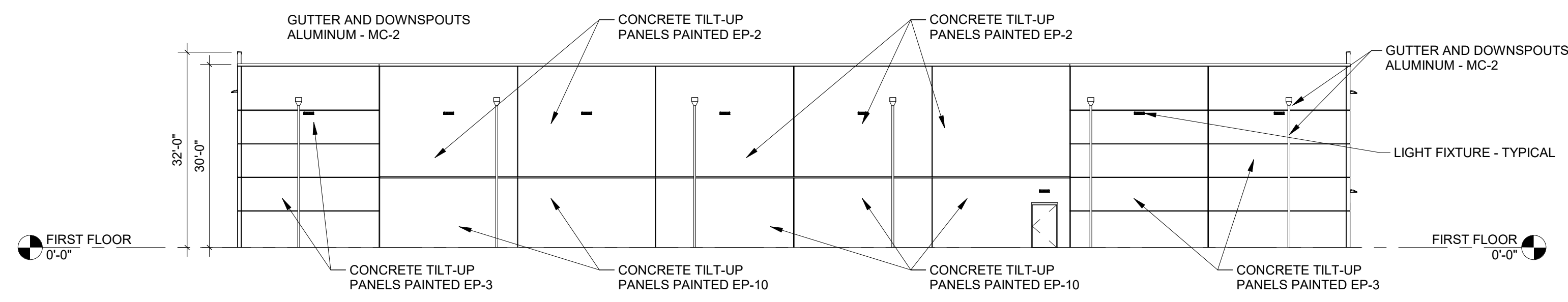
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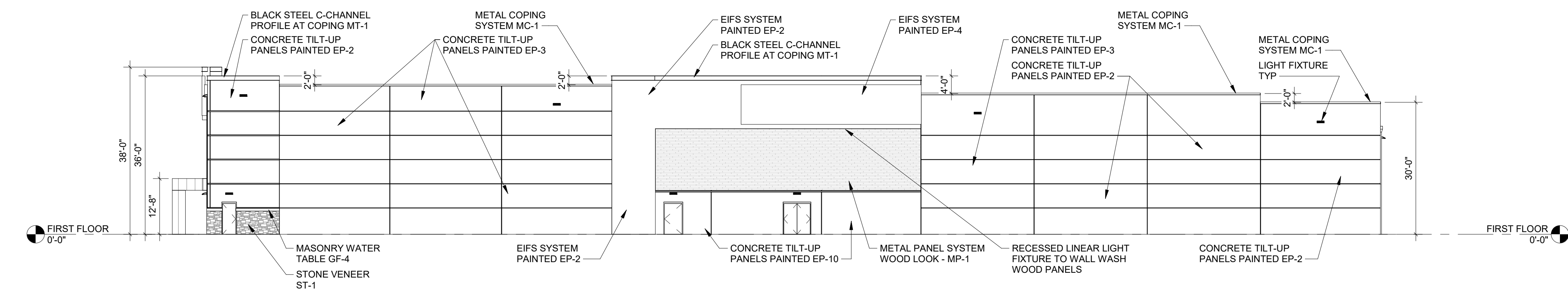
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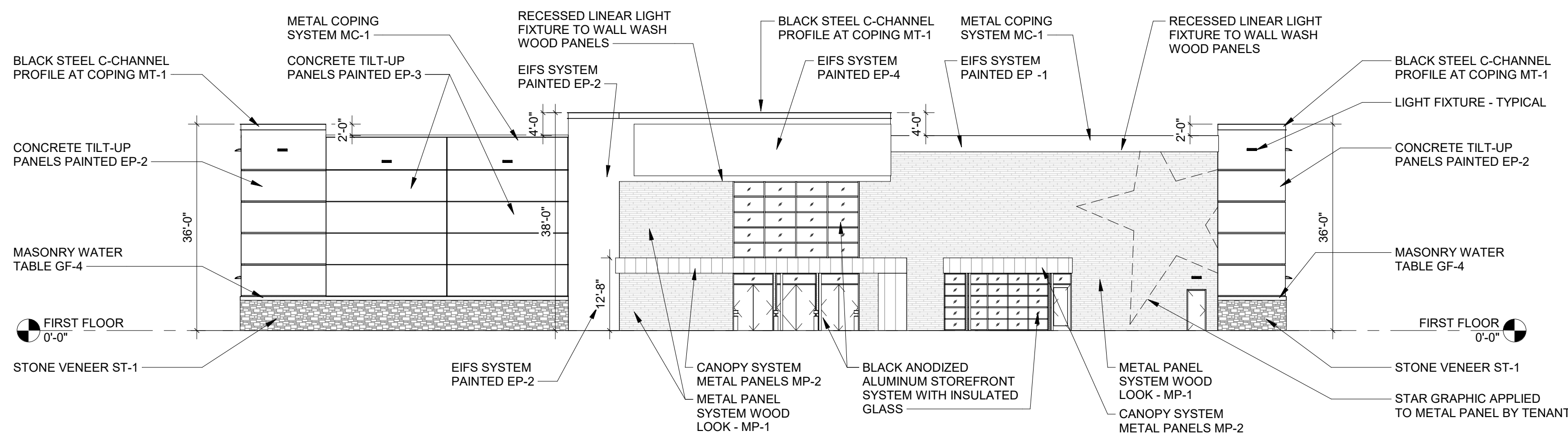
1 NORTH ELEVATION - BUILDING "N"

1/16" = 1'-0"



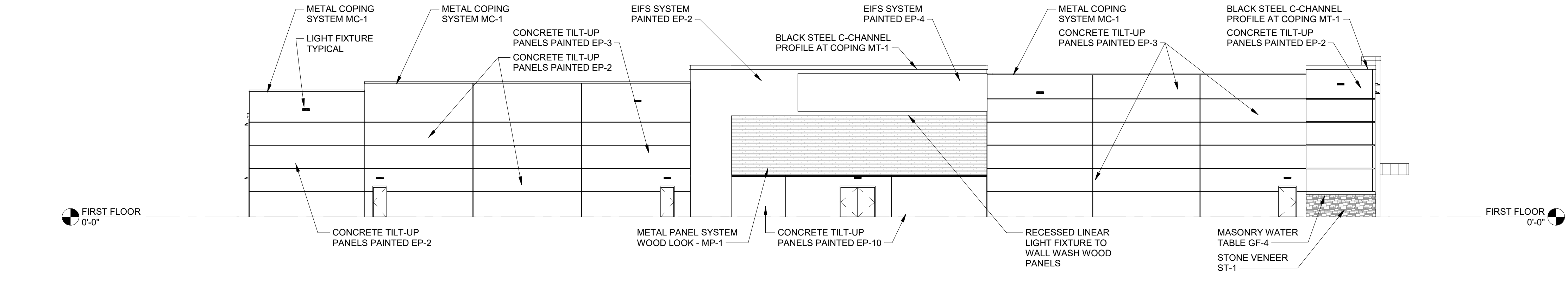
2 EAST ELEVATION - BUILDING "N"

1/16" = 1'-0"



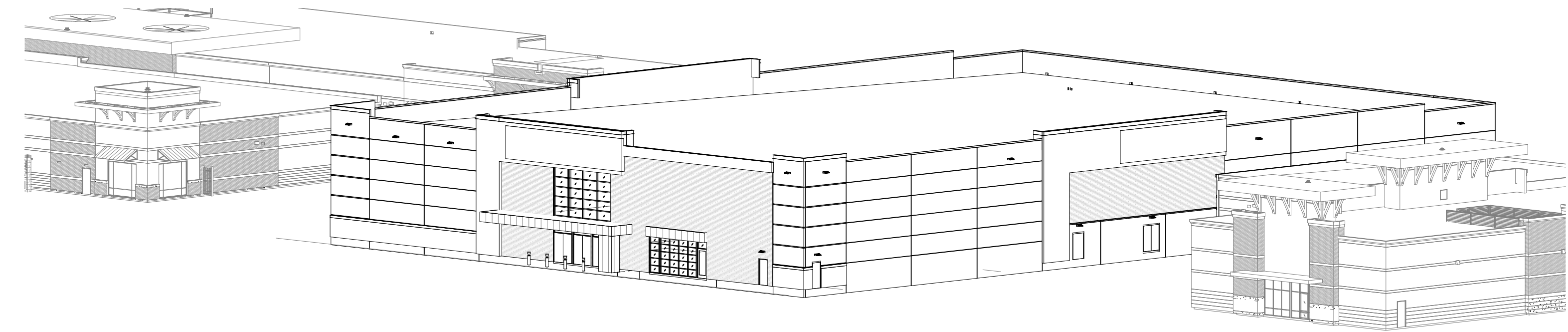
3 SOUTH ELEVATION - BUILDING "N"

1/16" = 1'-0"



4 WEST ELEVATION - BUILDING "N"

1/16" = 1'-0"



PERSPECTIVE VIEW

ALL MECHANICAL EQUIPMENT ON ROOF WILL BE SCREENED BY PARAPET WALLS

EXTERIOR ELECTRICAL SWITCHBOARD EQUIPMENT WILL BE SCREENED IN ACCORDANCE WITH THE SAME SCREENING METHODS ESTABLISHED FOR DEVELOPMENT

EXTERIOR FINISH MATERIAL LEGEND - BUILDING N

ST-1	<b>STONE - STONE VENEER 1</b> ELDORADO STONE #ALDERWOOD
EP-1	<b>PAINT - EXTERIOR PAINT SYSTEM</b> SBOU WHITE - SW 7042
EP-2	<b>PAINT - EXTERIOR PAINT SYSTEM</b> ACCESSIBLE BEIGE - SW7039
EP-3	<b>PAINT - EXTERIOR PAINT SYSTEM</b> VIRTUAL TAURE - SW7039
EP-4	<b>PAINT - EXTERIOR PAINT SYSTEM</b> CORAL STONE - PPG 12413
EP-10	<b>PAINT - EXTERIOR PAINT SYSTEM</b> GRIFFIN - SW7029
MC-1	<b>METAL COPING SYSTEM</b> BLACK
MC-2	<b>METAL SCUPPERS &amp; DOWNSPOUTS</b> BERTRIDGE - SIERRA TAN
MP-1	<b>METAL PANEL SYSTEM</b> ROLLFAB - SUPER OAK TEXTURED
MP-2	<b>METAL PANEL SYSTEM</b> ALPOLIC CFB BLUE
MT-1	<b>METAL TRIM - "C" CHANNEL</b> BLACK
GF-4	<b>MASONRY - GROUND FACE UNIT</b> TRENKSTONE MEDIUM WARM GRAY

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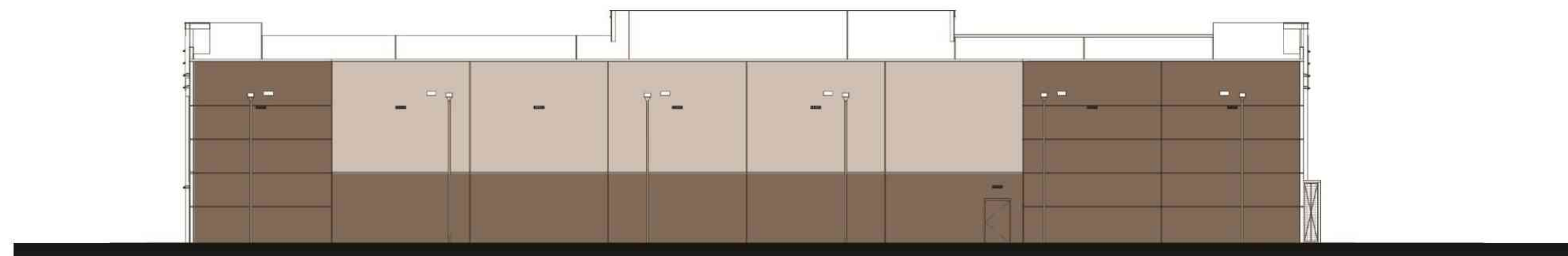
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EAST ELEVATION



PERSPECTIVE VIEW

Sheet Name: COLOR ELEVATIONS - BLDG "N"

Date: AUGUST 16, 2019  
REVISED AUGUST 28, 2019





Sheet Name: RENDERING - BUILDING "N"

Date: AUGUST 16, 2019

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EXISTING SCREENING SYSTEM FOR TRASH ENCLOSURES



EXISTING SCREENING SYSTEM FOR SANITARY PUMP STATION



EXISTING SCREENING SYSTEM FOR SOUTH ELEVATION OF DEVELOPMENT AT UTILITY LOCATIONS



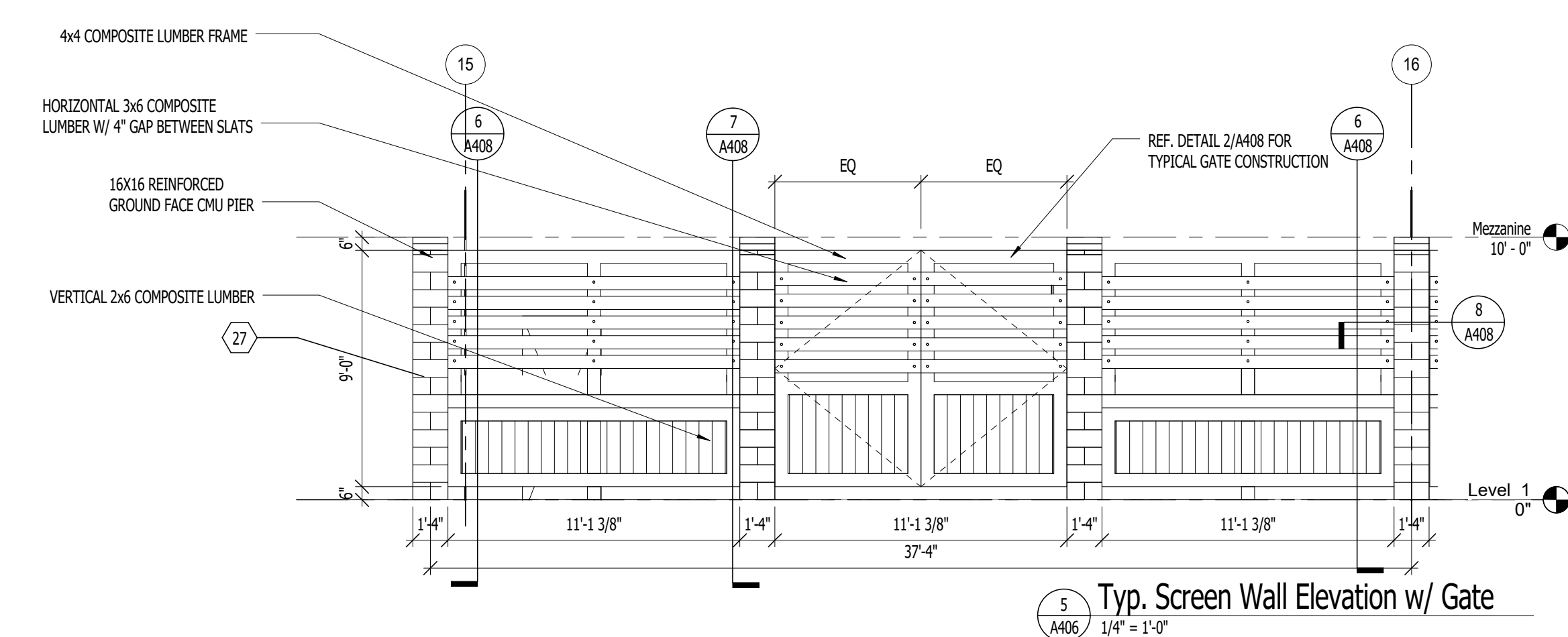
EXISTING SCREENING SYSTEM FOR SOUTH ELEVATION OF DEVELOPMENT AT UTILITY LOCATIONS

ALL NEW SCREENING REQUIRED FOR DEVELOPMENT WILL MATCH THE EXISTING SCREENING SYSTEMS ESTABLISHED AND APPROVED FOR THE DEVELOPMENT

