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### Planning Commission Staff Report

Project type: Site Development Section Plan

Meeting Date: June 24, 2024

From: Shilpi Bharti, Planner

Location: 16839 N. Outer 40 Road

Description: Summit Topgolf, Lot C1: A Site Development Section Plan, Landscape Plan, Lighting Plan

and Architectural Elevations for a retail building located on a 2.16-acre tract of land

located north side of north outer 40 road, zoned "PC"-Planned Commercial.

### PROPOSAL SUMMARY

Bethlehem Shared Services, LLC on behalf of Cigars International, has submitted a Site Development Section Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for a proposed retail/bar building located at 16839 N. Outer 40 Road in Summit Topgolf subdivision.

### Proposed Development includes:

- 6,800 square feet of Retail and Bar
- 1,250 square feet of outdoor patio
- 65 parking spaces
- Landscape Plan
- Lighting Plan



Figure 1: Subject Location

### HISTORY OF SUBJECT SITE

The site is located in Summit Topgolf subdivision of

the City of Chesterfield. The subdivision was zoned "NU" –Non-Urban District prior to the City's incorporation. In 1999, the site was rezoned to "PC" Planned Commercial creating Ordinance 1564. In 2017, site-specific ordinance 1564 was amended to revise the legal description and permitted uses. A Site Development Concept Plan was also subsequently approved in 2017. Later in 2018 and 2019 the ordinance was amended to modify the development standards. The current ordinance governing the site is Ordinance 3039.

### **STAFF ANALYSIS**

South of the subject site has an existing storm water control area where no development is proposed by the applicant. The proposed retail building is located on the northern portion of the property. There is a proposed outdoor patio on the west side of the building. The outdoor patio may be accessed by a sidewalk that begins at the proposed parking lot and travels along the existing storm water channel. There is one access from the north Outer 40 Road.

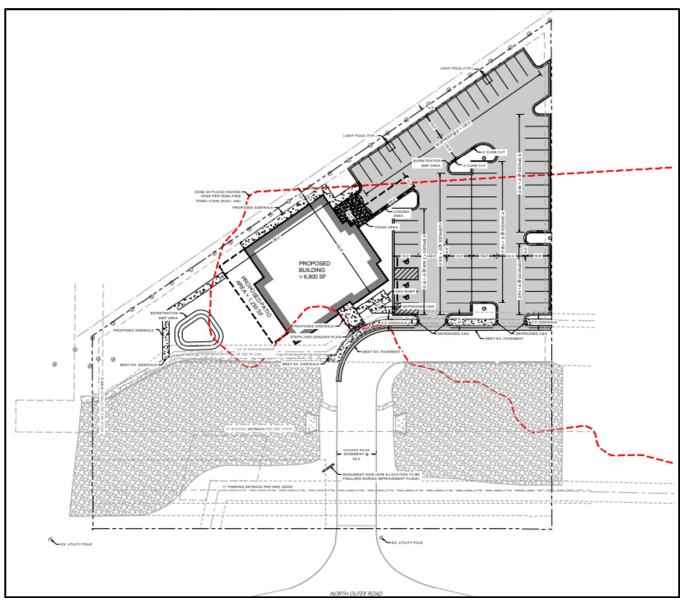


Figure 2: Site Plan

### Site Relationships

The proposed building is 8,050 square feet (including the outdoor patio) on 2.16 acres of land. The height of the proposed building is 30' (including the roof-top mechanical equipment). The site is surrounded by vacant land on the east, TopGolf on the north and west, and North Outer 40 road on the south. The

proposed building on site will be a single-story retail/bar. The trash enclosure will be located east of the subject site.

### **Circulation System and Access**

The site is accessed through an existing 30' wide asphalt road that comes off North Outer 40 Road from the south. Internal driveways are 22' wide with two-way access. The parking is proposed on the east of the site. There are a total 65 parking spaces proposed for the development which includes 3 ADA parking located next to the building.

### Retaining Wall and Screening

The site is generally flat and no retaining walls are proposed for the development. The roof-top mechanical equipment will be screened by a parapet.

### Elevation

The four sides of the building façade consist of khaki brown lap siding, drystack stone, and a white cornice. The front of the building faces North Outer 40 Road. The front elevation has six 2' X 4' cedar wood planks and lap siding with drystack stone cladding along the base of the building. The patio proposed on the west of the building will be a post and beam structure. The patio and the front tower are proposed to have cornice of colonial red color. The trash enclosure is located on the east.



Figure 3: Front Elevation



Figure 4: East and west side Elevation

### Lighting

There are six different types of light fixtures proposed for this development which includes wall pack light, catenary light, wall sconce, pendant, recessed downlight, and site poles. The wall sconce, pendant

and catenary light does not comply with Unified Development Code light fixture i.e. fully shield flat lens, hence require Planning Commission approval. The wall sconce and pendant are proposed near the entries, and catenary light is proposed for the patio. These fixtures may be approved by the Planning Commission.



Figure 5: Wall sconce, pendant and catenary light

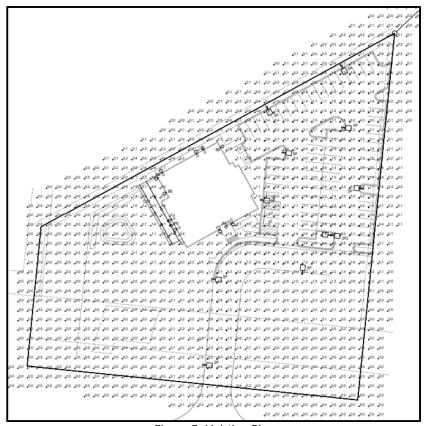


Figure 5: Lighting Plan

### Landscaping

The proposed landscape plan consists of different types of tree canopies, shrubs, and ground covers. The site is required to have a 30' landscape buffer along North Outer 40 Road per the Unified Development Code. The proposed landscape plan depicts the 30' landscape buffer on the south, as required.

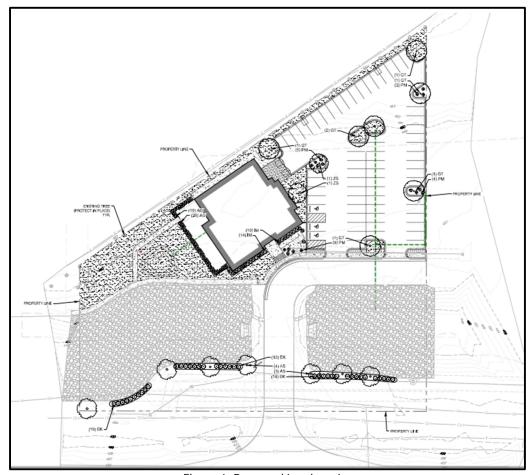


Figure 6: Proposed Landscaping

### Rendering



Figure 7: View from North Outer 40 Road

### **ARB Meeting Report**

The project was reviewed by the Architectural Review Board members on May 09, 2024. At that time, the Board made a motion to forward the project to Planning Commission with a recommendation for approval with two (2) conditions:

- 1. Provide additional landscaping in front of the building, around the patio area and at the trash enclosure walls. The parking lot islands would be easier to maintain if planted with shrubs and perennials rather than sod.
- 2. Add stone veneer to the exposed patio foundation area.

The Applicant has addressed the above comments.

### DEPARTMENTAL INPUT

Staff has reviewed this proposed development and found it to be in compliance with the City's Unified Development Code and site-specific ordinances. All outstanding comments have been addressed at this time. Staff recommends approval of the Site Development Section Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for Summit Topgolf Lot C-1.

### **MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Section Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for Summit Topgolf Lot C-1, as presented."
- 2) "I move to approve the Site Development Section Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for Summit Topgolf Lot C-1, with the following conditions..."

### **Attachments**

1. Site Development Plan Packet



Date: April 9, 2024

Attention: Shilpi Bharti

Planner

City of Chesterfield

Ref: Architectural Review Board Submission

Architect's Statement of Design

Cigars International

Retail Cigar Store, Lounge / Bar 16839 N. Outer 40 Road Chesterfield, MO 63005

Ms. Bharti.

As required by Chesterfield's Unified Development Code, the following is our Architect's Statement of Design, responding to the Architectural Review Design Standards as they apply to this project.

### General Requirements for Site Design:

- 1. Site Relationships The proposed Cigar's International establishment is located adjacent to North Outer Road 40 just north of the drainage area. Top Golf is located north and west of our site and Chesterfield Valley Nursery is located to the east.
- 2. Circulation System and Access The development is accessed via an existing 30' wide asphalt road that comes off North Outer Road. There is a cross access easement with the property to the east. 70 parking stalls are proposed on the eastern portion of the site. There is a sidewalk that comes from the Top Golf and will be continued onto our site.
- 3. Topography The majority of the site is relatively flat and drains to the south and west.
- 4. Retaining Walls There are not any retaining walls proposed for this site.

### General Requirements for Building Design:

Scale – The proposed establishment is scaled appropriately for the area. Adjacent recently constructed properties are similar in design and overall construction. The final height of the building parapets are still being determined, but it will be +/- 26' AFF for most of the building and approximately +/- 30' AFF to the highest point at the main entry. The mechanical equipment will be on the roof and will be shielded by parapets.



- 2. Design The building design and finishes are coordinated on all sides of the building. The overall design of the building is different from any other Cigar's International store as we redesigned the entire exterior to better fit with the surrounding architecture. The main entry is easily distinguishable, and the partially covered patio is large and inviting.
- 3. Building Materials The materials and color palate were chosen to comply with brand standards as well as to fit with the surrounding architecture. There is a mix of stone, cementitious siding and exposed timber visible on all four sides. The colors used are neutral overall with a pop of Colonial Red. The windows on the front of the building have a decorative cedar wood shade system and provide interest / character. There are two large overhead doors in the patio area.
- 4. Landscape Design and Screening Landscaping has been designed to meet the City of Chesterfield's requirements. The bulk of the landscaping is Bermuda Grass with Maple, Locust and Zelkova trees planted throughout.
- 5. Signage The proposed building signage will be on the front façade and on the patio side of the building.
- 6. Lighting Lighting will be a mix of gooseneck wall wash lights, traditional wall packs and parking lot pole lights. Cut sheets and photometric plan provided.

Sincerely,

Frank Shahlari Lickel Architecture 913.708.1665

frank@lickelarchitecture.com

# SITE DEVELOPMENT PLAN FOR

# CIGARS INTERNATIONAL - RETAIL EXPANSION

16839 NORTH OUTER 40 ROAD, CHESTERFIELD, MISSOURI



### DETARTMENT OF TEARMING

### SCRIPT FOR A SITE DEVELOPMENT PLAN

, the owner(s) of the property shown on this plan for and in
[Name of Owner(s)]
consideration of being granted approval of said plan to develop property under the provisions of
Section 03, of City of Chesterfield Unified Development
(applicable subsection) (present zoning)
Code, do hereby agree and declare that said property from the date of recording this plan shall be
developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or
voided or vacated by order of ordinance of the City of Chesterfield Council.

(Name Typed):

State of	)	
	) SS.	
County of	)	

\_\_\_\_\_, A.D., 20\_\_\_\_, before me personally appeared

	_, to me known, who, being by m	o sworm in, ara say
(Officer of Corporation)	-, , , , , , , , , , , , , , , , , , ,	•
hat he/she is the	of	a
(Title)	(Name of Corpora	tion)
corporation in the State of	_, and that the seal affixed to the	foregoing instrument

	1
In Testimony Whereof, I have I	hereunto set my hand and affixed my Notarial Seal at my Office in
(County and State)	, the day and year last above written.

