

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Meeting Date: April 8, 2024

From: Isaak Simmers, Planner

Location: 18501 OUTLET BLVD

Description: **Chesterfield Blue Valley, Lot 2 (St. Louis Premium Outlets):** An amended site development section plan, landscape plan, and lighting plan for Lot 2A of Chesterfield Blue Valley Plat One located on a 31.73-acre tract of land just north of Outlet Boulevard and south of US 40/61 EB Chesterfield Airport Road (Ward 4).

PROPOSAL SUMMARY

Black & Veatch Corporation, on behalf of the St. Louis Premium Outlets, LLC, has submitted an amended site development section plan, landscape plan, and lighting plan for the development known as the “St. Louis Premium Outlets”. Site improvements include a series of electric vehicle charging stations in the existing parking lot along the southern boundary of the property.



Figure 1: Subject Site

HISTORY OF SUBJECT SITE

The subject site was originally rezoned from “NU” Non-urban District to “PC” Planned Commercial District in 2004. Since that time, there have been several amendments that included changes to development criteria and adding acreage to the planned district. The site is currently governed by [ordinance 2805](#).

ZONING & LAND USE

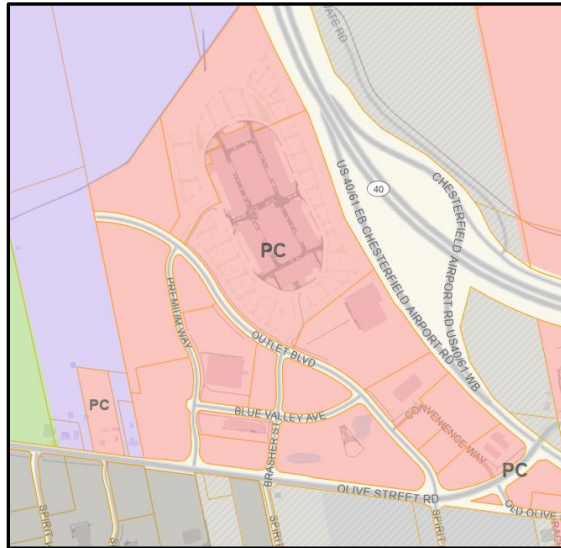


Figure 2: Zoning Map

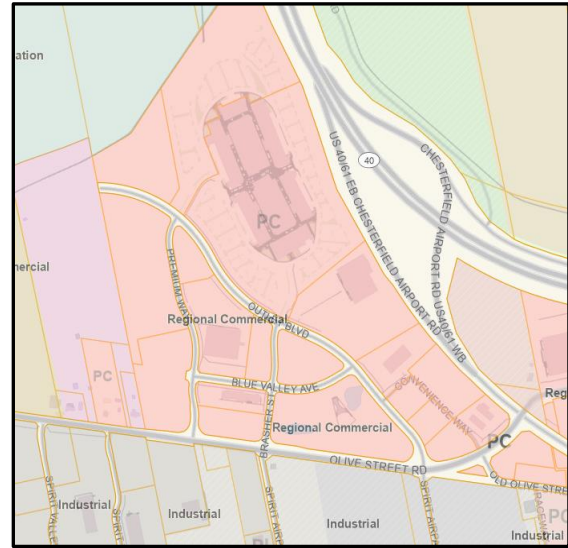


Figure 3: Land Use Map

Direction	Zoning	Land Use
North	"PC" Planned Commercial / "NU" Non-urban District	Regional Commercial / Conservation
South	"PC" Planned Commercial / "PI" Planned Industrial District	Regional Commercial / Industrial
East	N/A	E & W HWY 40/61 - Interstate 64
West	"PC" Planned Commercial / "NU" Non-urban District	Regional Commercial

Figure 4: Zoning and Land Use Table

COMPREHENSIVE PLAN

The City of Chesterfield provides a character description of this area ([Envision Chesterfield Comprehensive Plan 2020](#)): “Regional Commercial areas that service needs (emphasizing retail, dining, entertainment, hotel, and leisure components) and draw visitors from both Chesterfield and the surrounding areas. Multiple building planned and developed together using unified development standards. Regional Commercial areas have the following development policy:

- Limit curb cuts on arterial streets, and where possible concentrate access at shared entrance points;
- Primary entrance points should be aligned with access points immediately across the street;

- Promote the re-invention of existing tenant space to accommodate different users to increase the mix of uses and redefine the centers, allowing them to be modernized and remain relevant in the market;
- Landscape buffering should be utilized between roadways to screen areas of surface parking;
- Secure infrastructure for safe walking and biking between lodging and attraction centers,
- Residential projects should be limited to areas outside of the Chesterfield Valley.”

STAFF ANALYSIS

The applicant is proposing a series of six (6) electric vehicle charging stations, one (1) of which will be ADA-compliant. The proposed construction will include a screened utility transformer and switchboard assembly. The accompanying infrastructure will be screened with a treated wood accent band and decorative frame fencing that will be painted to match the existing enclosures on site (see Figure 7).

Additionally, there will be enclosure protection bollards along the back of the proposed screening and utility transformer. The applicant has proposed seven (7) Hydrangea macrophylla ‘Red Sensation’ bushes as a modification to the existing landscape plan, and all associated plans have been updated accordingly. There is an existing tree and landscaping on site that will not interfere with construction and will remain. The series of stations will be lit using one (1) light pole and fixture that will match the existing lighting on site.

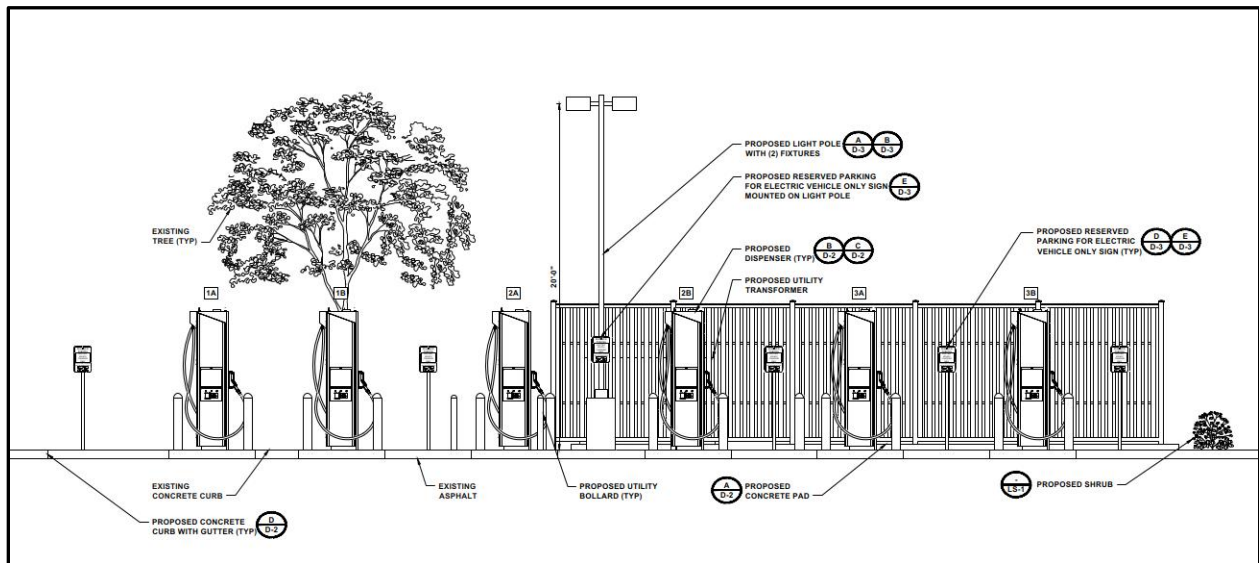


Figure 5: Site Elevation

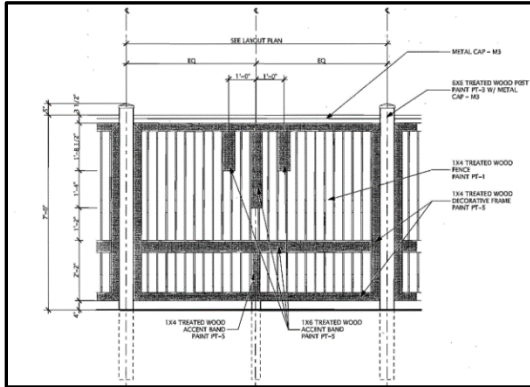


Figure 6: Typical Screening Elevation



Figure 7: Screening on site

DEPARTMENT INPUT

Staff has reviewed this proposed development and found it to be in compliance with the City's Unified Development Code and site-specific ordinance. All outstanding comments have been addressed at this time and Staff recommends action.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

1. "I move to approve (or deny) the amended site development section plan, landscape plan, and lighting plan for Chesterfield Blue Valley, Lot 2 (St. Louis Premium Outlets), as presented."
2. "I move to approve the amended site development section plan, landscape plan, and lighting plan for Chesterfield Blue Valley, Lot 2 (St. Louis Premium Outlets) with the following conditions..." (Conditions may be added, eliminated, altered or modified).

Attachments:

1. Amended Site Development Section Plan
2. Construction Drawings



**MO240027 CHESTERFIELD
INSTALLATION OF ELECTRIC VEHICLE CHARGING EQUIPMENT
SIMON ST. LOUIS PREMIUM OUTLETS
18501 OUTLET BLVD
CHESTERFIELD, MO 63005**



ELECTRIFY AMERICA, LLC.
2003 EDMUND HALLEY DRIVE
SUITE 200
RESTON, VIRGINIA 20191



BLACK & VEATCH

11401 LAMAR AVENUE
OVERLAND PARK, KS 66211
(913) 458-2000

SITE INFORMATION

EV SITE ADDRESS: 18501 OUTLET BLVD
CHESTERFIELD, MO 63005
POWER COMPANY: AMEREN MO
COUNTY: ST LOUIS
PROPERTY OWNER: SIMON ST. LOUIS PREMIUM OUTLETS
LATITUDE (NAD83): 38° 40' 30.30" N
EQUIPMENT SUPPLIER: ELECTRIFY AMERICA, LLC.
2003 EDMUND HALLEY DRIVE
SUITE 200
RESTON, VIRGINIA 20191
APN: 17W-54-1453
CONTACT ENGINEER: RUSSELL POLLOM
(913) 458-6274
POLLOMRE@BV.COM

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL PLUMBING CODE WITH AMENDMENTS
2015 INTERNATIONAL MECHANICAL CODE WITH AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2014 NATIONAL ELECTRIC CODE
IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE WILL PREVAIL

ZONING INFORMATION

PERMITTING JURISDICTION: CITY OF CHESTERFIELD, MO
ZONING DISTRICT: PC

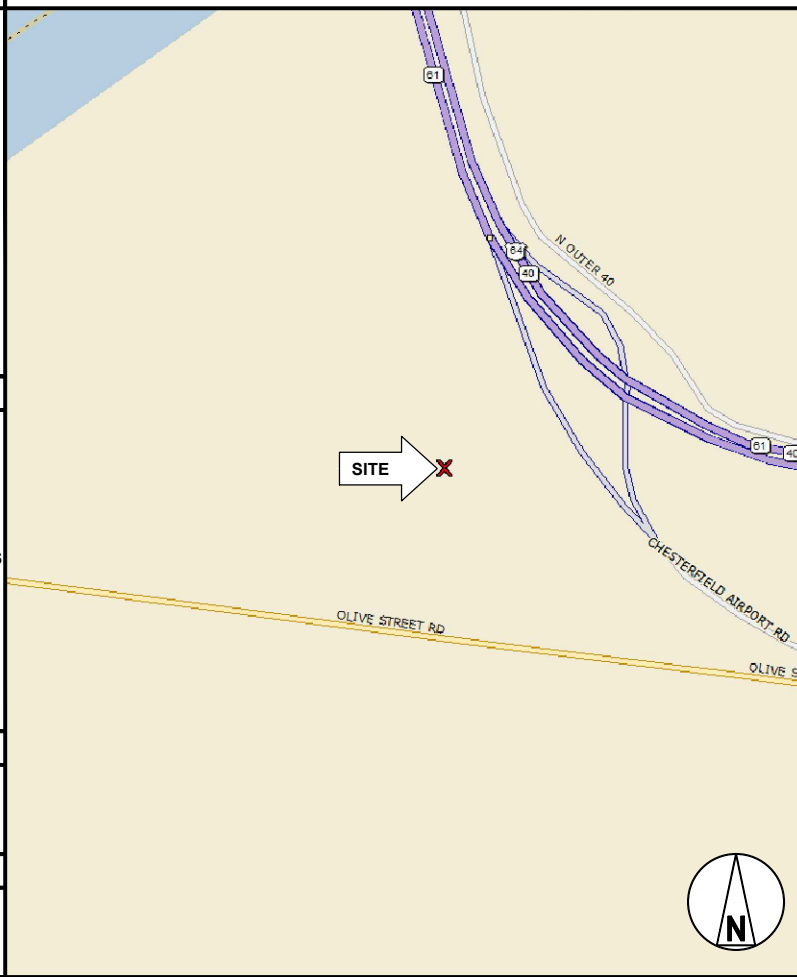
FLOOD HAZARD AREA NOTE

THIS SITE IS LOCATED IN FLOOD ZONE "AH". WITH BASE FLOOD ELEVATION OF 462FT PER FLOOD MAP 29189C0145K.

CONTRACTOR NOTE

CONTRACTOR SHALL COMPLETE INSTALL PER THE SIGNED AND THE SEALED SET OF DRAWINGS. ANY NECESSARY DEVIATIONS FROM THE DRAWINGS MUST BE SUBMITTED THROUGH AN RFI REQUEST PROCESS WITH ENGINEERING FOR AN APPROVAL PRIOR TO CONTRACTOR PROCEEDING WITH A DEVIATION OF THE SIGNED AND SEALED SET OF DRAWINGS.