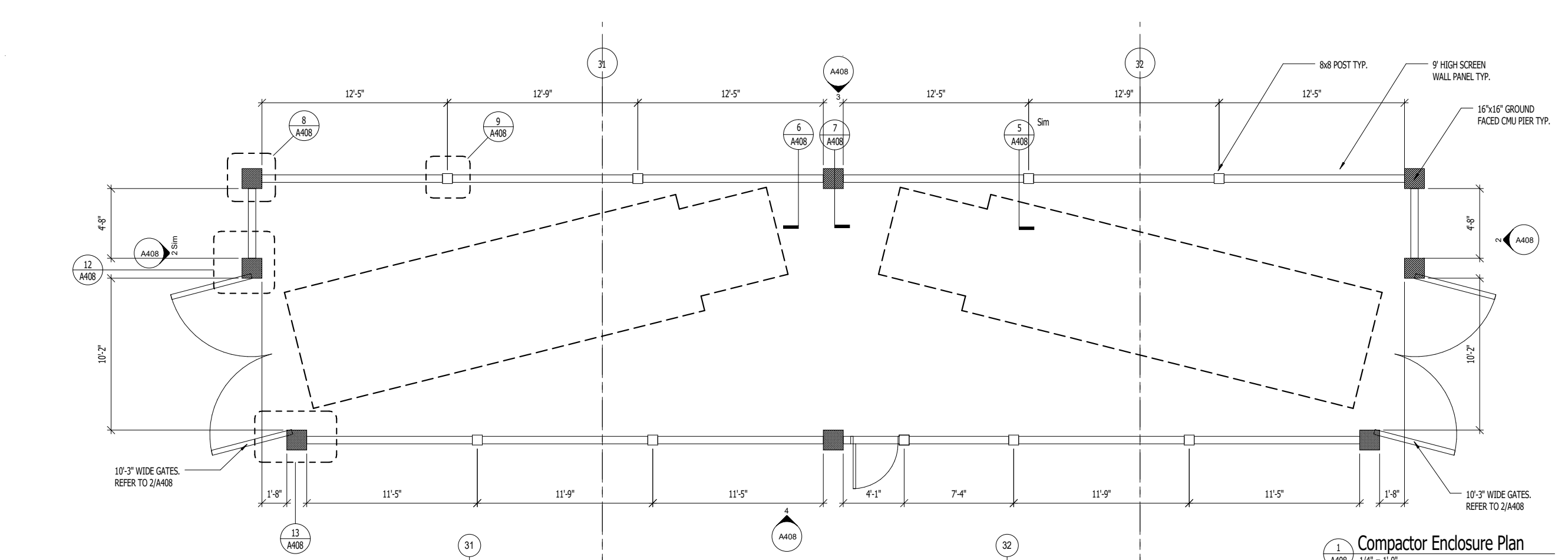


EXISTING SCREENING SYSTEM FOR ELECTRICAL SWITCHGEAR

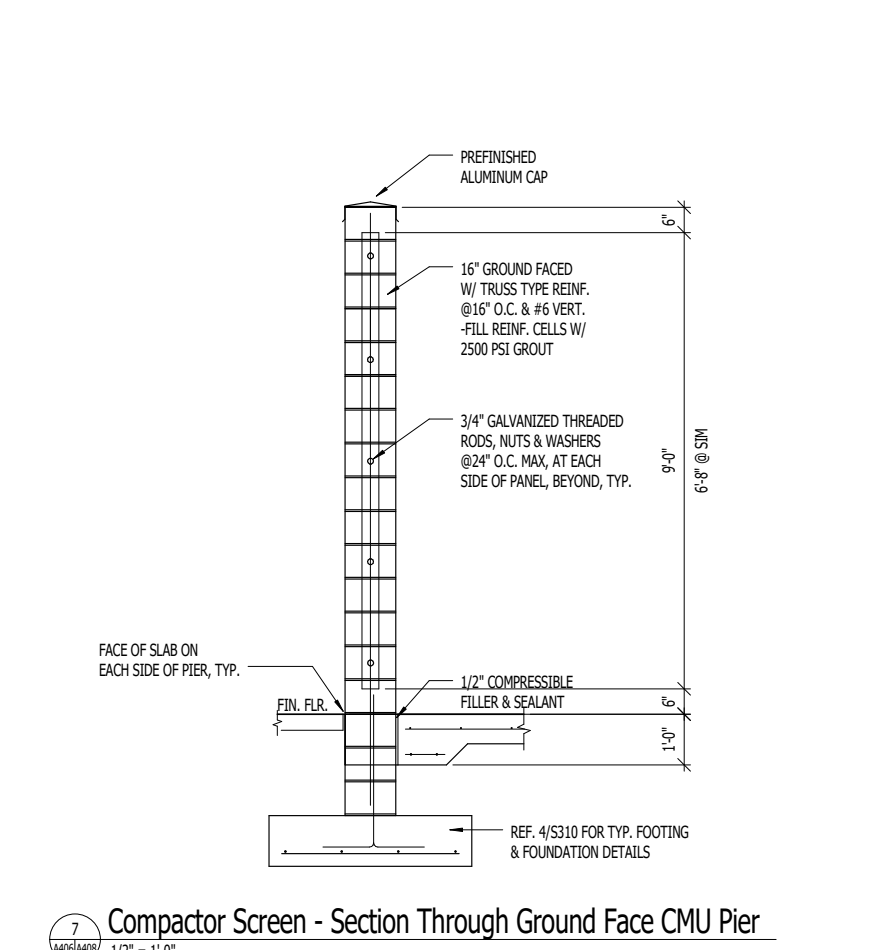




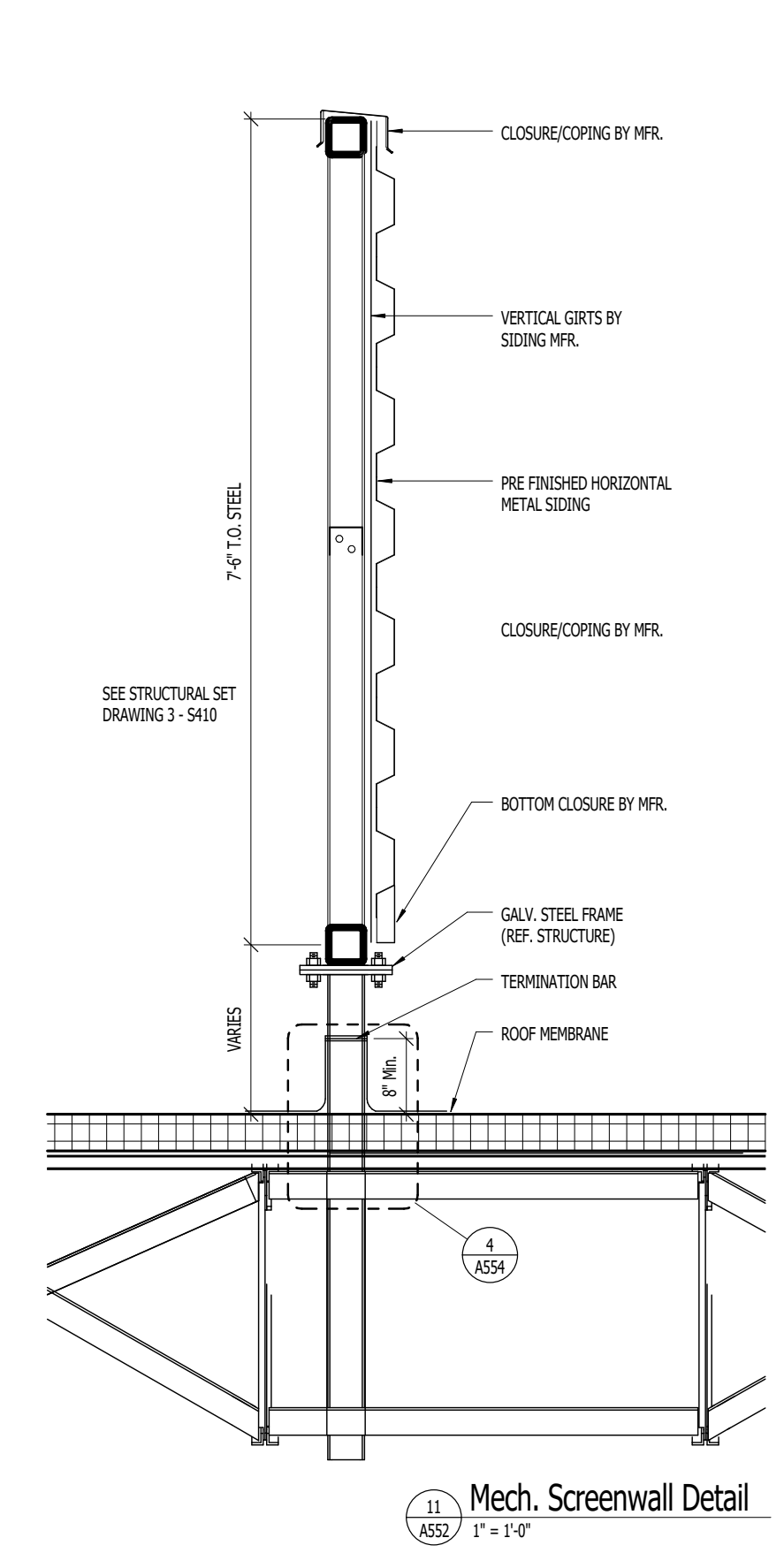
5  
A406  
1/4" = 1'-0"



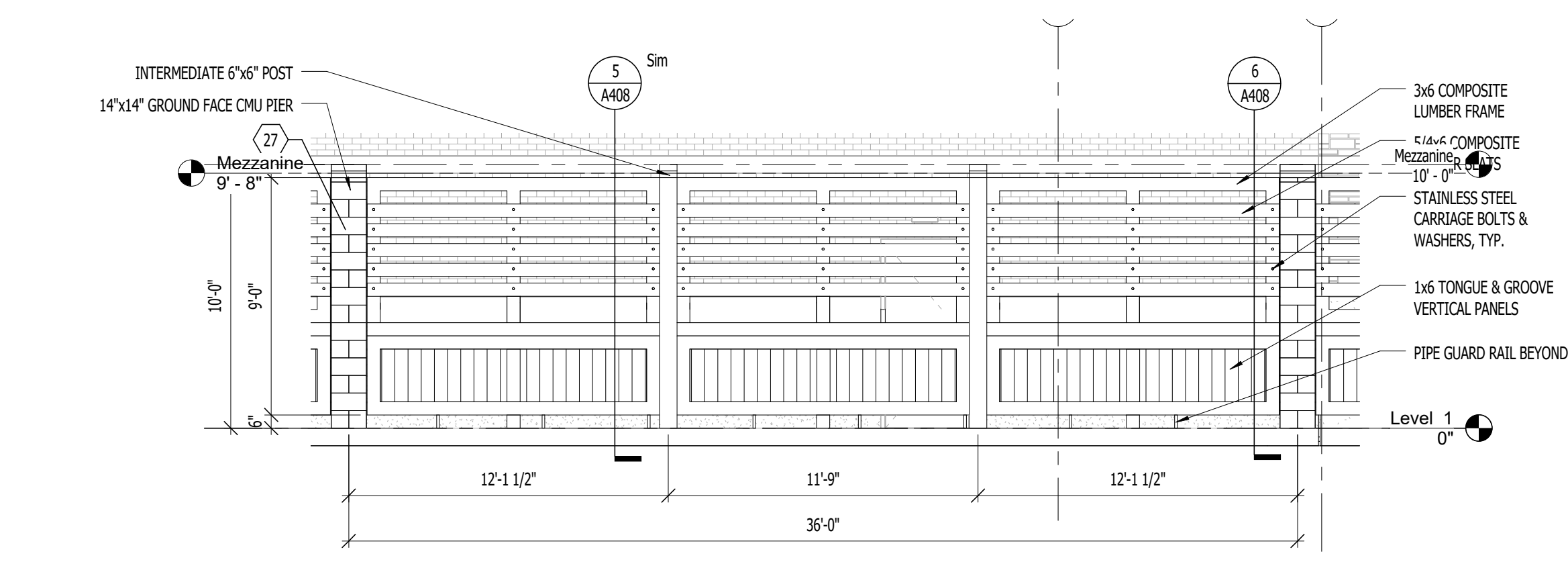
1  
A406  
1/4" = 1'-0"



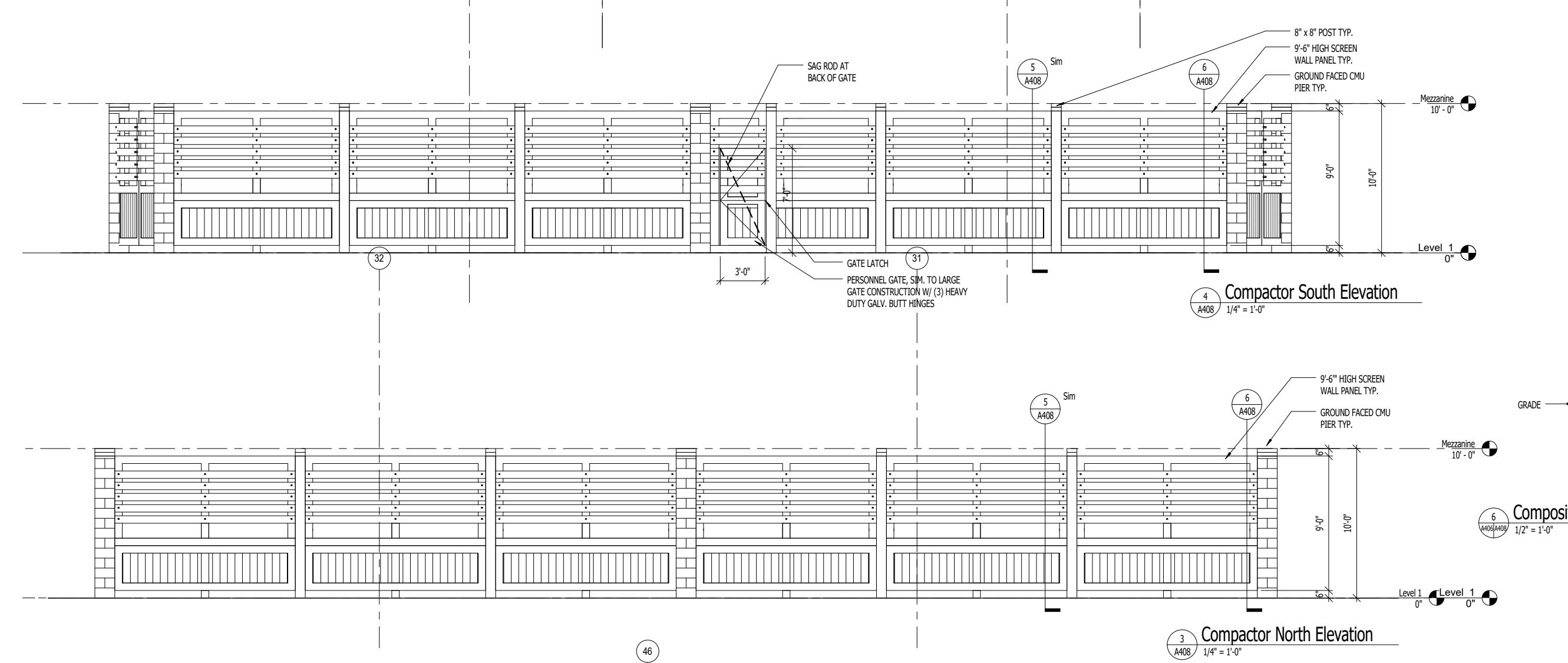
1  
A406  
1/2" = 1'-0"



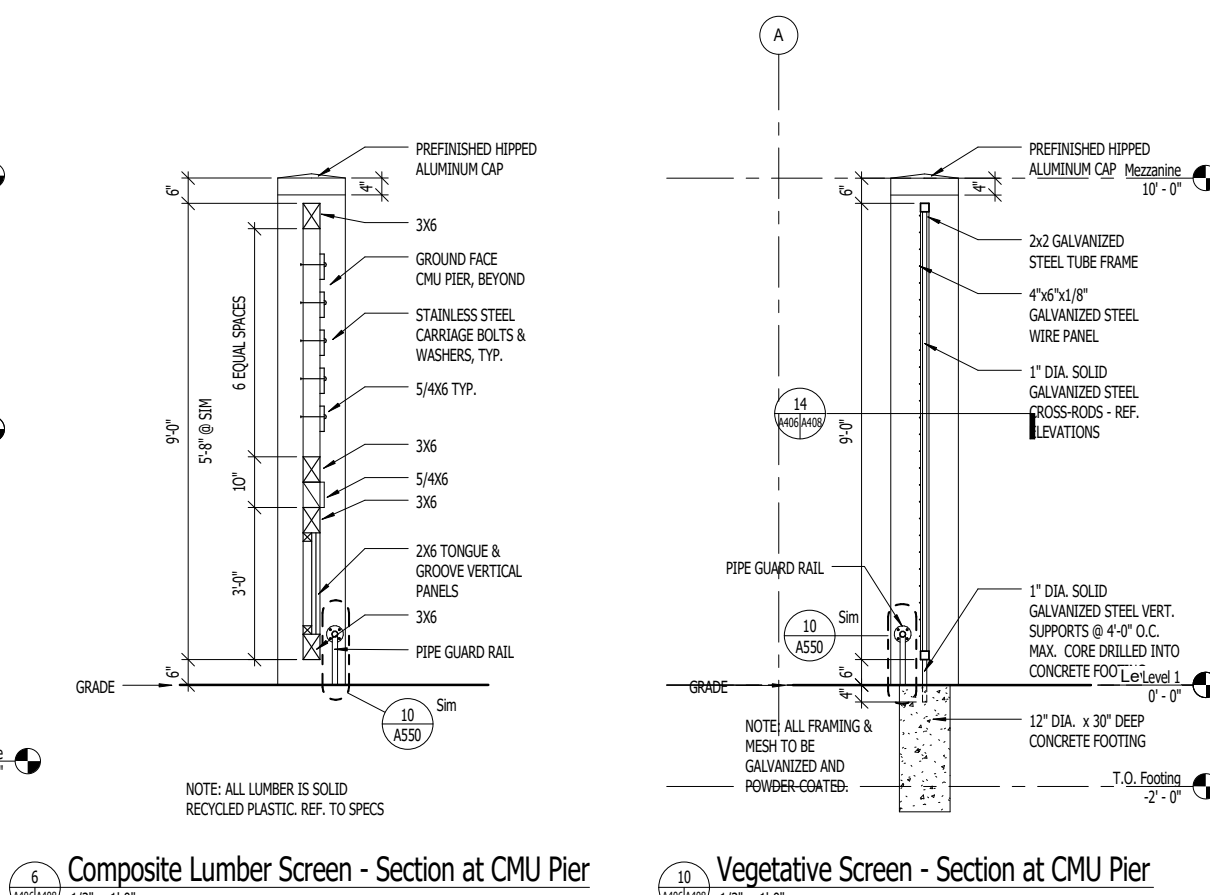
11  
A406  
1" = 1'-0"



9  
A406  
1/4" = 1'-0"

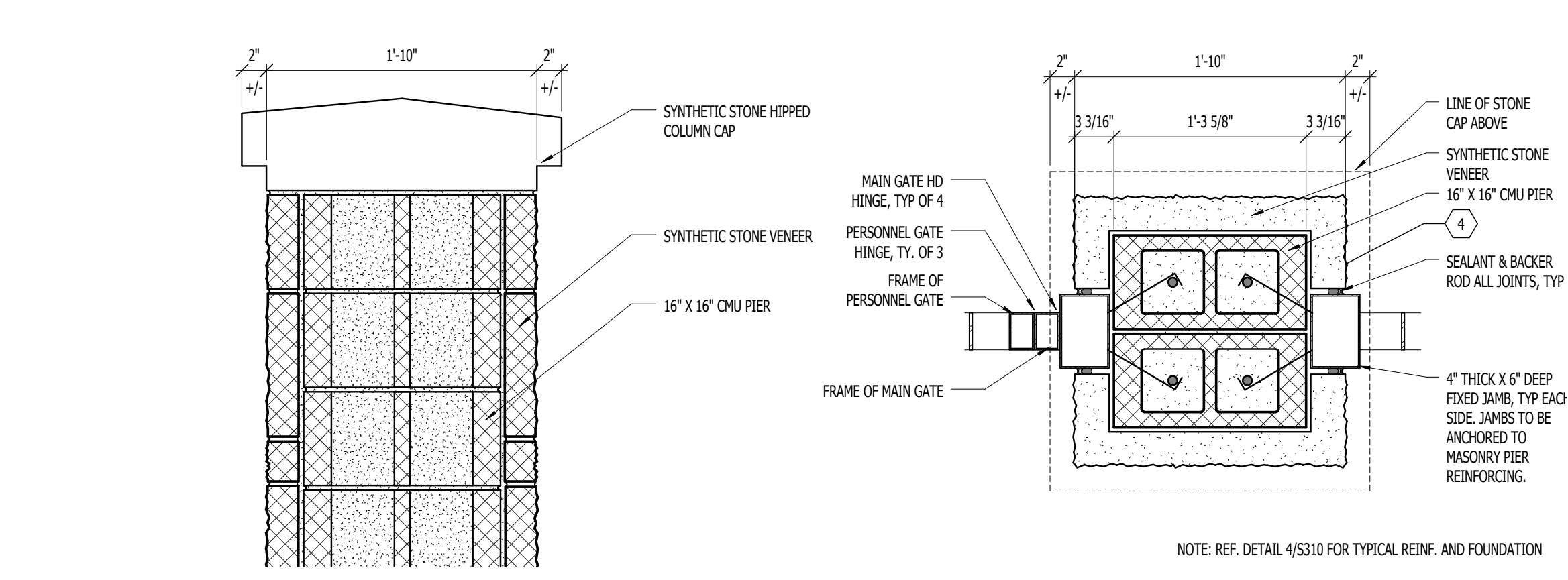


1  
A406  
1/4" = 1'-0"



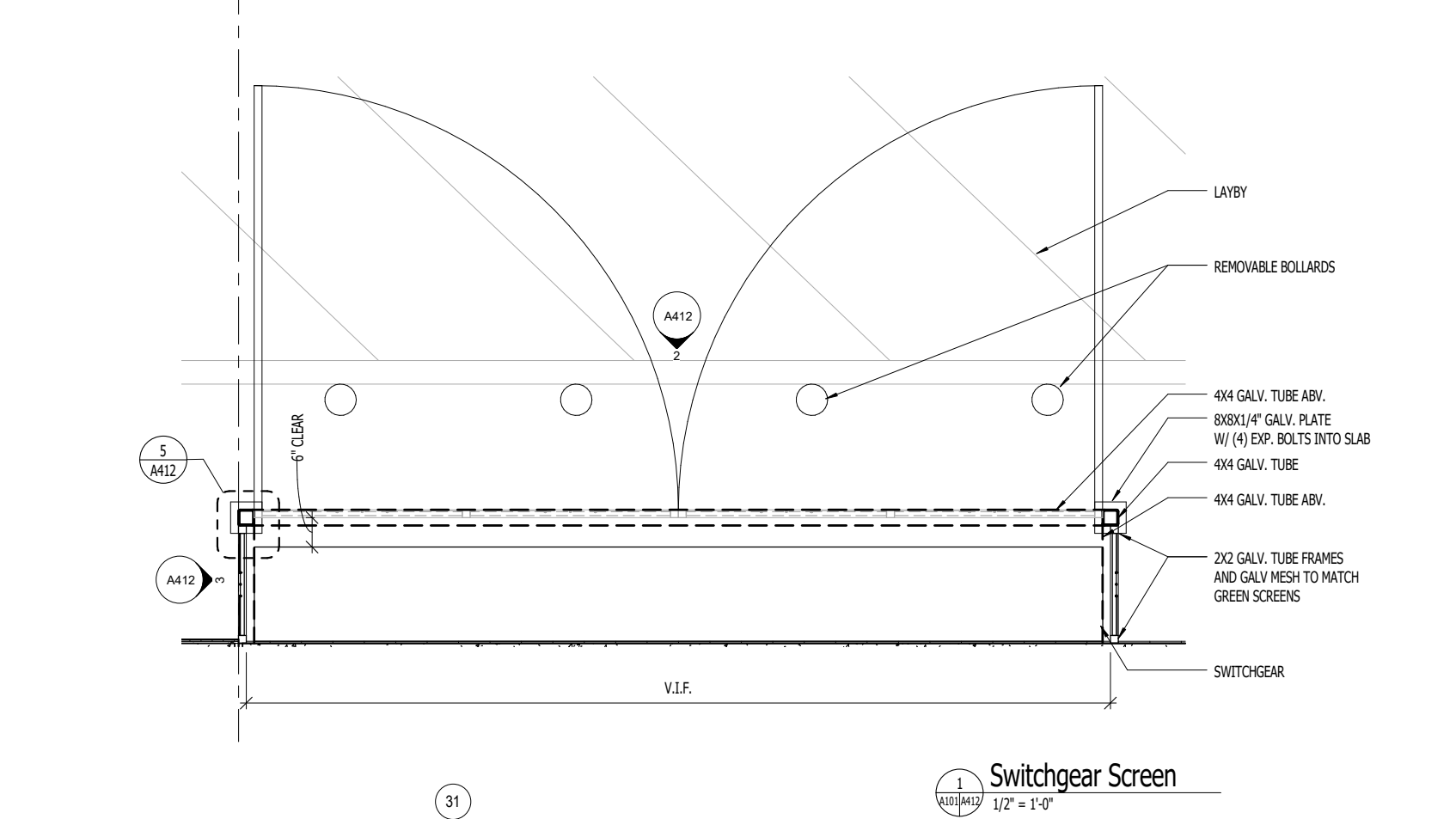
6  
A406  
1/2" = 1'-0"