(Notary Public)

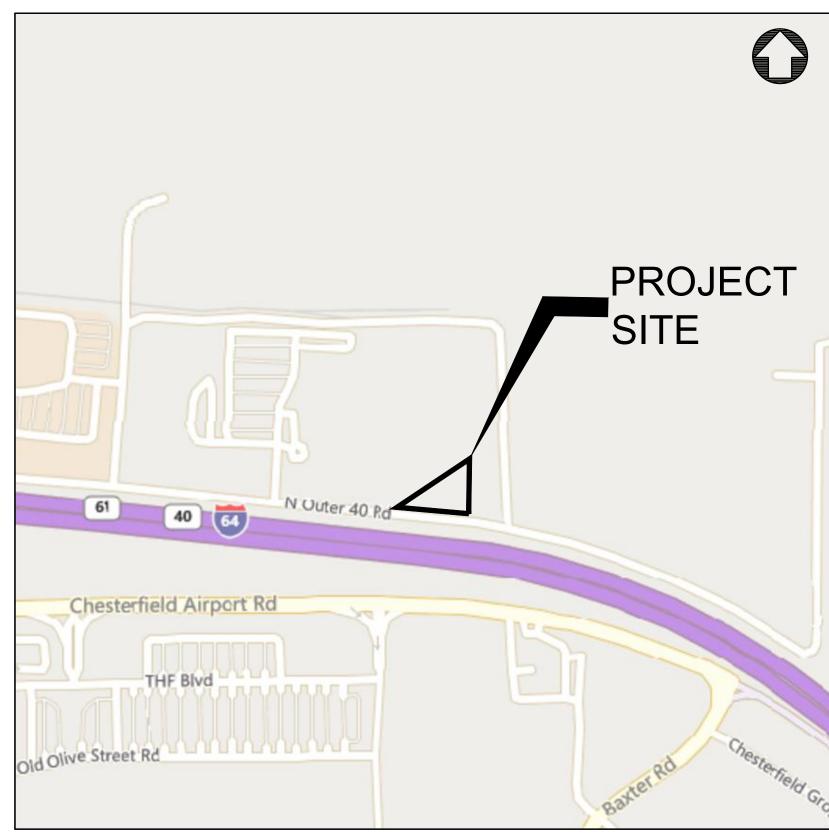
This Site Development Plan was approved by the City of Chesterfield Planning Commission and duly verified on the \_\_\_\_\_ day of \_\_\_\_\_\_, 20\_\_\_\_, by the Chairperson of said Commission, authorizing the recording of this Site Development Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning and the City Clerk.

Justin Wyse, AICP Director of Planning City of Chesterfield, Missouri

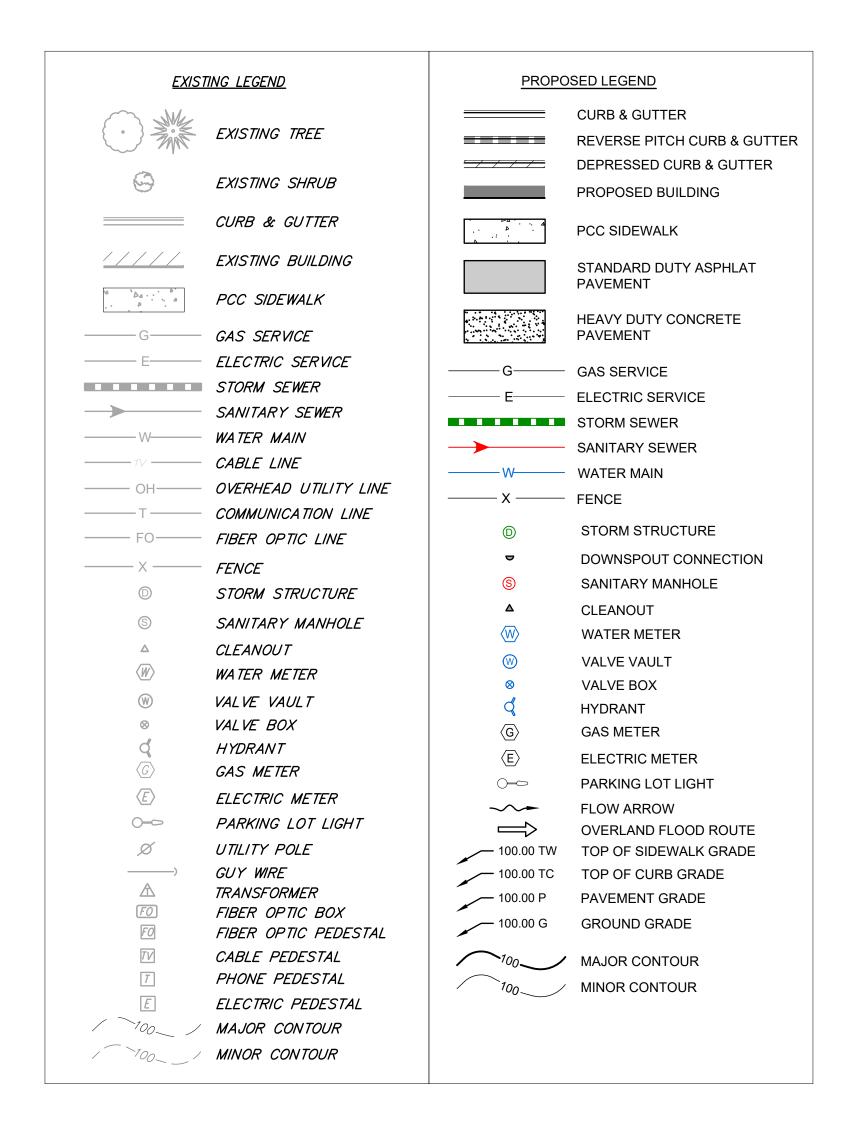
My term expires \_

Vickie McGownd, City Clerk City of Chesterfield, Missouri

# LOCATION MAP



CONTACTS				
OWNER	ENGINEER	ARCHITECT		
BETHLEHEM SHARED SERVICES	CAGE ENGINEERING	LICKEL ARCHITECTURE, P.C.		
1911 SPILLMAN DR BETHLEHEM, PA	2200 CABOT DRIVE SUITE 325 LISLE, IL	16200 MIDLAND DRIVE SHAWNEE, KS		
(484) 285-0400	(630) 598-0007	(913) 389-7888		



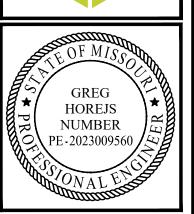
S	Sheet List Table				
Sheet Number	Sheet Title				
C0.0	SITE LOCATION MAP & CIVIL LEGEND				
C0.1	GENERAL NOTES & SPECIFICATIONS				
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN				
C2.0	SITE LAYOUT PLAN				







CIVIL ENGINEERING



SITE DEVELOPMENT PLAN FOR

CIGARS INTERNATIONAL RETAIL EXPANSION

PROJ NO:230327

ENG: KHH/JGN

DATE: 01/26/2024

SHEET TITLE

SITE

LOCATION

MAP & CIVIL

LEGEND

SHEET NUMBER

1 OF 8

### GENERAL REQUIREMENTS:

- 1. ALL WORK SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD PLANS FOR HIGHWAY CONSTRUCTION" (HEREIN AFTER REFERRED TO AS STANDARD SPECIFICATIONS) ADOPTED JANUARY 1, 2024 AND SUPPLEMENTAL SPECIFICATIONS.
- 2. SCOPE OF WORK: THE PROPOSED IMPROVEMENTS CONSIST OF SUPPLYING ALL THE NECESSARY LABOR, MATERIAL AND EQUIPMENT TO SATISFACTORILY CONSTRUCT AND INSTALL ALL IMPROVEMENTS ACCORDING TO THE PLANS DESIGNATED HEREIN.
- CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO LOCATE AND PROTECT ALL UNDERGROUND FACILITIES/UTILITIES DURING CONSTRUCTION OPERATIONS AS OUTLINED IN THE STANDARD SPECIFICATIONS AND CONTACT THE OWNER. ANY DAMAGE TO ANY UTILITIES SHALL BE PROMPTLY REPORTED TO THE OWNER. REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE UNDERGROUND UTILITIES SHOWN HEREIN ARE APPROXIMATE AND BASED ON THE ACTUAL LOCATION OF SURFACE STRUCTURES AND PLANS PROVIDED BY THE OWNER. THE IMPLIED PRESENCE OR ABSENCE OF UTILITIES IS NOT TO BE CONSTRUED BY THE OWNER, ENGINEER, CONTRACTOR, OR SUBCONTRACTORS TO BE AN ACCURATE AND COMPLETE REPRESENTATION OF UTILITIES THAT MAY OR MAY NOT EXIST ON THE CONSTRUCTION SITE. BURIED AND ABOVE GROUND UTILITY LOCATION, IDENTIFICATION, AND MARKING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. REROUTING, DISCONNECTION, PROTECTION, ETC. OF ANY UTILITIES MUST BE COORDINATED BETWEEN THE CONTRACTOR, UTILITY COMPANY, AND OWNER. SITE SAFETY, INCLUDING THE AVOIDANCE OF HAZARDS ASSOCIATED WITH BURIED AND ABOVEGROUND UTILITIES REMAINS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITY PROPERTY FROM CONSTRUCTION OPERATIONS.
- 4. THE CONTRACTOR SHALL FURNISH, ERECT, AND MAINTAIN MARKINGS AND ASSOCIATED HAZARD WARNING LIGHTS, DELINEATOR FENCE, AND OTHER ASSOCIATED FACILITIES AS REQUIRED FOR OPEN TRENCHES, EXCAVATIONS, TEMPORARY STOCK PILES, AND PARKED CONSTRUCTION EQUIPMENT THAT MAY POSE A POTENTIAL HAZARD AS PART OF THE DAILY OPERATIONS AT THIS SITE. CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY.
- 5. CONTRACTOR SHALL CONTINUOUSLY COMPARE ALL LINES, GRADES, AND OTHER INFORMATION APPEARING ON THE PLANS WITH THE ACTUAL LINES, GRADES, AND SITE CONDITIONS. ANY DISCREPANCIES THAT MAY AFFECT THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER IN WRITING FOR DISPOSITION BEFORE CONTRACTOR PROCEEDS WITH THE WORK. CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR THE WORK COMPLETED PRIOR TO THE REPORT TO THE OWNER AND ENGINEER, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR CORRECTION OF THE WORK PRIOR TO THE REPORT TO THE OWNER AND ENGINEER.
- 6. CONTRACTOR PARKING AND LAYDOWN AREAS SHALL BE COORDINATED WITH THE OWNER.
- 7. PRIOR TO PERFORMING ANY WORK IN OR ON THE RIGHT OF WAY OF ANY CITY OR STATE ROADWAY, THE CONTRACTOR SHALL NOTIFY THE CITY / STATE TRAFFIC ENGINEER'S OFFICE. THE CONTRACTOR SHALL ERECT WARNING SIGNS AND BARRICADES TO PROTECT THE TRAVELING PUBLIC AND HIS WORKERS. THE SIGNING AND BARRICADING SHALL CONFORM TO THE APPROPRIATE APPLICATIONS OUTLINED IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR AS OTHERWISE DIRECTED BY THE CITY / STATE TRAFFIC ENGINEER. IF PERMITS ARE REQUIRED TO CONDUCT THE WORK, THE CONTRACTOR SHALL SECURE THE PERMITS AND SUPPLY THEM TO THE OWNER AT NO ADDITIONAL COST. ALL FULL WIDTH LANE CLOSURES, PARTIAL LANE CLOSURES, AND CONSTRUCTION ADJACENT TO PAVEMENT SHALL BE IDENTIFIED, SIGNED, AND BARRICADES ERECTED IN CONFORMANCE WITH THE APPLICABLE ARTICLES OF SECTION 701 OF THE STANDARD SPECIFICATIONS AND THE MUNICIPALITY'S REQUIREMENTS. ALL TRAFFIC PROTECTION, BOTH ONSITE AND OFFSITE, SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- 8. CONTRACTOR SHALL REMOVE EARTHEN MATERIALS, EXISTING SURFACES, AND STRUCTURES AS REQUIRED. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OFF-SITE AND SHALL BE INCIDENTAL TO THE CONTRACT.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, UNLESS NOTED. THIS WILL INCLUDE BUT NOT BE LIMITED TO MUNICIPAL BUILDING PERMIT. THE OWNER WILL SECURE THE N.P.D.E.S. PERMIT. THE CONTRACTOR SHALL PROVIDE ANY FINANCIAL SURETIES REQUIRED AS PART OF ANY PERMIT.
- 10. WHEN CONCRETE IS PLACED ABUTTING STRUCTURES, FOUNDATIONS OR EXISTING SIDEWALKS, A BOND BREAKER CONSISTING OF 1" P.J.F. AND ELASTOMERIC JOINT SEALANT SHALL BE USED FULL DEPTH UNLESS OTHERWISE NOTED.
- 11. MAXIMUM CONTRACTION JOINT SPACING ON CONCRETE CURB AND GUTTER OR CONCRETE GUTTER
- 12. SIDEWALK RAMPS FOR ADA SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN HEREIN. DETECTABLE WARNINGS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.