AREA MAP



LOCATION MAP



PROJECT DESCRIPTION

- INSTALL (1) UTILITY TRANSFORMER
- INSTALL (1) SWITCHBOARD ASSEMBLY
- INSTALL (3) 360KW BTC POWER UNITS
- INSTALL (6) 350KW BTC GEN IV DISPENSERS
- INSTALL (1) LIGHT POLE

DRAWING INDEX

SHEET NO:	SHEET TITLE	REV NO:
T-1	TITLE SHEET & PROJECT DATA	0
C-1	OVERALL SITE PLAN	0
C-3	ENLARGED SITE PLAN	0
C-5	SITE ELEVATION	0
E-1	UTILITY PLAN	0

PROJECT NO:	411370
DRAWN BY:	GAK
CHECKED BY:	NMB

REV	DATE	DESCRIPTION
0.E	03/29/24	ISSUED FOR ASDSP
0.D	03/05/24	ISSUED FOR ASDSP
0.C	02/26/24	ISSUED FOR ASDSP
0.B	01/19/24	ISSUED FOR ASDSP
0.A	11/30/23	ISSUED FOR ASDSP

NOT TO BE USED FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**MO240027 CHESTERFIELD
SIMON ST. LOUIS PREMIUM OUTLETS
18501 OUTLET BLVD
CHESTERFIELD, MO 63005**

FOR REFERENCE ONLY DRAWINGS

ENGINEER OF RECORD

BRADLEY DISTLER
PE # 2022041837
BLACK & VEATCH CORPORATION

CALL BEFORE YOU DIG



UNDERGROUND SERVICE ALERT
UTILITY NOTIFICATION CENTER OF MISSOURI
811 OR 1-800-344-7483

3 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

11"x17" PLOT WILL BE HALF SCALE UNLESS NOTED

SHEET TITLE

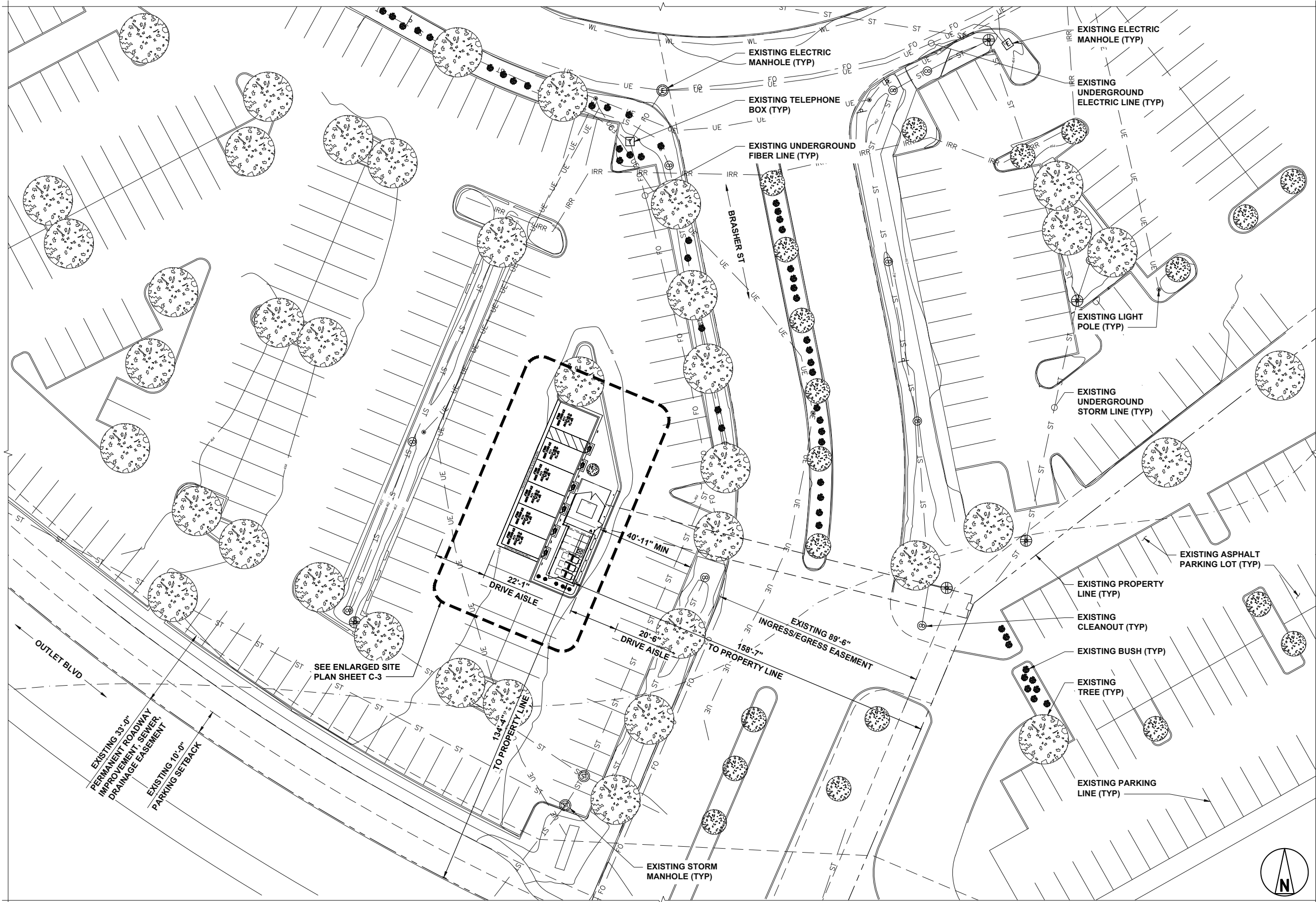
TITLE SHEET & PROJECT DATA

SHEET NUMBER

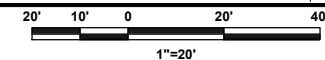
T-1

NOTES

1. TRANSFORMER BOLLARD PROTECTION TO BE INSTALLED PER UTILITY SPECIFICATION. ADDITIONAL BOLLARD PROTECTION MAY BE REQUIRED AT THE DISCRETION OF THE UTILITY FIELD INSPECTION PERSONNEL.
2. ALL UTILITIES WILL BE INSTALLED UNDERGROUND
3. ALL SITE SIGNAGE SUBJECT TO SEPARATE APPROVAL PROCESS



OVERALL SITE PLAN



ELECTRIFY AMERICA, LLC.
2003 EDMUND HALLEY DRIVE
SUITE 200
RESTON, VIRGINIA 20191



BLACK & VEATCH

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OVERLAND PARK, KS 66211
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SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
C-1

NOTES

- SOD PLANTED IN THE FALL MUST ESTABLISH ITS ROOTS BEFORE THE FIRST WINTER FROST. DETERMINE WHEN THE FIRST FROST USUALLY OCCURS, AND PLANT THE SOD NO LATER THAN ONE MONTH BEFORE THE FIRST FROST. IF THE CONSTRUCTION IS FINISHED LATER THAN ONE MONTH BEFORE THE FIRST FROST, USE STRAW UNTIL SOD CAN BE INSTALLED.
- THE CONTRACTOR SHALL RETURN SIDEWALKS, LANDSCAPING, PLANTERS, IRRIGATION SYSTEMS, AND ANY OTHER FACILITIES DISTURBED BY THE WORK TO THE SAME OR BETTER CONDITION THAN EXISTED PRIOR TO THE COMMENCEMENT OF THE WORK.
- FFE = FINISHED FLOOR ELEVATION. THIS IS APPROXIMATE BASED ON SURVEY DATA. INTENT IS FOR FOUNDATIONS TO BE BETWEEN FLUSH WITH GRADE OR UP TO A 4" REVEAL ABOVE SURROUNDING GRADE.
- FILL IN THE PROPOSED ISLAND TO MATCH EXISTING AREA OUTSIDE ANY PROPOSED FOUNDATION.
- PROPOSED 11' WIDE STALL AND 5' STRIPED AISLE TO BE 2% MAX GRADE ALL DIRECTIONS.
- EXISTING STORM WATER DRAINAGE PATTERNS WILL BE MAINTAINED AS MUCH AS POSSIBLE. PROPOSED SITE IS AT THE CREST OF THE EXISTING STORM WATER DRAINAGE SPLIT AND IS PROPOSING TO MAINTAIN EXISTING DRAINAGE PATTERN.

SITE DEVELOPMENT TABLE	
NET HARDSCAPE	- 464.67 SQ.FT
NET SOFTSCAPE	464.67 SQ.FT
TOTAL DISTURBANCE	SEE SHEET C-2

PROJECT AREA STALL COUNT	
EXISTING STALL COUNT	12
PROPOSED STALL COUNT	6
HOST APPROVED STALL COUNT	12

PROPOSED DISPENSER		
DISPENSER NUMBER	350 KW	CABLE TYPE
1A	1*	CCS
1B	1*	CCS
2A	1*	CCS
2B	1*	CCS
3A	1*	CCS
3B	1*	CCS

*SHARED 350KW OUTPUT



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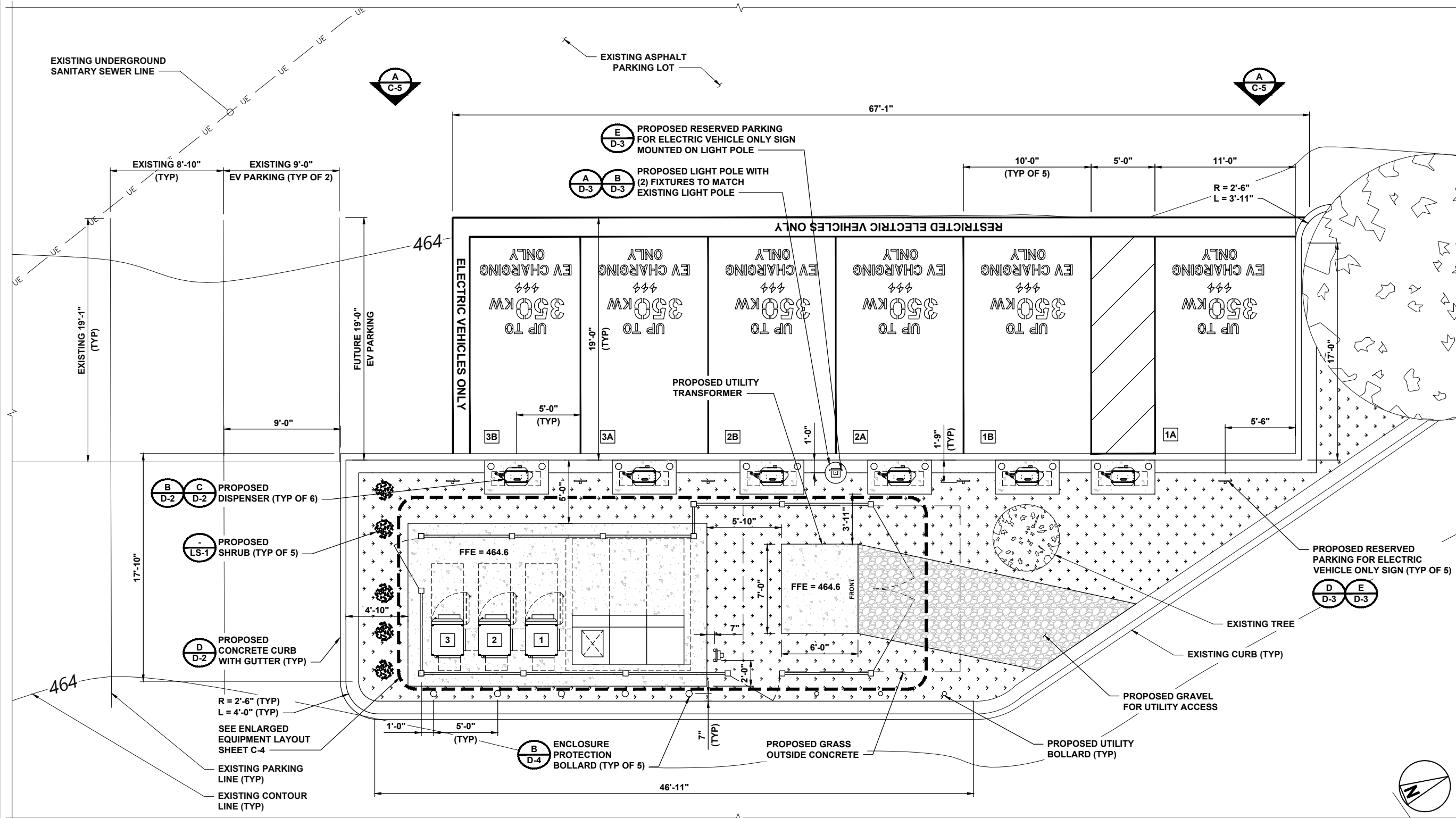
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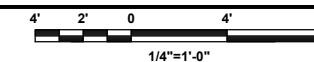
MO240027 CHESTERFIELD
SIMON ST. LOUIS PREMIUM OUTLETS
18501 OUTLET BLVD
CHESTERFIELD, MO 63005

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
C-3



ENLARGED SITE PLAN





ELECTRIFY AMERICA, LLC.
2003 EDMUND HALLEY DRIVE
SUITE 200
RESTON, VIRGINIA 20191



BLACK & VEATCH

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OVERLAND PARK, KS 66211
(913) 458-2000

PROJECT NO: 411370
DRAWN BY: GAK
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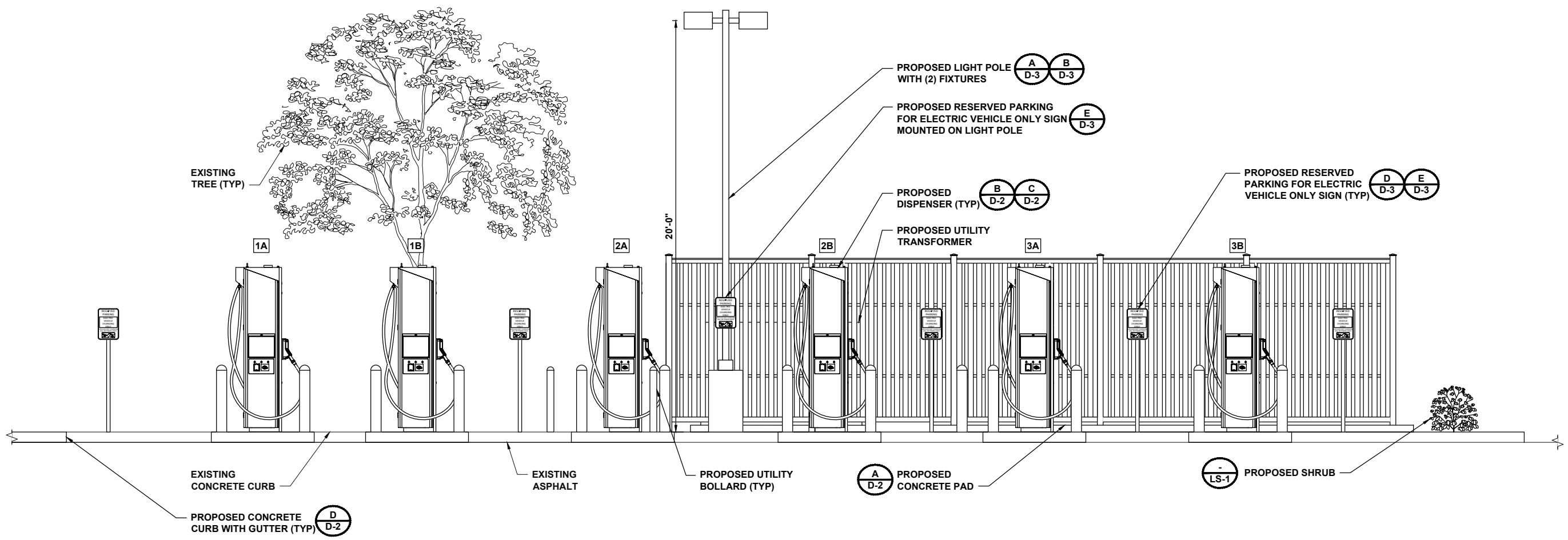
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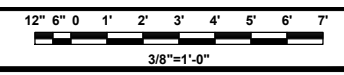
MO240027 CHESTERFIELD
SIMON ST. LOUIS PREMIUM OUTLETS
18501 OUTLET BLVD
CHESTERFIELD, MO 63005

SHEET TITLE
SITE ELEVATION

SHEET NUMBER
C-5



SITE ELEVATION



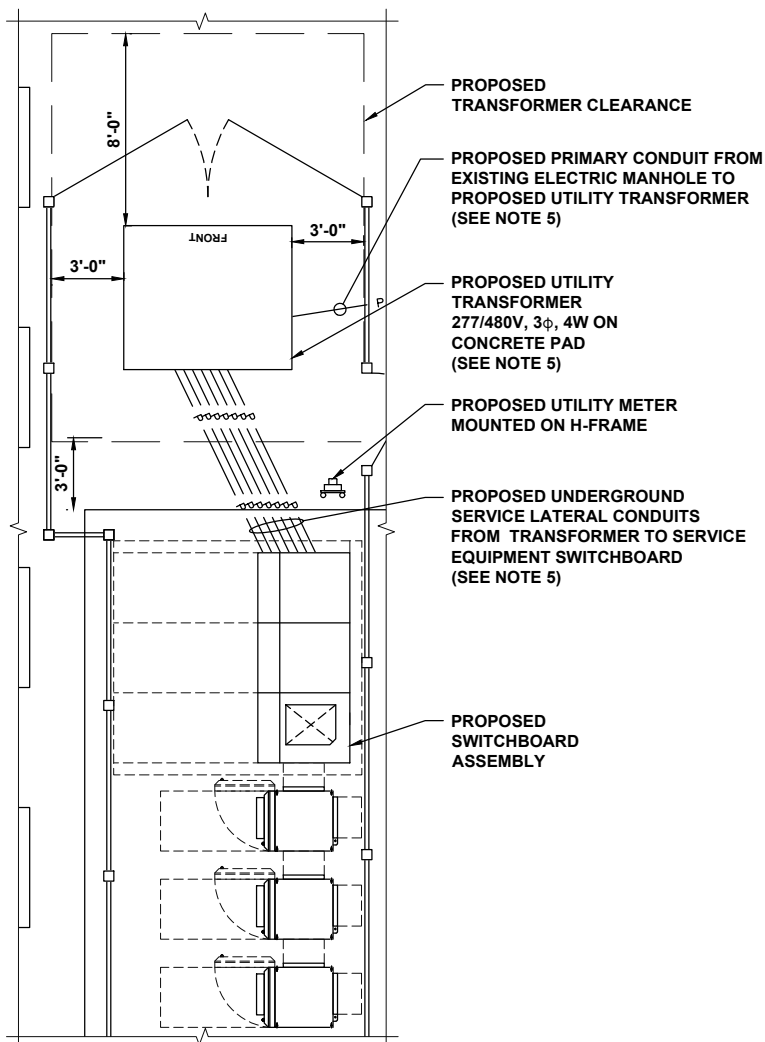
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NOTES