11  
A406  
1/2" = 1'-0"

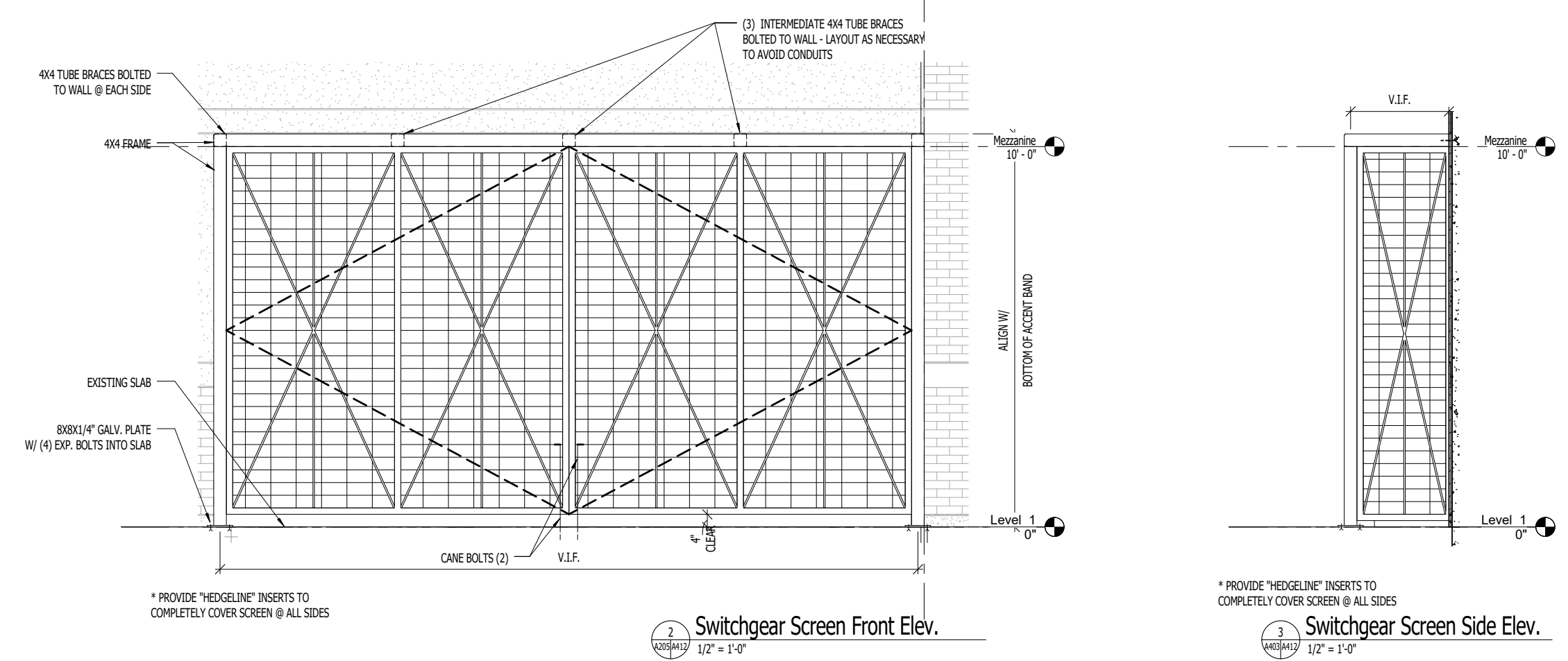


11  
A406  
1 1/2" = 1'-0"

7  
A406  
1 1/2" = 1'-0"



1  
A406  
1/2" = 1'-0"



1  
A406  
1/2" = 1'-0"

1  
A406  
1/2" = 1'-0"

\* ALL MECHANICAL EQUIPMENT ON THE ROOF WILL BE EITHER SCREENED BY THE PARAPET WALLS OF THE BUILDING OR PER THE MECH SCREENWALL THAT EXISTS CURRENTLY IN THE DEVELOPMENT

\* ALL THE EXISTING TRASH ENCLOSURES WILL REMAIN AS SCREENED CURRENTLY WITHIN THE DEVELOPMENT. ANY NEW TRASH ENCLOSURES ADDED WILL BE SCREEN IN THE SAME MANNER AS THE EXISTING ENCLOSURES

\* ALL EXISTING MAIN DISTRIBUTION ELECTRICAL BOARDS CURRENTLY SCREEN ON TEH DEVELOPMENT WILL REMAIN SCREEN AND ANY NEW MAIN ELECTRICAL DISTRIBUTION BOARDS WILL BE SCREEN IN THE SAME MANNER AS TEH EXISTING ENCLOSURES

**THE DISTRICT**  
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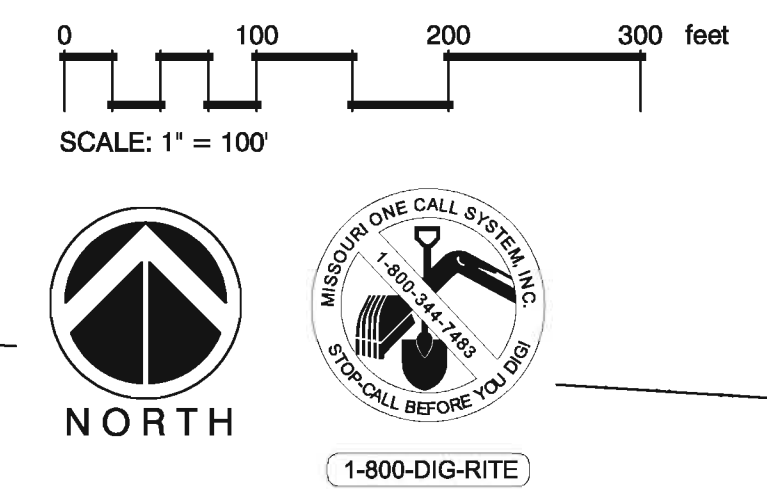
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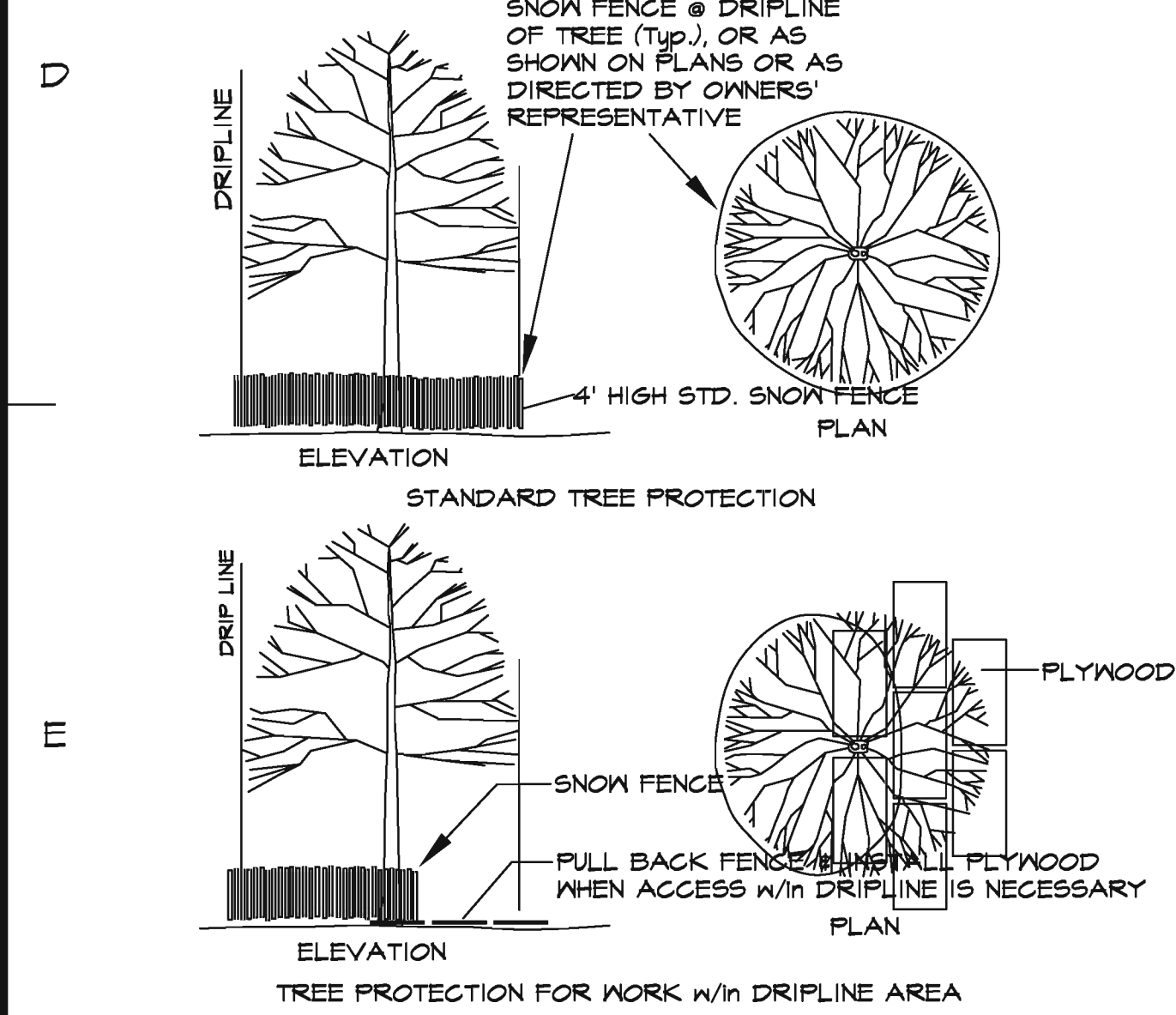
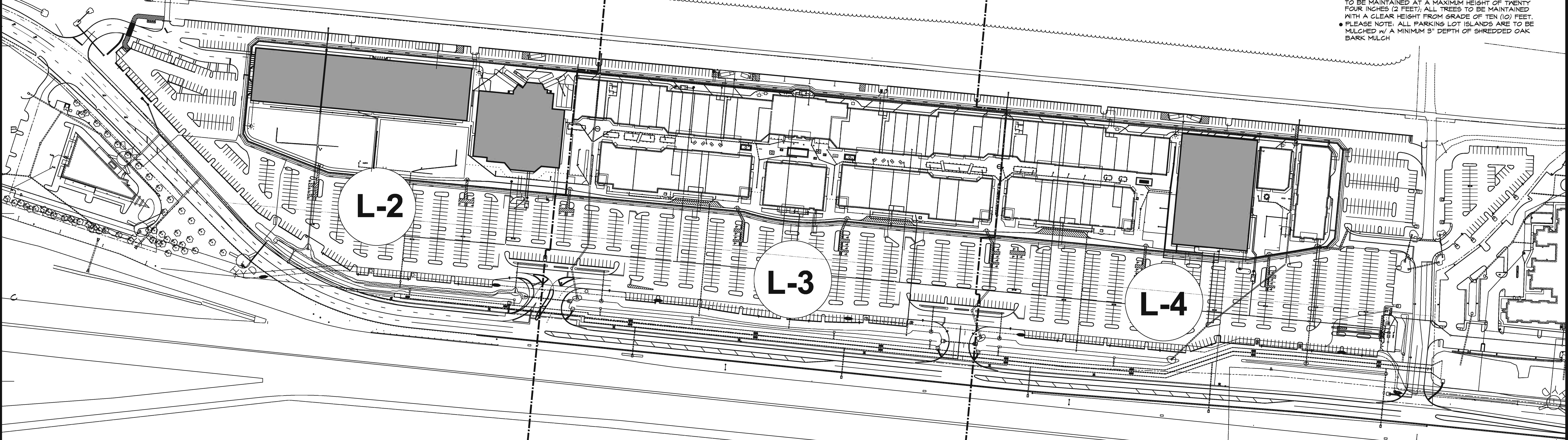
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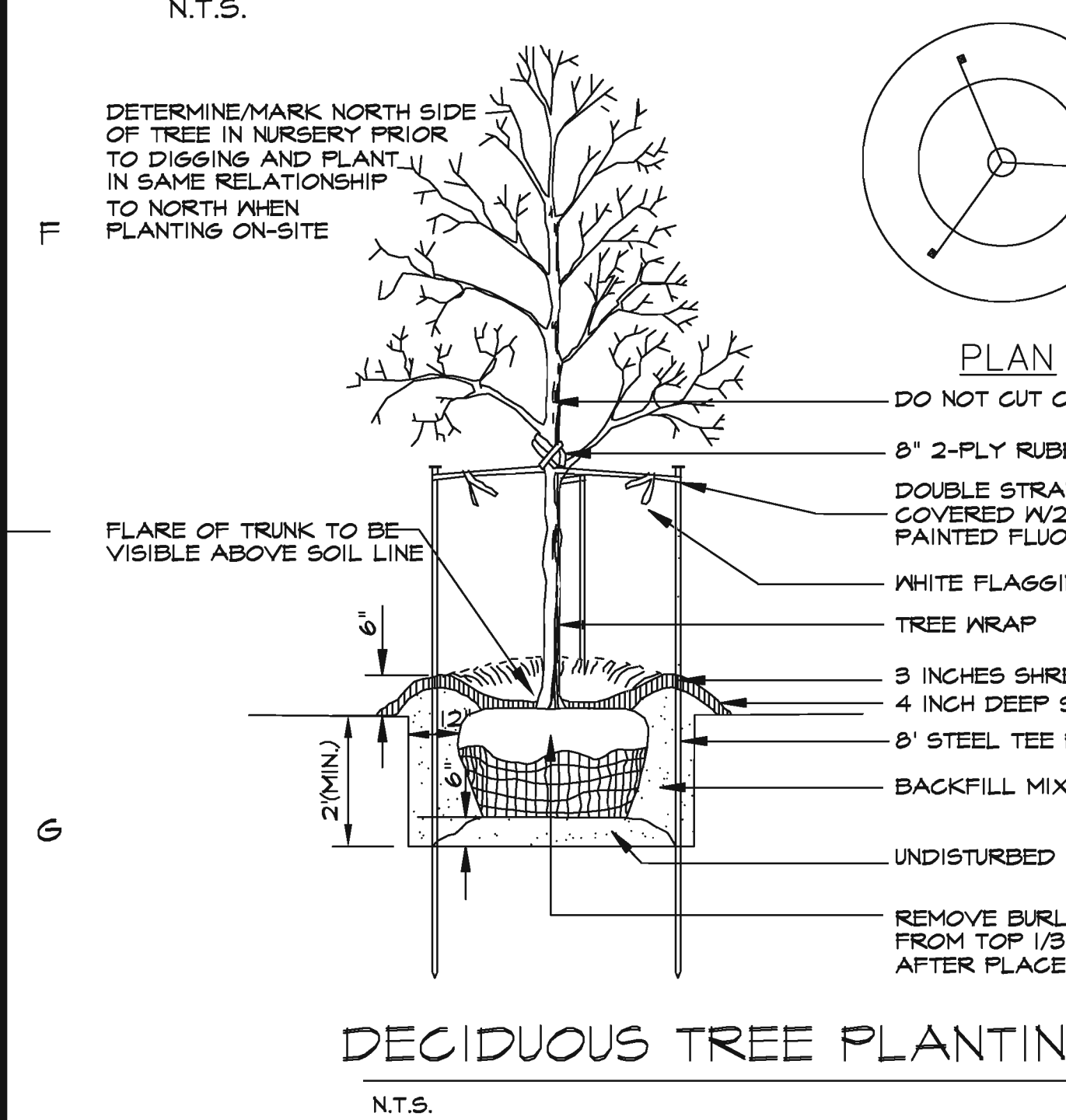
NOTE:  
 OVERALL SITE: 2,071,445 SQ. FT. (46.151 ACRES) 100 %  
 OPEN SPACE: 124,256 SQ. FT. (2.821 ACRES) 54.59 %  
 BUILDING AREA: 932,934 SQ. FT. (21.311 ACRES) 45.26 %  
 PAVED PARKING: 490,220 SQ. FT. (11.212 ACRES) 47.15 %