SHALL NOT EXCEED 25'.

STANDARD SPECIFICATIONS.

SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

- 13. HOT-MIX ASPHALT PAVEMENT PATCHING SHALL BE IN ACCORDANCE WITH SECTION 442 OF THE
- 14. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND SUBMITTING ELECTRONIC AS-BUILT DRAWINGS, FOR UTILITIES AND DETENTION AREAS, TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PROJECT ACCEPTANCE.
- 15. CONSTRUCTION STAKING, LAYOUT, AND GRADING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR USING THE BASIC TOPOGRAPHIC SURVEY CONTROLS PROVIDED IN THE PLANS. CONTRACTOR SHALL VERIFY SURVEY CONTROLS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES IN THE SURVEY CONTROLS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION. ANY ADDITIONAL SURVEY CONTROLS REQUIRED FOR CONSTRUCTION
- 16. CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE PRECEDENCE OVER PRESSURIZED LINES.

ENGINEER REVIEW AND APPROVAL A MINIMUM OF 4 WEEKS PRIOR TO ORDERING.

- 17. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS INCORPORATED INTO THE WORK FOR
- 18. REFERENCES TO "INSPECTION" OR "INSPECTOR" IN THE SPECIFICATIONS SHALL NOT CREATE, IMPOSE, OR GIVE RISE TO ANY DUTY OWED BY THE OWNER OR ENGINEER TO THE CONTRACTOR, ANY SUBCONTRACTOR, OR ANY SUPPLIER. ALL IMPROVEMENTS SHALL BE SUBJECT TO INSPECTION BY A DULY AUTHORIZED AND QUALIFIED OWNER'S REPRESENTATIVE BOTH DURING THE COURSE OF CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE. THE INSPECTOR SHALL HAVE AUTHORITY OVER MATERIALS OF CONSTRUCTION, METHODS OF CONSTRUCTION AND WORKSMANSHIP TO ENSURE COMPLIANCE WITH WORKING DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE FOR REASONABLE TESTS AND PROOF OF QUALITY OF MATERIALS AS REQUESTED BY THE INSPECTOR. UPON DUE CAUSE, WHICH SHALL INCLUDE WEATHER CONDITIONS, WORKMANSHIP OR NON-ADHEREANCE TO THE APPROVED PLANS AND SPECIFICATIONS, THE INSPECTOR SHALL HAVE THE AUTHORITY TO STOP CONSTRUCTION.
- 19. WHERE SECTION, SUB-SECTION, SUBDIVISION, OR PROPERTY MONUMENTS ARE ENCOUNTERED, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED BEFORE SUCH MONUMENTS ARE REMOVED. THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL PROPERTY MARKERS UNTIL AN OWNER OR AUTHORIZED SURVEYOR HAS WITNESSED OR REFERENCED THEIR LOCATION.
- 20. ALL TRENCH BACKFILL SHALL BE IMPORTED GRANULAR MATERIAL UNLESS EXISTING GRANULAR MATERIALS ARE SPECIFICALLY APPROVED BY THE OWNER'S REPRESENTATIVE.
- 21. ALL AGGREGATE BASE COURSE SHALL BE COMPACTED TO 98% STANDARD PROCTOR DENSITY.
- 22. ALL AGGREGATE BASE AREAS TO BE PAVED (PAVEMENT, SIDEWALK, CURB, OR STRUCTURES) SHALL BE PROOF-ROLLED WITH SEVERAL PASSES OF A FULLY LOADED DUMP TRUCK. CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ENGINEER 24 HOURS PRIOR TO PROOF ROLL AND SHALL MAKE ALL CORRECTIONS TO PROVIDE A SATISFACTORY SUBGRADE.
- 23. ANY UNCONTROLLED CRACKING THAT OCCURS IN CONCRETE PAVEMENT, SIDEWALK, CURB, OR CURB AND GUTTER PRIOR TO FINAL ACCEPTANCE SHALL BE ROUTED OR SAWED AND SEALED ACCORDING TO THE STANDARD SPECIFICATIONS.
- 24. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY WORK IN AND AROUND UTILITY-OWNED INFRASTRUCTURE AND MAKE THEM AWARE OF WORK TO BE PERFORMED.
- 25. ALL SIDEWALKS SHALL BE 4 INCHES IN THICKNESS AND CONSTRUCTED TO THE WIDTH SHOWN ON THE PLANS. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MIN. CROSS SLOPE OF 1% AND A MAX. CROSS SLOPE OF 2%. SIDEWALK THICKNESS SHALL BE INCREASED TO A MINIMUM 6" AT DRIVEWAYS OR AS REQUIRED BY THE MUNICIPALITY.
- 26. ANY SIDEWALKS, FENCES, AND OTHER ITEMS NOT SHOWN TO BE REMOVED. BUT DAMAGED DURING CONSTRUCTION, SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

- 27. CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY A MINIMUM OF 48 HOURS PRIOR TO CONNECTING TO OR INSTALLING ANY PUBLIC SEWER OR WATER MAINS.
- 28. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE PROJECT SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, THE CONTRACTOR MUST IMMEDIATELY PROVIDE THE INFORMATION TO THE ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK EFFECTED BY OMISSIONS OR DISCREPANCIES. IF THE CONTRACTOR FAILS TO SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL.

### **EXISTING TOPOGRAPHY:**

- 1. ALL UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE DERIVED FROM EXISTING UTILITY MARKINGS, OLD SITE PLANS, UTILITY COMPANY MAPS, PRIVATE LOCATOR AND OBSERVED EVIDENCE.
- 2. ALL PIPE SIZES REFERENCED HEREON ARE SHOWN ACCORDING TO UTILITY COMPANY MAPS, OLD SITE PLANS AND OBSERVED EVIDENCE. ALL PIPE SIZES AND INVERTS SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- 3. PRIOR TO ANY EXCAVATION CONTRACTORS SHALL CALL THE TOLL FREE MISSOURI ONE CALL TELEPHONE NUMBER 1-800-344-7483. ALLOW 48 HOURS FOR LOCATIONS OTHER THAN EMERGENCY ASSISTANCE.

### SITE DEMOLITION

- 1. EXISTING UTILITIES TO REMAIN, WHICH ARE DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION, SHALL BE REPAIRED AND/OR REPLACED WITHOUT ADDITIONAL COMPENSATION. CONFLICTS WITH PROPOSED CONSTRUCTION AND UTILITIES TO REMAIN ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONSTRUCTION MANAGER FOR COORDINATION WITH THE OWNER'S REPRESENTATIVE, ENGINEER, AND UTILITY COMPANY.
- 2. NO DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL TAKE PLACE WITHIN PUBLIC RIGHT-OF-WAY UNTIL ALL PERMITS ARE SECURED.
- ALL PAVEMENT TO BE REMOVED SHALL BE SAWCUT FULL DEPTH.
- 4. CONTRACTOR SHALL EMPLOY ALL MEASURES NECESSARY DURING DEMOLITION TO CONTROL EROSION AND INSURE THAT SEDIMENT DOES NOT LEAVE THE SITE. TRACKING OF DIRT ONTO PUBLIC STREETS AND EXISTING PARKING LOT SHALL BE CLEANED IMMEDIATELY, AND ALL SEDIMENT AND EROSION CONTROL ITEMS SHALL BE INSTALLED PRIOR TO CLEARING AND DEMOLITION WORK.
- 5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND BECOMING FAMILIAR WITH ALL CONSTRUCTION DOCUMENTS.
- 6. ITEMS INDICATED TO BE REMOVED SHALL BE COMPLETELY REMOVED UNLESS INDICATED
- 7. ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND STORED IN A LOCATION DESIGNATED BY THE OWNER.
- 8. ALL TREES AND BRUSH INDICATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ROOT BALLS.
- 9. UNLESS OTHERWISE IDENTIFIED AND/OR NOTED ON THE DEMOLITION PLAN, CONTRACTOR SHALL FULLY DEMOLISH, REMOVE, AND LAWFULLY DISPOSE OF ALL EXISTING BUILDINGS, IMPROVEMENTS, AND RELATED APPURTENANCES AT THIS SITE AND PROPERTY. CONTRACTOR SHALL ALSO DEMOLISH, REMOVE, AND LAWFULLY DISPOSE OF EXISTING IMPROVEMENTS AND CONSTRUCTIONS IN THE PUBLIC RIGHT-OF-WAY NECESSARY TO ACCOMPLISH THE NEW PROJECT WORK DESCRIBED ELSEWHERE IN THESE BIDDING AND CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL PROCURE ALL NECESSARY PERMITS AND APPROVALS FOR SUCH DEMOLITION WORK (BOTH INSIDE THE PROPERTY LINE AND IN THE PUBLIC RIGHT-OF-WAY) PRIOR TO COMMENCING ANY DEMOLITION OPERATIONS.
- 10. CONTRACTOR SHALL FULLY PROTECT ALL SURROUNDING PROPERTIES FROM ANY AND ALL DAMAGE DURING DEMOLITION OPERATIONS; AND SHALL BE FULLY RESPONSIBLE FOR REPAIRING (TO A CONDITION ACCEPTABLE TO THE OWNER AND ARCHITECT) ANY AND ALL DAMAGE THAT DOES
- 11. CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROLS AND RELATED APPURTENANCES THAT ARE REQUIRED BY ANY APPLICABLE CODES AND ORDINANCES, DURING ALL DEMOLITION OPERATIONS.
- 12. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SAFETY AND SECURITY OF THE PROJECT SITE AND ITS SURROUNDINGS DURING DEMOLITION OPERATIONS.
- 13. ALL DEMOLISHED EXISTING MATERIALS, SYSTEMS, AND CONSTRUCTIONS SHALL BE DISPOSED OF IN A LAWFUL MANNER, AND WRITTEN RECORDS OF THE FINAL DESTINATION FOR THESE MATERIALS. SYSTEMS, AND CONSTRUCTIONS (INCLUDING ANY IDENTIFIED HAZARDOUS ITEMS) SHALL BE PROVIDED TO THE OWNER AND ENGINEER. ADDITIONALLY, SOME EXISTING MATERIALS AND SYSTEMS MAY NEED TO BE RECYCLED AND/OR OTHERWISE SALVAGED IN ORDER TO MEET THE SUSTAINABILITY AND LEED REQUIREMENTS OF THIS PROJECT. SEE OTHER PORTIONS OF THESE BIDDING AND CONSTRUCTION DOCUMENTS FOR SUCH REQUIREMENTS.
- 14. EXISTING SITE SHALL BE CLEANED ON A DAILY BASIS THROUGHOUT THE DURATION OF DEMOLITIONS OPERATIONS; AND NO DEBRIS OR PRODUCTS OF DEMOLITION SHALL BE ALLOWED TO ACCUMULATE OUTSIDE THE BOUNDARIES OF THE SITE.
- 15. CONTRACTOR SHALL FULLY COORDINATE ALL PROJECT DEMOLITION OPERATIONS, INCLUDING THE REMOVAL AND LAWFUL DISPOSAL OF ALL IDENTIFIED HAZARDOUS MATERIALS AND SYSTEMS.
- 16. CONTRACTOR SHALL SUBMIT A COMPLETE WRITTEN PLAN AND SCHEDULE FOR ALL PROPOSED DEMOLITION WORK TO OWNER AND ARCHITECT FOR REVIEW AND COMMENT, PRIOR TO BEGINNING ANY SUCH OPERATIONS. DURING THE COURSE OF THIS DEMOLITION WORK, IF ANY ARTIFACTS OR OTHER UNUSUAL ITEMS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY, BEFORE PROCEEDING ANY FURTHER. ANY EXPENSES RESULTING FROM THE FAILURE TO PROVIDE SUCH IMMEDIATE NOTIFICATION SHALL BE BORNE BY THE CONTRACTOR.