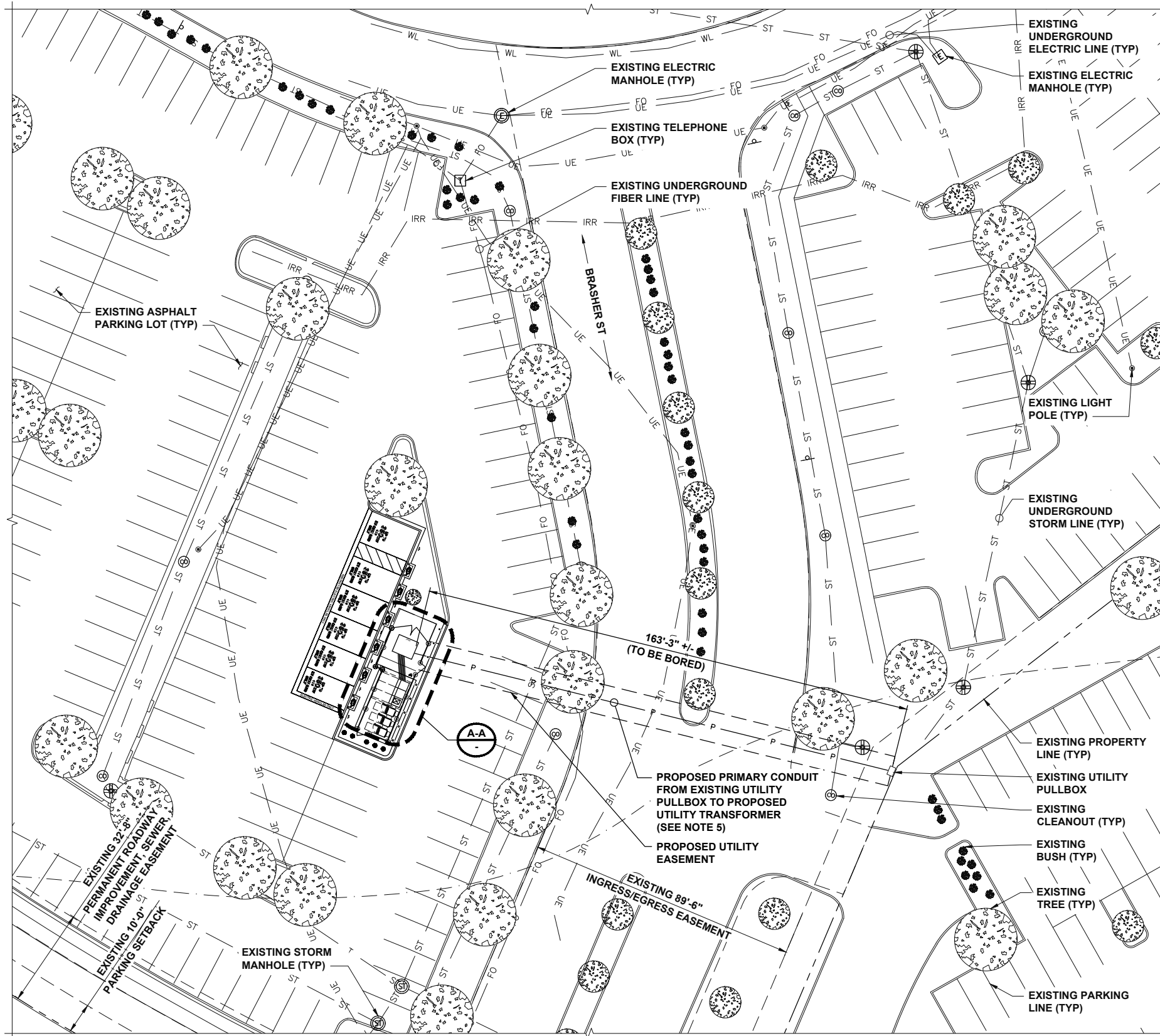
1. THE UTILITY DESIGN DETAILS SUMMARIZED ON THIS SHEET ARE FOR PROPERTY OWNER REVIEW. THE CONTRACTOR SHALL REFERENCE THE UTILITY DESIGN PACKAGE (UDP), PROVIDED WITH THE "ISSUED FOR CONSTRUCTION" DRAWINGS FOR BIDDING. THE CONTRACTOR SHALL INSTALL THE UTILITY RELATED SCOPE OF WORK PER UTILITY CONSTRUCTION SPECIFICATION REQUIREMENTS. THE ELECTRIC UTILITY DESIGN WITHIN THE UDP SHALL SUPERSEDE ALL OTHER INFORMATION.
2. UTILITY EQUIPMENT INSTALLATIONS AND PREP WORK AND TERMINATION OF SERVICE CONDUCTORS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY ENGINEER AT TIME OF PRE-CONSTRUCTION MEETING TO ENSURE ACCURACY OF INSTALLATIONS.
3. TRANSFORMER BOLLARD PROTECTION TO BE INSTALLED PER UTILITY SPECIFICATION. ADDITIONAL BOLLARD PROTECTION MAY BE REQUIRED AT THE DISCRETION OF THE UTILITY FIELD INSPECTION PERSONNEL.
4. CONTRACTOR TO CONFIRM ALL CLEARANCES MEET UTILITY REQUIREMENTS.
5. PLEASE REFER TO UTILITY DESIGN REFERENCE #KA73426/KA73427 FOR MORE DETAILS.

UTILITY SERVICE LATERAL LENGTHS		
UTILITY TRANSFORMER TO SERVICE EQUIPMENT	LINEAR LENGTH (FT)	*ESTIMATED LENGTH (FT)*
	9	31
TOTAL LENGTH OF WIRE PER CONDUIT =		124
NUMBER OF WIRE FILLED CONDUITS		7
TOTAL LENGTH OF WIRE =		868

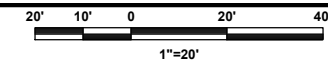
(SEE SHEET E-3 FOR WIRE CONFIGURATION)
 *TOTAL LENGTH OF WIRE = 4 WIRES PER CONDUIT
 x ESTIMATED LENGTH
 x NUMBER OF FILLED CONDUITS



PLAN A-A
SCALE: NO SCALE



UTILITY PLAN



ELECTRIFY AMERICA, LLC.
 2003 EDMUND HALLEY DRIVE
 SUITE 200
 RESTON, VIRGINIA 20191



BLACK & VEATCH

11401 LAMAR AVENUE
 OVERLAND PARK, KS 66211
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**MO240027 CHESTERFIELD
 SIMON ST. LOUIS PREMIUM OUTLETS
 18501 OUTLET BLVD
 CHESTERFIELD, MO 63005**

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
E-1

GENERAL NOTES:

- All utilities shown have been located from available records and recent survey in area around proposed work. Their location should be considered approximate. The contractor shall notify all utility companies, prior to construction, to have existing utilities field verified.
- All proposed improvements shall be constructed to City of Chesterfield, Monarch Chesterfield Levee District, the U.S. Army Corps of Engineers, and MSD Standards.
- No grade shall exceed 3:1 slope.
- All dimensions shown are to face of curb unless otherwise specified.
- All grading and storm water collection shall be per MSD, MODOT, the City of Chesterfield, the Monarch Chesterfield Levee District, and the U. S. Army Corps of Engineers.
- Storm water shall be discharged at adequate natural discharge points. Site drainage is to Master Drainage Channels via swales.
- No step allowed at accessible entrance doors.
- All utilities will be installed underground.
- Approval of sign locations does not constitute sign approval.
- The location and height of any light standards on site shall be as approved by the Planning Commission on the Site Development Plan and shall be in conformance with the City of Chesterfield regulations.
- All trash enclosures are placed in service areas with screen walls blocking their view.
- The developer shall be required to provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
- Erosion and siltation control shall be installed prior to any grading and be maintained throughout the project until acceptance of the work by the Owner and/or controlling regulatory agency and adequate vegetative growth insures no future erosion of the soil.

Setbacks per Ordinance 2612

Buildings or structures other than freestanding project identification signs, light standards or flag poles:

- 100 feet from the northern boundary line of the "PC" District N34°00'30" E.
- 30 feet from the eastern boundary line of the "PC" District.
- 20 feet from any interior road.
- Structures which are 6 stories in height shall be no closer than 150 feet from the paved portion of I-64.

Parking Setbacks:

- 10 feet from the principal internal street (Outlet Boulevard).
- 20 feet from the eastern boundary of the "PC" District (I-64).
- 20 feet from the northern boundary line of the "PC" District N34°00'30"E.
- 10 feet from internal lot lines.
- 0 feet for shared driveways.

Site Development Data (for entire lot 2):

Overall Site Area = 49.29 ACRES
 Zoning: PC - Planned-Commercial
 Proposed Use: Retail
 Total proposed building footprint area = 394,994 sf
 F.A.R. = 0.18

Open Space Calculation (30% Min.) (for entire lot 2):

Overall Site Area	49.29 acres (2,146,988 sf)	100%
Total Building Area	394,994 sf	18%
Total Paved Area (incl. service courts)	913,488 sf	43%
Total Open Space (incl. hardscape area in mega pad)	838,506 sf	39%

Maximum Building Height per Ordinance 2612: 4 stories or 65 feet.

Tree Preservation Plan:

No existing trees are proposed to be removed. Tree preservation plan for proposed construction fencing to limit disturbance to existing tree shown on sheet 3 detail E. Most proposed demo work is in existing paved areas which helps maintain existing trees.

Site access is via a new 5 lane subdivision road (Outlet Boulevard) which connects to an improved Olive Street Road.

SITE IS SERVED BY:

CHESTERFIELD MONARCH FIRE PROTECTION DISTRICT
 155 LONG ROAD
 CHESTERFIELD, MO. 63005

MISSOURI AMERICAN WATER CO.
 727 CRAIG ROAD
 ST. LOUIS, MO. 63141
 SUE MOYNIHAN (314) 991-3404, X2306

ROCKWOOD R-6 SCHOOL DISTRICT
 111 EAST NORTH STREET
 EUREKA, MO. 63025

METROPOLITAN ST. LOUIS SEWER DISTRICT
 2350 MARKET ST.
 ST. LOUIS, MO. 63103

AMEREN UE
 1901 CHOUTEAU
 P.O. BOX. 66149 MAIL CODE 200
 ST. LOUIS, MO. 63166-6149

CHARTER COMMUNICATIONS
 2275 CASSENS DR. SUITE 138
 FENTON, MO. 63026
 (800) 314-7195

SBC
 14780 MANCHESTER ROAD
 BALLWIN, MO. 63011

CHESTERFIELD MONARCH LEVEE DISTRICT
 C/O STANTEC CONSULTING SERVICES, INC
 1859 BOWLES AVENUE - SUITE 250
 ST. LOUIS, MO. 63026
 (636) 343-3880

LACLEDE GAS
 720 OLIVE ST., ROOM 1408
 ST. LOUIS, MO. 63101



Underground facilities, structures si utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities.

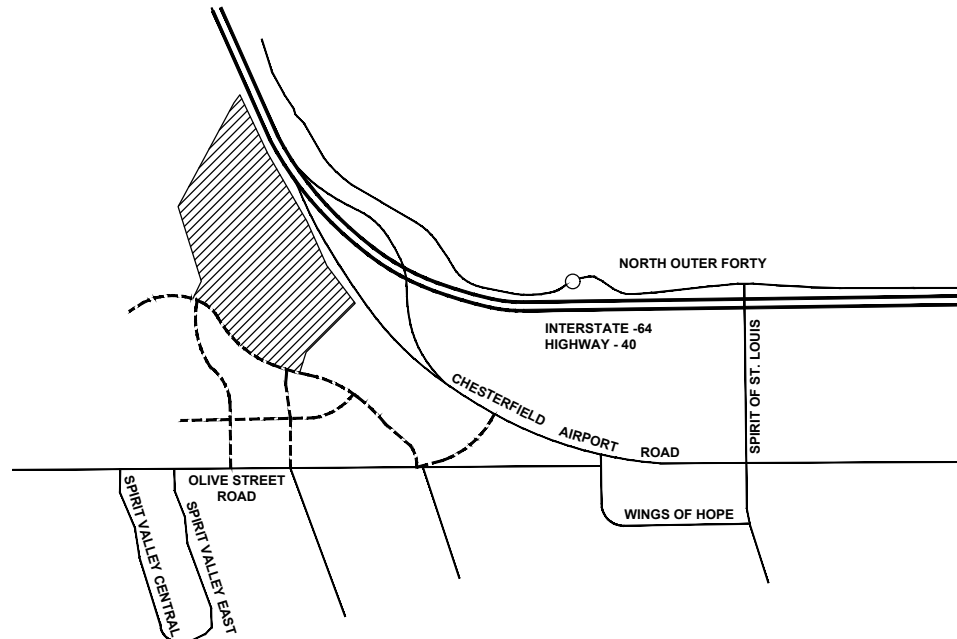
The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMO.

ST. LOUIS PREMIUM OUTLETS

CITY OF CHESTERFIELD, MISSOURI

ZONED: PC PLANNED COMMERCIAL DISTRICT

ORDINANCE NO. 2612



ST. LOUIS PREMIUM OUTLETS BUILDING DATA (for entire lot 2):

GROSS FLOOR AREA (GFA)

BUILDING 1 GFA =	50,332 SF
BUILDING 2 GFA =	37,979 SF
BUILDING 3 GFA =	37,462 SF
BUILDING 4 GFA =	40,902 SF
BUILDING 5 GFA =	53,819 SF
BUILDING 6 GFA =	20,384 SF
BUILDING 7 GFA =	79,012 SF
BUILDING 8 GFA =	75,104 SF

TOTAL BLDG GFA = 394,994 SF

PARKING CALCULATIONS (for entire lot 2):

PHASE 1:

BUILDING GFA (includes 11,800 SF restaurant) =	394,994 SF
OUTDOOR RESTAURANT SEATING AREA =	1,000 SF
TOTAL BUILDING GFA =	395,994 SF
Percentage of restaurant use 12,800/395,994	3.3%
TOTAL PARKING STALLS REQ. BY CITY	
4.5 SPACES PER 1,000 SF GFA =	1,782 SPACES
TOTAL PARKING PROVIDED:	
REGULAR SPACES (9'X19') =	1,975 SPACES
ADA SPACES:	
20, PLUS 1 FOR EACH 100 OVER 1,000	
OR 31 SPACES REQUIRED	
ADA SPACES (8'X19' MIN.) PROVIDED =	48 SPACES
REGULAR EV SPACES (10'x19')	5 SPACES
WIDE EV SPACE (11'x19')	1 SPACE
TOTAL PROVIDED =	2029 SPACES
LOADING CALCULATIONS:	
10'X40' LOADING SPACES REQUIRED:	7 SPACES
LOADING SPACES PROVIDED:	11 SPACES

PROPERTY DESCRIPTION

Lot 2A of CHESTERFIELD BLUE VALLEY PLAT ONE, per the plat thereof recorded in Plat Book 360, Page 256-259 of the St. Louis County records.