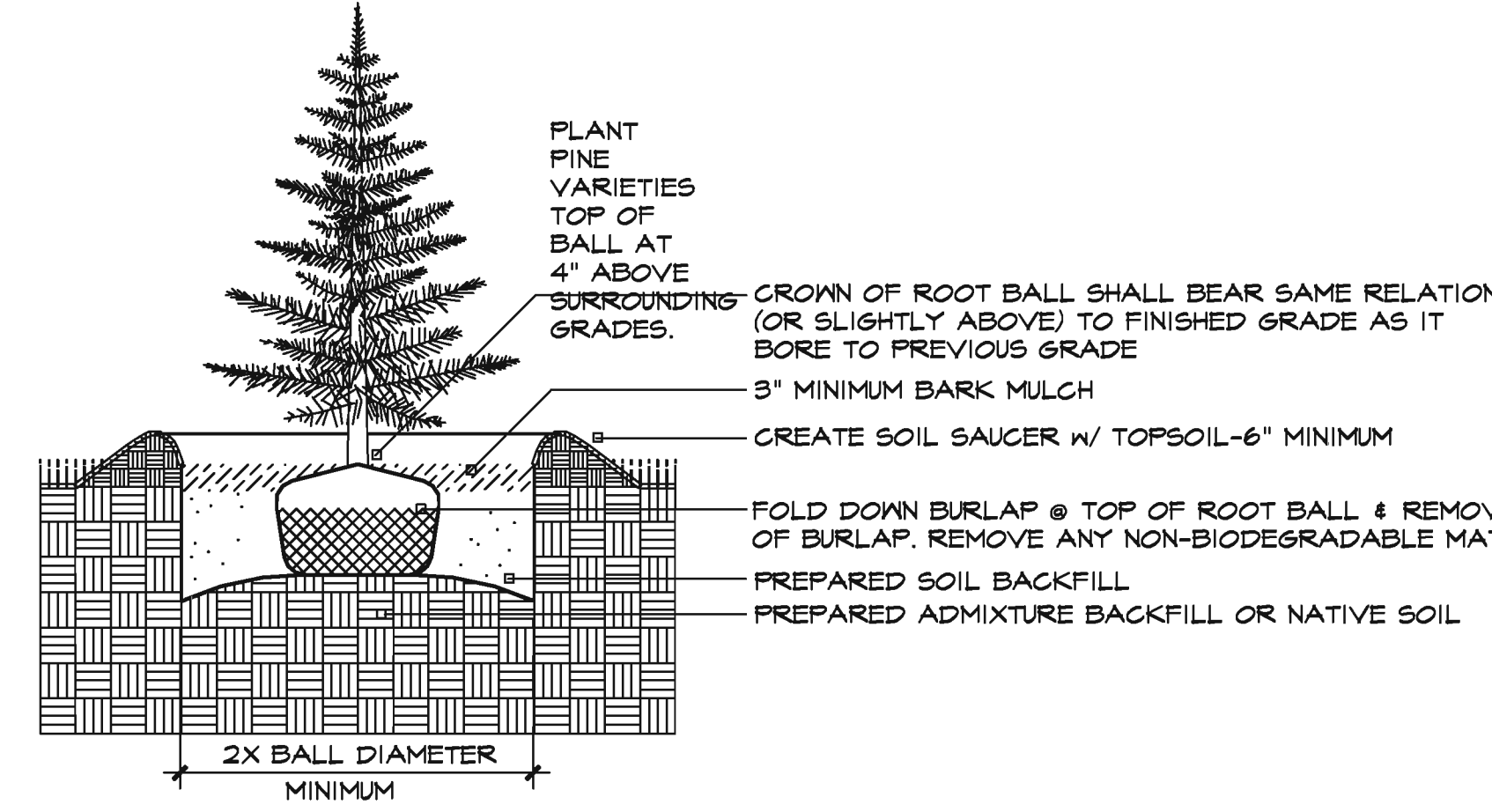
- PLEASE NOTE:
- ALL LANDSCAPE AREAS & ISLANDS SHALL BE PROVIDED WITH A MECHANICAL IN-GROUND IRRIGATION SYSTEM (BY OTHERS). COORDINATE LANDSCAPING WITH IRRIGATION CONTRACTOR.
  - ALL PLANTING BEDS TO BE EDGED W/ SPADE-CUT EDGE UNLESS OTHERWISE NOTED.
  - ADJUST TREE LOCATIONS FOR LIGHT STANDARDS AND UNDERGROUND UTILITIES.
  - NO TREES OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN 6 FEET OF FIRE HYDRANTS.
  - ALL SHRUBS/PERENNIALS WITHIN SIGHT TRIANGLE ZONES TO BE MAINTAINED AT A MAXIMUM HEIGHT OF TWENTY FOUR INCHES (2 FEET). ALL TREES TO BE MAINTAINED WITH A CLEAR HEIGHT FROM GRADE OF TEN (10) FEET.
  - PLEASE NOTE: ALL PARKING LOT ISLANDS ARE TO BE MULCHED W/ A MINIMUM 3" DEPTH OF SHREDDED OAK BARK MULCH



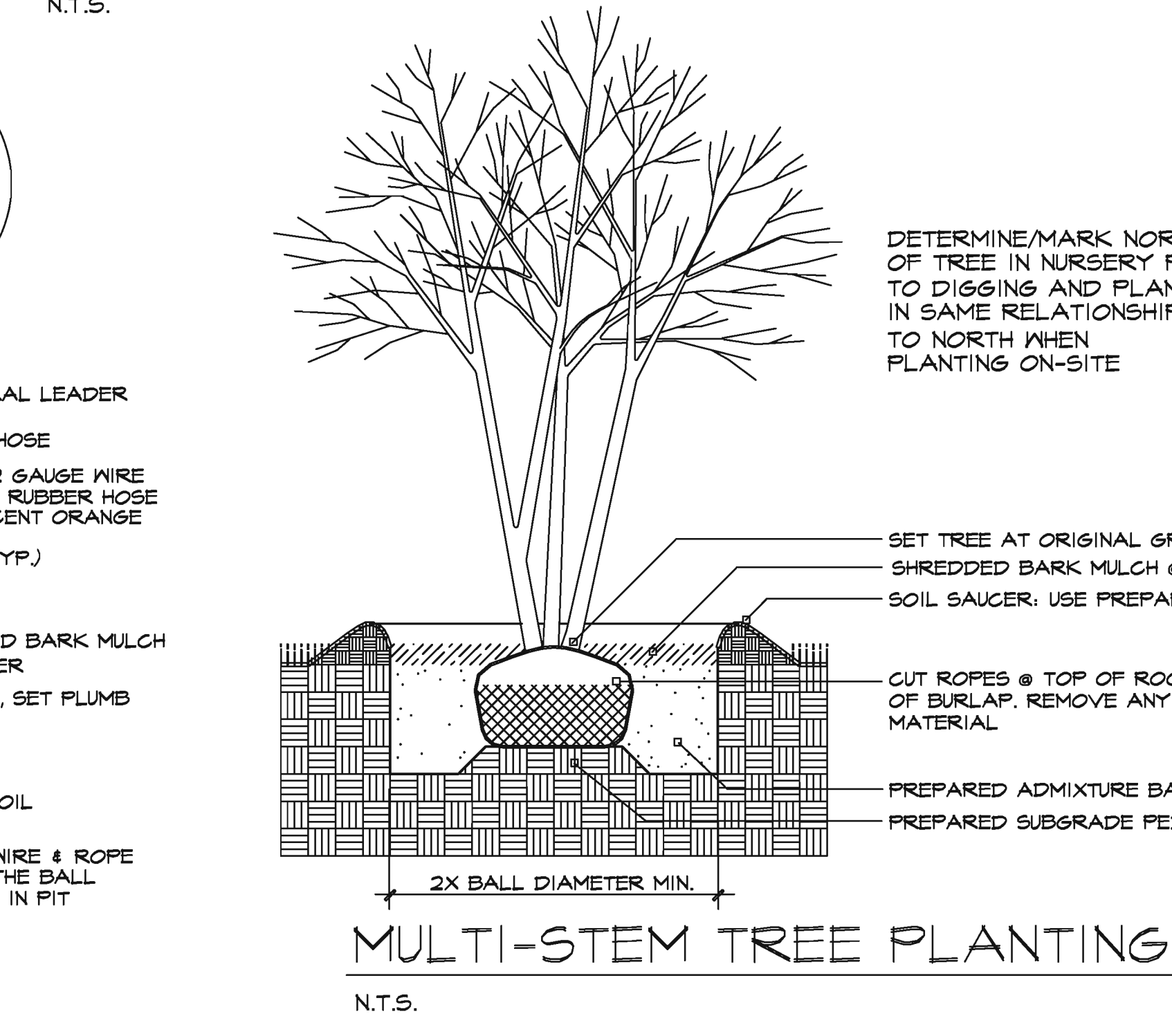
**TREE PROTECTION DETAIL**



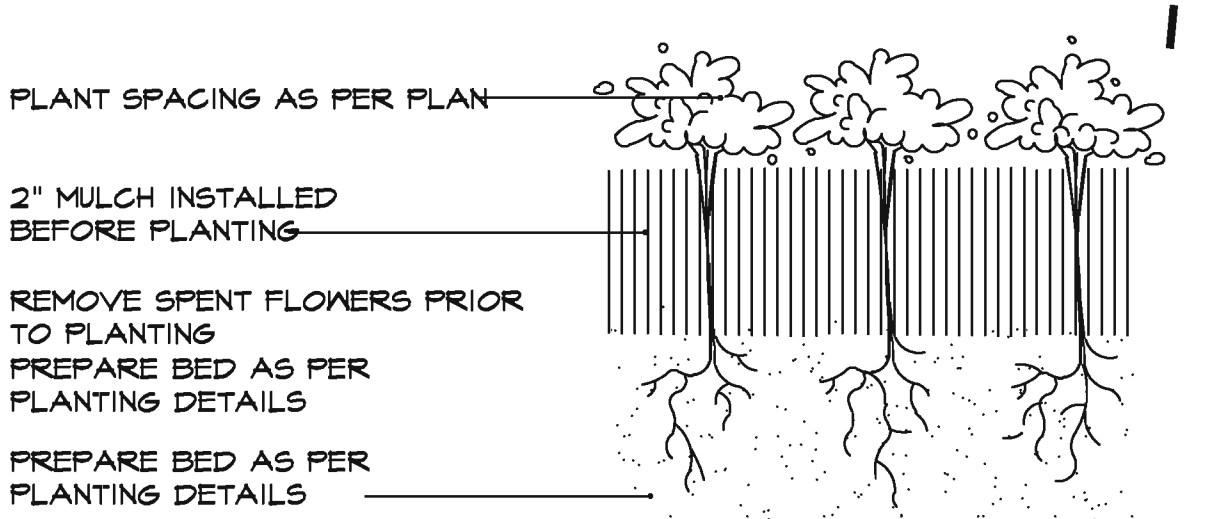
**DECIDUOUS TREE PLANTING**



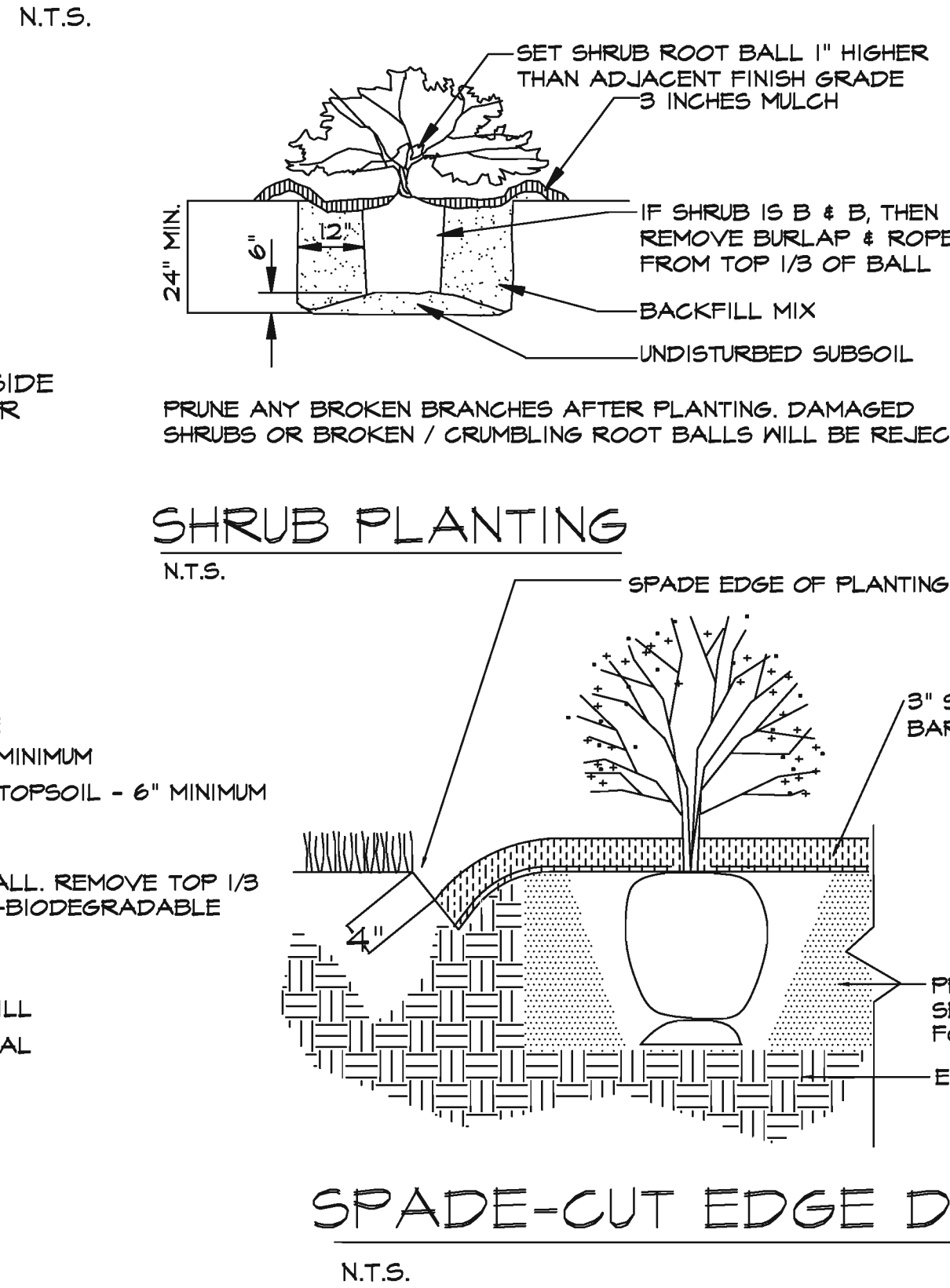
**EVERGREEN TREE PLANTING**



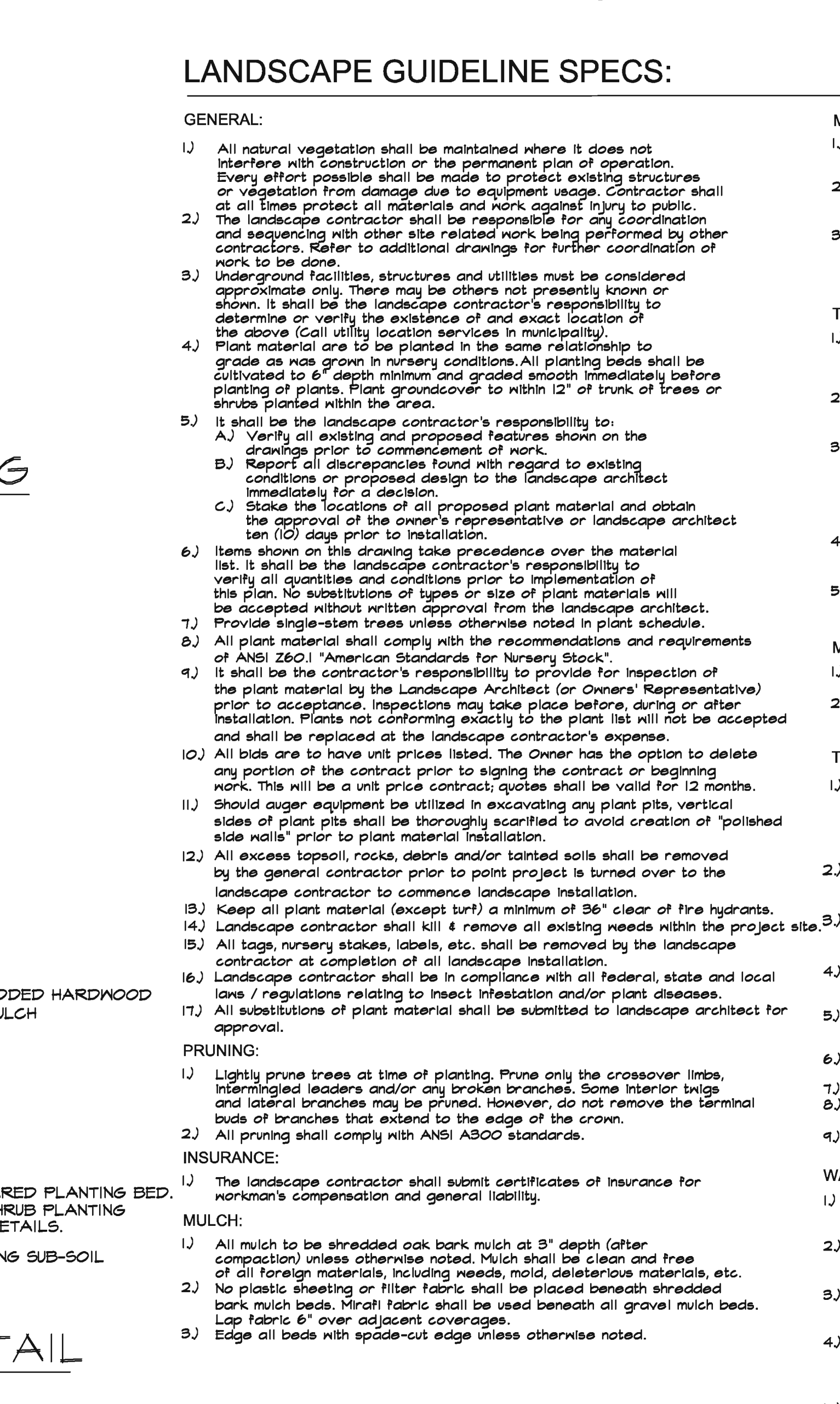
**MULTI-STEM TREE PLANTING**



**PERENNIAL / ANNUAL PLANTING**



**SHRUB PLANTING**



**SPADE-CUT EDGE DETAIL**

**LANDSCAPE GUIDELINE SPECS:**

- GENERAL:**
- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public. The landscape contractor shall be responsible for site coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
  - Underground facilities, structures and utilities must be considered appropriate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
  - Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
  - It shall be the landscape contractor's responsibility to:
    - Verify all existing and proposed features shown on the drawings prior to commencement of work.
    - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
    - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
  - Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect. Provide single stem trees unless otherwise noted in plant schedule.
  - All plant material shall comply with the recommendations and requirements of ANSI Z601 "American Standards for Nursery Stock".
  - It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owner's Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
  - All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
  - Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
  - All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
  - Keep all plant material (except turf) a minimum of 36" clear of the hydrants.
  - Landscape contractor shall kill & remove all existing weeds within the project site.
  - All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
  - Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
  - All substitutions of plant material shall be submitted to landscape architect for approval.
- PRUNING:**
- Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
  - All pruning shall comply with ANSI A800 standards.
- INSURANCE:**
- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.
- MULCH:**
- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
  - No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Millilt fabric shall be used beneath all gravel mulch beds.
  - Use fabric 6" over adjacent coverages.
  - Edge all beds with spade-cut edge unless otherwise noted.
- MAINTENANCE:**
- Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
  - Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.
  - Watering of seeded or sodded lawns shall begin immediately and shall continue to be provided continuously for the following 12 hours. Regardless, the landscape contractor shall be responsible for all landscape maintenance until project turnover.
- TOPSOIL:**
- Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Ratio shall topsoil mix to a depth of 6" minimum and grade smooth.
  - Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
  - Any foreign topsoil used shall be free of roots, stumps, weeds, brush stakes (larger than 1/2" diameter) or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
  - Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
  - Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.
- MISC. MATERIAL:**
- Provide stakes and deadmen of sound, new hardwood, free of knots and defects.
  - Tree wrap tape shall be 4" minimum, designed to prevent bark damage and winter freezing. Additionally, only 3-ply tying material shall be used.
- TURF:**
- All disturbed lawn areas to be seeded with a mixture of Turf-Type Fescue (300# per acre) and Bluegrass (18# per acre). Lawn areas shall be unconditionally warranted for a period of 40 days from date of final acceptance. Bare areas shall be reseeded at one square foot per 30 square feet shall be replaced.
  - Seeding and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND Irrigation system is operating. Granular or pelletized fertilizer consisting of 50% water-insoluble slow release nitrogen, phosphorus and potassium in a 12-12-12 composition.
  - The turf contractor shall be responsible for protection of finished grade, restore and repair any erosion or water damage and obtain owners' approval prior to seeding or sod installation.
  - Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted. Any points carrying concentrated water loads and all slopes of 10% or greater shall be sodded.
  - All sod shall be placed a maximum of 24 hours after harvesting. Recondition existing lawn areas damaged by contractor's operations including storage and movement of vehicles.
  - Sod contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.
- WARRANTY:**
- All plant material (excluding ground cover, perennials and annuals) to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
  - Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
  - One replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
  - Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
  - A written guarantee shall be provided to the owner per conditions outlined in #1 above.