# SITE LAYOUT:

- 1. JOINTS IN SIDEWALK SHALL BE TOOLED AT 5' MAX. INTERVALS, UNLESS INDICATED OTHERWISE
- 2. NORTHING-EASTING COORDINATES AND DIMENSIONS FOR CURB AND GUTTER ARE TO FACE OF
- 3. CONTRACTOR SHALL COORDINATE ALL WORK WITHIN PUBLIC RIGHT-OF-WAY WITH THE APPROPRIATE PUBLIC AGENCY. NOTIFICATION SHALL OCCUR A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WORK WITHIN PUBLIC RIGHT-OF-WAY. ALL PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- 4. P.C. CONCRETE PAVEMENT AND SIDEWALKS SHALL BE CLASS PV AND CLASS SI, RESPECTIVELY, IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS.
- 5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND BECOMING FAMILIAR WITH ALL CONSTRUCTION DOCUMENTS.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DOOR LOCATIONS.
- 7. CONTRACTOR SHALL COORDINATE EQUIPMENT PADS WITH EQUIPMENT MANUFACTURERS.

# SITE GRADING AND EROSION CONTROL:

- ALL SUBGRADE EXCAVATION AND COMPACTION SHALL BE COMPLETED IN ACCORDANCE WITH THE "SOILS REPORT" PREPARED BY ECS MIDWEST, LLC. ENGINEERED STRUCTURAL FILLS SHALL BE INCLUDED IN OVERALL SITE DEVELOPMENT TO PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR THE FLOOR SLABS ON GRADE AND ADJOINING PAVEMENT AREAS. REFER TO THE GEOTECHNICAL REPORT FOR APPROVED FILL MATERIALS.
- 2. WHERE FIRM FOUNDATION MATERIAL IS NOT ENCOUNTERED AT THE GRADE ESTABLISHED, DUE TO UNSUITABLE SOIL, ALL SUCH UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH APPROVED COMPACTED GRANULAR MATERIAL.

- 3. TOPSOIL SHALL BE STRIPPED IN ALL STRUCTURAL FILL AREAS BEFORE PLACEMENT OF FILL MATERIAL AND SHALL BE STOCKPILED IN AREAS DESIGNATED BY THE OWNER OR PER PLAN.
- 4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM EARTHWORK CALCULATIONS BASED ON THE PROVIDED PLANS AND TO LAWFULLY DISPOSE OF AND REMOVE ANY EXCESS MATERIAL FROM THE PROJECT SITE, OR TO PROVIDE ANY NECESSARY FILL MATERIAL THAT MAY BE REQUIRED TO MEET THE FINAL PLAN GRADES. THE DISPOSAL OR PROVIDING OF MATERIAL SHALL BE INCIDENTAL TO THE CONTRACT.
- 5. ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "MISSOURI URBAN MANUAL."
- 6. THE OWNER/ENGINEER SHALL PROVIDE THE SOIL EROSION AND SEDIMENT CONTROL PLANS INCLUDED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN BOOKLET AND ASSOCIATED DOCUMENTS IN ACCORDANCE WITH THE "GENERAL NPDES PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES," AND A COPY SHALL BE KEPT ONSITE AT ALL TIMES.
- 7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION, ALL INSPECTIONS, AND MAINTENANCE OF ALL EROSION CONTROL FACILITIES REQUIRED BY THE GENERAL NPDES PERMIT UNTIL FINAL STABILIZATION OF ALL AREAS DISTURBED BY CONSTRUCTION OCCURS. MAINTENANCE AND REPLACEMENT OF EROSION CONTROL ITEMS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
- 8. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY MUST BE SEEDED, SODDED, BLANKETED OR OTHERWISE PROTECTED WITHIN 14 DAYS OF FINAL DISTURBANCE. ALL AREAS DISTURBED BY THE CONTRACTOR DURING THE CONSTRUCTION OF THIS PROJECT WHICH ARE LOCATED OUTSIDE OF THE PROPOSED SEEDING LIMITS SHALL BE GRADED TO DRAIN, FERTILIZED, SEEDED, MULCHED AND WATERED. THE COST ASSOCIATED WITH THE PLACEMENT OF ADDITIONAL FERTILIZER, SEED, MULCH AND WATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. A MINIMUM OF 70% VEGETATIVE COVERAGE IS REQUIRED PRIOR TO ACCEPTANCE. SEE LANDSCAPE PLANS FOR ADDITIONAL REQUIREMENTS.
- 9. ALL EROSION CONTROL MEASURES SHOWN ON THE PLAN ARE THE MINIMUM MEASURES REQUIRED. UNFORESEEN CHANGES IN SCOPE, SCHEDULE OR CONSTRUCTION METHODS MAY RESULT IN CHANGES OR ADDITIONS TO THIS PLAN AND THE SWPPP. ANY CHANGES OR ADDITIONS NECESSARY TO MAINTAIN COMPLIANCE WITH THE NPDES PERMIT SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER.
- 10. SHOULD PROJECT SCHEDULING PROHIBIT THE ABILITY TO SEED DISTURBED EARTH UPON COMPLETION OF GRADING, CONTRACTOR SHALL EMPLOY ALTERNATE SOURCE CONTROLS IN ADDITION TO THOSE ON THIS PLAN, INCIDENTAL TO THE CONTRACT
- 11. DUST CONTROL MUST BE PROVIDED AS NEEDED, BY WATERING OR OTHER MEANS.
- 12. ALL AREAS WITH THE EXCEPTION OF PAVEMENT SHALL BE FINISHED IN ACCORDANCE WITH THE LANDSCAPE PLANS INCLUDED IN THE PLAN SET.
- 13. CONTRACTOR SHALL INSTALL INLET FILTER PROTECTION BASKETS INSIDE ALL EXISTING AND PROPOSED MANHOLES AND INLET FRAMES.
- 14. CONTRACTOR IS REQUIRED TO PROVIDE AND USE A CONCRETE WASHOUT AREA FOR RINSING CONCRETE TRUCKS.
- 15. CONTRACTOR IS REQUIRED TO PROVIDE AND USE A TEMPORARY CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION TRAFFIC PER PLAN.
- CONTRACTOR SHALL PROVIDE AND USE A WHEEL WASH SYSTEM TO ENSURE THAT ALL CONSTRUCTION TRAFFIC ENTERING AND EXITING THE SITE MAINTAIN CLEAN TIRES. ANY SEDIMENT TRACKED ONTO ADJACENT ROADWAYS OR PAVED AREAS SHALL BE REMOVED BY THE CONTRACTOR BY THE END OF THE SAME WORK DAY.
- 17. ALL ELEVATIONS SHOWN ARE TO FINISHED PAVEMENT UNLESS SPECIFIED OTHERWISE.
- 18. ALL SLOPES GREATER THAN OR EQUAL TO 4:1 SHALL BE STABILIZED WITH NAG S75BN OR EQUIVALENT.
- 19. CONTRACTOR SHALL PROVIDE A MINIMUM OF 6" TOPSOIL IN ALL ISLANDS, LANDSCAPE AREAS, AND OPEN SPACES.

CURRENT EDITION.

- 1. THIS CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS: STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN MISSOURI",
- MISSOURI DEPARTMENT OF TRANSPORTATION (MODOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION"
- C. CITY OF CHESTERFIELD OFFICE OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS
- METROPOLITAN ST. LOUIS SEWER DISTRICT RULES AND REGULATIONS AND ENGINEERING DESIGN REQUIREMENTS FOR SANITARY SEWER AND STORMWATER DRAINAGE FACILITIES.
- 2. ALL UTILITY TRENCHES UNDER OR WITHIN 2' OF EXISTING OR PROPOSED PAVEMENT OR BUILDING SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH IDOT SPECIFICATIONS. CONTROLLED LOW-STRENGTH MATERIAL (CLSM) SHALL BE USED TO BACKFILL TRENCHES WITHIN PUBLIC RIGHT OF WAY. THE CLSM SHALL EXTEND 2 FT PAST THE PROPOSED PAVEMENT, CURB, OR SIDEWALK.
- 3. OPEN CUT TRENCHES SHALL BE SHEETED AND BRACED AS REQUIRED BY THE GOVERNING STATE, FEDERAL LAWS AND MUNICIPAL ORDINANCES, AND AS MAY BE NECESSARY TO PROTECT LIFE. PROPERTY OR THE WORK.
- 4. CONTRACTOR SHALL AT ALL TIMES DURING CONSTRUCTION PROVIDE AND MAINTAIN SUFFICIENT MEANS AND DEVICES TO REMOVE AND PROPERLY DISPOSE OF ALL WATER ENTERING THE EXCAVATIONS. WATER SHALL BE FILTERED AND DISCHARGED IN ACCORDANCE WITH THE NPDES
- 5. ALL PIPE SHALL BE INSTALLED ON A BEDDING OF APPROVED, COMPACTED GRANULAR MATERIAL UNLESS OTHERWISE APPROVED BY THE ENGINEER. THE BEDDING MATERIAL SHALL BE INSTALLED PER STANDARD SPECIFICATIONS AND PROVIDED PLAN DETAILS.
- 6. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL WATER MAINS AND SEWERS. IF SEPARATION IS NOT POSSIBLE, WATER MAIN ENCASEMENT SHALL BE REQUIRED OR THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- 7. WATER MAINS SHALL CROSS ABOVE SEWERS WITH A MINIMUM VERTICAL SEPARATION OF 18 INCHES WHILE STILL MAINTAINING THE REQUIRED DEPTH OF COVER. IF PROPER SEPARATION IS NOT POSSIBLE, OR IF THE WATER MAIN MUST BE ROUTED UNDER THE SEWER, WATER MAIN ENCASEMENT SHALL BE REQUIRED OR THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- 8. ALL SANITARY SEWERS SHALL BE TESTED FOR EXFILTRATION OF AIR UNDER PRESSURE, INFILTRATION OF WATER, AND/OR EXFILTRATION OF WATER AS PER STANDARD SPECIFICATIONS. ALL SANITARY SEWERS SHALL BE DEFLECTION TESTED NO SOONER THAN 30 DAYS AFTER INSTALLATION. ALL MANHOLES SHALL BE TESTED FOR WATERTIGHTNESS BY EITHER ASTM C 969 OR ASTM C 1244.
- STORM SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
  - A. REINFORCED CONCRETE PIPE (RCP), ASTM C76
  - a. GASKETS ASTM C443 b. FITTINGS - ASTM C443
  - SMOOTH INTERIOR WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE), ASTM F-2881 OR

# a. WATER TIGHT JOINTS

- b. JOINT SHALL BE SEALED SUFFICIENTLY TO PREVENT JETTING OR LEAKING AT THE JOINT
- C. PVC STORM SEWER PIPING, ASTM D 3034, SDR 35 a. BELL-AND-SPIGOT ENDS
- b. ASTM F 477, ELASTOMERIC SEALS FOR GASKETED JOINTS
- a. TYPE 1 CLOSED LID = NEENAH R-1713

D. FRAME AND GRATES

b. TYPE 1 OPEN LID = NEENAH R-2504

- c. TYPE 3 = NEENAH R-3281-A
- d. DITCH GRATE = NEENAH R-4342
- 10. SANITARY SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
  - A. PIPE AND FITTING MATERIAL POLYVINYL CHLORIDE (PVC) SDR 26, ASTM D 3034, TYPE PSM
  - B. GASKETS FLEXIBLE ELASTOMERIC, ASTM F 477, ASTM D 3139
- C. JOINTS ASTM D 3212
- BEDDING CLASS II, ASTM 2321

DEPARTMENT OF PUBLIC WORKS.

- 11. ALL CLEANOUT RIMS SHALL BE CONSTRUCTED FLUSH WITH THE FINISHED GROUND SURFACE. 12. CONTRACTOR SHALL COORDINATE CONSTRUCTION OF SANITARY SEWER SERVICES WITH THE
- 13. CONTRACTOR SHALL COORDINATE WATER MAIN, FIRE AND DOMESTIC WATER SERVICES WITH THE DEPARTMENT OF PUBLIC WORKS.
- 14. GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY LINES THAT ENTER THE BUILDING. IN GENERAL, PLUMBING PLANS SHOW ALL INTERIOR BUILDING PIPING AND PIPING UP TO 5-FEET OUTSIDE THE BUILDING. CIVIL PLANS SHOW SITE PIPING BEGINNING FROM 5-FEET OUTSIDE THE
- BUILDING. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTIONS. 15. CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE
- 16. ALL TRENCH BACKFILL SHALL BE IMPORTED GRANULAR MATERIAL UNLESS EXISTING GRANULAR MATERIALS ARE SPECIFICALLY APPROVED BY THE OWNER'S REPRESENTATIVE.
- 17. ALL MANHOLES AND INLET CASTINGS LOCATED WITHIN BITUMINOUS ASPHALT PAVEMENT SHALL BE CONSTRUCTED WITH A CONCRETE COLLAR AT THE SURFACE.
- 18. FOR ALL WATERMAIN CONSTRUCTION:

PRECEDENCE OVER PRESSURIZED LINES.