I hereby give CONSENT to Joe Markus (type, stamp or print clearly full name of agent) to act on my behalf to submit this application and all required material and documents and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge of the property and I have an ownership interest and/or am the owner under contract in the subject of this application. I further certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the city of chesterfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I understand this application, related material and all attachments become official records of the City of Chesterfield, Missouri, and will not be returned. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER/CONTRACT PURCHASER INFORMATION:

I am the owner contract purchaser. (check(✓) one)

Erika Hickmar
 (Name-type, stamp or print clearly)

Gregg Hickman
 (Signature)

St Louis Premium Outlets

15501 Outlet Blvd, Chesterfield, Mo 63005

(Name of firm)

(Address, City, State, Zip)

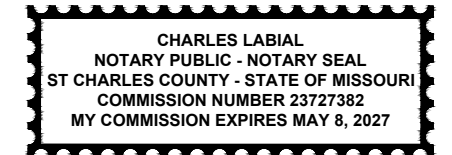
Attach additional sheets as necessary.

NOTARY PUBLIC INFORMATION: STATE OF MISSOURI, CITY OF CHESTERFIELD

Before me appears Erika Hickmar who has executed the foregoing instrument was subscribed and sworn to before me this 21 day of December, 2023

Signed Charles Labial print name: CHARLES LABIAL
 Notary Public Seal/Stamp:

My Commission Expires: 05/08/2023



This site development plan was approved by the City of Chesterfield Planning Commission and duly verified on the ___ day of ___, 20___, by the Chairperson of said Commission, authorizing the recording of this Site Development Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning and the City Clerk.

Justin Wyse, AICP
 Director of Planning
 City of Chesterfield, Missouri

Vickie McGownd, City Clerk
 City of Chesterfield, Missouri

GEOTECHNICAL STATEMENT

No major structural work is proposed with this application. Existing geotechnical feasibility study from august 17, 2007 in previous site development plan indicates site is sufficient for the buildings that were constructed. No additional geotechnical study is required.

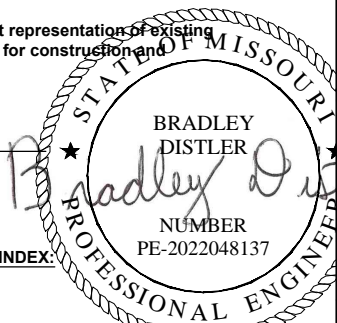
BLACK & VEATCH

Bradley Distler
 BRADLEY DISTLER
 PE # 2022041837

This Amended Site Development Section Plan is a correct representation of existing and proposed Land divisions. It is a preliminary plan not for construction and represents the proposed site development of this tract

BLACK & VEATCH

Bradley Distler
 BRADLEY DISTLER
 PE # 2022041837



AMENDED SITE DEVELOPMENT SECTION PLAN SHEET INDEX:

- Cover Sheet
- Site Plan
- Plat Plan
- Fence and tree protection details
- TO 8. Existing Development Plan

02/26/2024



PREMIUM OUTLETSSM

SIMONSM

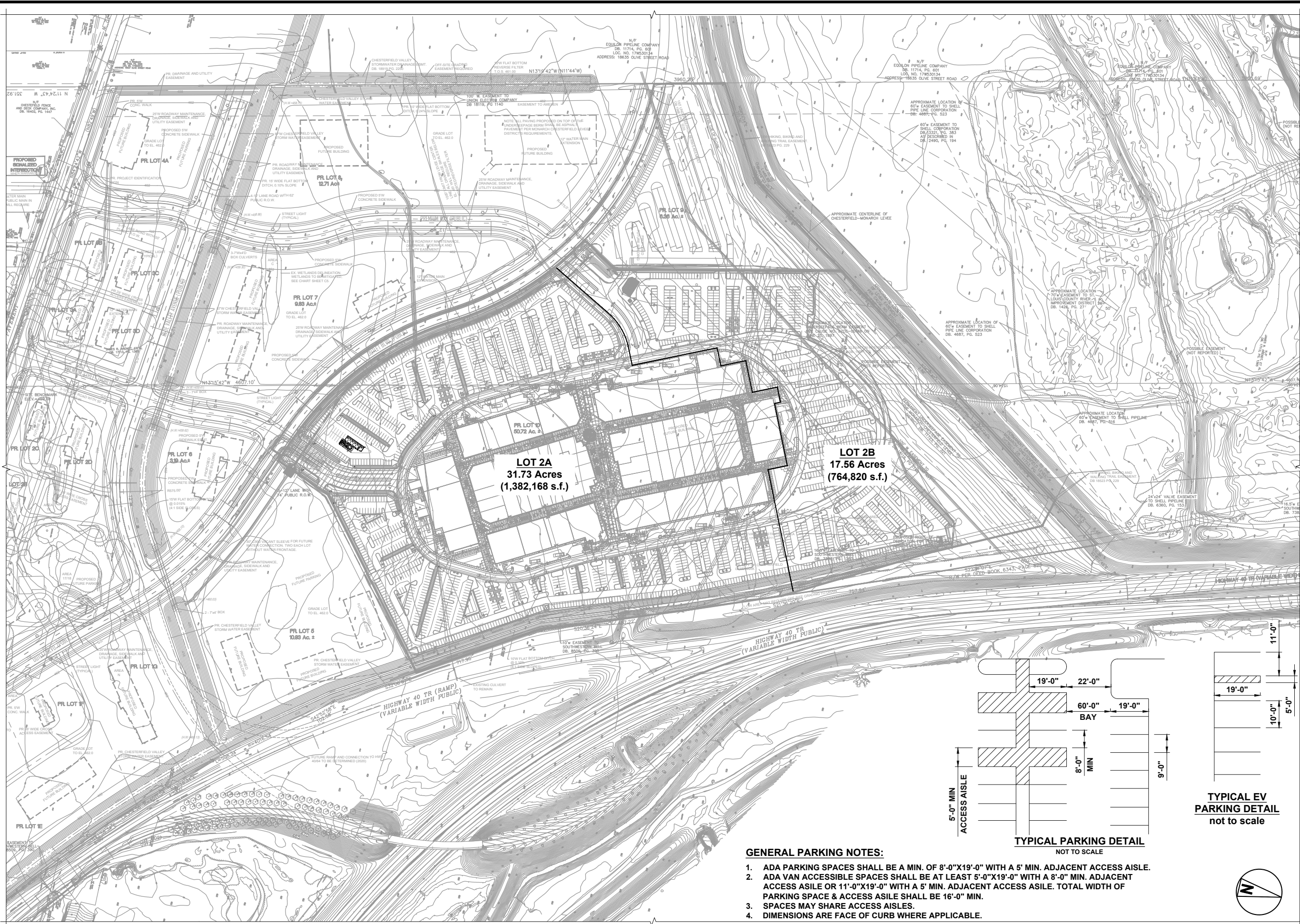


BLACK & VEATCH
 11401 LAMAR AVENUE
 OVERLAND PARK, KS 66211
 (913) 468-2000

1	01/18/24	REVISION PER COMMENTS FROM THE CITY OF CHESTERFIELD
2	02/26/24	REVISION PER COMMENTS FROM THE CITY OF CHESTERFIELD

Amended for:
 Simon/Woodmont Development, LLC
 105 Eisenhower Parkway
 Roseland, NJ 07068

Designed	GMS
Drawn	GMS
Checked	
Date	11/29/2023
Project Number	411370
Sheet Number	1 of 8



TOTAL DISTURBED AREA 1,255 SQ.FT



PREMIUM OUTLETS SIMON



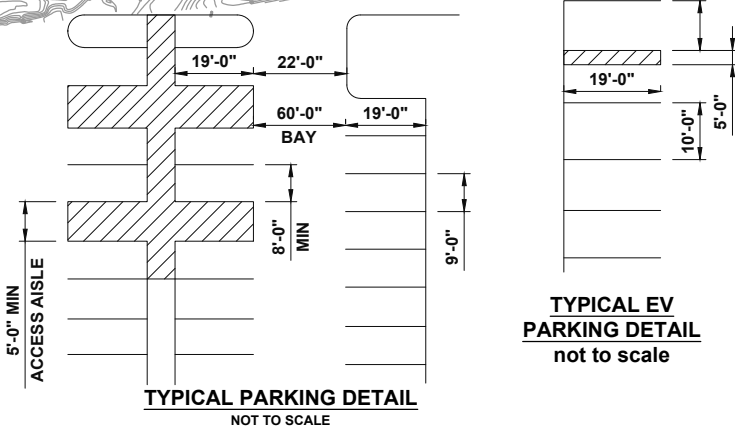
BLACK & VEATCH
11401 LAMAR AVENUE
OVERLAND PARK, KS 66211
(913) 458-2000

NO.	DATE	REVISIONS
1	10/18/24	REVISED PER COMMENTS FROM THE CITY OF CHESTERFIELD
2	10/28/24	REVISED PER COMMENTS FROM THE CITY OF CHESTERFIELD

Prepared for:
Simon/Woodmont Development, LLC
105 Eisenhower Parkway
Roseland, NJ 07068

Designed: GMS
Drawn: GMS
Checked: GMS
Date: 11/29/2023
Project Number: 411370
Sheet Number: 2 of 8

AMENDED SITE DEVELOPMENT SECTION PLAN
ST. LOUIS PREMIUM OUTLETS

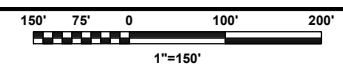


TYPICAL EV PARKING DETAIL
not to scale

GENERAL PARKING NOTES:

1. ADA PARKING SPACES SHALL BE A MIN. OF 8'-0"X19'-0" WITH A 5' MIN. ADJACENT ACCESS AISLE.
2. ADA VAN ACCESSIBLE SPACES SHALL BE AT LEAST 5'-0"X19'-0" WITH A 8'-0" MIN. ADJACENT ACCESS AISLE OR 11'-0"X19'-0" WITH A 5' MIN. ADJACENT ACCESS AISLE. TOTAL WIDTH OF PARKING SPACE & ACCESS AISLE SHALL BE 16'-0" MIN.
3. SPACES MAY SHARE ACCESS AISLES.
4. DIMENSIONS ARE FACE OF CURB WHERE APPLICABLE.

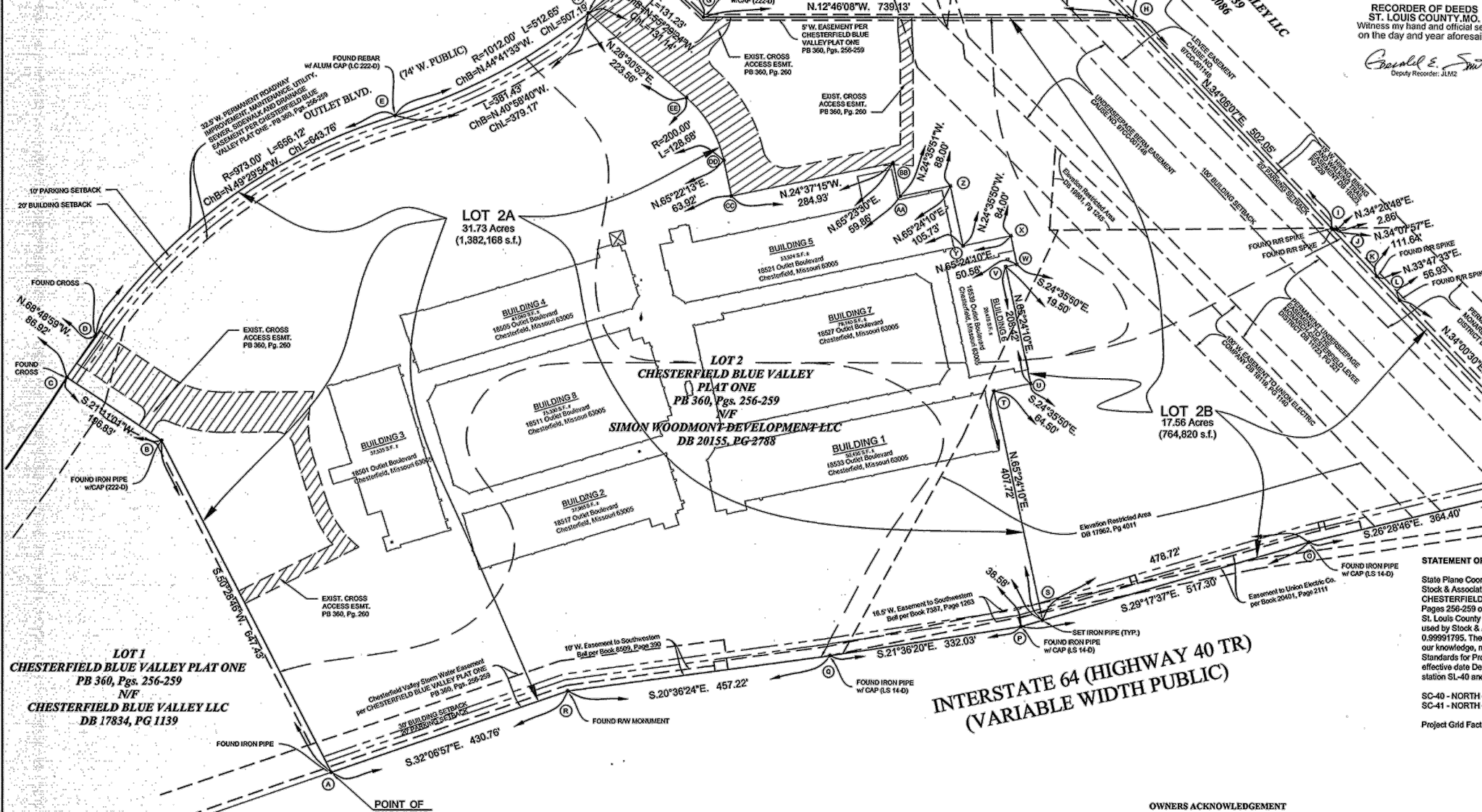
SITE PLAN



LOT SPLIT PLAT OF LOT 2 OF CHESTERFIELD BLUE VALLEY PLAT ONE, TOWNSHIP 45 NORTH, RANGE 3 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

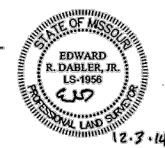
GENERAL NOTES:

- 1. Property Address is generally referred to as 18501 Outlet Boulevard, Chesterfield, Missouri 63005.
- 2. The Basis of Bearings for this Survey is Plat Book 360, Pages 256-259.
- 3. The property is Zoned PC Planned Commercial District in the City of Chesterfield, Missouri.
- 4. The property area is 49.29 acres.
- 5. This survey was made in accordance with laws and/or Minimum Standards of the State of Missouri.
- 6. The property described hereon is the same as the property described in Chicago Title Insurance Company File No. L20143206 with an effective date of August 25, 2014, revised September 8, 2014 and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.
- 7. Required new property boundary monumentation will be set within 12 months of the recording of this plat.



This is to certify that we have, during the Month of June and July, 2014, at the request of Simon / Woodmont Development, LLC, made a Survey and Subdivision of a Tract of Land being Lot 2 of Chesterfield Blue Valley Plat One situated in Township 45 North, Range 3 East, City of Chesterfield, Missouri, and recorded in Plat Book 360, Pages 256 - 259 of the St. Louis County Recorder's Office. This Survey and subsequent subdivision has been made in accordance with the current Missouri Minimum Standards For Property Boundary Surveys, established by the Missouri Board for Architects, Professional Engineers, Land Surveyors and Landscape Architects (CSR 30-16) and meets or exceeds the accuracy requirements for an Urban Class Survey, as defined therein.