REVISIONS	BY
6/24/19	RWM
7/22/19	RWM
8/8/19	RWM
8/13/19	RWM

**Landscap**  
**TECHNOLOGIES**  
 67 Jacobs Creek Drive  
 (636) 499-1250  
 MO Landscape Architectural Corporation, 12020000192

MISSOURI LANDSCAPE ARCHITECTS  
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
 RANDALL W. RANDIS  
 NUMBER 13317  
 DATE: 9/13/19

**PHASE ONE PLANTING PLAN FOR THE PROPOSED**  
**The District**  
**CHESTERFIELD, MISSOURI**

DRAWN: RWM  
 CHECKED: RWM/GJB  
 DATE: 6/14/19  
 SCALE: 1"=100'-0"  
 JOB NO.: 2019-143  
 SHEET: L-1  
 OF SIX SHEETS







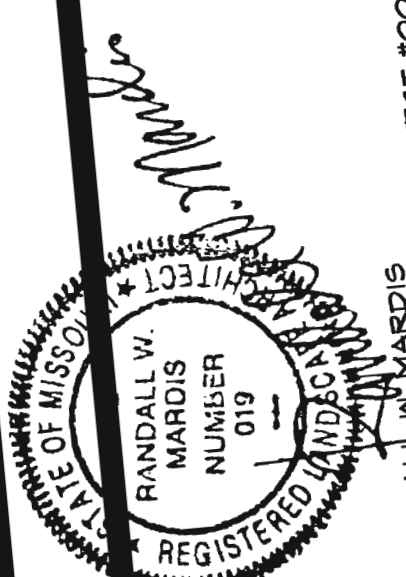




7/22/19	RWM
8/8/19	RWM
8/13/19	RWM

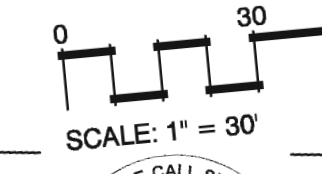
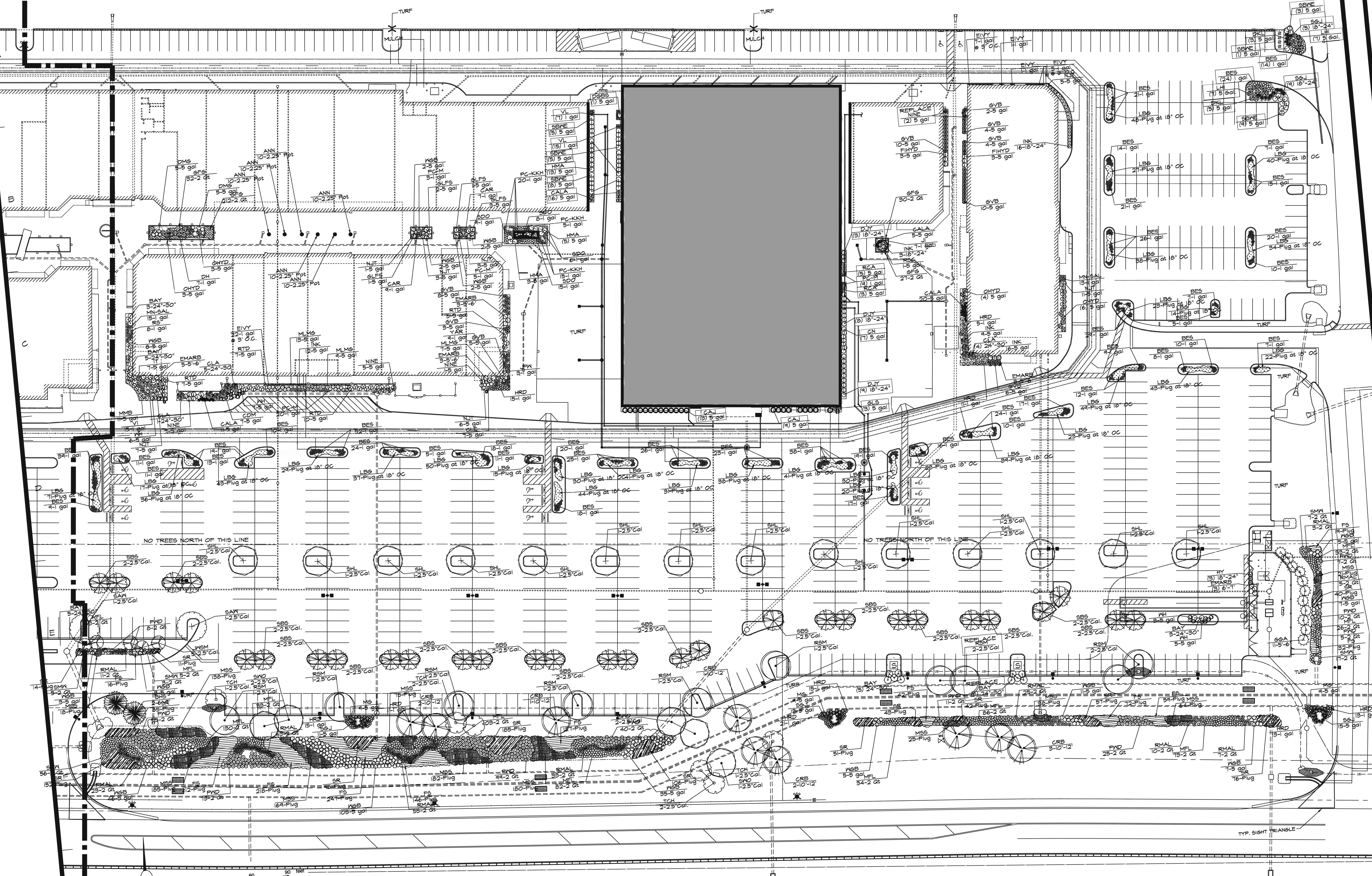
**Landscare**  
TECHNOLOGIES

87 Jacque Vessiot Drive  
St. Louis, Missouri 63104  
P: 314-433-4499  
F: 314-433-4495  
www.landscaretechnologies.com



**PLANTING PLAN FOR THE PROPOSED**  
**The District**  
CHESTERFIELD, MISSOURI

DRAWN	RWM
CHECKED	RWM/GJB
DATE	8/14/19
SCALE	1"=30'-0"
JOB NO.	2018-143
SHEET	L-4
	OF SIX SHEETS



PLEASE NOTE: ALL PARKING LOT ISLANDS ARE TO BE MULCHED W/ A MINIMUM 3" DEPTH OF SHREDDED OAK BARK MULCH, REMOVE NUTGRASS IN ALL BEDS AND CATTAILS FROM BIOS AND TRIM ANY PLANT MATERIAL AWAY FROM LIGHT BOLLARDS.



**EXISTING PLANT MATERIAL TO REMAIN ON-SITE:**

	TREES:	QTY.:	COMMON/BOTANICAL NAME:	TREE GROWTH RATE:		MATURE SIZE:			
				SIZE:	SLOW	MODERATE	FAST	SIZE RANGE	
A	BC	9	Bald Cypress/Taxodium distichum	2.5" Cal.			x	45'+	
	CRB	19	Clump River Birch/Betula nigra 'Cully'	10'-12'		x		45'+	
	LSM	1	Legacy Sugar Maple/Acer saccharum 'Legacy'	2.5" Cal.	x			45'+	
	RSM	20	Red Sunset Maple/Acer rubrum 'Red Sunset'	2.5" Cal.			x	45'+	
	SAW	16	Sawtooth Oak/Quercus acutissima	2.5" Cal.		x		45'+	
	SHL	33	Skyline Honeylocust/Gleditsia triacanthos 'Skyline'	2.5" Cal.			x	45'+	
	SWO	19	Swamp White Oak/Quercus bicolor	2.5" Cal.		x		45'+	
	EVERGREEN TREES:	BHS	3	Black Hills Spruce/Picea glauca densata	6'-7'	x			20'-30'
		EMARB	31	Emerald Arborvitae/Thuja occidentalis 'Emerald'	5'-6'	x			12'-15'
		JWSM	19	Sweetbay Magnolia/Magnolia virginiana 'Jim Wilson'	2.5" Cal.		x		15'-25'
FLOWERING TREES:	RB	12	Redbud/Cercis canadensis	2.5" Cal.		x		25'-30'	
	SBS	52	Shadblow Serviceberry (Single Stem)/Amelanchier canadensis	2.5" Cal.		x		15'-25'	
B	TCH	12	Thornless Cockspur Hawthorn/Crataegus crusgalli var. inermis	2.5" Cal.		x		25'-30'	
	SHRUBS:	BAY	126	Northern Bayberry/Myrica pennsylvanica	24"-30"				
		CAJ	167	Compact Andorra Juniper/Juniperus horizontalis 'Plumosa Compacta'	5 Gal.				
		CDM	36	Cherry Dazzle Myrtle/Lagerstroemia 'GAMAD I'	5 Gal.				
		CLA	18	Chicago Luster Arrowwood Viburnum/Viburnum dentatum 'Chicago Luster'	24"-30"				
		CLE	20	Hummingbird Summersweet/Clethra alnifolia 'Summersweet'	5 Gal.				
		CN	22	Coppertina Ninebark/Physocarpus opulifolius 'Coppertina'	5 Gal.				
		DKL	129	Dwarf Korean Lilac/Syringa meyeri 'Palbin'	5 Gal.				
		FIHYD	50	Fire & Ice Hydrangea/Hydrangea paniculata 'William's Red'	5 Gal.				
		GLFS	61	Gro-Low Fragrant Sumac/Rhus aromatica 'Gro-Low'	5 Gal.				
GVB		81	Green Velvet Boxwood/Buxus 'Green Velvet'	5 Gal.					
INK		56	Compact Inkberry Holly/Ilex glabra 'Compacta'	5 Gal.					
HY		3	Hicksi Yew/Taxus X Media 'Hicksi'	5 Gal.					
MMB		24	Morris Midget Boxwood/Buxus microphylla japonica 'Morris Midget'	5 Gal.					
OHYD		61	Oakleaf Hydrangea/Hydrangea quercifolia	5 Gal.					
NINE		34	Diablo Ninebark/Physocarpus opulifolius 'Diablo'	5 Gal.					
NJT		90	New Jersey Tea/Ceanothus americanus	5 Gal.					
RCOT	31	Rock Cotoneaster/Cotoneaster horizontalis	5 Gal.						
RSC	36	Ruby Spice Clethra/Clethra alnifolia 'Ruby Spice'	5 Gal.						
RTD	54	Redtwig Dogwood/Cornus sericea 'Cardinal'	5 Gal.						
SGJ	78	Sea Green Juniper/Juniperus chinensis 'Sea Green'	18"-24"						
WH	21	Red Sprite Winterberry/Ilex verticillata 'Red Sprite'	5 Gal.						
WGB	21	Winter Green Boxwood/Buxus microphylla 'Winter Green'	5 Gal.						
C	YAJUN	66	Compact Youngstown Andorra Juniper/Juniperus horizontalis 'Youngstown'	5 Gal.					
	PERENNIALS:	BES	1237	Black-Eyed Susan/Rudbeckia fulgida 'Goldsturm'	1 Gal.				
		CAR	64	Cardinal Flower/Lobelia cardinalis	1 Gal.				
		DH	38	Dwarf Hibiscus/Hibiscus moscheutos 'Luna Pink Swirl'	1 Gal.				
		HRD	397	Happy Returns Daylily/Hemerocallis 'Happy Returns'	1 Gal.				
		JL	7	Japanese Iris/Iris ensata	1 Gal.				
		JPW	3	Bartered Bride Joe Pye Weed/Eupatorium/maculatum 'Bartered Bride'	1 Gal.				
		MN-SAL	50	May Night Salvia/Salvia nemerosa 'May Night'	1 Gal.				
		PC-KKH	68	Kim's Knee High Purple Coneflower/Echinacea purpurea 'Kim's Knee High'	1 Gal.				
		PC-M	101	Purple Coneflower/Echinacea purpurea 'Magnus'	1 Gal.				
P-SAL		44	Pink Friesland Salvia/Salvia nemerosa 'Pink Friesland Salvia'	1 Gal.					
RS		65	Russian Sage/Perovskia atriplicifolia	1 Gal.					
SDO		59	Stella de Oro Daylily/Hemerocallis 'Stella de Oro'	1 Gal.					
VI		46	Variegated Iris/Iris pallida 'Variegata'	1 Gal.					
VL		2377	Variegated Liriope/Liriope muscari 'Variegata'	1 Gal.					
YAR		71	Yarrow/Achillea filipendula 'Coronation Gold'	1 Gal.					
E		GRASSES:	CALA	100	Foerster's Reed Grass/Calamagrostis acutifolia 'Karl Foerster'	5 Gal.			
			DMG	10	Dwarf Maiden Grass/Miscanthus sinensis 'Yakushima'	5 Gal.			
	MG		56	Maiden Grass/Miscanthus sinensis 'Gracillimus'	5 Gal.				
	MLMG		12	Morning Light Maiden Grass/Miscanthus sinensis 'Morning Light'	5 Gal.				
	ROSES:		KR	55	Knockout Rose/Rosa 'Knockout'	5 Gal.			
VINES:	EIVY	137	English Ivy/Hedera helix	1 Gal.					
F	NATIVE GRASSES:	FS	2822	Fringed Sedge/	Plug				
		GFG	1860	Golden Foxtail Grass/	2 Qt.				
		LBG	2627	Little Bluestem Grass/	Plug				
		MSS	2711	Morning Star Sedge/	Plug				
		SR	2105	Soft Rush/Juncus effusus	Plug				
		FORBS:	MFL	906	Monkeyflower/Mimulus ringens	2 Qt.			
PWD	864		Pickereel Weed/Pontederia cordata	2 Qt.					
RMAL	906		Rose Mallow/Hibiscus moscheutos	2 Qt.					
SMW	179		Swamp Milkweed/Asclepias incarnata	2 Qt.					
GROUNDCOVERS:	ANN		60	Mixed Annuals/Min. of five varieties	2.25" Pot				
	CCP	223	Cotton Candy Creeping Phlox/Phlox subulata 'Cotton Candy'	1 Qt.					

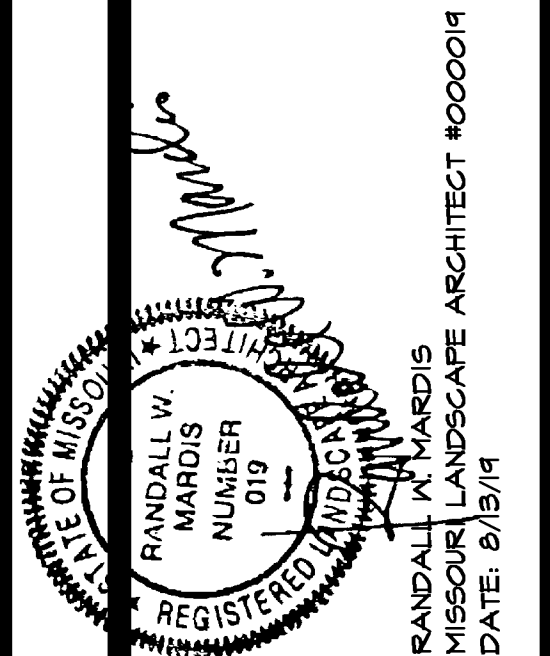
**Tree Groupings:**

A minimum of 20% of tree groupings shall come from three categories: Deciduous / Ornamental / Evergreen

Deciduous:	117 or 48%
Ornamental	76 or 22%
Evergreen	53 or 31%

Please note: Per the agreement with Monarch Levee District in 2011, no trees were/are allowed north of denoted line in parking lot and the 2011 plan was approved under a different landscape ordinance at that time and under agreements.

REVISIONS	BY
8/24/19	RWM
7/22/19	RWM
8/8/19	RWM
8/13/19	RWM



EXISTING PLANT MATERIAL ON-SITE  
**The District**  
 CHESTERFIELD, MISSOURI

DRAWN	RWM
CHECKED	RWM/GJB
DATE	6/14/19
SCALE	N.A.
JOB No.	2019-143
SHEET	L-5
	OF SIX SHEETS



**PROPOSED NEW PLANT MATERIAL:**

	TREES:	QTY.:	COMMON/BOTANICAL NAME:	SIZE:	TREE GROWTH RATE:			MATURE SIZE:
					SLOW	MODERATE	FAST	SIZE RANGE
	CRB	2	Clump River Birch/Betula nigra 'Cully'	10'-12'		x		45'+
	OGRM	3	October Glory Red Maple/Acer rubrum 'October Glory'	2.5" Cal.			x	45'+
	RSM	4	Red Sunset Maple/Acer rubrum 'Red Sunset'	2.5" Cal.			x	45'+
	SAW	1	Sawtooth Oak/Quercus acutissima	2.5" Cal.		x		45'+
	WO	1	Willow Oak/Quercus phellos	2.5" Cal.		x		45'+
	<b>FLOWERING TREES:</b>	<b>QTY.:</b>	<b>COMMON/BOTANICAL NAME:</b>	<b>SIZE:</b>				
	TCH	2	Thornless Cockspur Hawthorn/Crataegus crusgalli var. inermis	2.5" Cal.		x		15'-20'
	<b>SHRUBS:</b>	<b>QTY.:</b>	<b>COMMON/BOTANICAL NAME:</b>	<b>SIZE:</b>				
	BAY	24	Northern Bayberry/Myrica pennsylvanica	24"-30"				
	CAJ	148	Compact Andorra Juniper/Juniperus horizontalis 'Plumosa Compacta'	5 Gal.				
	CN	22	Coppertina Ninebark/Physocarpus opulifolius 'Coppertina'	5 Gal.				
	DGBS	1	Dwf. Globe Blue Spruce/Picea pungens 'Globosa'	5 Gal.				
	DJY	20	Densiforma Yew/Taxus cuspidata 'Densiformis'	18"-24"				
	DKL	129	Dwarf Korean Lilac/Syringa meyeri 'Palibin'	5 Gal.				
	EY	26	Everlow Yew/Taxus X media 'Everlow'	5 Gal.				
	GLFS	3	Gro-Low Fragrant Sumac/Rhus aromatica 'Gro-Low'	5 Gal.				
	GVB	39	Green Velvet Boxwood/Buxus 'Green Velvet'	5 Gal.				
	GVIC	32	Golden Vicary/Ligustrum vicaryi	5 Gal.				
	HMA	41	Hetz Midget Arborvitae/Thuja occidentalis 'Hetz Midget'	5 Gal.				
	KVIB	25	Koreanspice Viburnum/Viburnum carlesii	24"-30"				
	LH	46	Limelight Hydrangea/Hydrangea paniculata 'Limelight'	5 Gal.				
	LHI	22	Little Henry Sweetspire/Itea virginica 'Little Henry'	18"-24"				
	LLHYD	16	Little Lime Hydrangea/Hydrangea paniculata 'Little Lime'	5 Gal.				
	LSMA	153	Low Scape Mound Chokeberry/Aronia melanocarpa 'Low Scape Mound'	5 Gal.				
	NINE	2	Diablo Ninebark/Physocarpus opulifolius 'Diablo'	5 Gal.				
	RCA	33	Rose Creek Abelia/Abelia x grandiflora 'Rose Creek'	5 Gal.				
	SBWE	77	Sonic Bloom Weigelia/Weigelia florida 'Sonic Bloom'	5 Gal.				
	SGJ	78	Sea Green Juniper/Juniperus chinensis 'Sea Green'	18"-24"				
	SWN	1	Summer Wine Ninebark/Physocarpus opulifolius 'Summer Wine'	5 Gal.				
	<b>PERENNIALS:</b>	<b>QTY.:</b>	<b>COMMON/BOTANICAL NAME:</b>	<b>SIZE:</b>				
	BES	525	Black-Eyed Susan/Rudbeckia fulgida 'Goldsturm'	1 Gal.				
	PC-M	9	Purple Coneflower/Echinacea purpurea 'Magnus'	1 Gal.				
	PE-CAR	454	Pennsylvania Sedge/Carex pennsylvanica	2 Qt.				
	VL	22	Variegated Liriope/Liriope muscari 'Variegata'	1 Gal.				
	<b>GRASSES:</b>	<b>QTY.:</b>	<b>COMMON/BOTANICAL NAME:</b>	<b>SIZE:</b>				
	CALA	48	Foerster's Reed Grass/Calamagrostis acutifolia 'Karl Foerster'	5 Gal.				
	DMG	8	Dwarf Maiden Grass/Miscanthus sinensis 'Yakushima'	5 Gal.				
	MG	10	Maiden Grass/Miscanthus sinensis 'Gracillimus'	5 Gal.				
	MLMG	16	Morning Light Maiden Grass/Miscanthus sinensis 'Morning Light'	5 Gal.				
	<b>GROUNDCOVERS:</b>	<b>QTY.</b>	<b>COMMON/BOTANICAL NAME</b>	<b>SIZE:</b>				
	ANN	279	Mixed Annuals/Min. of five varieties	2.25" Pot				
	OS	354	Orange Stonecrop/Sedum kamtschaticum	2.25" Pot				