- WATER MAIN AND SERVICES TO BE INSTALLED WITH A MINIMUM OF 5'-6" OF COVER FROM FINISHED GRADE TO TOP OF WATER PIPE.
- TWO COMPLETE PIPE LENGTHS OF RESTRAINED JOINT PIPE SHALL BE CONSTRUCTED ON THE BRANCH LEG OF ALL TEES AND BOTH SIDES OF ALL 90 DEGREE BENDS.
- C. ONE COMPLETE PIPE LENGTH OF RESTRAINED JOINT PIPE SHALL BE CONSTRUCTED ON BOTH SIDES OF ALL 11-1/4 AND 22-1/2 DEGREE BENDS.
- D. ALL BENDS, TEES, PLUGS, VALVES AND HYDRANTS SHALL BE RESTRAINED JOINT.
- ALL WATER MAIN PIPE 4" AND LARGER SHALL BE POLY WRAPPED DUCTILE IRON PIPE SPECIAL CLASS 52, 250 PSI RATING, WITH SINGLE GASKET JOINTS. CEMENT LINING SHALL BE PROVIDED
- F. ALL WATER SERVICE PIPE LESS THAN 4" SHALL BE COPPER PIPE, TYPE K OR PVC SDR 9 WITH A PRESSURE RATING OF 200 PSI.

### **INDEMNIFICATION:**

1. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, THE CITY OF CHESTERFIELD, AND CAGE ENGINEERING, INC. FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE CONTRACTOR'S WORK. IN ANY AND ALL CLAIMS AGAINST THE OWNER OR CAGE ENGINEERING, INC. BY ANY EMPLOYEE OF THE CONTRACTOR, OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE CONTRACTOR, OR ANYONE FOR WHOSE ACTS THE CONTRACTOR MAY BE LIABLE, THE INDEMNIFICATION OBLIGATION SHALL NOT BE LIMITED IN ANY WAY BY ANY LIMITATION ON THE AMOUNT OF DAMAGES, COMPENSATION OR BENEFITS PAYABLE BY OR FOR THE CONTRACTOR UNDER WORKER'S COMPENSATIONS ACTS, DISABILITY BENEFIT ACTS OR OTHER EMPLOYEE BENEFIT ACTS.

### CONSTRUCTION MEANS, METHODS, SAFETY

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING OSHA STANDARDS AND WITH ANY OTHER APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS. THE CONTRACTOR SHALL PROVIDE ALL SAFEGUARDS, SAFETY DEVICES AND PROTECTIVE EQUIPMENT AND SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS UTILIZED BY THE CONTRACTOR AND HIS SUB-CONTRACTORS IN THE PERFORMANCE OF THEIR WORK AND SHALL TAKE ANY OTHER ACTIONS NECESSARY TO PROTECT THE LIFE AN HEALTH OF EMPLOYEES ON THE JOB AND THE SAFETY OF THE PUBLIC AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES, EQUIPMENT, AND FOR SAFETY PRECAUTIONS OR PROGRAMS, UNLESS SUCH MEANS AND EQUIPMENT ARE SPECIFIED IN THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH SECTION 108.06 LABOR, METHODS, AND EQUIPMENT OF THE "STANDARD SPECIFICATIONS."



REVISIONS /

NUMBER

PE-2023009560

SIGN AND THESE DRAWINGS ARE THE PROPERT NGINEERING, INC. NO PART OF THIS WORK MAY DUCED WITHOUT PRIOR WRITTEN PERMISSION F

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ROJ NO: 230327 NG : KHH/JGN

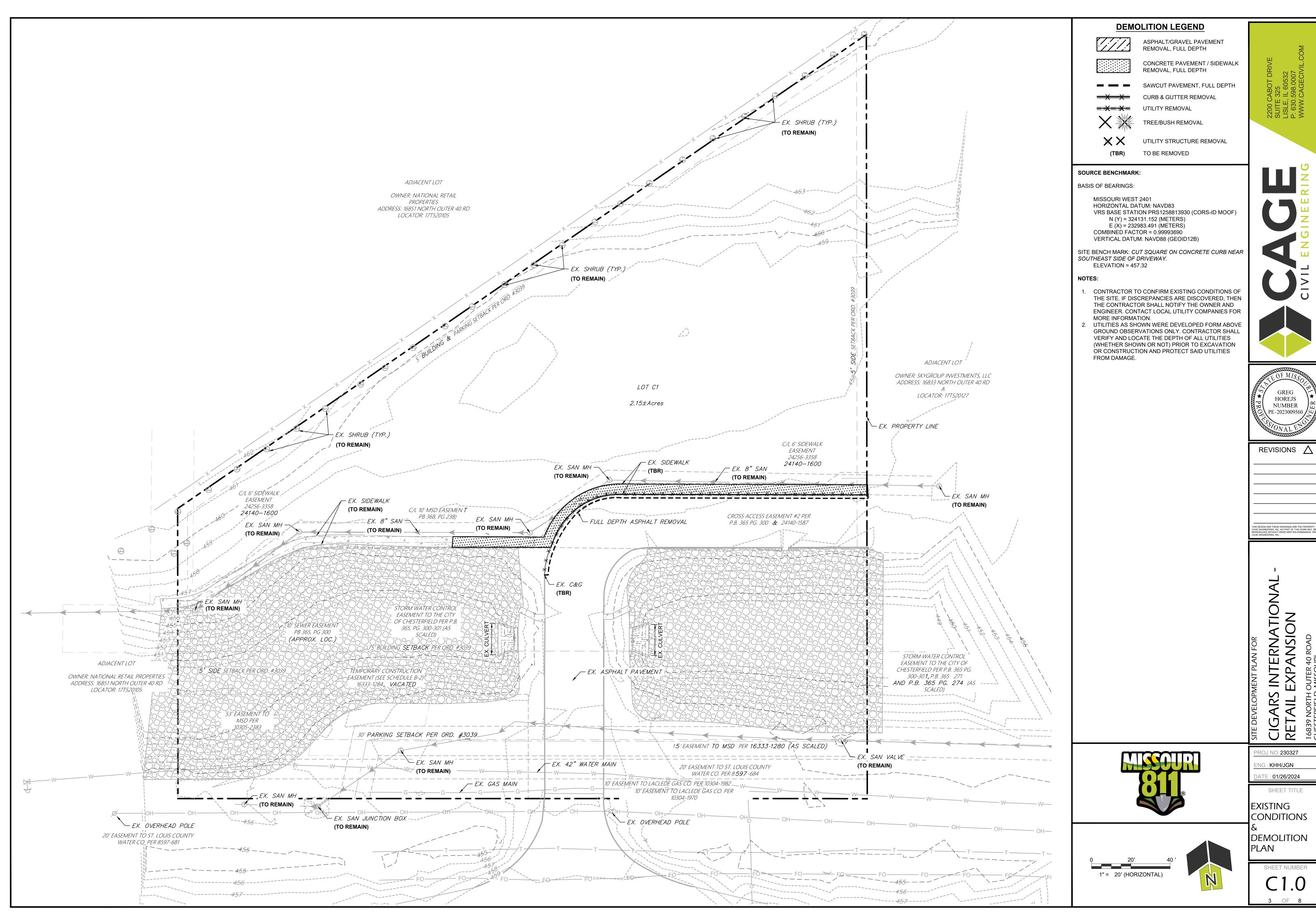
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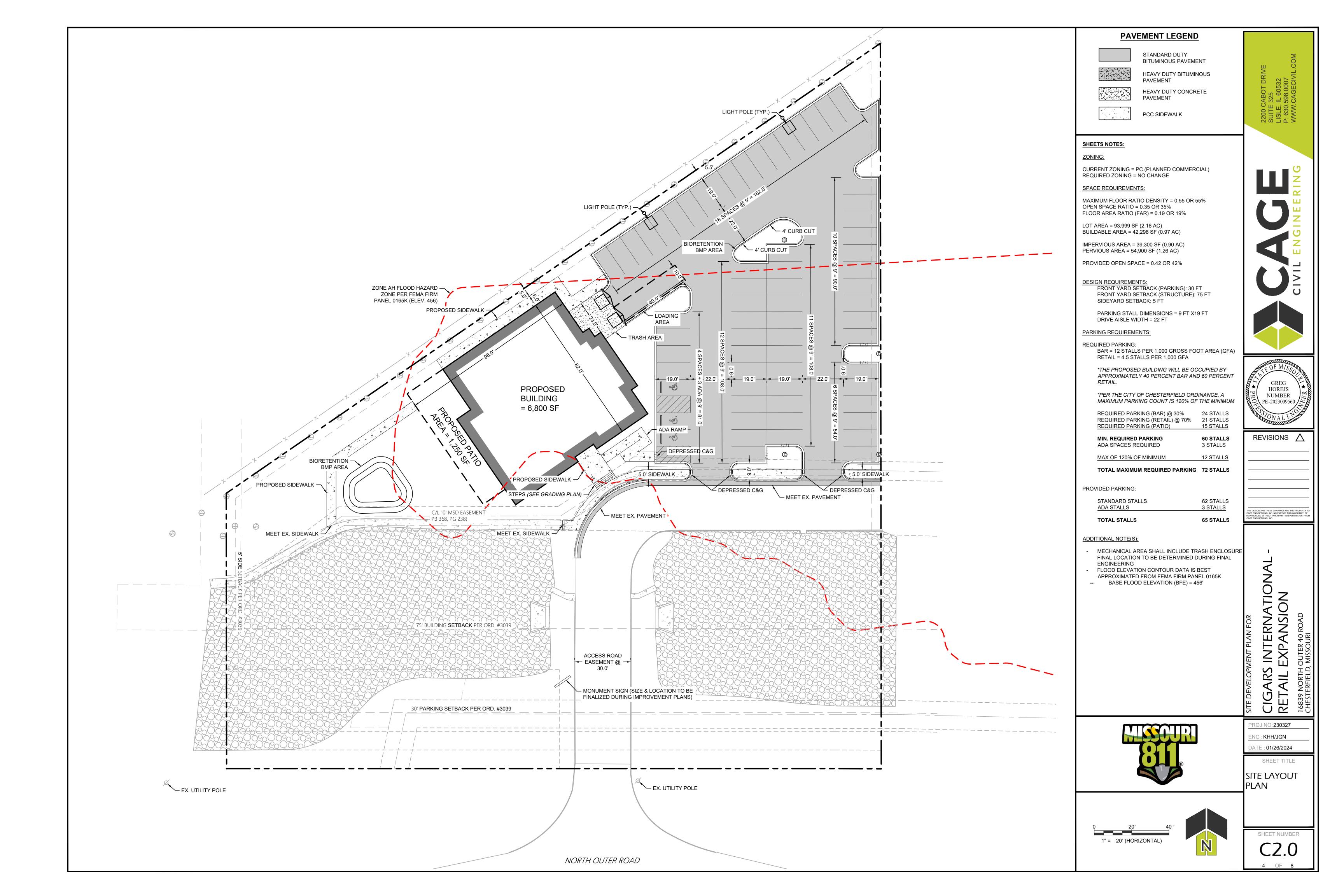
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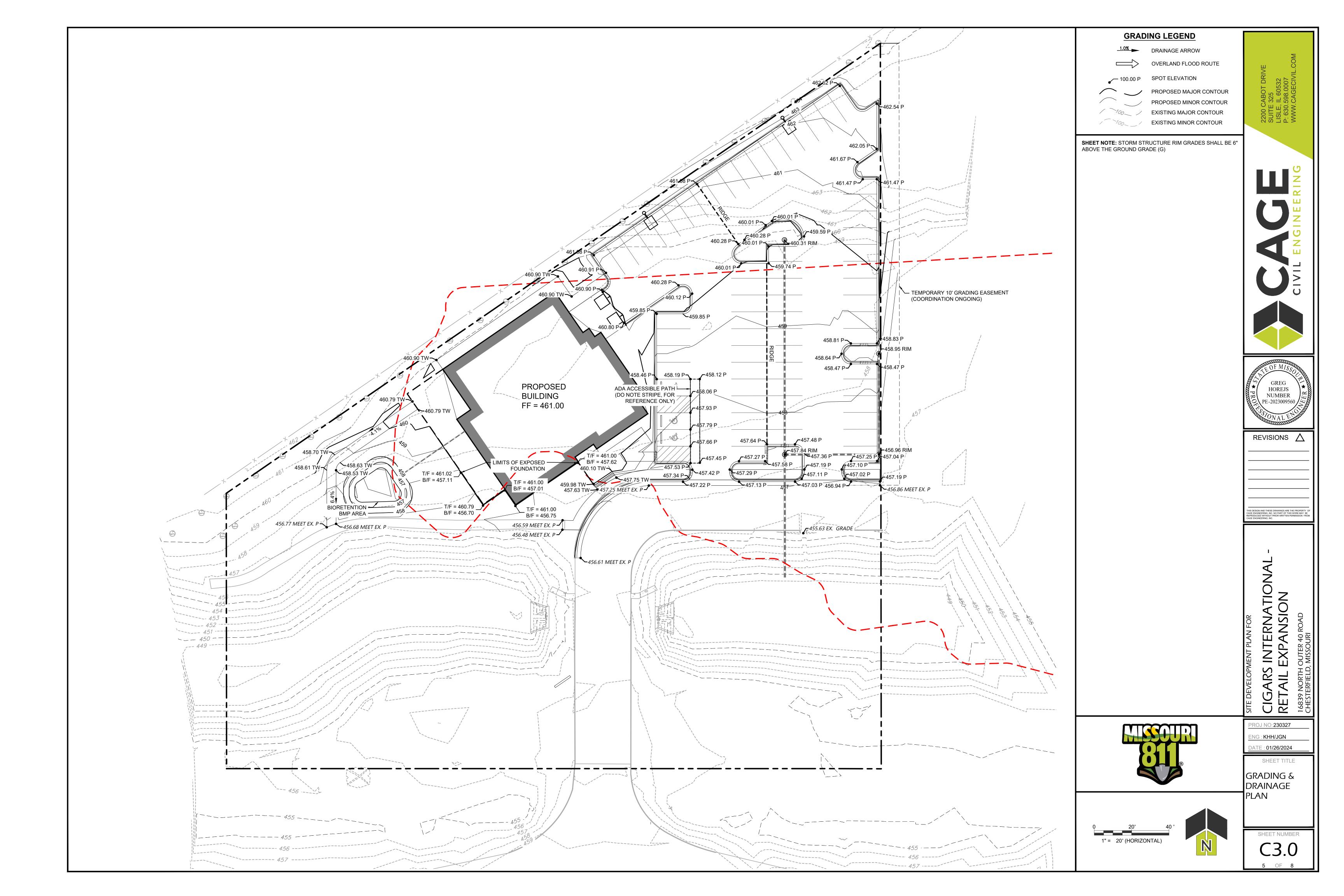
**GENERAL NOTES &** SPECIFICATIONS