THE CLAYTON ENGINEERING COMPANY
Edward R. Dabler, Jr.
Edward R. Dabler, Jr.
MO. PLS. 1956
K. Belmo, Deputy



PROPERTY DESCRIPTION (Total Tract)

A tract of land being Lot 2 of CHESTERFIELD BLUE VALLEY PLAT ONE, per the plat thereof recorded in Plat Book 360, Pages 256 - 259 of the St. Louis County records, being located in Township 45 North, Range 3 East, in the City of Chesterfield, St. Louis County, Missouri and being described as follows:

BEGINNING at a point on the southwest right of way line of Interstate 64 (Highway 40 TR) at the southeast corner of said Lot 2; thence leaving the southwest line of said Interstate 64, South 50° 28' 46" West, 647.43 feet to a point; thence South 21° 11' 01" West, 196.83 feet to a point on the northeast line of Outlet Boulevard (74' wide); thence along the northeast line of said Outlet Boulevard, North 60° 48' 59" West, 66.92 feet to a point of tangency; thence along the arc of a curve to the right having a radius of 573.00 feet and a chord bearing of North 49° 29' 54" West, 643.76 feet, an arc distance of 656.12 feet to a point of reverse curve; thence along the arc of a curve to the left having a radius of 1,012.00 feet and a chord bearing of North 44° 41' 33" West, 507.19 feet, an arc distance of 512.65 feet to a point; thence leaving the northeast line of said Outlet Boulevard, North 30° 47' 43" East, 139.32 feet to a point; thence North 12° 46' 08" West, 739.13 feet to a point on the north line of said Lot 2; thence along said north line, North 34° 00' 00" East, 502.05 feet to a point, North 34° 20' 48" East, 2.86 feet to a point, North 34° 07' 57" East, 111.64 feet to a point, North 33° 47' 33" East, 56.93 feet to a point, and North 34° 00' 30" East, 347.92 feet to a point on the southwest line of said Interstate 64 as widened by deed recorded in Book 19990, Page 2121 of the St. Louis County records; thence, along the southwest line of said Interstate 64, South 76° 00' 38" East, 92.82 feet to a point; South 28° 46' East, 364.40 feet to a point, South 29° 17' 37" East, 517.30 feet to a point, South 21° 36' 20" East, 332.03 feet to a point, South 20° 36' 24" East, 457.22 feet to a point, and South 32° 06' 57" East, 439.76 feet to the point of beginning and containing 49.29 acres.

LOT 2A DESCRIPTION

A description of a tract being comprised of a portion of Lot 2 of Chesterfield Blue Valley Plat 1, a subdivision recorded in Plat Book 360, Page 256, of the St. Louis County, Missouri, Recorder's Office. Said Lot 2 being described in a deed to Simon Woodmont Development LLC and recorded in Book 20155, Page 2788, of the St. Louis County, Missouri, Recorder's Office. Said Lot 2A being more particularly described as follows:

BEGINNING at an iron pipe found on the West line of Interstate Highway 64 (Highway 40TR) for the Southeast corner of the herein described tract; said point also being the Southeast corner of Lot 2 and the Northeast corner of Lot 1 of the herein described tract. Said point also being the Southeast corner of Lot 1 and the Northeast corner of Lot 2. Thence, leaving the West line of Interstate 64 with the common line between the said Lot 1 and Lot 2, South 50 degrees 28 minutes 46 seconds West, a distance of 647.43 feet to an iron pipe found for an angle point; thence, continuing, South 21 degrees 11 minutes 01 seconds West, a distance of 196.83 feet to a cross found on the East line of Outlet Blvd. (74 ft. wide) for the Southwest corner of the herein described tract; said point also being the Southwest corner of Lot 2 and the Northeast corner of Lot 1. Thence, with the common line between the herein described Lot 2A and Outlet Blvd., North 60 degrees 48 minutes 59 seconds West, a distance of 66.92 feet to a cross found at a point of tangency; thence, continuing with said common line, a distance of 643.76 feet to an iron pipe found for an angle point; thence, continuing with the common line between the herein described Lot 2A and Outlet Blvd. with the arc of a curve to the right having a Radius of 573.00 feet and a Chord which bears North 49 degrees 29 minutes 54 seconds West, a distance of 643.76 feet to a point of reverse curve; thence along the arc of a curve to the left having a Radius of 1012.00 feet and a Chord which bears North 44 degrees 41 minutes 33 seconds West, a distance of 507.19 feet to a point on the north line of said Lot 2; thence along said north line, North 34 degrees 00 minutes 00 seconds East, a distance of 502.05 feet to an angle point; thence, continuing, North 34 degrees 20 minutes 48 seconds East, a distance of 2.86 feet to an angle point, North 34 degrees 07 minutes 57 seconds East, a distance of 111.64 feet to an angle point, North 33 degrees 47 minutes 33 seconds East, a distance of 56.93 feet to an angle point, and North 34 degrees 00 minutes 30 seconds East, a distance of 347.92 feet to a point on the southwest line of said Interstate 64 as widened by deed recorded in Book 19990, Page 2121 of the St. Louis County records; thence, along the southwest line of said Interstate 64, South 76 degrees 00 minutes 38 seconds East, a distance of 92.82 feet to an angle point; South 28 degrees 46 minutes East, a distance of 364.40 feet to an angle point, South 29 degrees 17 minutes 37 seconds East, a distance of 517.30 feet to an angle point, South 21 degrees 36 minutes 20 seconds East, a distance of 332.03 feet to an angle point, South 20 degrees 36 minutes 24 seconds East, a distance of 457.22 feet to a right of way monument found for an angle point, and thence, continuing, South 32 degrees 06 minutes 57 seconds East, a distance of 439.76 feet to the Point of Beginning of the herein described parcel and containing approximately 1,382,168 square feet, or 31.73 acres of land according to calculations performed by Clayton Engineering during July of 2014.

LOT 2B DESCRIPTION

A description of a tract being comprised of a portion of Lot 2 of Chesterfield Blue Valley Plat 1, a subdivision recorded in Plat Book 360, Page 256, of the St. Louis County, Missouri, Recorder's Office. Said Lot 2 being described in a deed to Simon Woodmont Development LLC and recorded in Book 20155, Page 2788, of the St. Louis County, Missouri, Recorder's Office. Said Lot 2B being more particularly described as follows:

BEGINNING at an iron pipe found on the West line of Interstate Highway 64 (Highway 40TR) for the Southeast corner of the herein described tract; said point also being the Southeast corner of Lot 2 and the Northeast corner of Lot 1 of the herein described tract. Said point also being the Southeast corner of Lot 1 and the Northeast corner of Lot 2. Thence, leaving the West line of Interstate 64 with the common line between the said Lot 1 and Lot 2, South 50 degrees 28 minutes 46 seconds West, a distance of 647.43 feet to an iron pipe found for an angle point; thence, continuing, South 21 degrees 11 minutes 01 seconds West, a distance of 196.83 feet to a cross found on the East line of Outlet Blvd. (74 ft. wide) for the Southwest corner of the herein described tract; said point also being the Southwest corner of Lot 2 and the Northeast corner of Lot 1. Thence, with the common line between the herein described Lot 2B and Outlet Blvd., North 60 degrees 48 minutes 59 seconds West, a distance of 66.92 feet to a cross found at a point of tangency; thence, continuing with said common line, a distance of 643.76 feet to an iron pipe found for an angle point; thence, continuing with the common line between the herein described Lot 2B and Outlet Blvd. with the arc of a curve to the right having a Radius of 573.00 feet and a Chord which bears North 49 degrees 29 minutes 54 seconds West, a distance of 643.76 feet to a point of reverse curve; thence along the arc of a curve to the left having a Radius of 1012.00 feet and a Chord which bears North 44 degrees 41 minutes 33 seconds West, a distance of 507.19 feet to a point on the north line of said Lot 2; thence along said north line, North 34 degrees 00 minutes 00 seconds East, a distance of 502.05 feet to an angle point; thence, continuing, North 34 degrees 20 minutes 48 seconds East, a distance of 2.86 feet to an angle point, North 34 degrees 07 minutes 57 seconds East, a distance of 111.64 feet to an angle point, North 33 degrees 47 minutes 33 seconds East, a distance of 56.93 feet to an angle point, and North 34 degrees 00 minutes 30 seconds East, a distance of 347.92 feet to a point on the southwest line of said Interstate 64 as widened by deed recorded in Book 19990, Page 2121 of the St. Louis County records; thence, along the southwest line of said Interstate 64, South 76 degrees 00 minutes 38 seconds East, a distance of 92.82 feet to an angle point; South 28 degrees 46 minutes East, a distance of 364.40 feet to an angle point, South 29 degrees 17 minutes 37 seconds East, a distance of 517.30 feet to an angle point, South 21 degrees 36 minutes 20 seconds East, a distance of 332.03 feet to an angle point, South 20 degrees 36 minutes 24 seconds East, a distance of 457.22 feet to a right of way monument found for an angle point, and thence, continuing, South 32 degrees 06 minutes 57 seconds East, a distance of 439.76 feet to the Point of Beginning of the herein described parcel and containing approximately 1,382,168 square feet, or 31.73 acres of land according to calculations performed by Clayton Engineering during July of 2014.

STATE PLANE COORDINATE VALUES (METERS)

POINT DESIGNATION	NORTHING	EASTING
A	315421.008	236201.806
B	315370.180	236045.847
C	315314.931	236022.479
D	315325.251	235998.081
E	315451.155	235852.838
F	315374.207	235741.516
G	315605.094	235770.355
H	315827.200	235727.271
I	315951.231	235616.873
J	315991.934	235617.385
K	315979.503	235837.324
L	315993.623	235847.409
M	316076.378	235877.467
N	316095.538	235904.921
O	315970.121	235954.444
P	315832.609	236031.592
Q	315738.168	236090.371
R	315604.323	236135.425
S	315841.785	236050.550
T	315755.525	235930.045
U	315811.638	235928.410
V	315786.968	235868.878
W	315792.447	235867.548
X	315786.458	235853.363
Y	315782.665	235862.306
Z	315750.359	235833.613
AA	315725.635	235844.030
BB	315718.546	235827.919
CC	315636.539	235860.379
DD	315843.031	235848.031
EE	315605.517	235814.078
FF	315546.663	235779.746

STATEMENT OF STATE PLANE COORDINATE TIE:

State Plane Coordinates are based on coordinate datum established by Stock & Associates as described on the subdivision plat titled CHESTERFIELD BLUE VALLEY PLAT ONE, recorded in Plat Book 360, Pages 256-259 of the St. Louis County records. St. Louis County Geographic Reference Monument SL-40 and SL-41 were used by Stock & Associates to establish the Project Grid Factor of 0.99991795. The State Plane Coordinates values presented, to the best of our knowledge, meet the accuracy standards of the Missouri Standards for Property Boundary Surveys (11 CSR 30-2 and CSR 30-16, effective date December 30, 1994) as an "URBAN PROPERTY" relative to station SL-40 and SL-41, whose published values are:

SC-40 - NORTH (y) = 315379.803 Meters EAST (x) = 237342.881 Meters
SC-41 - NORTH (y) = 315395.655 Meters EAST (x) = 234890.181 Meters
Project Grid Factor = 0.99991795 (1 meter = 3.28083333 feet)

OWNERS ACKNOWLEDGEMENT

We the undersigned owners of the tract of land hereon platted and further described in the foregoing Surveyors Certificate hereby certify that we have caused the same to be surveyed and subdivided in the manner shown on this plat and shall hereafter be known as "LOT SPLIT PLAT OF LOT 2 OF CHESTERFIELD BLUE VALLEY PLAT ONE" All easements shown on this plat, unless designated for other specific purposes, are hereby dedicated to St. Louis County, Missouri, American Water Company, Laclede Gas Company, Ameron Union Electric Company, AT&T Corporation, Metropolitan St. Louis Sewer District, cable companies, their successors and assigns as their interests may appear for the purpose of constructing, replacing, maintaining, and repairing of public utilities, sewer or sewers, storm water improvements and drainage facilities, with the right of temporary use of adjacent ground not occupied by improvements for the excavation and storage of materials during installation, repair, or replacement of said utilities, sewer or sewers, storm water improvements and drainage facilities. A cross access easement is hereby granted to the existing and future owners, guests, assigns, and invitees over the existing drives and roadways in this Lot Split Plat as a means of ingress and egress between the parcels so established and to Outlet Boulevard. All existing easements of record affecting the subject property in accordance with the Commitment for Title Insurance defined herewithin have been addressed and/or plotted hereon.

IN WITNESS WHEREOF, we have hereunto set our hand, this 11th day of December, 2014.

ST. LOUIS PREMIUM OUTLETS, LLC, a Delaware limited liability company
By: SIMONWOODMONT DEVELOPMENT, LLC, a Delaware limited liability company, its sole member
By: ST. LOUIS PREMIUM OUTLETS MEMBER, LLC, a Delaware limited liability company, its managing member

By: *Mark J. Silvestri*
Mark J. Silvestri, Vice-President, Executive Vice President - Chief Operating Officer

RECORD OF DEEDS

2014122200417
PLAT BK: 362, PG: 537
FILED FOR RECORD
Dec 22, 2014 12:48 PM
RECORDER OF DEEDS
ST. LOUIS COUNTY, MO.
Witness my hand and official seal on the day and year aforesaid.

Carol E. Smith
Deputy Recorder, J112

OWNERS ACKNOWLEDGEMENT

This is to certify that this LOT SPLIT PLAT OF LOT 2 OF CHESTERFIELD BLUE VALLEY PLAT ONE was approved by the City Council for the City of Chesterfield, Missouri by Ordinance Number 2826, on the 17th day of December, 2014, and thereby authorizes the recording of this Plat with the Office of the St. Louis County Recorder of Deeds.

Bob Nation
Bob Nation, Mayor

Vicky Haas
Vicky Haas, City Clerk

State of New Jersey } ss.
County of Essex }

On this 11th day of December, 2014, before me personally appeared Mark J. Silvestri, to me known, who, being by me duly sworn in, did say that he is Vice-President of St. Louis Premium Outlets Member, LLC, managing member of SimonWoodmont Development, LLC, sole member of St. Louis Premium Outlets, LLC, and that the foregoing instrument was signed on behalf of said limited liability company by authority of its Limited Liability Company Agreement, and acknowledged said instrument to be the free act and deed of said limited liability company.

IN WITNESS WHEREOF, I have signed and sealed the foregoing the day and year first above written.

my commission expires: 8/19/2015
Lori K. Latham
Lori K. Latham
NOTARY PUBLIC
State of New Jersey
My Commission Expires 8/19/2015

AMENDED SITE DEVELOPMENT SECTION PLAN

ST. LOUIS PREMIUM OUTLETS

SimonWoodmont Development, LLC
105 Eisenhower Parkway
Roseland, NJ 07068

DESIGNED: GMS
DRAWN: GMS
CHECKED: GMS
DATE: 11/29/2013
PROJECT NUMBER: 411370
SHEET NUMBER: 3 of 8

NOTE:
1. NO CHANGE TO EXISTING PLAT PROPOSED.

electric america

PREMIUM OUTLETS SIMON

WOODMONT OUTLETS

BLACK & VEATCH
11401 LAMAR AVENUE
OVERLAND PARK, KS 66211
(913) 468-2000

REVISIONS:
1. 10/18/24
2. 12/26/24

REVIEWED PER COMMENTS FROM THE CITY OF CHESTERFIELD

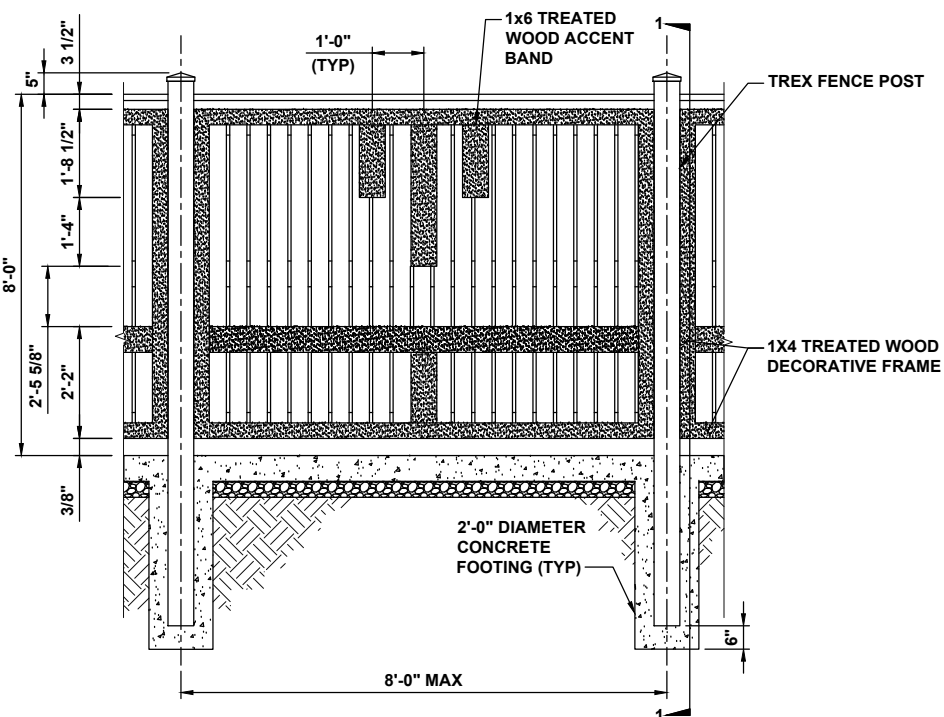
REVIEWED PER COMMENTS FROM THE CITY OF CHESTERFIELD