Please note: Red Sunset Maple comprise 36% of trees proposed; however, these are replacement trees from the initial landscape installation

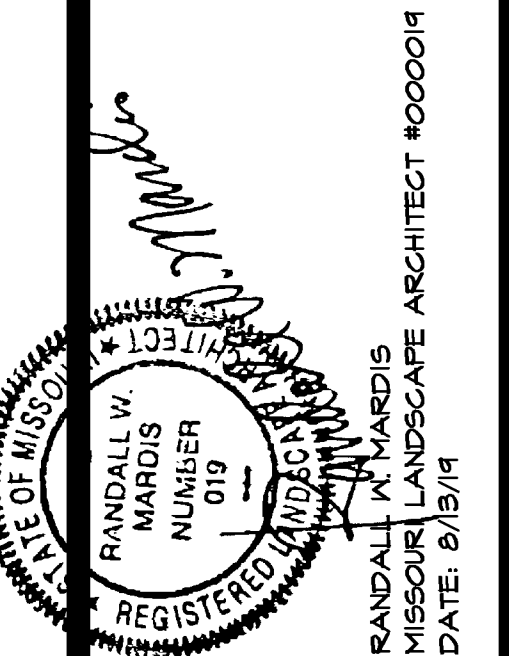
**Tree Groupings:**

A minimum of of 20% of tree groupings shall come from three categories: Deciduous / Ornamental / Evergreen

Deciduous:	11 or 85%
Ornamental	2 or 15%
Evergreen	0 or 0%

Please note: Per the agreement with Monarch Levee District in 2011, no trees were/are allowed north of denoted line in parking lot and the 2011 plan was approved under a different landscape ordinance at that time and under agreements.

REVISIONS	BY
6/24/19	RWM
7/22/19	RWM
8/8/19	RWM
8/13/19	RWM



PROPOSED NEW LANDSCAPE MATERIAL  
**The District**  
CHESTERFIELD, MISSOURI

DRAWN RWM
CHECKED RWM/GJB
DATE 6/14/19
SCALE N.A.
JOB No. 2019-143
SHEET

**L-6**  
OF SIX SHEETS



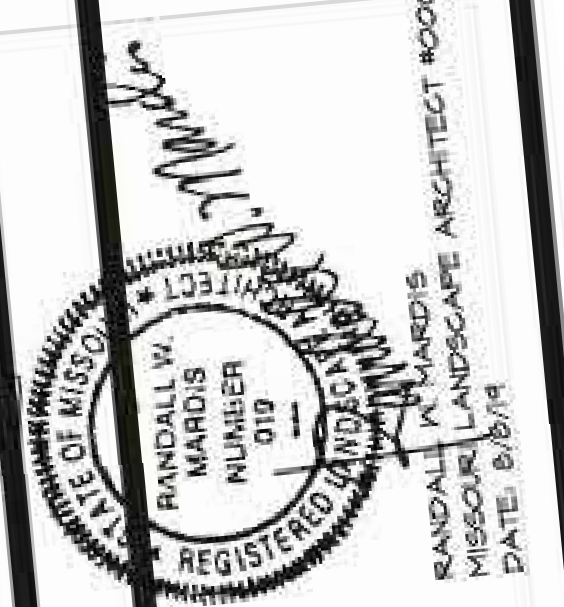


PLEASE NOTE: ALL PARKING LOT ISLANDS ARE TO BE MULCHED W/ A MINIMUM 3" DEPTH OF SHREDDED OAK BARK MULCH, REMOVE NUT GRASS IN ALL BEDS AND CATTAILS FROM BEDS AND TRIM ANY PLANT MATERIAL AWAY FROM LIGHT BOLLARDS.

7/22/19	RWM
---------	-----

**landscape**  
TECHNOLOGIES

117 Jackson Creek Drive  
St. Charles, Missouri 63043  
Tel: (636) 424-1990  
Fax: (636) 424-1995  
HQ Landscape Architecture Corporation #2000000795



**PLANTING PLAN FOR THE PROPOSED  
The District  
CHESTERFIELD, MISSOURI**

DRAWN: RWM  
CHECKED: RWM/SJB  
DATE: 6/14/19  
SCALE: 1"=30'-0"  
JOB No: 2019-143  
SHEET  
**L-2**  
OF SIX SHEETS







2 3 4 5 6 7 8 9

REVISIONS	BY
6/24/19	RWM
7/22/19	RWM
8/9/19	RWM

**landscape TECHNOLOGIES**

11515 S. JOHNS CREEK DR. #200  
 ST. LOUIS, MO 63143  
 TEL: (636) 428-8800  
 FAX: (636) 428-8800  
 MO: Landscape Architectural Corporation 5500000002

**REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT #0000019**  
 RANDALL W. LARDE  
 MISSOURI LANDSCAPE ARCHITECT #019  
 DATE: 8/26/14



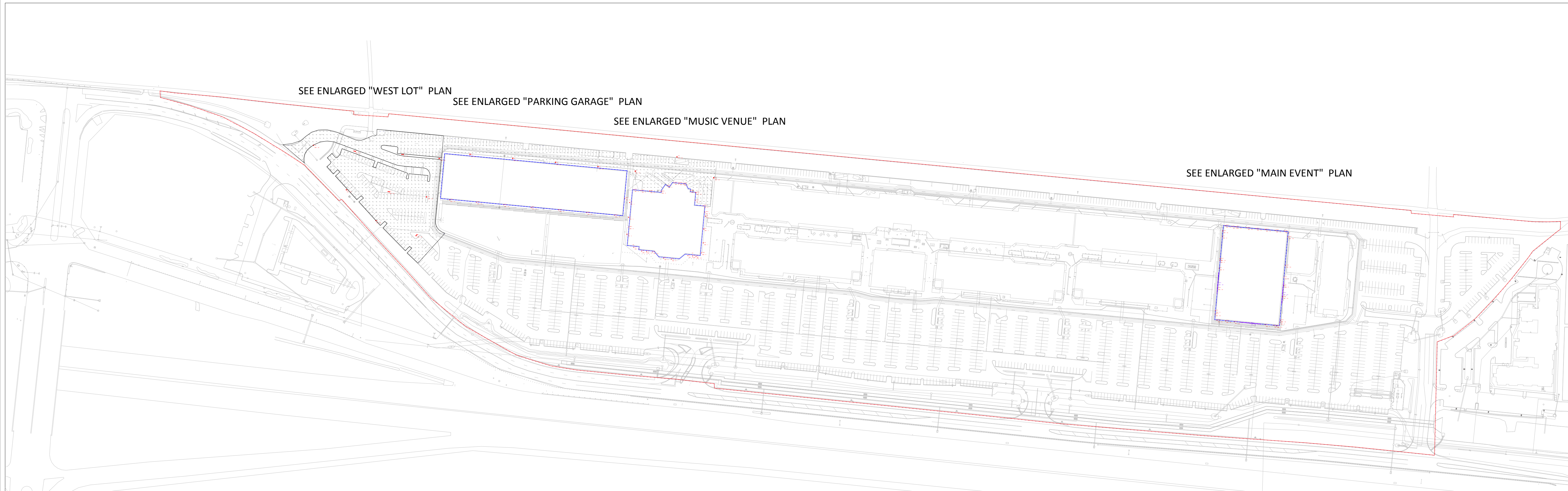
**PLANTING PLAN FOR THE PROPOSED  
 The District  
 CHESTERFIELD, MISSOURI**

DRAWN	RWM
CHECKED	RWM/JGB
DATE	8/14/19
SCALE	1"=30'-0"
JOB No.	2019-143
SHEET	L-4
	OF SIX SHEETS

PLEASE NOTE: ALL PARKING LOT ISLANDS ARE TO BE MULCHED W/ A MINIMUM 3" DEPTH OF SHREDDED OAK BARK MULCH, REMOVE NUTGRASS IN ALL BEDS AND CATTAILS FROM BIOS AND TRIM ANY PLANT MATERIAL AWAY FROM LIGHT BOLLARDS.

1-800-DIG-RITE  
 CODE (QTY)/SIZE DENOTES NEW PLANT MATERIAL  
 CODE (QTY)/SIZE DENOTES EXISTING PLANT MATERIAL TO REMAIN





Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	4	S1	BACK-BACK	N.A.	0.900	VTS-F08-LED-E1-5XQ
	10	S2	SINGLE	N.A.	0.900	VTS-F12-LED-E1-T3
	2	S3	SINGLE	N.A.	0.900	VTS-F12-LED-E1-5XQ
	8	WP1	SINGLE	N.A.	0.900	GWC-AF-01-LED-E1-SL2
	3	WP2	SINGLE	N.A.	0.900	GWC-AF-02-LED-E1-T4W
	12	WP3	SINGLE	N.A.	0.900	XTOR1B-W
	2	F1	SINGLE	N.A.	0.900	611-3021
	6	F2	SINGLE	N.A.	0.900	NFFLD-S-C70-D-UNV-66-7050
	7	A2	SINGLE	N.A.	0.900	HC620D010-HM612840-61MDCWF
	19	EL3	SINGLE	N.A.	0.900	GPC-AF-01-LED-E1-T2-7030-600
	3	EL4	GROUP	N.A.	0.900	LED Linear - Kalyso Linear Grazer
	10	X3	SINGLE	N.A.	0.900	XTOR1B-W

Qty 4 - A1 - Decorative Wall Sconce - FEISS 36.5"L x 6"W x 7"D - Oil Rubbed Bronze

**FIXTURE FINISH SCHEDULE:**  
 PARKING LOT POLES - SILVER, WHITE LIGHT  
 PARKING GARAGE WALL PACKS - SILVER, WHITE LIGHT  
 MUSIC VENUE - BLACK, WHITE LIGHT  
 MAIN EVENT - GREY, WHITE LIGHT

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Garage - Ring Road	Illuminance	Fc	2.89	6.3	0.5	5.78	12.60
Garage-Music Venue Sidewalk	Illuminance	Fc	2.60	5.2	0.5	5.20	10.40
Main Event Sidewalk	Illuminance	Fc	1.86	8.0	0.5	3.72	16.00
Music Venue - Loading Area	Illuminance	Fc	3.12	7.0	0.8	3.90	8.75
Property Line	Illuminance	Fc	0.03	0.5	0.0	N.A.	N.A.
West Parking Lot	Illuminance	Fc	2.70	7.5	0.5	5.40	15.00

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT TIME OF REQUEST.  
 ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP WATTAGE, LAMP TYPE,  
 AND EXISTING FIELD CONDITIONS, THAT EFFECT ANY OF THE PREVIOUSLY MENTIONED,  
 WILL VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.

PARKING LOT LIGHT LEVELS CALCULATED ON GROUND EVERY 10'  
 SIDEWALK LIGHT LEVELS CALCULATED ON GROUND EVERY 3'

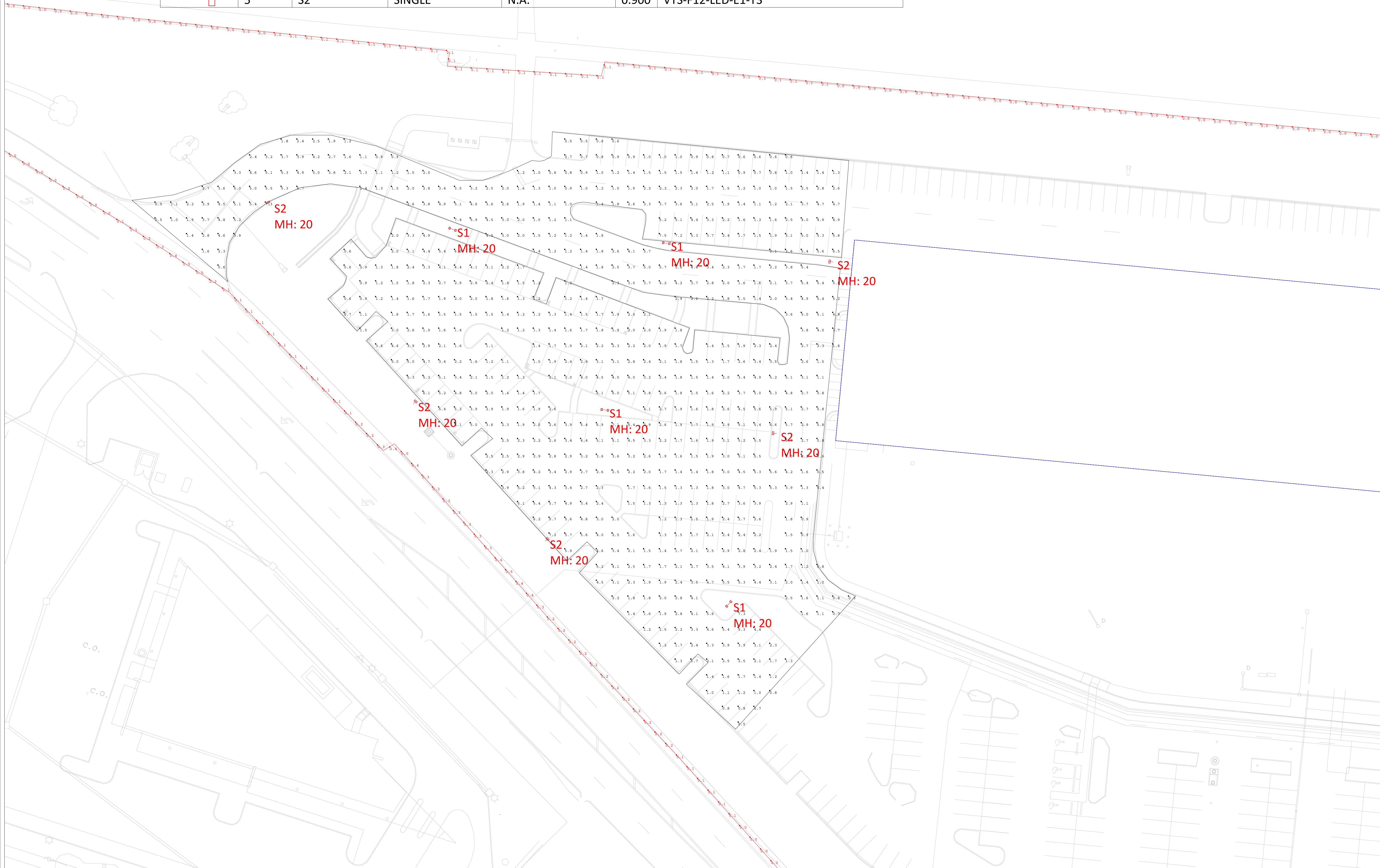
FIXTURE MOUNTING HEIGHTS (HEIGHT INCLUDES BASE)  
 PARKING LOT FIXTURES - EXISTING FIXTURES = 24'  
 PARKING LOT FIXTURES - NEW FIXTURES = 20'  
 ALL OTHERS - SEE PLAN FOR MOUNTING HEIGHT (MH)

#	Date	Comments
Revisions		

Drawn By: LU  
 Checked By:  
 Date: 8/8/2019  
 Scale: None



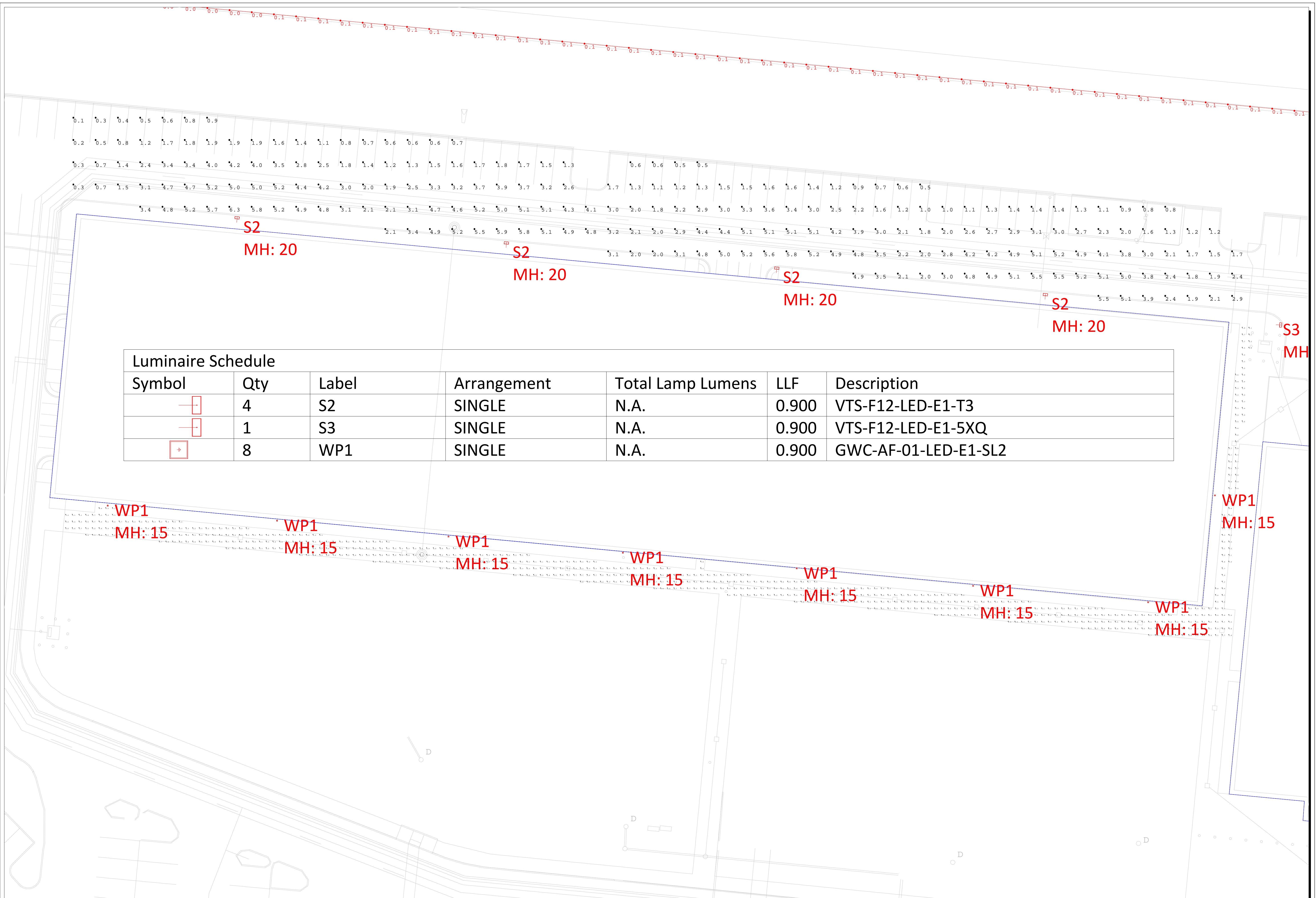
Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
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	5	S2	SINGLE	N.A.	0.900	VTS-F12-LED-E1-T3