SHEET NUMBER

2 OF 8

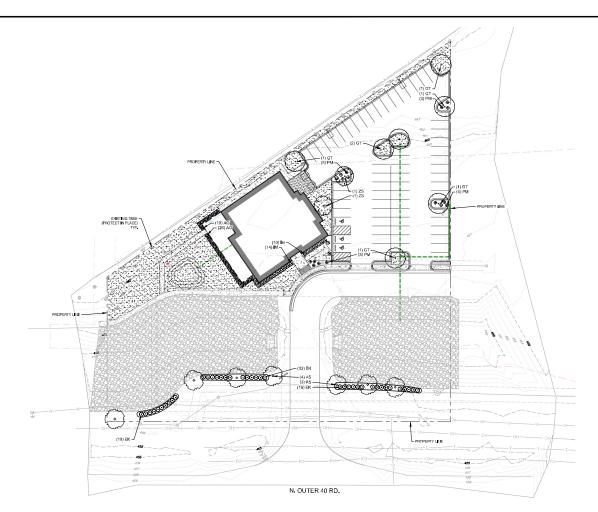














Scale 1" = 30'

### PLANT\_SCHEDULE

TREES	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	<u>QTY</u>
$\odot$	AS	Legacy Surgar Maple / Acer saccharum Legacy Min. 10 Tall	B&B	2.5" Call	7
$(\cdot)$	GT	Skylino Honoy Locust / Min. 10 Tall Gleditsia triacanthos var, inermis Skyco	B&B	2.5" Ca	7
(;)	ZS	Village Green Zelkova / Zelkova serrata Village Green Min. 10 Tall	B&B	2.5" Cal	2
SHRUBS	CODE	COMMON / BOTANICAL NAME	SIZE		QTY
<del>()</del>	AG	Kaloidoscopo Abolia / Abolia × grandiflora Kaloidoscopo	3 ga		36
⊙	EK	Manhattan Euonymus / Euonymus kiautschovicus Manhatt	3 gal		39
0	м	Little Rascal Holly / llex x meservese 'Mondo'	3 gal		24
© ⊕	M PM	Little Rascal Holly / Ilax x meservese 'Mondo'  Mugo Pine / Pinus mugo	3 gall 3 gall		24 17
-		,,	-		

DECOMPOSED GRANITE, 3" THICK LAYER COMPACTED OVER LANDSCAPE FABRIC (ANY APPROVED)

### LANDSCAPE CALCULATIONS

LOT AREA: ZONING: 93,999 SF (2.16 AC) PC - (PLANNED COMMERCIAL DISTRICT)

STREET TREE LANDSCAPING: N. OUTER 49 RD. - 350 LF TREES @ 1/50 LF:

7 TREES REQUIRED 7 TREES PROVIDED

PARKING LOT & TREE ISLAND LANDSCAPING:
1 TREE PER ISLAND: PROVIDED
ALL PARKING SPACES WITHIN 50' OF TREE: PROVIDED

### GENERAL PLANTING NOTES

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TE DEVELOPMENT PLAN FOR OUTER CIGARS IN - RETAIL

PROJ NO:230327 ENG:KHH/JGN

DATE: 01/26/2024

LANDSCAPE PLANTING

SHEET NUMBER LP-1

EVERGREEN

### ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL
NEWLY-AANTED TREES THAT ARE LOCATED WITHIN 179E (6) PEET DR
NEWLY-AANTED TREES THAT ARE LOCATED WITHIN 179E (6) PEET DR
PROPER PORTS OF EACH AND THE PROPERTY OF THE PROPE

### MULCHES

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### PRODUCTS

- PROBLETS

  A. ALL MANEACTIMED PRODUCTS BMAL, SE NEW.

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### METHODS

- A. SQL REPUBLISH.

  B. SQL REPUBL

  - NOTOTILING ATTRICKOSS PIPPING.
    INTROCEN STABILIZED ORDANIC AMENDMENT 4 CU. YDS. PER 1,000 S.F.
    PREPLANT TURY PERTILIZER (15-26 3 OR SMILAR), SLOW RELIASE, ORGANICI 15 LBS PER 1,000

- BORDITALS
   THE CONTROLL OF MAJE PROVIDE BOUNTAIS FOR MARKET, IT PRODUCES TO THE LAYDONE ACCOUNTED TO A SIGNATURE OF THE CONTROLL OF THE CONTROL OF THE CONTROLL OF THE CONTROL OF THE CONTROLL OF THE CONTROL O

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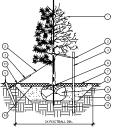
- CH INSTALL MUICH TOPIXIESSING, TIPE AND DEPTH PER MUICH NOTE, IN ALL PLANTING AREAS AND "TREI RINGS.

  TREI RINGS.

  DO NOT INSTALL MUICH WITH IN FOR THEE ROOT FLARE AND WITHIN 2" OF HART FABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MUICH COVER WITHIN 5" OF CONCRETE WALKS AND
- CURBS SIMUL NOT PROTEUDE ABOVE THE METANS. MILLIA COVER WITHIN 8' OF CONCRETE WALLS A' CURBS SIMUL NOT PROTEUDE ABOVE THE PRINCE OF THE WALLS AND CURBS, MULCII COVER WITHIN 12' OF WALLS SHALL BE AT LEAST 5' LOWER THAN THE TOP OF WALLS.

- COURSE SHALL NOT PROFESSION CAN ASSESS THE PRIMITS SHORT OF THE TAY OF ANY CANNEL MACKING COURSE AND COURSE AN

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TREE PLANTING

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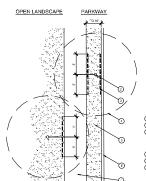
2 CINCH TIES (24" BOX2" CAL TREES AND SMALLER) OR 12 GAUGE QALVANDED WHIRE WITH NYLON "REE STRUPS AT THEE YARD STAKE (95" BOX2.5" CAL THEES AND LARCER). SECURE TIES OR STRUT TO TRUNK JUST ABOVE LOWEST MAJOR DRANCHES. 3 24" X SW" P.V.C. MARKERS OVER WIRES. G ÆEN STEEL T+POSTS, EXTEND POSTS 17 MN. INTO UNDISTURBED SOL. (5) PRESSURE TREATED WOOD DEADMAN, TWO PER TREE (MIN.), BURY QUITSIDE OF PLANTING PIT AND '8" MIN, INTO UND B"URBED SOIL.

- (6) TRUNKFLARE.
- MULCH, TYPE AND DEPTH PER PLANS, DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINELIGHADE
- ROOT BALL. (0) BACKFELL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS
- 11 UNDISTURBED NATIVE SOIL. (1) 4" HIGH EARTHEN WATERING BASIN.
- (13) FINISH GRADE.
- WITH THE STATE OF THE STATE OF



SI NUS PERENNAL OR ORNAMENTAL GRASS. WILCH, TYPE AND DEPTH PER PLANS, PLACE NO WORE THAN I' OF MILCH WITHIN 5' OF PLANT CENTER.

- (1) FINISH GRADE. ☐ ROOT BALL.
- BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- (c) UNDISTURBED NATIVE BOL. (7) I' HIGH EARTHEN WATERING DASIN.
- (8) WEED FABRIC UNDER MULC I.



ROOT BARRIER - PLAN VIEW

В

B SHRUB AND PERENNIAL PLANTING

TYTICAL WALKWAY OR PAVING
TREE TRUNK
THE TRUNK
TYPICAL SYMBOL FOR LINEAR ROOT
BRABER MATERIAL. SEE PLATING
NOTES FOR TYPE AND MANUFACTURE
NOTAL IDEN MANUFACTURENCY
S'ECPICATIONS.

THEE CANOPY

TYPICAL PLANTING AREA (6) TYPICAL CURB AND GUTTER

DATE: 05/23/2024



REVISIONS A

GARS INTERNATIONAL RETAIL EXPANSION ROAD DEVELOPMENT PLAN \$₹ OUTER NORTH RFIELD.

