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Planning Commission Staff Report

Project type: Site Development Section Plan
Meeting Date: June 24, 2024
From: Shilpi Bharti, Planner *SB*
Location: 16839 N. Outer 40 Road
Description: Summit Topgolf, Lot C1: A Site Development Section Plan, Landscape Plan, Lighting Plan and Architectural Elevations for a retail building located on a 2.16-acre tract of land located north side of north outer 40 road, zoned "PC"-Planned Commercial.

PROPOSAL SUMMARY

Bethlehem Shared Services, LLC on behalf of Cigars International, has submitted a Site Development Section Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for a proposed retail/bar building located at 16839 N. Outer 40 Road in Summit Topgolf subdivision.

Proposed Development includes:

- 6,800 square feet of Retail and Bar
- 1,250 square feet of outdoor patio
- 65 parking spaces
- Landscape Plan
- Lighting Plan



Figure 1: Subject Location

HISTORY OF SUBJECT SITE

The site is located in Summit Topgolf subdivision of the City of Chesterfield. The subdivision was zoned "NU" –Non-Urban District prior to the City's incorporation. In 1999, the site was rezoned to "PC" Planned Commercial creating Ordinance 1564. In 2017, site-specific ordinance 1564 was amended to revise the legal description and permitted uses. A Site Development Concept Plan was also subsequently approved in 2017. Later in 2018 and 2019 the ordinance was amended to modify the development standards. The current ordinance governing the site is Ordinance 3039.

STAFF ANALYSIS

South of the subject site has an existing storm water control area where no development is proposed by the applicant. The proposed retail building is located on the northern portion of the property. There is a proposed outdoor patio on the west side of the building. The outdoor patio may be accessed by a sidewalk that begins at the proposed parking lot and travels along the existing storm water channel. There is one access from the north Outer 40 Road.