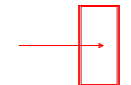
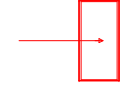

#	Date	Comments
Revisions		

Drawn By: LU
Checked By:
Date: 8/8/2019
Scale: None





**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	4	S2	SINGLE	N.A.	0.900	VTS-F12-LED-E1-T3
	1	S3	SINGLE	N.A.	0.900	VTS-F12-LED-E1-5XQ
	8	WP1	SINGLE	N.A.	0.900	GWC-AF-01-LED-E1-SL2

#	Date	Comments

Revisions

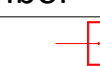
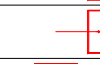
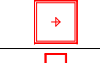





Drawn By: LU
Checked By:
Date: 8/8/2019
Scale: None



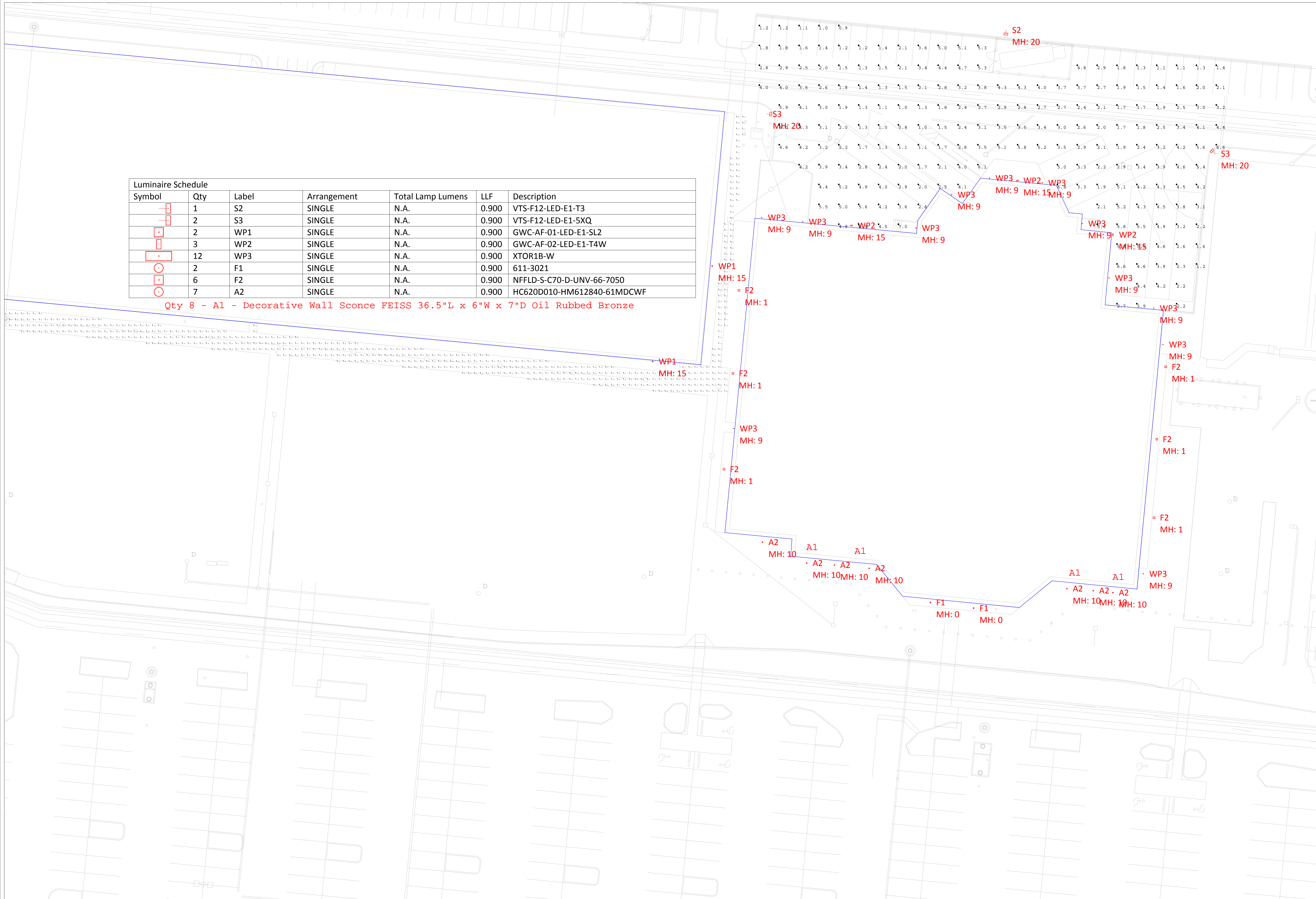
#	Date	Comments

Revisions		
#	Date	Comments

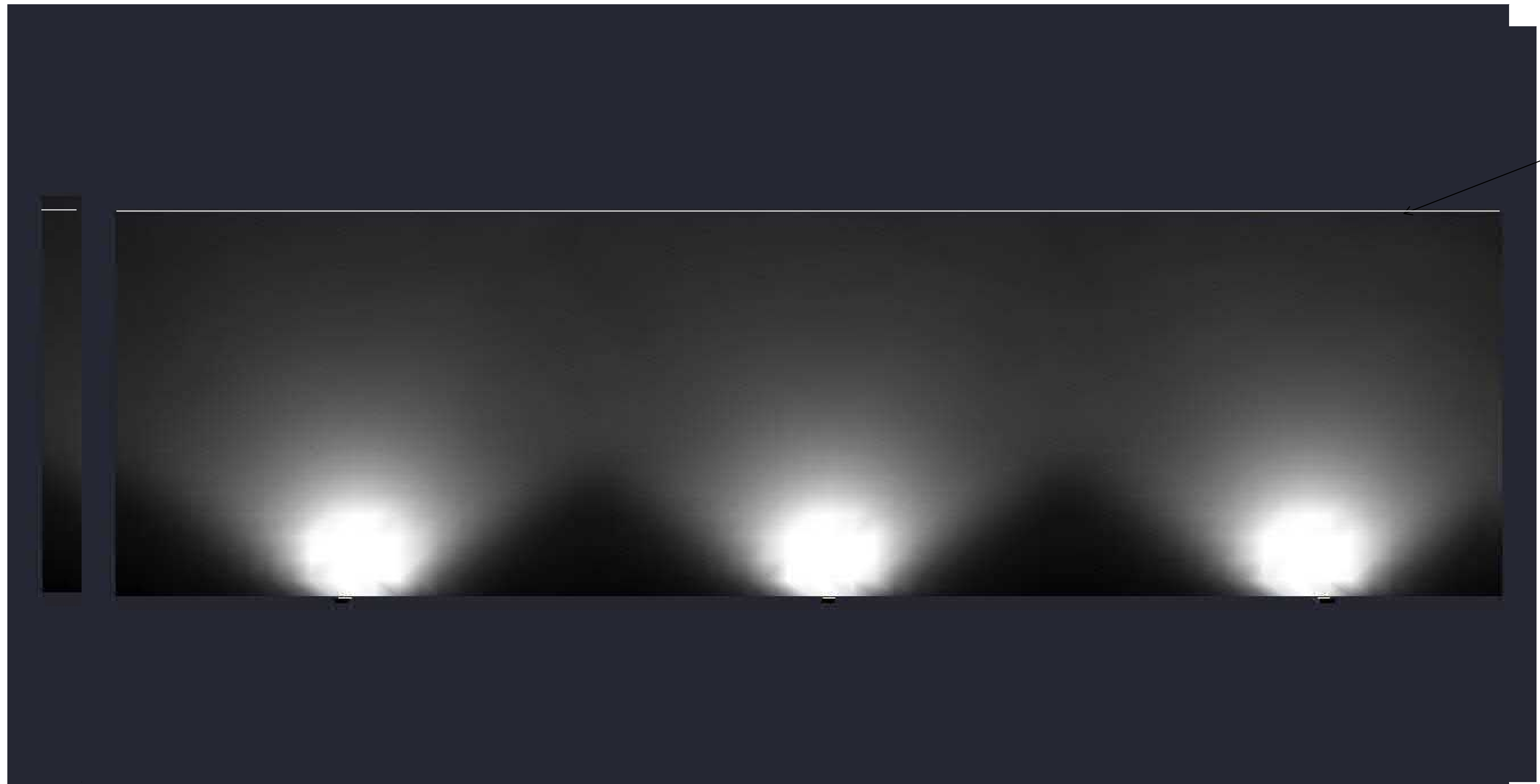
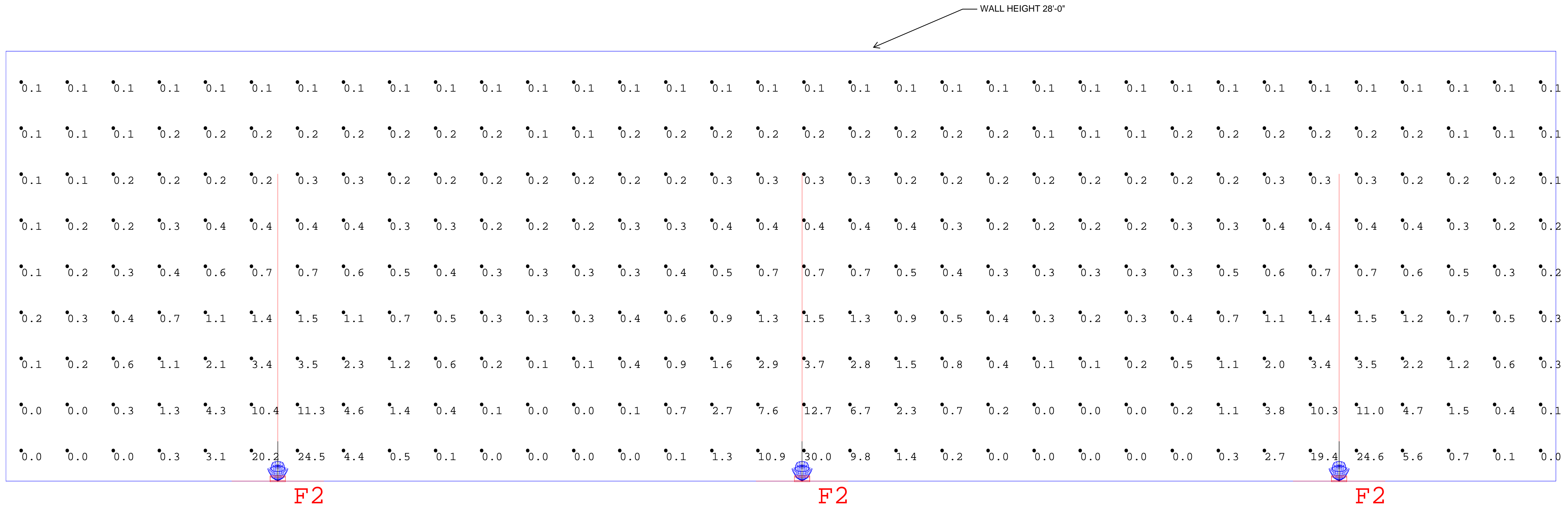
Drawn By: LU  
 Checked By:  
 Date: 8/9/2019  
 Scale: None

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
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	2	S3	SINGLE	N.A.	0.900	VTS-F12-LED-E1-5XQ
	2	WP1	SINGLE	N.A.	0.900	GWC-AF-01-LED-E1-SL2
	3	WP2	SINGLE	N.A.	0.900	GWC-AF-02-LED-E1-T4W
	12	WP3	SINGLE	N.A.	0.900	XTOR1B-W
	2	F1	SINGLE	N.A.	0.900	611-3021
	6	F2	SINGLE	N.A.	0.900	NFFLD-S-C70-D-UNV-66-7050
	7	A2	SINGLE	N.A.	0.900	HC620D010-HM612840-61MDCWF

Qty 8 - A1 - Decorative Wall Sconce FEISS 36.5"L x 6"W x 7"D Oil Rubbed Bronze







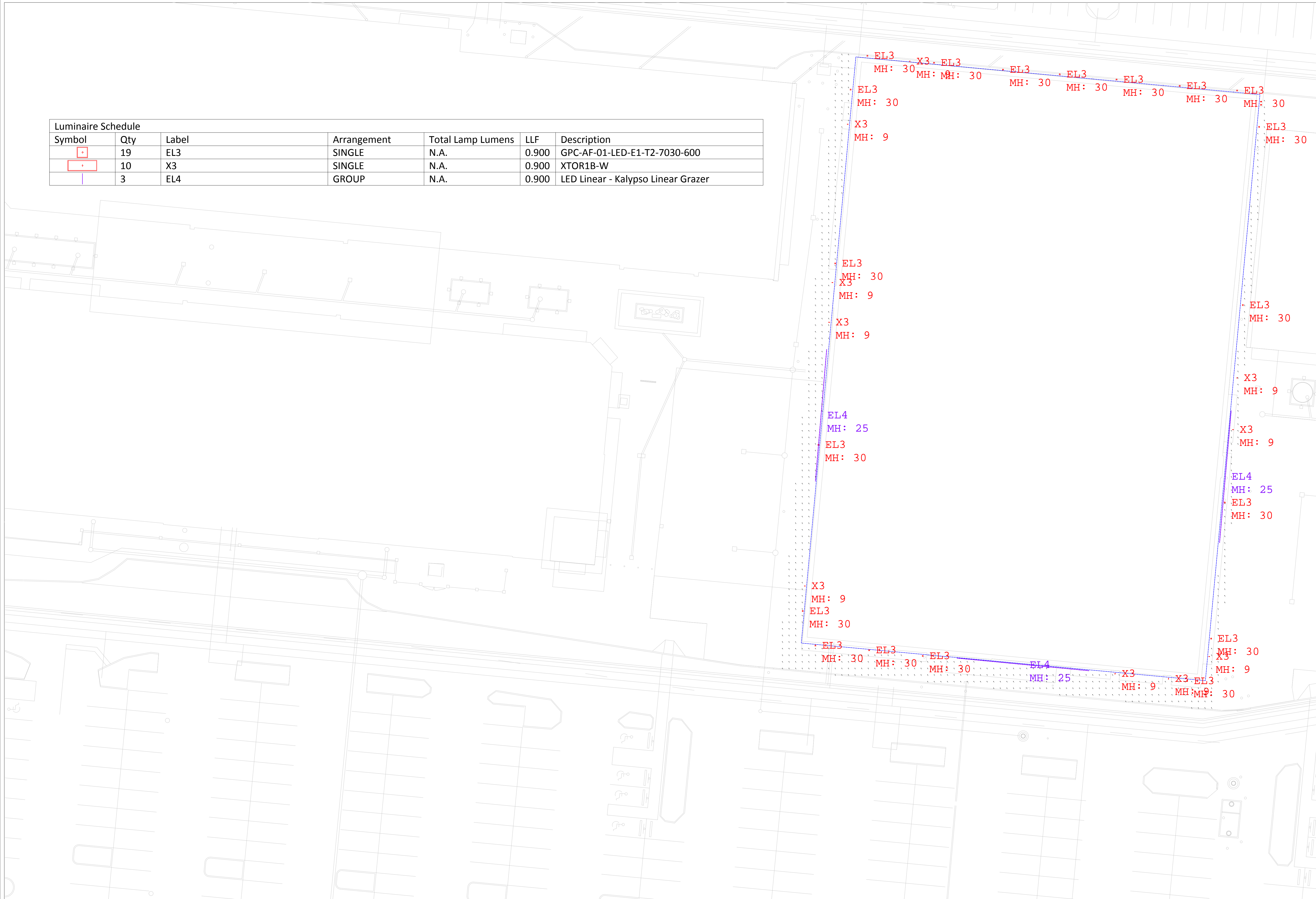
#	Date	Comments

Revisions

Drawn By: LU
Checked By:
Date: 8/9/2019
Scale: None



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
EL3	19	EL3	SINGLE	N.A.	0.900	GPC-AF-01-LED-E1-T2-7030-600
X3	10	X3	SINGLE	N.A.	0.900	XTOR1B-W
EL4	3	EL4	GROUP	N.A.	0.900	LED Linear - Kalypso Linear Grazer



#	Date	Comments

Revisions		

Drawn By: LU  
 Checked By:  
 Date: 8/8/2019  
 Scale: None



<b>DESCRIPTION</b>	
Conditions values and performance in a compact, robust design, the Night Falcon low wattage LED floodlight luminaire delivers superior uniformity and excellent distribution to the targeted application. The rugged, die-cast housing is IP66 rated for exceptional durability and long term reliability. Available in a wide range of mounting options and weighing less than 14 pounds, this fixture provides you with design flexibility while simplifying installation. The low wattage LED light can be wall mounted, or pole mounted, making it ideal for all commercial, industrial, and residential low wattage floodlighting applications.	
<b>Model #</b>	<b>Type</b>
<b>Project</b>	<b>F2</b>
<b>Comments</b>	<b>Music Venue Uplight Flood</b>
<b>Prepared by</b>	<b>Date</b>

**CONSTRUCTION**  
Heavy-duty, die-cast aluminum housing, driver compartment and driver housing are precision milled and finished. The housing, driver compartment and optical chamber are IP66 rated. Access to the driver for maintenance is achieved with a removable door using pin head screws. A one-piece silicone gasket seals the door to the fixture housing. Suitable for mounting within a 1.2m of the ground.

**Optics**  
The LED chamber incorporates a vacuum treated reflector that provides high-efficiency illumination. Optics are precisely designed to allow the precise NEMA Type A-V distribution, maximizing efficiency and application lighting. A 301 aluminum housing with clear glass tempered lens with full circumference silicone gasket protects the optics from damage. General standard is 4000K (+/- 29K) CCT and minimum 15° CR optional. Optional 3000K CCT, 3000K CCT, 5000K CCT, minimum 20° CR are available.