ŌΙ PROJ NO:230327 ENG:KIHH/JGN DATE: 01/26/2024

LANDSCAPE DETAILS & SPECIFICATION

SHEET NUMBER

LP-2

REVISIONS  $\triangle$ 

SINTERNATIC

CIGARS RETAIL

PROJ NO: 230327

DATE: 06/04/2024

SHEET TITLE

SITE LIGHTING PHOTOMETRIC

ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW. TO BE PHOTOCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND

LIGHTING STANDARDS

# LIGHTING CALCULATION STATISTICS SUMMARY:

	<u>AVERAGE</u>	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
OVERALL SITE:	1.0fc	8.0fc	0.0fc	NA	NA
PARKING AREAS:	2.8fc	8.0fc	0.5fc	16:1	5.6:1

— PROPERTY LINE

 $0.0_{+}$   $0.0_{+}$   $0.0_{+}$ 

 $_{+}0.0$   $_{+}0.0$   $_{+}0.0$ 

 $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$ 

+0.1 +0.1 +0.1 +0.1 +0.1 +0.0 +0.0 +0.0

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+0.1 +0.2 +0.2 +0.3 +0.4 +0.5 +0.4 +0.3 +0.2 +0.1

+0.1 +0.1 +0.2 +0.3 +0.4 +0.7 +0.9 +1.1 \*1.1 +0.8 +0.4 +0.2 +0.1

+0.0 +0.1 +0.1 +0.2 +0.5 +0.9 +0.3 +0.9 \*3.2 \*1.9 \*1.0 +0.2 +0.1

\_0.1 \_0.1 \_0.1 \_0.2 \_0.3 \_0.5 \_0.9 \_1.6 \_3 \_1.2 \_6.8 \_s5.1 \_s2.6 \_s1.2 \_s05 \_0.2 \_0.1

0.1 <sub>+</sub>0.1 <sub>+</sub>0.2 <sub>+</sub>0.2 <sub>+</sub>0.3 <sub>+</sub>0.4 <sub>+</sub>0.5 <sub>+</sub>0.9 <sub>\*</sub>1.3 <sub>\*</sub>3.1 <sub>\*</sub>5.4 <sub>\*</sub>6.2 <sub>\*</sub>4.1 <sub>\*</sub>2.3 <sub>\*</sub>1.1 <sub>\*</sub>0.5 <sub>+</sub>0.2 <sub>+</sub>0.0

0.1 \_0.1 \_0.2 \_0.2 \_0.3 \_0.5 \_0.7 \_0.8 \_0.9 \_x1.0 \_x1.3 \_x2.0 \_x3.3 \_x3.7 \_x2.6 \_x1.8 \_x0.9 \_x0.1 \_0.0

 $_{+}1.1$   $_{+}0.8$   $_{+}10$   $_{+}14$   $_{-}2.0$   $_{-}3.0$   $_{-}6.5$   $_{-}4.0$   $_{-}2.0$   $_{-}10$   $_{-}1.0$   $_{-}1.8$   $_{-}2.3$   $_{-}2.3$   $_{-}1.6$   $_{-}0.2$   $_{-}0.1$ 

1.0 2.4 2.9 2.8 2.4 1.7 0.9 0.7 1.5 2.6 4.7 5.9 1.8 0.3 0.2

 $0.4 + 1.4 = 3.3 \times 3.2 \times 2.1 \times 1.5 \times 1.6 \times 2.6 \times 4.2 \times 4.4 \times 4.7 \times 4.1 \times 3.0 \times 1.5 = 0.5 + 0.2 \times 0.1$ 

 $0.0_{+}$   $0.0_{+}$   $0.0_{+}$   $0.0_{+}$   $0.0_{+}$   $0.0_{+}$   $0.0_{+}$   $0.0_{+}$   $0.0_{+}$   $0.0_{+}$   $0.0_{+}$   $0.0_{+}$ 

 $0.0_{+}$   $0.0_{+}$   $0.0_{+}$ 

RA2.60 2.1 1.0 1.1 1.6 1.5 1.1 1.1 2.0 3.8 6.8 4.8 6.8 5.3 3.0 1.6 0.4 0.1 0.1

 $\downarrow 0.0 \quad \downarrow 0.1 \quad \downarrow 0.2 \quad \downarrow 0.3 \quad \downarrow 0.4 \quad \downarrow 0.5 \quad \downarrow 0.8 \quad \star \quad 2 \quad \star 1.9 \quad \star 4.0 \quad \star 3.4 \quad \star 1.9 \quad \star 1.3 \quad \star 1.0 \quad \star 1.2 \quad \star 1.9 \quad \star 4.0 \quad \star 2.9 \quad \star 1.8 \quad \star 0.9 \quad \downarrow 0.2 \quad \downarrow 0.0 \quad \downarrow 0.0 \quad \downarrow 0.0 \quad \star 1.2 \quad \star 1.9 \quad \star 1.0 \quad \star 1.2 \quad \star 1.9 \quad \star 1.0 \quad \star 1.2 \quad \star 1.9 \quad \star 1.0 \quad \star 1.2 \quad \star 1.9 \quad \star 1.0 \quad \star 1.2 \quad \star 1.9 \quad \star 1.0 \quad \star 1.2 \quad \star 1.9 \quad \star 1.0 \quad \star 1.$ 

0.0 0.0 0.1 0.1 0.3 0.5 0.6 0.7 0.8 1.4 2.4 6.4 7.0 4.4 2.5 1.5 1.0 1.1 18 6.2 4.3 2.0 1.1 0.1 0.0 0.0 0.0

 $\downarrow 0.0 \quad \downarrow 0.1 \quad \downarrow 0.1 \quad \downarrow 0.2 \quad \downarrow 0.5 \quad \downarrow 0.7 \quad \downarrow 0.6 \quad \downarrow 0.4 \quad \downarrow 0.8 \quad \downarrow 0.4 \quad \downarrow 0.8 \quad \downarrow 1.2 \quad \downarrow 0.9 \quad \downarrow 0.8 \quad \downarrow 0.8 \quad \downarrow 1.2 \quad \downarrow 2.1 \quad \downarrow 3.5 \quad \downarrow 4.5 \quad \downarrow 4.8 \quad \downarrow 4.8 \quad \downarrow 4.8 \quad \downarrow 4.3 \quad \downarrow 3.9 \quad \downarrow 2.8 \quad \downarrow 1.7 \quad \downarrow 0.8 \quad \downarrow 0.1 \quad \downarrow 0.0 \quad \downarrow 0.$ 

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 $\downarrow$ 0.0  $\downarrow$ 0.0

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 $_{\downarrow}0.0$   $_{\downarrow}$ 

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 $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.1$   $_{+}0.2$   $_{+}0.5$   $_{+}0.8$   $_{+}0.8$   $_{+}0.8$   $_{+}0.8$   $_{+}0.4$   $_{+}0.1$   $_{+}0.0$   $_{+}$ 

 $_{+}0.0$   $_{+}0.1$   $_{+}0.2$   $_{+}0.3$   $_{+}0.4$   $_{+}0.4$   $_{+}0.3$   $_{+}0.2$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$   $_{+}0.0$ 

# SITE LIGHTING PHOTOMETRIC

SCALE: 1" = 30'-0"

PHOTOMETRY PLAN GENERAL NOTES:

1. VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE. 2. SITE LIGHTING DESIGN HAS BEEN COMPLETED TO

PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.

3. ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.

4. THERE WILL BE NO OFF-SITE GLARE ALLOWED.

VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF CHESTERFIELD EXTERIOR

	<u>AVERAGE</u>	MAXIMUM	MINIMUM	MAX/MIN	AVG
OVERALL SITE:	1.0fc	8.0fc	0.0fc	NA	N
PARKING AREAS:	2.8fc	8.0fc	0.5fc	16:1	5.6

STUDIO LIGHTNING 63 SUNSET DR. **BAILEY, CO 80421** 

303.242.1572

SHEET NUMBER

FEATURES	
APPLICATIONS	Indoor and Outdoor
LAMP	LED Lamp (Included)
LED LAMP LIFE	20,000 Hours
LENGTH	Built to Order
FINISH	Black
FEED	Standard 6' Power Lead
STRAIN RELIEF	Cable (Included, Not for Mounting)
MOUNTING	Mounting Aircraft Cable (Sold Separately)
LISTING	Dry or Wet Location ANSI/UL1598, CSA 22.2 No. 250.0-04, 2nd Edition UL2108, CSA C22.2#9
OPTIONS	Mesh, Canopies, or Cages
JV RATING	Sun Light Resistance
INSTALLATION	Link to Installation Instructions
ELECTRICAL	
DIMMING	Forward Phase
MAXIMUM RUN	250' Without Canopies, 100' With Canopies
VOLTAGE	120V

			Canopy M		Canopy	MH	
OPTIONS	Mesh, Canopies, or Cages		(ML2000-CM)			00-CMH)	
UV RATING	Sun Light Resistar	nce	ACCECCODU	<b>C</b> (2.11.2			
INSTALLATIO	Link to Installation	Instructions	ACCESSORII	Sold Sep	arately)		
ELECTRICAL				<b>6</b>			
DIMMING	Forward Phase			<b>*</b>			
MAXIMUM RU	JN 250' Without Cano	pies, 100' With Canopies	6				
VOLTAGE	120V		Power Plug			End (	an .
SYSTEM	20 Amps (12 Gauge	e Wire)	(ML2000-PP)				2000-EC)
WATTS	1W or 3W Lamps						
LAMP SPECII	FICATIONS		SERIES	SPACING	LAMP		DIMMING
LAMP NUMBER	CORRELATED COLOR TEMPERATURE	COMPATIBLE SHAPES		-	-		-
2.4K	2400K Incandescent White	GSFL	ML2000	12" O/C (12")	2.7K-GSF	5.0K-GSFL	Forward Phase
2.7K	2700K Warm White	GSF, GSFL, SSF, SSC	ML2000-CA*1	18" O/C (18")	5.0K-GSF	2.7K-SSF	(DM)
3.0K	3000K Warm White	GSFL	ML2000-CACA*1	24" O/C (24")	A-GSF	5.0K-SSF	_ Leave Blank
			ML2000-CAH*1	36" O/C (36")	R-GSF	2.7K-SSC	for Non-Dimming
5.0K	5000K Cool White	GSF, GSFL, SSF, SSC	ML2000-CB*1	48" O/C (48")	G-GSF	5.0K-SSC	
A	Amber	SSC, GSF	ML2000-CC*1	60" O/C (60")	B-GSF	A-SSC	
R	Red	SSC, GSF	ML2000-CCCA*1		2.4K-GSFL	R-SSC	
G	Green	SSC, GSF	ML2000-CM*1		2.7K-GSFL	G-SSC	
В	Blue	SSC, GSF	ML2000-CMH*1		3.0K-GSFL	B-SSC	
			MI 2000-CW*1				

### DESCRIPTION

ML2000 | STRING LIGHTS

The Entri LED luminaire features a classic and stylish design with the added benefits of solid state lighting technology, offering outstanding proprietary LED LightSquare technology and AccuLED Optics™ system, the Entri LED luminaire offers designers vast versatility in system design, function and performance. Use Entri LED for wall mount architectural lighting applications and egress lighting requirements. UL/cUL listed for

zinc-plated, quick-mount junction

box plate that mounts directly to

4" J-Box. LightSquare mounts

facing downward. Fixture slides

Mounting plate features a one-

over mounting plate and is secured

with two stainless steel fasteners.

piece EPDM gasket on back side

wall surface, forbidding entry of

moisture and particulates. Optional

mounting arrangements utilize a

surface conduit and trough branch

die-cast mounting adaptor box

to allow for LED battery pack,

of plate to firmly seal fixture to

SPECIFICATION FEATURES				
Construction				
HOUSING: Heavy wall, one-piece,				
die-cast aluminum construction				
for precise tolerance control and				
repeatability in manufacturing.				
Integral extruded aluminum heat				
sink provides superior thermal				
heat transfer in +40°C ambient				
environments. FACEPLATE / DOOR:				

One-piece, die-cast aluminum construction. Captive, side hinged faceplate swings open via release of one flush mount diecast aluminum latch on housing side panel. GASKET: One-piece molded silicone gasket mates perfectly between the door and housing for repeatable seal. LENS: Uplight lens is impact-resistant, 5/32" thick tempered frosted glass pead silicone gasket. Downlight lens is an LED LightSquare with integral optics sealed for IP66

distributions. Optics are precisely

output, maximizing efficiency and

designed to shape the light

Optics technology creates

fixtures on all sides.

Housing

Plaster Frame

SPECIFICATION FEATURES

Housing is secured in plaster

The housing can be adjusted in

from the plaster frame to provide

· The housing can be removed

access to the junction box.

Positioned to accommodate

Seven conduit knockouts are

uniform 1/2" size with true

sheathed cable installation.

Three quick connect wire

connectors included.

straight conduit runs.

frame with spring barbs.

the plaster frame.

Junction Box

pry-out slots.

application spacing. AccuLED

servicing.

universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less Finish sealed to housing with continuous than 20% harmonic distortion, and Housing is finished in five-stage is suitable for operation in -40°C to 40°C ambient environments and optional 50C construction rating. HARDWARE: Stainless available. All fixtures are shipped steel mounting screws and latch hardware allow access to electrical components for installation and Choice of 9 patented, high efficiency AccuLED Optics™

standard with 10kV/10kA common - and differential - mode surge protection. LightSquare feature an IP66 enclosure rating and maintain greater than 98% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments, WaveLinx™, occupancy sensor, and dimming

scalability to meet customized

application requirements. CRI

2700K, 3000K, 3500K, 4000K,

LED drivers mount to die-cast

aluminum back housing for

optimal heat sinking, operation

Standard drivers feature electronic

efficacy, and prolonged life.

MacAdam ellipse.