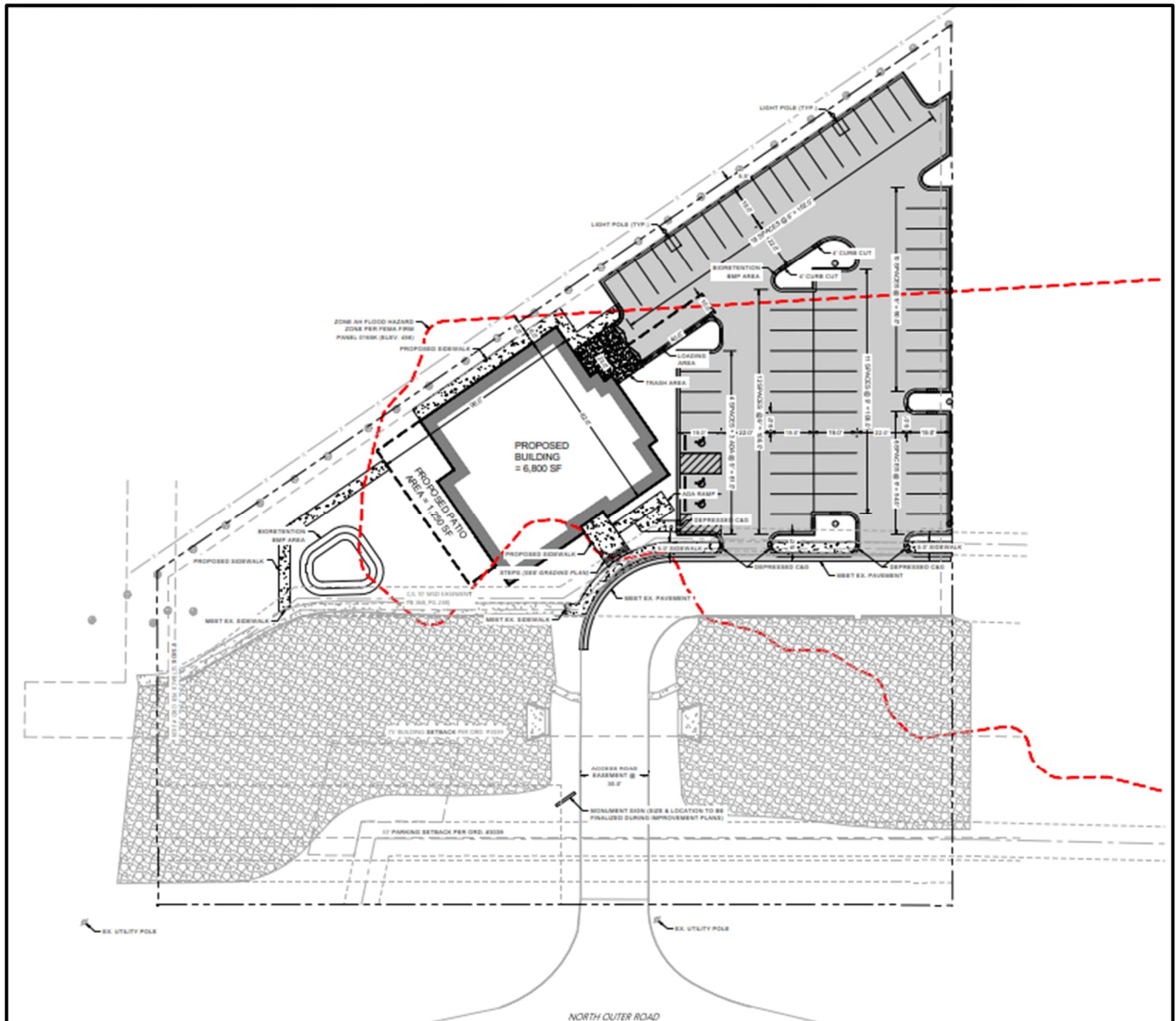


Figure 2: Site Plan

Site Relationships

The proposed building is 8,050 square feet (including the outdoor patio) on 2.16 acres of land. The height of the proposed building is 30' (including the roof-top mechanical equipment). The site is surrounded by vacant land on the east, TopGolf on the north and west, and North Outer 40 road on the south. The

proposed building on site will be a single-story retail/bar. The trash enclosure will be located east of the subject site.

Circulation System and Access

The site is accessed through an existing 30' wide asphalt road that comes off North Outer 40 Road from the south. Internal driveways are 22' wide with two-way access. The parking is proposed on the east of the site. There are a total 65 parking spaces proposed for the development which includes 3 ADA parking located next to the building.

Retaining Wall and Screening

The site is generally flat and no retaining walls are proposed for the development. The roof-top mechanical equipment will be screened by a parapet.

Elevation

The four sides of the building façade consist of khaki brown lap siding, drystack stone, and a white cornice. The front of the building faces North Outer 40 Road. The front elevation has six 2' X 4' cedar wood planks and lap siding with drystack stone cladding along the base of the building. The patio proposed on the west of the building will be a post and beam structure. The patio and the front tower are proposed to have cornice of colonial red color. The trash enclosure is located on the east.