**Electrical**  
LED driver is mounted to the removable die-cast aluminum door.

**Dimensions**  
Mounting: Flush Mount, Recessed Mount, Trunion Mount

**CERTIFICATION DATA**  
UL1875, UL1875-1, UL1875-2, UL1875-3, UL1875-4, UL1875-5, UL1875-6, UL1875-7, UL1875-8, UL1875-9, UL1875-10, UL1875-11, UL1875-12, UL1875-13, UL1875-14, UL1875-15, UL1875-16, UL1875-17, UL1875-18, UL1875-19, UL1875-20, UL1875-21, UL1875-22, UL1875-23, UL1875-24, UL1875-25, UL1875-26, UL1875-27, UL1875-28, UL1875-29, UL1875-30, UL1875-31, UL1875-32, UL1875-33, UL1875-34, UL1875-35, UL1875-36, UL1875-37, UL1875-38, UL1875-39, UL1875-40, UL1875-41, UL1875-42, UL1875-43, UL1875-44, UL1875-45, UL1875-46, UL1875-47, UL1875-48, UL1875-49, UL1875-50, UL1875-51, UL1875-52, UL1875-53, UL1875-54, UL1875-55, UL1875-56, UL1875-57, UL1875-58, UL1875-59, UL1875-60, UL1875-61, UL1875-62, UL1875-63, UL1875-64, UL1875-65, UL1875-66, UL1875-67, UL1875-68, UL1875-69, UL1875-70, UL1875-71, UL1875-72, UL1875-73, UL1875-74, UL1875-75, UL1875-76, UL1875-77, UL1875-78, UL1875-79, UL1875-80, UL1875-81, UL1875-82, UL1875-83, UL1875-84, UL1875-85, UL1875-86, UL1875-87, UL1875-88, UL1875-89, UL1875-90, UL1875-91, UL1875-92, UL1875-93, UL1875-94, UL1875-95, UL1875-96, UL1875-97, UL1875-98, UL1875-99, UL1875-100

**Lumark**

**ETC130-GB LED**  
611-3021

1/3

**The District - Ingrade Uplight**

**F1**

**we-ef**



<b>Description</b>	IP67, Ingrade LED uplight. Suitable for flush installation in concrete or earth. Drive Over Rated. Offer ground mounted lamp module, with lockable aiming, 20° vertical tilt, and 360° horizontal rotation. Optical effects can be realized with linear lens, flood lens, or color filters.
<b>Beam Type</b>	symmetric, medium beam (M)
<b>Light Source</b>	LED-12/18W/1500 mA - 4000 K
<b>CRI</b>	80
<b>Color Temp</b>	electronic gear
<b>Nominal Luminous Flux (lm)</b>	
LED Lumens	184.8 lm
LEDs	12
Total Lumens	221.7 lm
T <sub>a</sub>	85 °C
<b>Delivered Lumens Flux (lm)</b>	
LED Lumens	160.3 lm
Total Lumens	192.7 lm
T <sub>a</sub>	25 °C
<b>Rated Input Power</b>	21 W

<b>CERTIFICATION DATA</b>	UL1875, UL1875-1, UL1875-2, UL1875-3, UL1875-4, UL1875-5, UL1875-6, UL1875-7, UL1875-8, UL1875-9, UL1875-10, UL1875-11, UL1875-12, UL1875-13, UL1875-14, UL1875-15, UL1875-16, UL1875-17, UL1875-18, UL1875-19, UL1875-20, UL1875-21, UL1875-22, UL1875-23, UL1875-24, UL1875-25, UL1875-26, UL1875-27, UL1875-28, UL1875-29, UL1875-30, UL1875-31, UL1875-32, UL1875-33, UL1875-34, UL1875-35, UL1875-36, UL1875-37, UL1875-38, UL1875-39, UL1875-40, UL1875-41, UL1875-42, UL1875-43, UL1875-44, UL1875-45, UL1875-46, UL1875-47, UL1875-48, UL1875-49, UL1875-50, UL1875-51, UL1875-52, UL1875-53, UL1875-54, UL1875-55, UL1875-56, UL1875-57, UL1875-58, UL1875-59, UL1875-60, UL1875-61, UL1875-62, UL1875-63, UL1875-64, UL1875-65, UL1875-66, UL1875-67, UL1875-68, UL1875-69, UL1875-70, UL1875-71, UL1875-72, UL1875-73, UL1875-74, UL1875-75, UL1875-76, UL1875-77, UL1875-78, UL1875-79, UL1875-80, UL1875-81, UL1875-82, UL1875-83, UL1875-84, UL1875-85, UL1875-86, UL1875-87, UL1875-88, UL1875-89, UL1875-90, UL1875-91, UL1875-92, UL1875-93, UL1875-94, UL1875-95, UL1875-96, UL1875-97, UL1875-98, UL1875-99, UL1875-100
<b>ENERGY DATA</b>	UL1875, UL1875-1, UL1875-2, UL1875-3, UL1875-4, UL1875-5, UL1875-6, UL1875-7, UL1875-8, UL1875-9, UL1875-10, UL1875-11, UL1875-12, UL1875-13, UL1875-14, UL1875-15, UL1875-16, UL1875-17, UL1875-18, UL1875-19, UL1875-20, UL1875-21, UL1875-22, UL1875-23, UL1875-24, UL1875-25, UL1875-26, UL1875-27, UL1875-28, UL1875-29, UL1875-30, UL1875-31, UL1875-32, UL1875-33, UL1875-34, UL1875-35, UL1875-36, UL1875-37, UL1875-38, UL1875-39, UL1875-40, UL1875-41, UL1875-42, UL1875-43, UL1875-44, UL1875-45, UL1875-46, UL1875-47, UL1875-48, UL1875-49, UL1875-50, UL1875-51, UL1875-52, UL1875-53, UL1875-54, UL1875-55, UL1875-56, UL1875-57, UL1875-58, UL1875-59, UL1875-60, UL1875-61, UL1875-62, UL1875-63, UL1875-64, UL1875-65, UL1875-66, UL1875-67, UL1875-68, UL1875-69, UL1875-70, UL1875-71, UL1875-72, UL1875-73, UL1875-74, UL1875-75, UL1875-76, UL1875-77, UL1875-78, UL1875-79, UL1875-80, UL1875-81, UL1875-82, UL1875-83, UL1875-84, UL1875-85, UL1875-86, UL1875-87, UL1875-88, UL1875-89, UL1875-90, UL1875-91, UL1875-92, UL1875-93, UL1875-94, UL1875-95, UL1875-96, UL1875-97, UL1875-98, UL1875-99, UL1875-100
<b>EPA</b>	UL1875, UL1875-1, UL1875-2, UL1875-3, UL1875-4, UL1875-5, UL1875-6, UL1875-7, UL1875-8, UL1875-9, UL1875-10, UL1875-11, UL1875-12, UL1875-13, UL1875-14, UL1875-15, UL1875-16, UL1875-17, UL1875-18, UL1875-19, UL1875-20, UL1875-21, UL1875-22, UL1875-23, UL1875-24, UL1875-25, UL1875-26, UL1875-27, UL1875-28, UL1875-29, UL1875-30, UL1875-31, UL1875-32, UL1875-33, UL1875-34, UL1875-35, UL1875-36, UL1875-37, UL1875-38, UL1875-39, UL1875-40, UL1875-41, UL1875-42, UL1875-43, UL1875-44, UL1875-45, UL1875-46, UL1875-47, UL1875-48, UL1875-49, UL1875-50, UL1875-51, UL1875-52, UL1875-53, UL1875-54, UL1875-55, UL1875-56, UL1875-57, UL1875-58, UL1875-59, UL1875-60, UL1875-61, UL1875-62, UL1875-63, UL1875-64, UL1875-65, UL1875-66, UL1875-67, UL1875-68, UL1875-69, UL1875-70, UL1875-71, UL1875-72, UL1875-73, UL1875-74, UL1875-75, UL1875-76, UL1875-77, UL1875-78, UL1875-79, UL1875-80, UL1875-81, UL1875-82, UL1875-83, UL1875-84, UL1875-85, UL1875-86, UL1875-87, UL1875-88, UL1875-89, UL1875-90, UL1875-91, UL1875-92, UL1875-93, UL1875-94, UL1875-95, UL1875-96, UL1875-97, UL1875-98, UL1875-99, UL1875-100
<b>SHIPPING DATA</b>	UL1875, UL1875-1, UL1875-2, UL1875-3, UL1875-4, UL1875-5, UL1875-6, UL1875-7, UL1875-8, UL1875-9, UL1875-10, UL1875-11, UL1875-12, UL1875-13, UL1875-14, UL1875-15, UL1875-16, UL1875-17, UL1875-18, UL1875-19, UL1875-20, UL1875-21, UL1875-22, UL1875-23, UL1875-24, UL1875-25, UL1875-26, UL1875-27, UL1875-28, UL1875-29, UL1875-30, UL1875-31, UL1875-32, UL1875-33, UL1875-34, UL1875-35, UL1875-36, UL1875-37, UL1875-38, UL1875-39, UL1875-40, UL1875-41, UL1875-42, UL1875-43, UL1875-44, UL1875-45, UL1875-46, UL1875-47, UL1875-48, UL1875-49, UL1875-50, UL1875-51, UL1875-52, UL1875-53, UL1875-54, UL1875-55, UL1875-56, UL1875-57, UL1875-58, UL1875-59, UL1875-60, UL1875-61, UL1875-62, UL1875-63, UL1875-64, UL1875-65, UL1875-66, UL1875-67, UL1875-68, UL1875-69, UL1875-70, UL1875-71, UL1875-72, UL1875-73, UL1875-74, UL1875-75, UL1875-76, UL1875-77, UL1875-78, UL1875-79, UL1875-80, UL1875-81, UL1875-82, UL1875-83, UL1875-84, UL1875-85, UL1875-86, UL1875-87, UL1875-88, UL1875-89, UL1875-90, UL1875-91, UL1875-92, UL1875-93, UL1875-94, UL1875-95, UL1875-96, UL1875-97, UL1875-98, UL1875-99, UL1875-100

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<b>McGraw-Edison</b>	
<b>Model #</b>	<b>Type</b>
<b>Project</b>	<b>The District</b>
<b>Comments</b>	<b>Parking Lot Pole</b>
<b>Prepared by</b>	<b>Date</b>

**DESCRIPTION**  
The Ventura™ LED area luminaire provides uncompromising optical accuracy and outstanding versatility for a wide variety of area and roadway applications. Patent pending modular LightBAR™ technology delivers uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. UL/cUL Listed for low voltages.

**SPECIFICATION FEATURES**  
**Construction**  
Die-cast aluminum frame secures thermally conductive, extruded aluminum heat sink to independent electrical chamber. Heavy-weld, die-cast aluminum housing and door isolates driver components for cooler operation. The unique construction allows for passive cooling and natural clearing of the extruded heat sink ensuring reliable operation at 40°C high ambient conditions. Stainless steel fasteners and bring-out allow for electrical components for installation and maintenance. Optional toolless hardware available for ease of entry into electrical chamber.

**Optics**  
Choice of twelve patented, high-efficiency ACOLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. ACOLED Optics technology creates consistent distributions with the capability to meet customized application requirements. Offered Standard is 4000K (+/- 27K) CCT and minimum 70° CR. Optional 3000K CCT, 5000K CCT and 5000K CCT. For the ultimate level of light control, an optional house-side shield accessory can be field fabricated to meet your application. Custom shields are available to meet your application. Tension adjusters available to adjust the beam angle and beam width.

**Electrical**  
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage (120-277V, 50/60Hz), 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 20% harmonic distortion. Greater than 0.8 power factor. Less than 20% harmonic distortion, and is suitable for operation in 40°C to 40°C ambient environments. All fixtures are shipped standard with 10kVITBBA common- and differential-mode surge protection. LightBARs feature an IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

**Mounting**  
Cast aluminum 6" arm includes built-in galleys allowing for easy installation of fixture during positioning to pole or wall surface. Standard single carton packaging of housing, square pole arm and round pole adapter for contractor friendly arrival of product on site. Optional internal mast arm mount accepts a 1-1/4" to 2" O.D. horizontal arm, while a two-bolt clamping mechanism secures fixture. Custom hardware provides 45° vertical leveling adjustment. Tension adjusters available to adjust over poles equipped with 2-3/8" or 3-1/2" O.D. tension. 3G vibration rated.

**Finish**  
Cast components and arm finished in super TG17 polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. PAI, and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

**Warranty**  
Five-year warranty.

**VTS VENTUS LED**

2 - 12 LightBARs  
Solid State LED  
AREA LUMINAIRE

<b>CERTIFICATION DATA</b>	UL1875, UL1875-1, UL1875-2, UL1875-3, UL1875-4, UL1875-5, UL1875-6, UL1875-7, UL1875-8, UL1875-9, UL1875-10, UL1875-11, UL1875-12, UL1875-13, UL1875-14, UL1875-15, UL1875-16, UL1875-17, UL1875-18, UL1875-19, UL1875-20, UL1875-21, UL1875-22, UL1875-23, UL1875-24, UL1875-25, UL1875-26, UL1875-27, UL1875-28, UL1875-29, UL1875-30, UL1875-31, UL1875-32, UL1875-33, UL1875-34, UL1875-35, UL1875-36, UL1875-37, UL1875-38, UL1875-39, UL1875-40, UL1875-41, UL1875-42, UL1875-43, UL1875-44, UL1875-45, UL1875-46, UL1875-47, UL1875-48, UL1875-49, UL1875-50, UL1875-51, UL1875-52, UL1875-53, UL1875-54, UL1875-55, UL1875-56, UL1875-57, UL1875-58, UL1875-59, UL1875-60, UL1875-61, UL1875-62, UL1875-63, UL1875-64, UL1875-65, UL1875-66, UL1875-67, UL1875-68, UL1875-69, UL1875-70, UL1875-71, UL1875-72, UL1875-73, UL1875-74, UL1875-75, UL1875-76, UL1875-77, UL1875-78, UL1875-79, UL1875-80, UL1875-81, UL1875-82, UL1875-83, UL1875-84, UL1875-85, UL1875-86, UL1875-87, UL1875-88, UL1875-89, UL1875-90, UL1875-91, UL1875-92, UL1875-93, UL1875-94, UL1875-95, UL1875-96, UL1875-97, UL1875-98, UL1875-99, UL1875-100
<b>ENERGY DATA</b>	UL1875, UL1875-1, UL1875-2, UL1875-3, UL1875-4, UL1875-5, UL1875-6, UL1875-7, UL1875-8, UL1875-9, UL1875-10, UL1875-11, UL1875-12, UL1875-13, UL1875-14, UL1875-15, UL1875-16, UL1875-17, UL1875-18, UL1875-19, UL1875-20, UL1875-21, UL1875-22, UL1875-23, UL1875-24, UL1875-25, UL1875-26, UL1875-27, UL1875-28, UL1875-29, UL1875-30, UL1875-31, UL1875-32, UL1875-33, UL1875-34, UL1875-35, UL1875-36, UL1875-37, UL1875-38, UL1875-39, UL1875-40, UL1875-41, UL1875-42, UL1875-43, UL1875-44, UL1875-45, UL1875-46, UL1875-47, UL1875-48, UL1875-49, UL1875-50, UL1875-51, UL1875-52, UL1875-53, UL1875-54, UL1875-55, UL1875-56, UL1875-57, UL1875-58, UL1875-59, UL1875-60, UL1875-61, UL1875-62, UL1875-63, UL1875-64, UL1875-65, UL1875-66, UL1875-67, UL1875-68, UL1875-69, UL1875-70, UL1875-71, UL1875-72, UL1875-73, UL1875-74, UL1875-75, UL1875-76, UL1875-77, UL1875-78, UL1875-79, UL1875-80, UL1875-81, UL1875-82, UL1875-83, UL1875-84, UL1875-85, UL1875-86, UL1875-87, UL1875-88, UL1875-89, UL1875-90, UL1875-91, UL1875-92, UL1875-93, UL1875-94, UL1875-95, UL1875-96, UL1875-97, UL1875-98, UL1875-99, UL1875-100
<b>SHIPPING DATA</b>	UL1875, UL1875-1, UL1875-2, UL1875-3, UL1875-4, UL1875-5, UL1875-6, UL1875-7, UL1875-8, UL1875-9, UL1875-10, UL1875-11, UL1875-12, UL1875-13, UL1875-14, UL1875-15, UL1875-16, UL1875-17, UL1875-18, UL1875-19, UL1875-20, UL1875-21, UL1875-22, UL1875-23, UL1875-24, UL1875-25, UL1875-26, UL1875-27, UL1875-28, UL1875-29, UL1875-30, UL1875-31, UL1875-32, UL1875-33, UL1875-34, UL1875-35, UL1875-36, UL1875-37, UL1875-38, UL1875-39, UL1875-40, UL1875-41, UL1875-42, UL1875-43, UL1875-44, UL1875-45, UL1875-46, UL1875-47, UL1875-48, UL1875-49, UL1875-50, UL1875-51, UL1875-52, UL1875-53, UL1875-54, UL1875-55, UL1875-56, UL1875-57, UL1875-58, UL1875-59, UL1875-60, UL1875-61, UL1875-62, UL1875-63, UL1875-64, UL1875-65, UL1875-66, UL1875-67, UL1875-68, UL1875-69, UL1875-70, UL1875-71, UL1875-72, UL1875-73, UL1875-74, UL1875-75, UL1875-76, UL1875-77, UL1875-78, UL1875-79, UL1875-80, UL1875-81, UL1875-82, UL1875-83, UL1875-84, UL1875-85, UL1875-86, UL1875-87, UL1875-88, UL1875-89, UL1875-90, UL1875-91, UL1875-92, UL1875-93, UL1875-94, UL1875-95, UL1875-96, UL1875-97, UL1875-98, UL1875-99, UL1875-100

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<b>McGraw-Edison</b>	
<b>Model #</b>	<b>Type</b>
<b>Project</b>	<b>The District</b>
<b>Comments</b>	<b>Wall Pack</b>
<b>Prepared by</b>	<b>Date</b>

**DESCRIPTION**  
The Galleon™ Wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency ACOLED Optics™, providing uniformity and energy conscious lighting for parking lots, building and security lighting applications.

**SPECIFICATION FEATURES**  
**Construction**  
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sink to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. UP LIGHTING™. Specify with the LFL option for overcast mount uplight housing with additional protection to maintain IP rating.

**Optics**  
Choice of thirteen patented, high-efficiency ACOLED Optics™. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. ACOLED Optics create consistent distributions with the capability to meet customized application requirements. Offered standard is 4000K (+/- 27K) CCT and minimum 70° CR. Optional 3000K CCT and minimum 70° CR.

**Electrical**  
LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 20% harmonic distortion. Greater than 0.8 power factor. Less than 20% harmonic distortion, and is suitable for operation in 40°C to 40°C ambient environments. All fixtures are shipped standard with 10kVITBBA common- and differential-mode surge protection. LightBARs feature an IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

**Mounting**  
Die-cast and zinc plated rigid steel mounting attachment fits directly to 4" block or wall with the Galleon Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated Allen head set screws which are concealed behind the fixture housing.

**Finish**  
Housing finished in super durable TG17 polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. PAI, and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

**Warranty**  
Five-year warranty.

**GWC GALLEON WALL**

12 Light Squares  
Solid State LED  
WALL MOUNT LUMINAIRE

<b>CERTIFICATION DATA</b>	UL1875, UL1875-1, UL1875-2, UL1875-3, UL1875-4, UL1875-5, UL1875-6, UL1875-7, UL1875-8, UL1875-9, UL1875-10, UL1875-11, UL1875-12, UL1875-13, UL1875-14, UL1875-15, UL1875-16, UL1875-17, UL1875-18, UL1875-19, UL1875-20, UL1875-21, UL1875-22, UL1875-23, UL1875-24, UL1875-25, UL1875-26, UL1875-27, UL1875-28, UL1875-29, UL1875-30, UL1875-31, UL1875-32, UL1875-33, UL1875-34, UL1875-35, UL1875-36, UL1875-37, UL1875-38, UL1875-39, UL1875-40, UL1875-41, UL1875-42, UL1875-43, UL1875-44, UL1875-45, UL1875-46, UL1875-47, UL1875-48, UL1875-49, UL1875-50, UL1875-51, UL1875-52, UL1875-53, UL1875-54, UL1875-55, UL1875-56, UL1875-57, UL1875-58, UL1875-59, UL1875-60, UL1875-61, UL1875-62, UL1875-63, UL1875-64, UL1875-65, UL1875-66, UL1875-67, UL1875-68, UL1875-69, UL1875-70, UL1875-71, UL1875-72, UL1875-73, UL1875-74, UL1875-75, UL1875-76, UL1875-77, UL1875-78, UL1875-79, UL1875-80, UL1875-81, UL1875-82, UL1875-83, UL1875-84, UL1875-85, UL1875-86, UL1875-87, UL1875-88, UL1875-89, UL1875-90, UL1875-91, UL1875-92, UL1875-93, UL1875-94, UL1875-95, UL1875-96, UL1875-97, UL1875-98, UL1875-99, UL1875-100
<b>ENERGY DATA</b>	UL1875, UL1875-1, UL1875-2, UL1875-3, UL1875-4, UL1875-5, UL1875-6, UL1875-7, UL1875-8, UL1875-9, UL1875-10, UL1875-11,