Electrical

5000K, and 5700K with minimum

70CRI and 2700K and 3000K with

minimum 80CRI all within 5-step

wiring. The Entri LED luminaire combustible surfaces. super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightSquare cover plates are standard white and may be specified to match finish colors include black bronze grev white, dark platinum and graphite

Architectural Colors brochure for a complete selection. Five-year warranty.



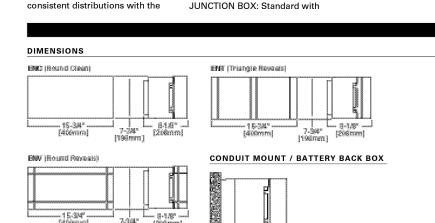
Invue

Туре

Date

Solid State LED ARCHITECTURAL WALL

ENTRI LED







HIPPING DATA Approximate Net Weight: 15.2 lbs. (6.9 kgs.) - Without backbox 29.1 lbs. (13.2 kgs.) - With backbox

September 1, 2022 1:41 PM



Die-formed CRS with powder coat Bar Hanger features include:

Pre-installed nail.

spacing.

• Four pry-outs with integral strain brass screw shell provides flexibility

relief simplify "NM" non-metallic in lamp positioning.

Mini leveling foot aligns the

point within 24" joist spans

Score lines allow tool-free

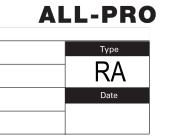
90° on plaster frame

shortening for narrow joist

Adjustable position bracket with

porcelain socket and nickel plated

### The ET400ATSB is a Non-IC, AIR-TITE™ housing designed for use with small aperture trims. The shallow height allows it to be used in spaces where vertical height is limited. For use in non-insulated ceilings. If ceiling insulation is present, it must be kept 3" from the



# A QSSI COMPANY AREA, WALL & FLOOD

ML2000-CW\*1

CALIFORNIA ACCENT LIGHTING, INC.
2820 E. Gretta Lane, Anaheim, CA 92806
ph. 800.921.CALI (2254) | fx. 714.535.7902 | info@calilighting.com | calilighting.com

\*1 Standard Canopy Inside / Outside Finish is Black (BK). See individual submittal for other finish options.



Width (D)

Length (B)

Height (A) 4" (102mm)

15¾" (400mm)

22" (559mm)

Kitty Hawk Arm (KA): 27½" (699mm) Length with Mounting Arm Adaptor (MA): 26%" (664mm)

Yoke (Y): 26%" (667mm)

Wall Mount Bracket (WM): 231/4" (605mm)

PENICO Lighting Products 150 Pemco Way-Wilmington, DE 19804 Phone 302.892.9000 www.pemcolighting.com info@pemcolighting.com

LIGHTING PRODUCTS

CALIFORNIA ACCENT LIGHTING, INC.



**EXPANDED Wattages OPTIMIZED** OPTICS Auto Dealership Rotated Optics

EAGLE 45

The Pemco EG45Q LED area, site, wall and flood luminaire combines optical performance, energy efficiency and long term reliability using a market proven contemporary design. Utilizing the latest LED technology, the EG45Q luminaire delivers unparalleled uniformity resulting in greater pole spacing. The fixture is available in multiple wattages with a wide choice of mounting configurations and optical distributions to serve the needs of lighting designers for varying project light level requirements. Applications include general area, parking, flood, security, and accent lighting for retail centers, automotive dealerships, industrial parks, schools and universities, public transit and airports, office buildings and medical facilities.

**Specifications and Features: Housing:**Die Cast Aluminum Housing and Front Frame, Integral Heat Sinking and Driver

Compartment. Photocell Adaptable. Nickel-Plated Stainless Steel Hardware. Listing & Ratings: CSA: Listed for Wet Locations, ANSI/UL 1598, 8750; IP66 Sealed LED Compartment.

Fextured Architectural Bronze Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.

Tempered Clear Flat or SoftLED Flat Glass, or Tempered Clear Flat Prismatic Glass **flounting Options:** lounts with Kitty Hawk Arm, Adjustable Slipfitter, 2%" Diameter Mounting Arm Adapter, Yoke, Two-Piece Bracket or Wall Mount Bracket. (Factory Installed)

**EasyLED LED:** Multiple Wattages Available: 99w, 111w, 133w, 136w, 167w, 183w, 199w, 225w, 256w Electronic Driver, 120-277V, 50/60Hz or 347-480V, 50/60Hz; Less Than 20% THD

and PF>0.90. Standard Internal Surge Protection 6kV. 0-10V Dimming Standard for a

Dimming Range of 100% to 10%; Dimming Source Current is 150 Microamps. Fixtures Ordered with Factory-Installed Photocell or Motion Sensor Controls are Internally Wired for Switching and/or 1-10V Dimming Within the Housing. Remote Direct Wired Interface of 1-10V Dimming is Not Implied and May Not Be Available, Please Consult Factory. Fixtures are Tested with Pemco Controls and May Not Function Properly With Controls Supplied By Others. Fixtures are NOT Designed for Use with Line Voltage

5-Year Warranty for -40°C to +50°C Environment. See Page 6 for Projected Lumen Maintenance Table.







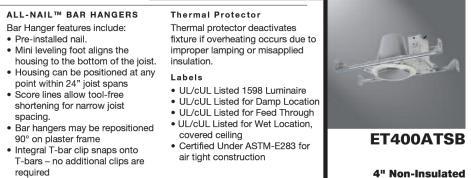
Specifications subject to change without notice. Rev. 071222





ADJUSTABLE SOCKET

COOPER Lighting



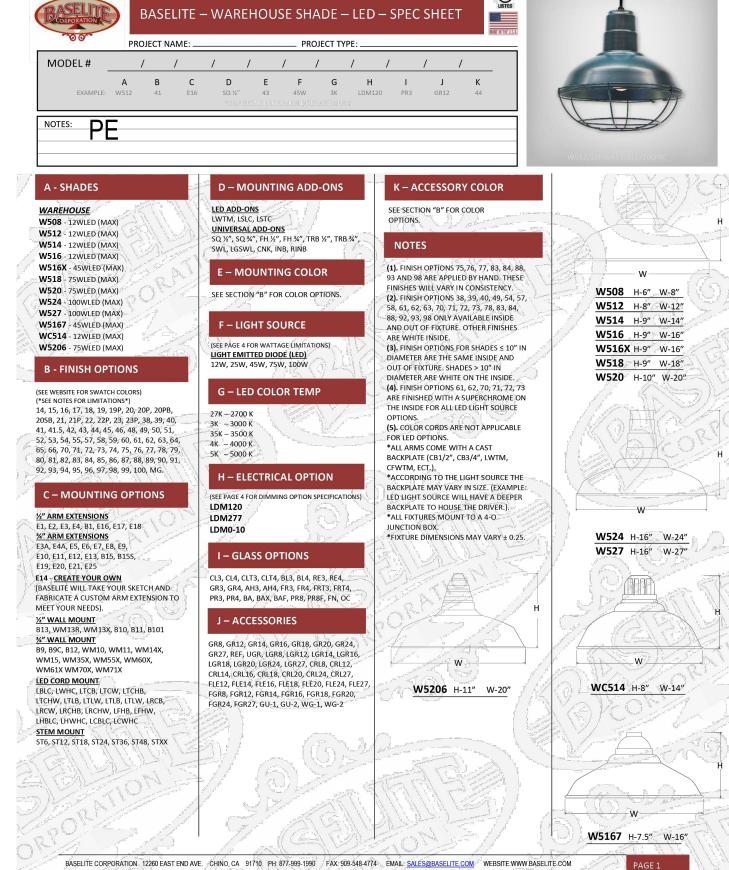
4" Non-Insulated AIR-TITE™ Recessed Housing with Adjustable Socket **Bracket** 

FOR USE IN NON-INSULATED CEILINGS INSULATED CEILINGS BUT INSULATION MUST BE KEPT 3" FROM ALL SIDES OF



ADV110467

**WAREHOUSE** W508 - 12WLED (MAX) W512 - 12WLED (MAX) W514 - 12WLED (MAX) W516 - 12WLED (MAX) W516X - 45WLED (MAX) **W518** - 75WLED (MAX) W520 - 75WLED (MAX) W524 - 100WLED (MAX) W527 - 100WLED (MAX) W5167 - 45WLED (MAX) WC514 - 12WLED (MAX) **W5206** - 75WLED (MAX) **B - FINISH OPTIONS** SEE NOTES FOR LIMITATIONS\* 4" TRIMS 1/2" ARM EXTENSIONS 1, E2, E3, E4, B1, E16, E17, E18 3/4" ARM EXTENSIONS E3A, E4A, E5, E6, E7, E8, E9, E10, E11, E12, E13, B15, B15S, E19, E20, E21, E25 FIXTURE E14 - CREATE YOUR OWN MEET YOUR NEEDS). ½" WALL MOUNT 3/4" WALL MOUNT B9, B9C, B12, WM10, WM11, WM14X, WM15, WM35X, WM55X, WM60X, WM61X WM70X, WM71X LED CORD MOUNT LBLC, LWHC, LTCB, LTCW, LTCHB, LRCW, LRCHB, LRCHW, LFHB, LFHW, LHBLC, LHWHC, LCBLC, LCWHC



LUMINAIRE SCHEDULE

General Description

CATENARY LIGHT

WALL SCONCE

**ENTRIES** 

PENDANT

ENTRIES

**OVERHANGS** 

SITE POLE

SITE POLE

PARKING & DRIVES

PARKING & DRIVES

WALL PACK

FACADE

Mounting Height | Color

BLACK

N/A

BLACK

BLACK

BRONZE

**BRONZE** 

12'-0" AFG

SUSPENDED

10'-0" AFG

11'-0" AFG

12'-0" AFG

20'-0" AFG

20'-0" AFG

RECESSED DOWNLIGHT | 20'-0" AFG

Symbol Label

Q

0

0

BB

PΕ

RA

SP2

Signlite | 10116BK PRODUCT DESCRIPTION This classic design was originally used to illuminate signs but now is used as a nostalgic wall washer in residential

Lamp LLF

1.00

1.00

1.00

1.00

| 8W

LED

Catalog Number

ENV-SA1A-730-U-T4FT-

ML2000-CAH-24-2.7GSFL-

BASELITE CORPORATION | LED

W516-41-LBLC-12W/27K-

EG45Q-C-1X99-U-3K-C-Z-

EG45Q-C-1X99-U-3K-C-Z-

MA-S23-2@180

EATON/COOPER

ET400ATSB.

PEMCO

MA-S23

PEMCO

LT460WH6930

INVUE

BK-DIM

DM-WET-XX

SIGNLITE

10116BK

CALI

SHIELDING

FULL CUTOFF

FULL CUTOFF

FULL CUTOFF

FULL CUTOFF

(2)99W | FULL CUTOFF

Watts

20W

1.00 | 1.5W/FT | FULL CUTOFF

and commercial applications. The polycarbonate shade is supported by an aluminum arm for maximum durability at a very affordable price. MEASUREMENT 5" 20.5" : 7.5" W x 13.75" H x 20.5" Ext DIMENSION BACK PLATE : 5" W x 5" H x 2.5" HCO HANGING WEIGHT : 1.17 lb LAMPING INPUT VOLTAGE : 120V : 1 x 60W Incandescent E26 Medium , 60W Total BULB INCLUDED : (Not Included) DIMMABLE LIGHTING\_DIRECTION: Down \*height from center of outlet to the top of the fixture

Polycarbonate, Aluminum RATINGS cETLus Wet Location (II). O 5 ADDITIONAL INSTALL UP/DOWN: Down OPERATING TEMPERATURE: -20°C (-4°F), 40°C (104°F)



WESTERN DISTRIBUTION CENTER (HEADQUARTER) 253 NORTH VINELAND AVE I CITY OF INDUSTRY, CA 91746 EASTERN DISTRIBUTION CENTER 101 GARDNER PARK | PEACHTREE CITY, GA 30269 P. 626.956.4200 | F. 626.956.4225 | maximlighting.com

STUDIO LIGHTNING 63 SUNSET DR.

> BAILEY, CO 80421 303.242.1572

REVISIONS

ESIGN AND THESE DRAWINGS ARE THE PROPEI ENGINEERING, INC. NO PART OF THIS WORK MA

TERNAT ANSIOI INT EXP. AR CIG

PROJ NO: 230327 ENG: JMB DATE: 06/04/2024

SHEET TITLE

LIGHTING DETAILS

SHEET NUMBER