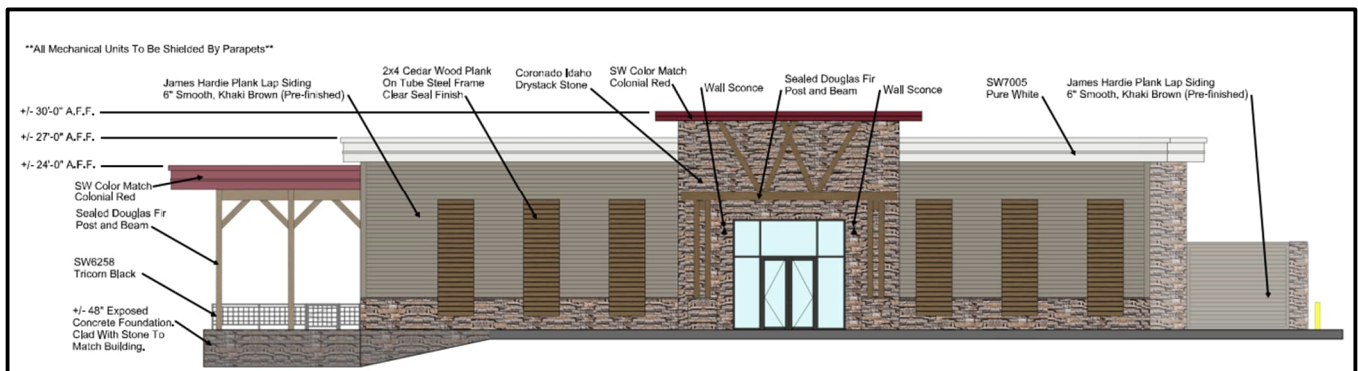


Figure 3: Front Elevation

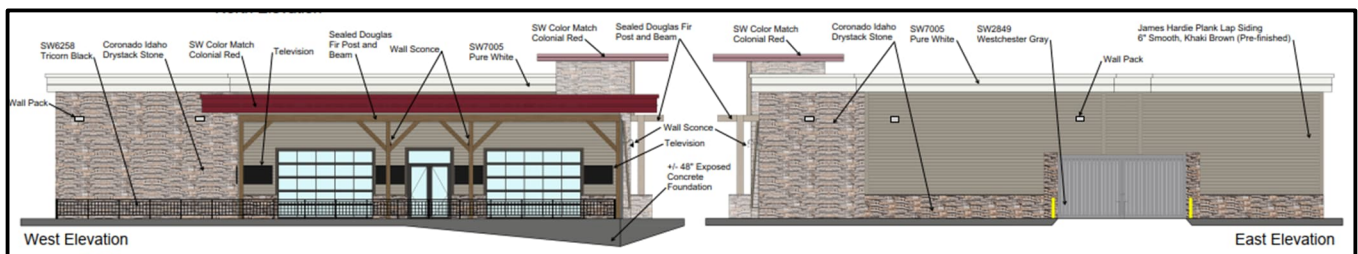


Figure 4: East and west side Elevation

Lighting

There are six different types of light fixtures proposed for this development which includes wall pack light, catenary light, wall sconce, pendant, recessed downlight, and site poles. The wall sconce, pendant

and catenary light does not comply with Unified Development Code light fixture i.e. fully shield flat lens, hence require Planning Commission approval. The wall sconce and pendant are proposed near the entries, and catenary light is proposed for the patio. These fixtures may be approved by the Planning Commission.



Figure 5: Wall sconce, pendant and catenary light

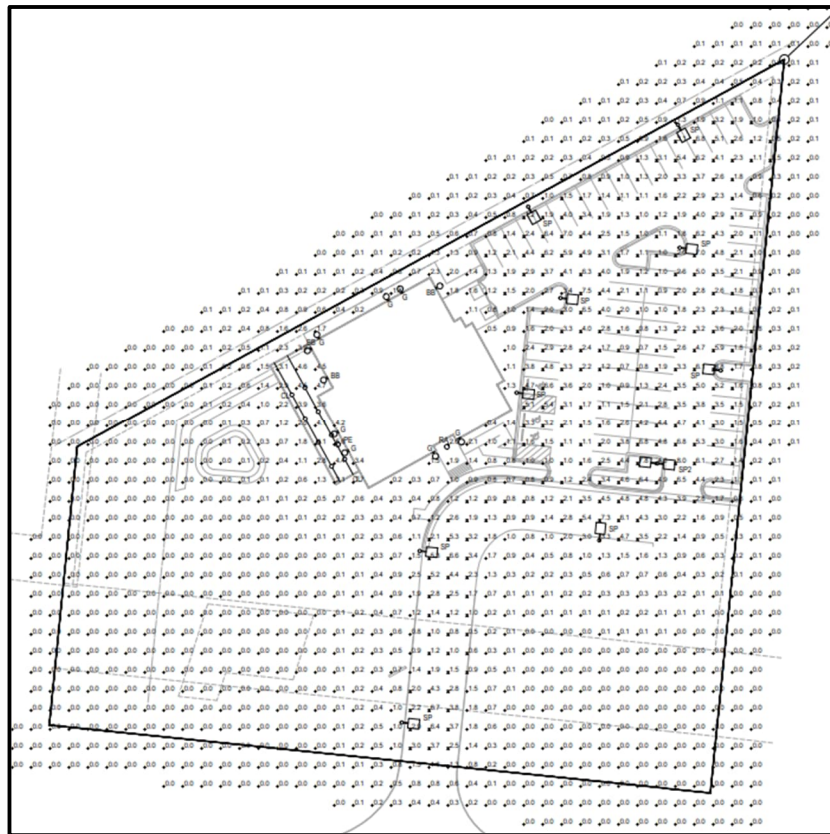


Figure 5: Lighting Plan

Landscaping

The proposed landscape plan consists of different types of tree canopies, shrubs, and ground covers. The site is required to have a 30' landscape buffer along North Outer 40 Road per the Unified Development Code. The proposed landscape plan depicts the 30' landscape buffer on the south, as required.