1. 10/18/24
2. 12/26/24

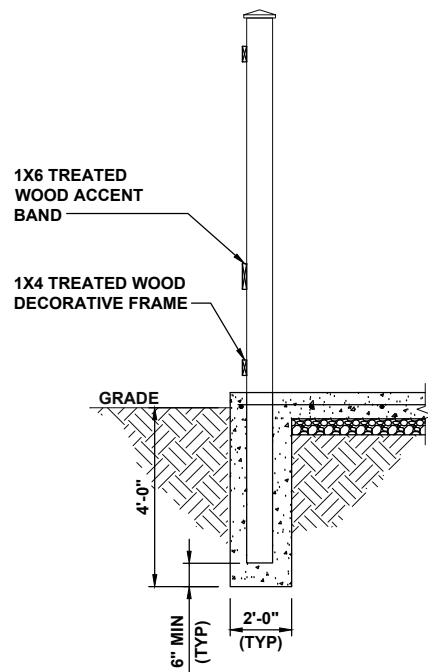
DATE: 11/29/2013
PROJECT NUMBER: 411370
SHEET NUMBER: 3 of 8

NOTES

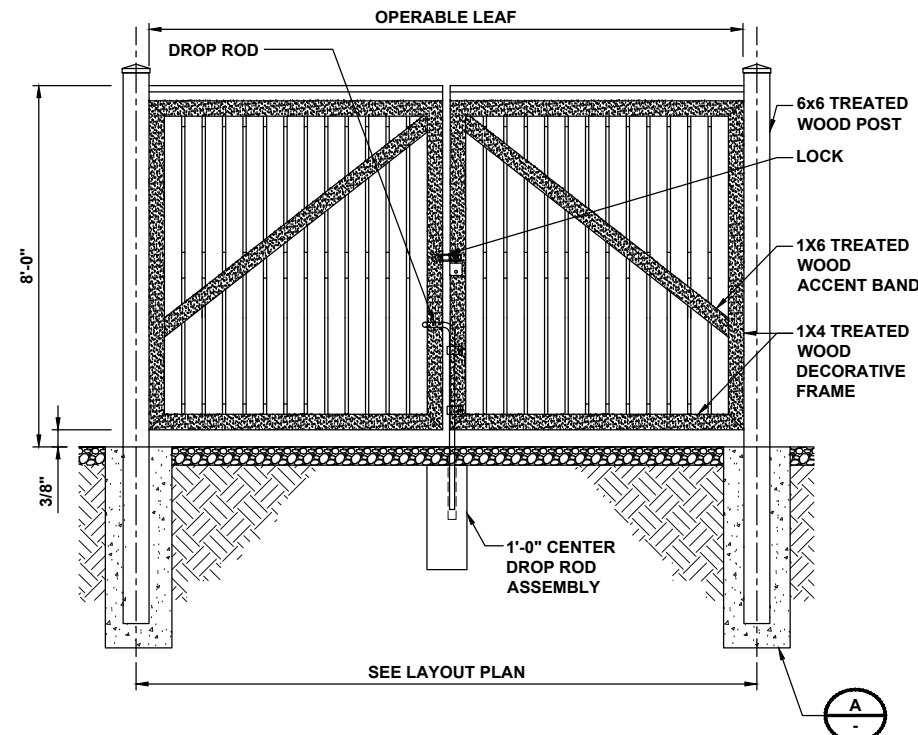
1. COLOR: WINCHESTER GREY
2. PROPOSED TREATED WOOD FENCE SHALL MEET THE FOLLOWING REQUIREMENTS.
WIND SPEED = XX MPH, SEISMIC: SDS = XXG, SEISMIC DESIGN CATEGORY X
3. TREATED WOOD ACCENT BAND AND DECORATIVE FRAME TO BE PAINTED TO MATCH EXISTING ENCLOSURE ON SITE.



TREX FENCE ELEVATION



SECTION 1-1



DUAL GATE DETAIL

TYPICAL TREX FENCE DETAIL

NO SCALE

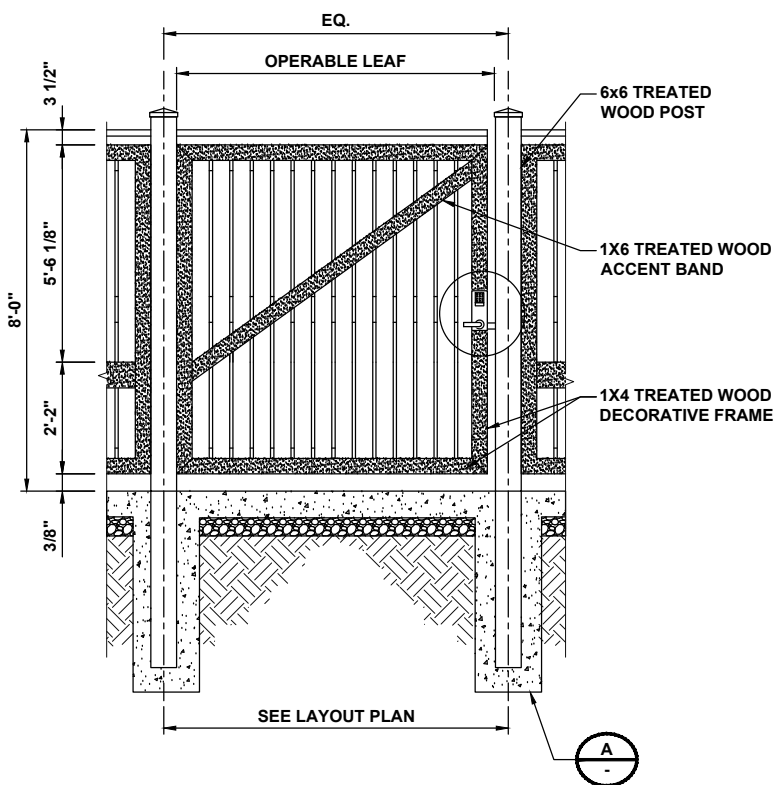
A

NO SCALE

B

NOTE

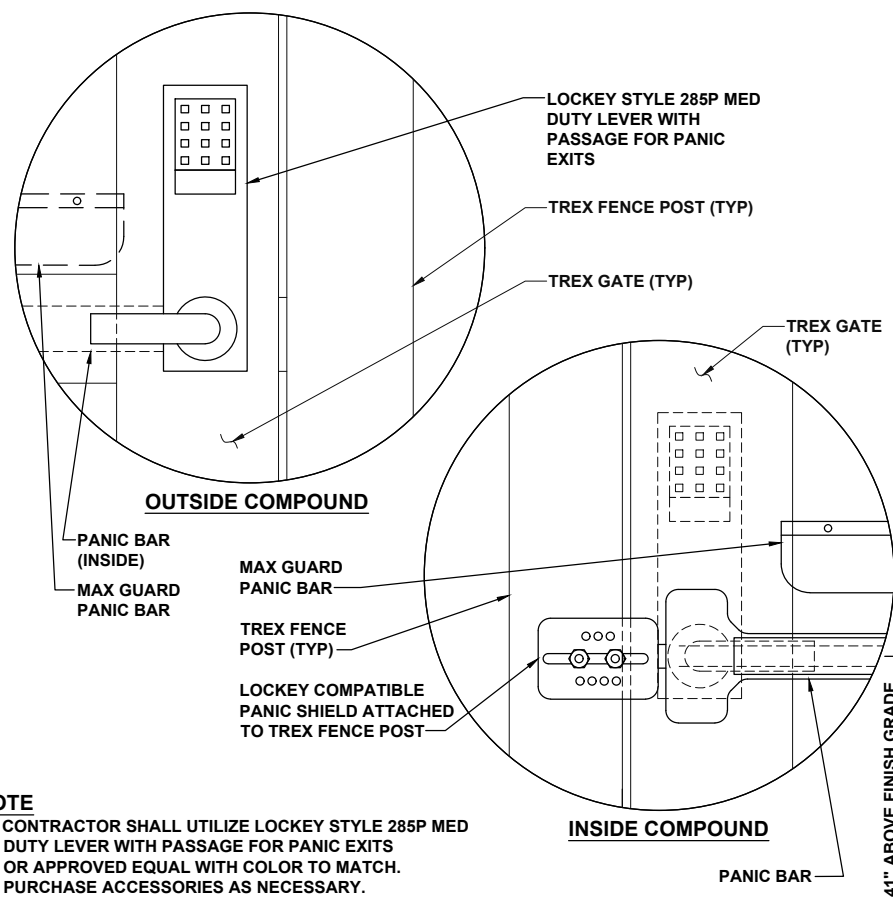
1. TREATED WOOD ACCENT BAND AND DECORATIVE FRAME TO BE PAINTED TO MATCH EXISTING ENCLOSURE ON SITE.



SINGLE GATE DETAIL

NO SCALE

C



NOTE

1. CONTRACTOR SHALL UTILIZE LOCKEY STYLE 285P MED DUTY LEVER WITH PASSAGE FOR PANIC EXITS OR APPROVED EQUAL WITH COLOR TO MATCH. PURCHASE ACCESSORIES AS NECESSARY.

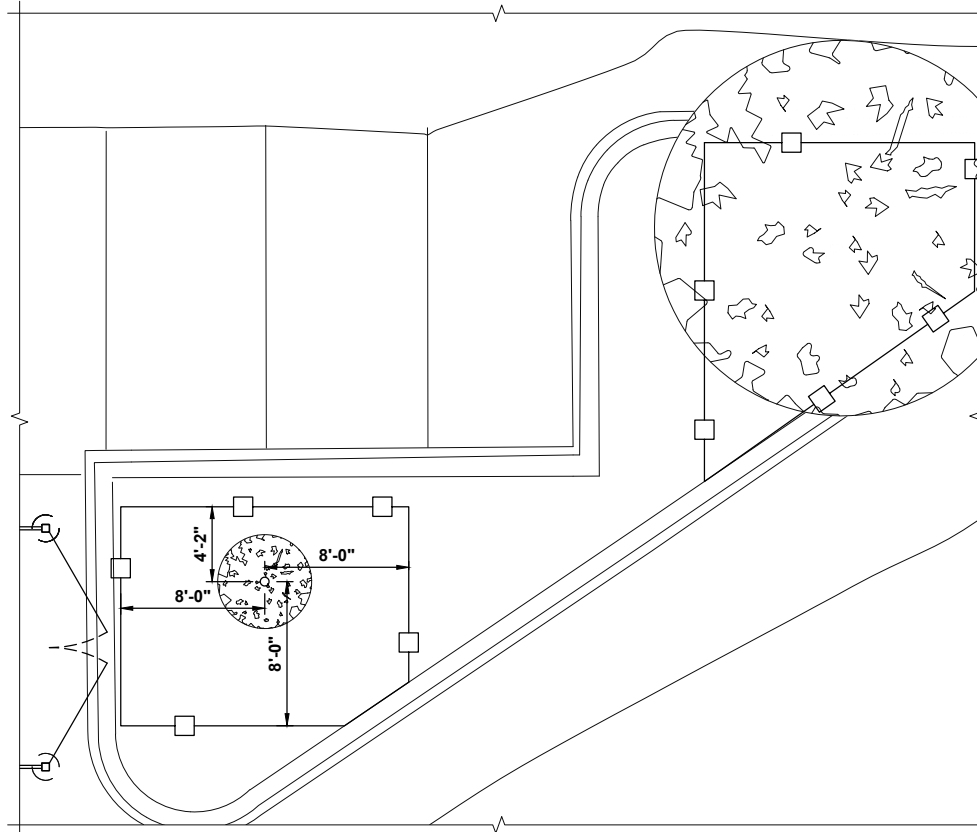
SINGLE GATE LOCK DETAIL W/ KEYPAD

NO SCALE

D

NOTE

1. FENCE LINETYPE SHOWS TREE PROTECTION AREA.



TREE PROTECTION PLAN

NO SCALE

E



PREMIUM
OUTLETS®
SIMON®



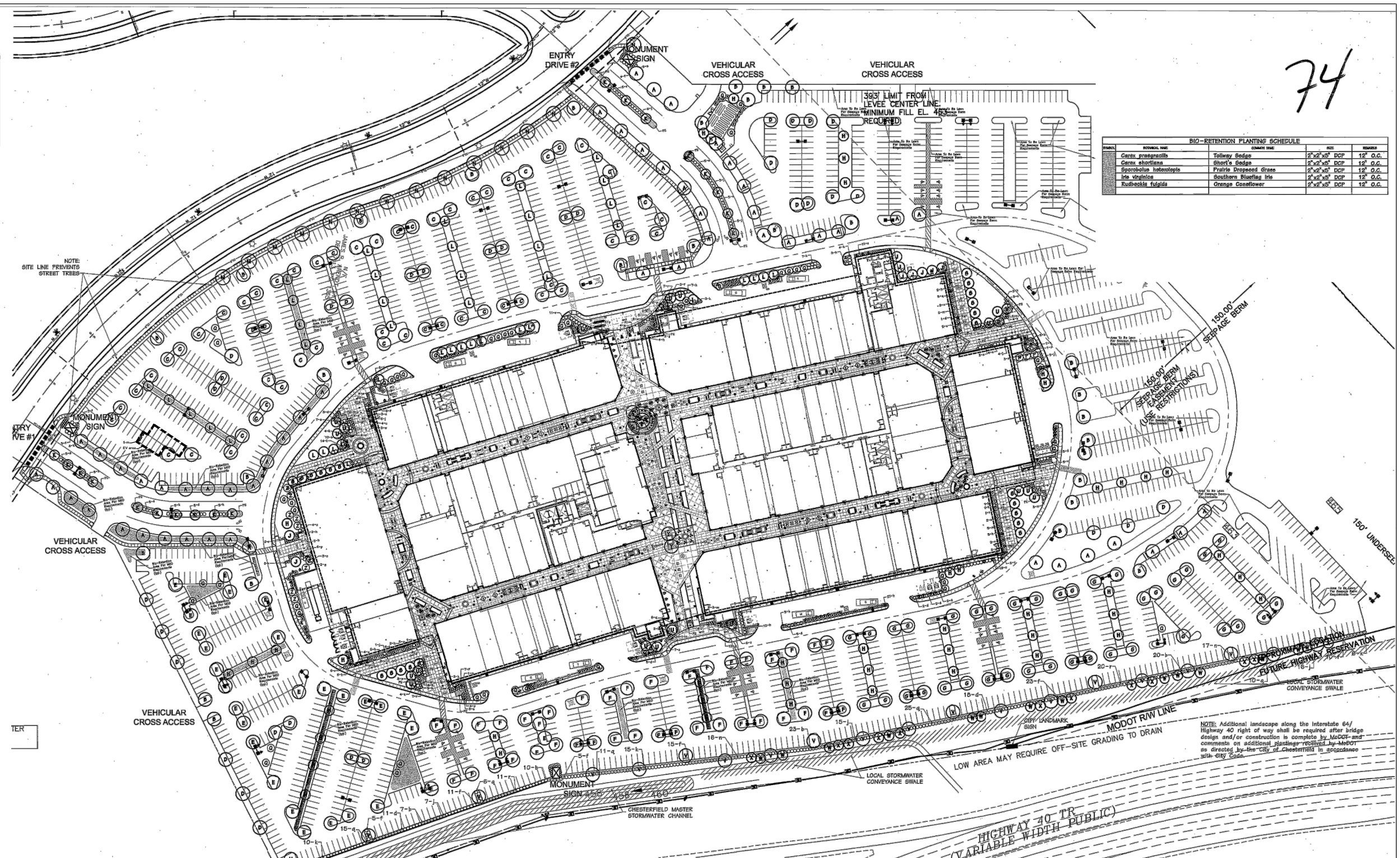
BLACK & VEATCH
11401 LAMAR AVENUE
OVERLAND PARK, KS 66211
(913) 468-2000

NO.	DATE	REVISIONS
1	01/18/24	REVISED PER COMMENTS FROM THE CITY OF CHESTERFIELD
2	02/26/24	REVISED PER COMMENTS FROM THE CITY OF CHESTERFIELD

Prepared for:
Simon/Woodmont Development, LLC
105 Eisenhower Parkway
Roseland, NJ 07068

AMENDED SITE DEVELOPMENT SECTION PLAN
ST. LOUIS PREMIUM OUTLETS

Designed	GMS
Drawn	GMS
Checked	
Date	11/29/2023
Project Number	411370
Sheet Number	4 of 8



BIO-RETENTION PLANTING SCHEDULE			
SYMBOL	SYMBOL NAME	COMMON NAME	REMARKS
A	Carex praegracilis	Tollway Sedge	2'x2'x2' DCP 12' O.C.
B	Carex shortiana	Short's Sedge	2'x2'x2' DCP 12' O.C.
C	Sporobolus heterolepis	Prairie Dropseed Grass	2'x2'x2' DCP 12' O.C.
D	Desmodium illinoense	Southern Birdfoot Pea	2'x2'x2' DCP 12' O.C.
E	Rudbeckia fulgida	Orange Coneflower	2'x2'x2' DCP 12' O.C.

- NOTES**
- NO CHANGE TO EXISTING TREE LANDSCAPING.
 - 5 SHRUBS OF SYMBOL 'm' FROM THE ORIGINAL PLAN ARE BEING ADDED NEXT TO THE EV ENCLOSURE.

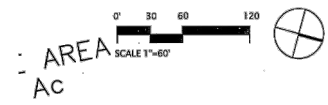


PREMIUM OUTLETS
SIMON



BLACK & VEATCH
11401 LAMAR AVENUE
OVERLAND PARK, KS 66211
(913) 468-2000

NO.	DATE	REVISIONS
1	10/18/24	REVISED PER COMMENTS FROM THE CITY OF CHESTERFIELD
2	10/26/24	REVISED PER COMMENTS FROM THE CITY OF CHESTERFIELD



LANDSCAPE PLAN
SCALE 1" = 60'

- GENERAL NOTES:**
- Open space required: 30% of total site (15.20 acres)
Open Space provided: 16.57 acres
 - All street trees will be located at least 3' from proposed curb.
 - All street trees will be located at least 10' from all storm sewer structures.
 - All turf areas will be seeded.
 - An in-ground irrigation system will be provided. Bioretention and naturalized planting area shall be established and maintained with alternative watering methods.

SYMBOL	QUANTITY	SYMBOL NAME	COMMON NAME	SIZE	REMARKS
a	17	Berberis thunbergii 'Royal Burgundy'	Royal Burgundy Barberry	16-24"	
b	60	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	16-24"	
c	79	Calamagrostis scutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 Gal	
d	79	Cornus sericea 'Flaviramea'	Yellow Twig Dogwood	2-3'	
e	56	Euonymus alatus 'Compacta'	Dwarf Burning Bush	2-3'	
f	99	Juniperus chinensis 'Sea Green'	Sea Green Juniper	2-3'	
g	37	Spiraea x bumalda 'Anthony Waterer'	A.W. Spiraea	16-24"	
h	91	Sporobolus heterolepis	Prairie Dropseed Grass	3 Gal	
j	77	Syringa patula 'Miss Kim'	Miss Kim Lilac	16-24"	
k	91	Viburnum x burkwoodii	Burkwood Viburnum	2-3'	
m	20	Hydrangea macrophylla 'Red Sensation'	Forever Red Hydrangea	16-24"	
n	52	Cornus sericea 'Cardinal'	Red Twig Dogwood	2-3'	
p	36	Chaenomeles speciosa 'Texas Scarlet'	Texas Scarlet Quince	16-24"	
q	76	Taxus x media 'Densiflora'	Densiflora Yew	16-24"	
r	94	Rosa x 'Radrazz'	Knockout Rose	16-24"	
s	22	Spiraea japonica 'Lemon Princess'	Lemon Princess Spiraea	16-24"	
t	22	Rhus aromatica 'Gro-low'	Gro-Low Sumac	16-24"	
u	26	Ilex virginica 'Spirita'	Lilac Henry Virginia Sweetspire	2-3'	
v	31	Festuca alpestris 'Moudry'	Moudry Fountain Grass	3 Gal	
w	15	Festuca glauca 'Elijah's Blue'	Elijah's Blue Fescue	3 Gal	
x	7	Rhododendron x 'Hot Shot'	Hot Shot Azalea	16-24"	
PE	1,000	Perennials	Daylily, Black Eyed Susan, Coreopsis, Hosta, Liriope	3 qt.	

SYMBOL	QUANTITY	SYMBOL NAME	COMMON NAME	SIZE	REMARKS
A	53	Acer rubrum 'Armstrong'	Armstrong Maple	2.5'	Deciduous 35'-45' Fast
B	30	Zelkova serrata	Japanese Zelkova	2.5'	Deciduous 45'+ Fast
C	55	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2.5'	Deciduous 45'+ Fast
D	35	Gleditsia triacanthos 'Inermis'	Thornless Honeylocust	2.5'	Deciduous 45'+ Fast
E	26	Fernus sargentii 'Columnaris'	Columnar Sargent Cherry	2.5'	Ornamental 30'-40' Medium
F	36	Oxydendrum arboreum	Sourwood	2.5'	Deciduous 20'-30' Slow/Med.
G	39	Carpinus betulus	European Hornbeam	2.5'	Deciduous 35'-40' Slow/Med.
H	47	Carpinus caroliniana	American Hornbeam	2.5'	Ornamental 20'-35' Medium
J	9	Cercis canadensis	Redbud	2.5'	Ornamental 25'-30' Fast
K	16	Fyrus calleryana 'Chanticleer'	Chanticleer Pear	2.5'	Ornamental 15'-25' Medium
L	44	Amelanchier arborea	Serviceberry	2.5'	Ornamental 25'-30' Slow
M	4	Tilia cordata	Littleleaf Linden	2.5'	Deciduous 45'+ Medium
N	10	Quercus coccinea	Scarlet Oak	2.5'	Deciduous 45'+ Medium
P	3	Carpinus betulus 'Franz Fontaine'	Franz Fontaine Hornbeam	2.5'	Ornamental 35'-40' Slow/Med.
Q	50	Pinus strobus	Eastern White Pine	6'	Evergreen 35'-40' Fast
R	60	Platycladus orientalis	Oriental Arborvitae	6'	Evergreen 30'-40' Slow
S	24	Fernus serrulata 'Kwanzen'	Kwanzen Cherry	2.5'	Ornamental 20'-25' Medium
T	34	Syringa meyeri 'Palibin'	Dwarf Lilac Tree	2.5'	Ornamental 5'-8' Medium
U	19	Malus x 'Spring Snow'	Spring Snow Crab	2.5'	Ornamental 20'-30' Medium
V	20	Quercus bicolor	Swamp White Oak	2.5'	Deciduous 45'+ Medium
W	14	Prunus cerasifera 'Thundercloud'	Purple Leaf Plum	2.5'	Ornamental 20'-30' Medium
X	12	Crataegus phenopyrum	Washington Hawthorn	2.5'	Ornamental 20'-30' Medium
Y	4	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	4'	Deciduous 45'+ Medium
Z	6	Picea glauca	White Spruce	6'	Evergreen 35'-40' Medium

Prepared for:
Simon/Woodmont Development, LLC
105 Eisenhower Parkway
Roseland, NJ 07068

Designed: GMS
Drawn: GMS
Checked: GMS
Date: 11/29/2023
Project Number: 411370
Sheet Number: 5 of 8

AMENDED SITE DEVELOPMENT SECTION PLAN
ST. LOUIS PREMIUM OUTLETS

WLS LIGHTING SYSTEMS

FV SERIES



SPECIFICATIONS

HOUSING - The FV Series formed aluminum housing is finished to produce a clean, sharp appearance and ensure weather-tight construction. Available in 3000 aluminum (reduced envelope 400 Watt Lamp) and Reduced (reduced envelope 1000 Watt Lamp).

LENS/GASKET - 8 flat tempered glass lens is sealed to the housing with an EPDM gasket, preventing entry of moisture, dust and insects. Combined with the vertical beam feature, the flat glass lens provides high performance lighting.

TOP ACCESS - Is secured by four captive stainless steel fasteners and provides ease of installation and servicing.

FINISHES - Each luminaire is finished with a powder coat polymer protective finish process to give the fixture an exceptionally attractive appearance. Standard finish colors include bronze, buff, black, platinum, white, green. The polyester finish withstands extreme weather changes without cracking or peeling. Consult factory for available custom colors and possible detail options.

REFLECTOR/DISTRIBUTION PATTERNS - The FV Series fixture is available in five reflector systems and distribution patterns, all with vertical beam lamps Type II (2), Type III (3), Type V (3). Perimeter Forward Throw (PFT) and Super Reflector (SR) for a minimum mounting height of 30 feet. Reflectors are reflectorizable, enabling generous flexibility in distribution patterns without fixture movement.

LIGHT SOURCES - Designed to operate with Pulse Start Metal Halide, Natural White, Super Metal Halide, Metal Halide, Metal Halide Reduce Envelope or High Pressure Sodium.

SOCKETS - Porcelain mogul base sockets with spring reinforced contacts.

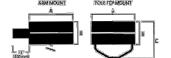
BALLAST - Pulse Start Metal Halide, Metal Halide, Super Metal Halide, and High Pressure Sodium feature a high power factor CWA ballast, and are designed for 207°F operation.

BRACKETS - Arm Mount: 5 1/2" x 2 1/2" x 12" length slotted standard. (60 lb) bracket is available for single or D180 configurations. But must be ordered separately from Options column of the ordering chart. Round Pole: (100 lb) required for mounting to 3" - 5" round poles. (See Options in Luminaire Ordering Information)

Pole Top - Cast aluminum mounting hub conceals mounting compartment and mounting hardware (consisting of four 1/4" O.D. aluminum rods for medium fixtures and 3/8" O.D. aluminum rods for large fixtures, and high-strength grade-five steel bolts with nylon insert and light lock washer for double feeding).

DECAL STRIPPING - WLS offers optional color coordinated decals in standard colors to accent the fixture. Decal is guaranteed for five years against peeling, cracking, or fading.

DIMENSIONS



Option	Dimension	Value
Single	Height	3.8
SR	Height	7.8
SR	Width	3.8
SR	Depth	13.4
SR	Weight	13.4
SR	Weight	6.2
SR	Weight	3.8

LUMINAIRE EPA CHART

Option	Height	Beam Angle	Foot Candles
Single	3.8	15	100
SR	7.8	15	100
SR	3.8	30	100
SR	3.8	45	100
SR	3.8	60	100
SR	3.8	75	100
SR	3.8	90	100
SR	3.8	105	100
SR	3.8	120	100
SR	3.8	135	100
SR	3.8	150	100

MOUNTING BRACKETS



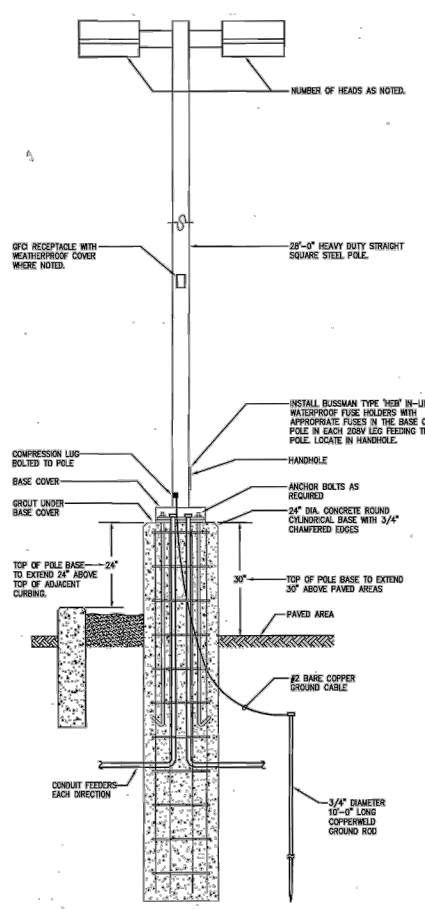
Approved By: _____ Project Name: _____

WLS LIGHTING SYSTEMS
1528 Windsor Place • Fort Worth, TX 76101 • 817-335-4824 • www.wls-lighting.com • Consider the Impact!
© 1994 WLS

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PISpotL	PISpotB
Fc	1,86	5.5	0.0	N.A.	N.A.	15	15	

Symbol	Qty	Label	Lumens	LF	Description
A	48	A	28500	0.900	WLS-FW-5-400-NW-PSMH-FQ 30' MOUNTING HEIGHT
B	17	B	28500	0.900	WLS-FW-3-400-NW-PSMH-FQ 30' MOUNTING HEIGHT

ADMINISTRATIVE APPROVAL
CITY OF CHESTERFIELD
PLANNING & DEVELOPMENT SERVICES DIVISION
PLAN TYPE: Amended Lighting Plan
AMENDED FOR: 2008-2009 Public
Lot Plan
DATE: 2/24/09 BY: [Signature]



POLE DETAIL - FIXTURES TYPE S1, S2, S3 & S4
NO SCALE

NOTE

1. PROPOSED INSTALL INCLUDES (1) LED EQUIVALENT FIXTURE (LITHONIA KAD) MOUNTED AT 20'. PROPOSED LIGHT IS TO ALLOW EV CHARGERS TO REMAIN OPEN 24/7 WHEN SITE LIGHTING IS TURNED OFF. THE LIGHT IS LOCATED FURTHER FROM THE PROPERTY LINE THAN EXISTING FIXTURES AND WILL NOT TRESPASS LIGHT OUTSIDE THE PROPERTY. ALL EXISTING LIGHTING TO REMAIN.

KAD LED LED Area Luminaire

Specifications:
 Size: 12.12"
 Length: 12.12"
 Width: 12.12"
 Height: 12.12"
 Weight: 12.12 lbs

Capabilities:
 • This luminaire is an Acrylic luminaire, which has been designed and tested to provide consistent color appearance and optimum beam uniformity.
 • All configurations of this luminaire meet the Acrylic Beam Qualification for dramatic consistency.
 • This luminaire is Ac Certified when ordered with the appropriate beam angle and beam diameter.
 • This luminaire is part of an Ac Certified solution for 24/7/365 operation, including the use of on-board control compatibility with remote monitoring, when ordered with remote control system, which is available by separate purchase.
 • See website for details.
 • An Ac Certified luminaire by KADAM requires the order of one KADAM end cap luminaire. Sold Separately. See Website for details.

electric america

PREMIUM OUTLETS™ SIMON™ WOODMONT OUTLETS

BLACK & VEATCH
11401 LAMAR AVENUE
OVERLAND PARK, KS 66211
(913) 468-2000

REVISIONS

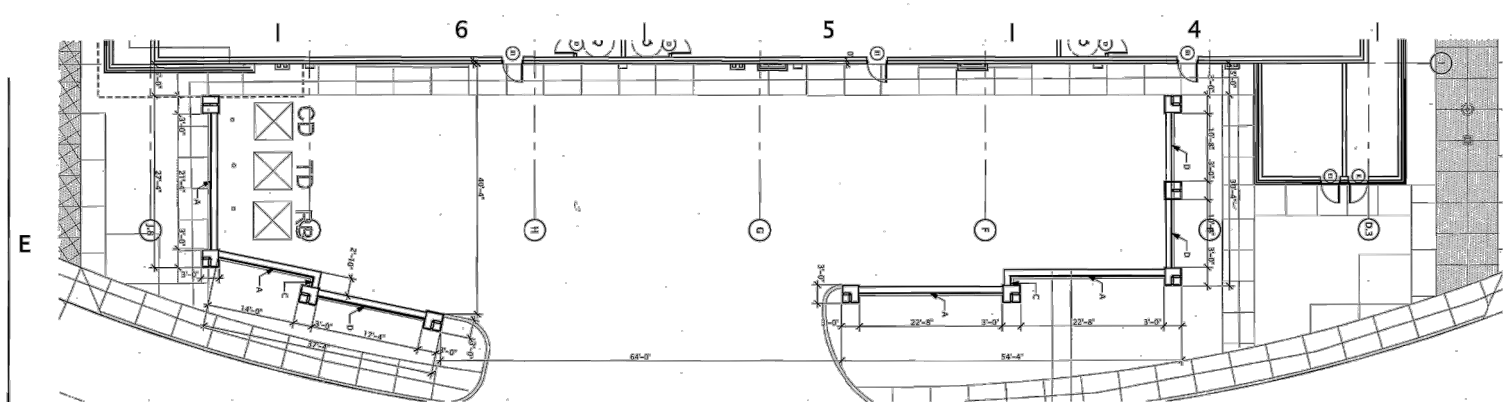
NO.	DATE	REVISION
1	01/18/24	REVISED PER COMMENTS FROM THE CITY OF CHESTERFIELD
2	02/26/24	REVISED PER COMMENTS FROM THE CITY OF CHESTERFIELD

Prepared for: Simon/Woodmont Development, LLC
105 Eisenhower Parkway
Roseland, NJ 07068

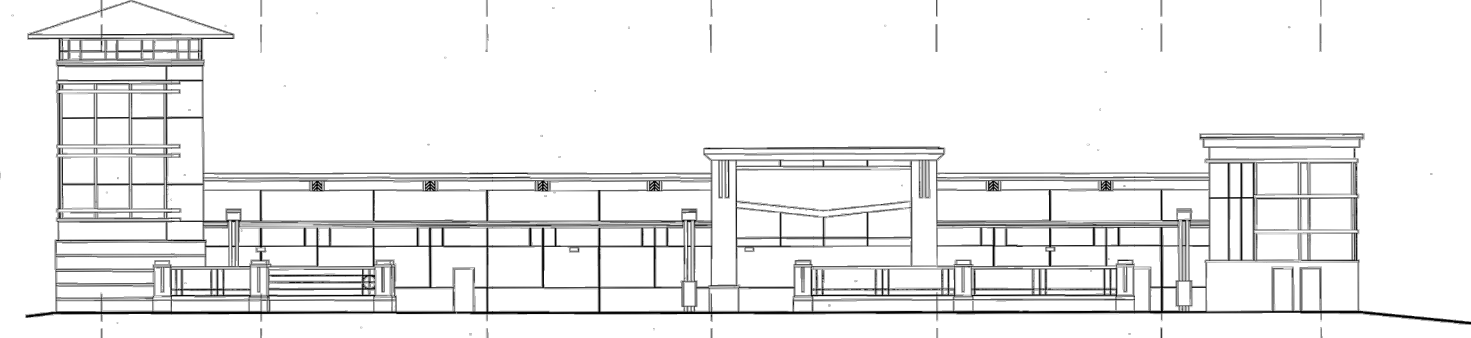
Designed: GMS
Drawn: GMS
Checked: GMS
Date: 11/29/2023
Project Number: 411370
Sheet Number: 6 of 8

AMENDED SITE DEVELOPMENT SECTION PLAN
ST. LOUIS PREMIUM OUTLETS

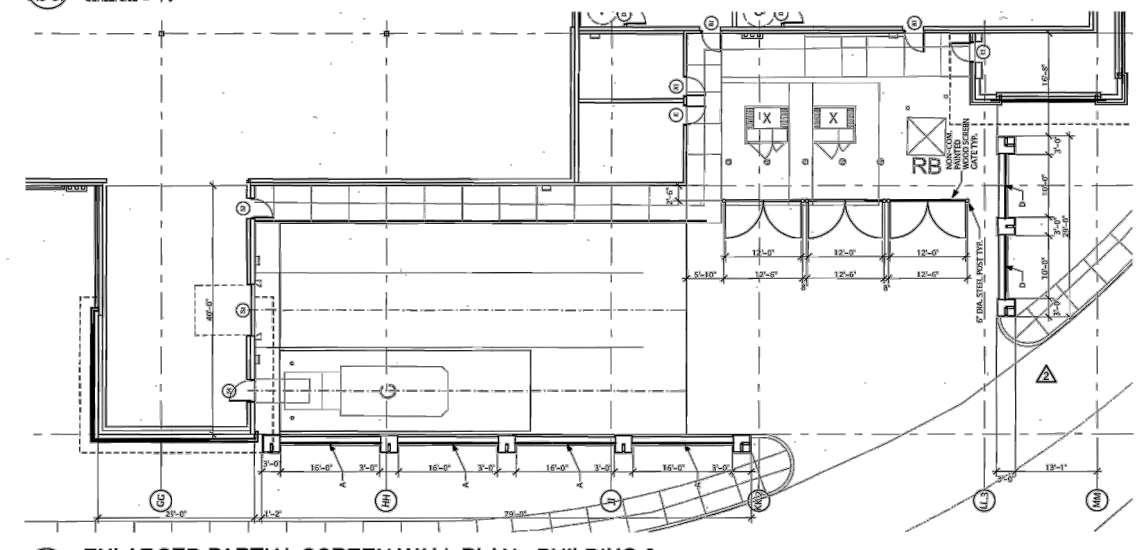
m da engineering, inc.
Mechanical Electrical and
Civil/Structural Engineers
14155 Midland Road
Houston, Texas 48337
Phone: (419) 853-3141
Fax: (419) 853-0657



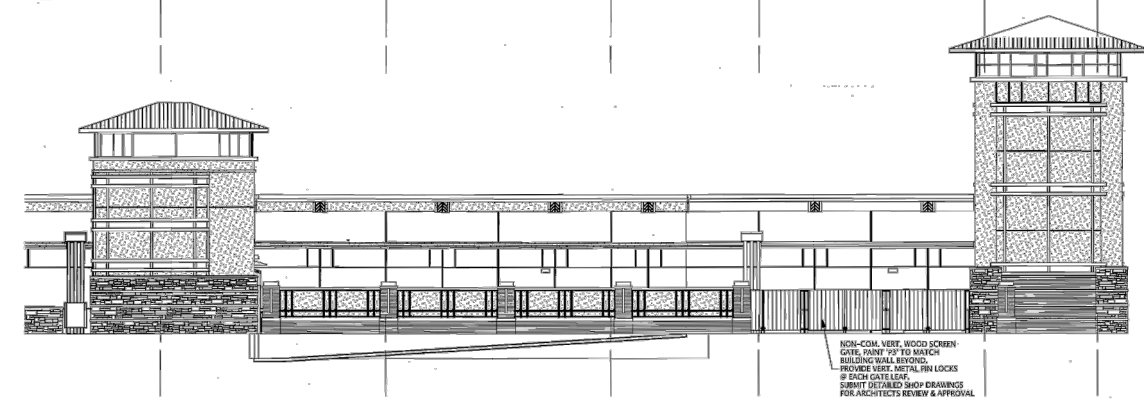
E3
A0-07 ENLARGED PARTIAL SCREEN WALL PLAN - BUILDING 6
SCALE: 3/32" = 1'-0"



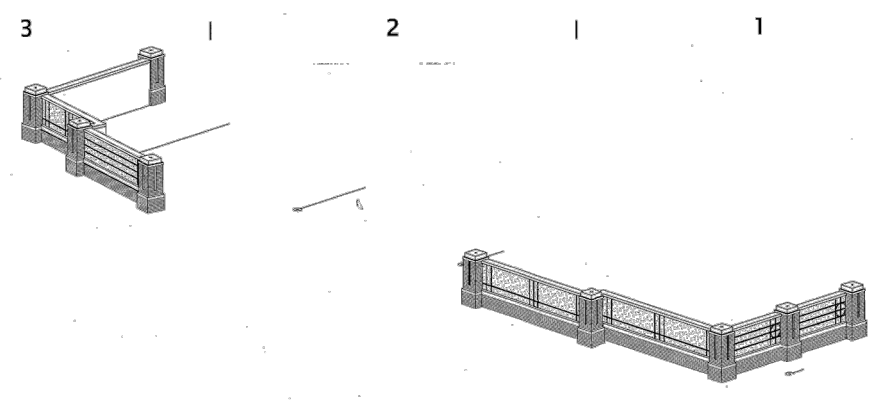
D3
A0-07 OVERALL SCREEN WALL ELEVATION - BUILDING 6
SCALE: 3/32" = 1'-0"



B4
A0-07 ENLARGED PARTIAL SCREEN WALL PLAN - BUILDING 3
SCALE: 3/32" = 1'-0"

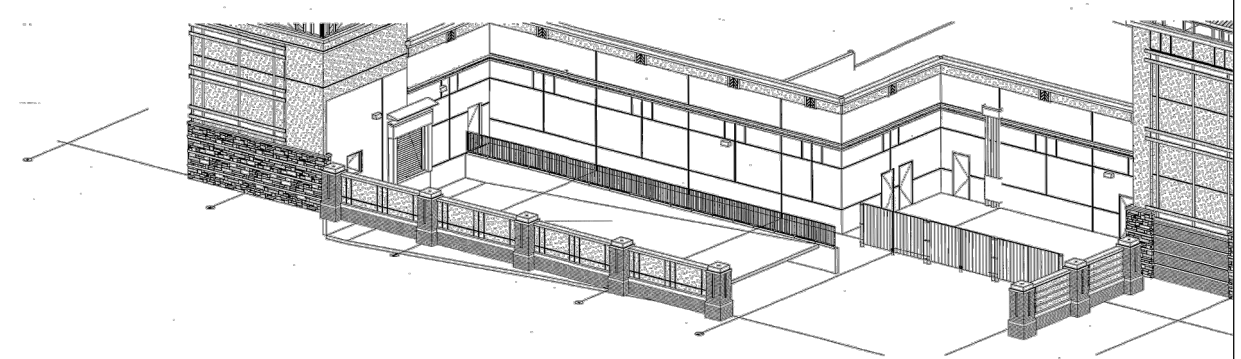


A3
A0-07 OVERALL SCREEN WALL ELEVATION - BUILDING 3
SCALE: 3/32" = 1'-0"



BUILDING 6 - SCREEN WALL
NOT TO SCALE

ADMINISTRATIVE APPROVAL
CITY OF CHESTERFIELD
PLANNING & DEVELOPMENT SERVICES DIVISION
PLAN TYPE: AAE
AMENDED FOR: Loading Dock Screening
DATE: 2/15/23 BY: *CAF*



BUILDING 3 - SCREEN WALL
NOT TO SCALE

NOTE
1. NO CHANGE TO EXISTING FENCING.



PREMIUM OUTLETS' SIMON'



BLACK & VEATCH
11401 LAMAR AVENUE
OVERLAND PARK, KS 66211
(913) 458-2000

REVISIONS	DATE	REVISION
1	10/18/24	REVISED PER COMMENTS FROM THE CITY OF CHESTERFIELD
2	10/28/24	REVISED PER COMMENTS FROM THE CITY OF CHESTERFIELD

Prepared for:
Simon/Woodmont Development, LLC
105 Eisenhower Parkway
Roseland, NJ 07068

Designed: **GMS**
Drawn: **GMS**
Checked: **GMS**
Date: 11/29/2023
Project Number: **411370**
Sheet Number: **7 of 8**

AMENDED SITE DEVELOPMENT SECTION PLAN
ST. LOUIS PREMIUM OUTLETS

Printed: 2/22/2023 1:06:53 PM - Local: Phase 1 - LACS - RW202111

NOTE
1. NO CHANGE TO EXISTING FENCING.



PREMIUM OUTLETSSM
SIMONSM



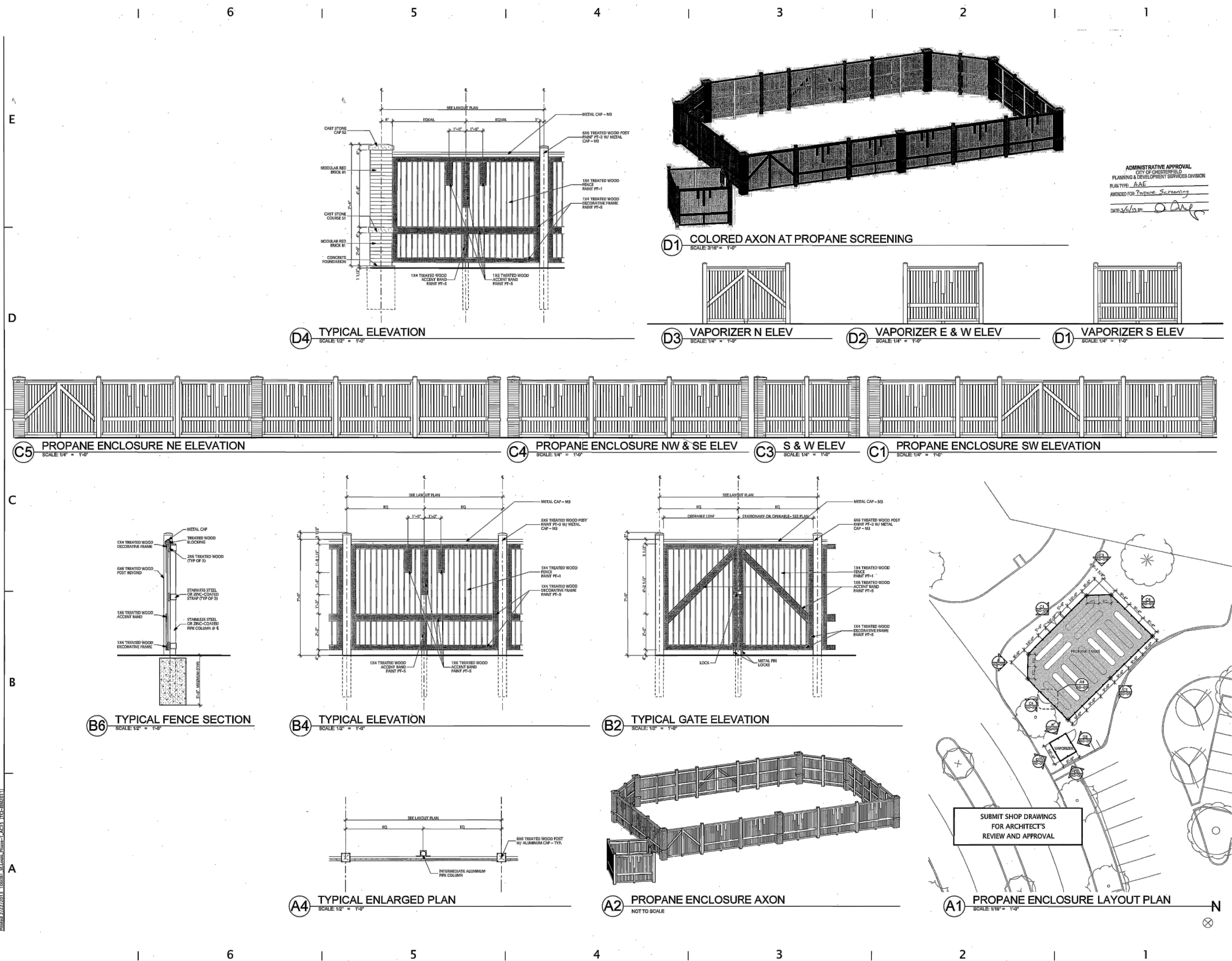
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11401 LAMAR AVENUE
OVERLAND PARK, KS 66211
(913) 458-2000

NO.	DATE	REVISIONS
1	10/18/24	REVISED PER COMMENTS FROM THE CITY OF CHESTERFIELD
2	12/26/24	REVISED PER COMMENTS FROM THE CITY OF CHESTERFIELD

Prepared for:
Simon/Woodmont Development, LLC
105 Eisenhower Parkway
Roseland, NJ 07068

Designed:
ST. LOUIS PREMIUM OUTLETS

Designed: GMS
Drawn: GMS
Checked:
Date: 11/29/2023
Project Number: 411370
Sheet Number: 8 of 8



SUBMIT SHOP DRAWINGS
FOR ARCHITECT'S
REVIEW AND APPROVAL

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