ARB Meeting Report

The project was reviewed by the Architectural Review Board members on May 09, 2024. At that time, the Board made a motion to forward the project to Planning Commission with a recommendation for approval with two (2) conditions:

1. Provide additional landscaping in front of the building, around the patio area and at the trash enclosure walls. The parking lot islands would be easier to maintain if planted with shrubs and perennials rather than sod.
2. Add stone veneer to the exposed patio foundation area.

The Applicant has addressed the above comments.

DEPARTMENTAL INPUT

Staff has reviewed this proposed development and found it to be in compliance with the City's Unified Development Code and site-specific ordinances. All outstanding comments have been addressed at this time. Staff recommends approval of the Site Development Section Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for Summit Topgolf Lot C-1.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Section Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for Summit Topgolf Lot C-1, as presented."
- 2) "I move to approve the Site Development Section Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for Summit Topgolf Lot C-1, with the following conditions..."

Attachments

1. Site Development Plan Packet

Date: April 9, 2024

Attention: Shilpi Bharti
Planner
City of Chesterfield

Ref: Architectural Review Board Submission
Architect's Statement of Design
Cigars International
Retail Cigar Store, Lounge / Bar
16839 N. Outer 40 Road
Chesterfield, MO 63005

Ms. Bharti,

As required by Chesterfield's Unified Development Code, the following is our Architect's Statement of Design, responding to the Architectural Review Design Standards as they apply to this project.

General Requirements for Site Design:

1. Site Relationships – The proposed Cigar's International establishment is located adjacent to North Outer Road 40 just north of the drainage area. Top Golf is located north and west of our site and Chesterfield Valley Nursery is located to the east.
2. Circulation System and Access – The development is accessed via an existing 30' wide asphalt road that comes off North Outer Road. There is a cross access easement with the property to the east. 70 parking stalls are proposed on the eastern portion of the site. There is a sidewalk that comes from the Top Golf and will be continued onto our site.
3. Topography – The majority of the site is relatively flat and drains to the south and west.
4. Retaining Walls – There are not any retaining walls proposed for this site.

General Requirements for Building Design:

1. Scale – The proposed establishment is scaled appropriately for the area. Adjacent recently constructed properties are similar in design and overall construction. The final height of the building parapets are still being determined, but it will be +/- 26' AFF for most of the building and approximately +/- 30' AFF to the highest point at the main entry. The mechanical equipment will be on the roof and will be shielded by parapets.



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2. Design – The building design and finishes are coordinated on all sides of the building. The overall design of the building is different from any other Cigar’s International store as we redesigned the entire exterior to better fit with the surrounding architecture. The main entry is easily distinguishable, and the partially covered patio is large and inviting.
 3. Building Materials – The materials and color palate were chosen to comply with brand standards as well as to fit with the surrounding architecture. There is a mix of stone, cementitious siding and exposed timber visible on all four sides. The colors used are neutral overall with a pop of Colonial Red. The windows on the front of the building have a decorative cedar wood shade system and provide interest / character. There are two large overhead doors in the patio area.
 4. Landscape Design and Screening – Landscaping has been designed to meet the City of Chesterfield’s requirements. The bulk of the landscaping is Bermuda Grass with Maple, Locust and Zelkova trees planted throughout.
 5. Signage – The proposed building signage will be on the front façade and on the patio side of the building.
 6. Lighting – Lighting will be a mix of gooseneck wall wash lights, traditional wall packs and parking lot pole lights. Cut sheets and photometric plan provided.

Sincerely,



Frank Shahlari
Lickel Architecture
913.708.1665

frank@lickelarchitecture.com

GENERAL REQUIREMENTS:

- ALL WORK SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD PLANS FOR HIGHWAY CONSTRUCTION" (HEREIN AFTER REFERRED TO AS STANDARD SPECIFICATIONS) ADOPTED JANUARY 1, 2024 AND SUPPLEMENTAL SPECIFICATIONS.
- SCOPE OF WORK: THE PROPOSED IMPROVEMENTS CONSIST OF SUPPLYING ALL THE NECESSARY LABOR, MATERIAL AND EQUIPMENT TO SATISFACTORILY CONSTRUCT AND INSTALL ALL IMPROVEMENTS ACCORDING TO THE PLANS DESIGNATED HEREIN.
- CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO LOCATE AND PROTECT ALL UNDERGROUND FACILITIES/UTILITIES DURING CONSTRUCTION OPERATIONS AS OUTLINED IN THE STANDARD SPECIFICATIONS AND CONTACT THE OWNER. ANY DAMAGE TO ANY UTILITIES SHALL BE PROMPTLY REPORTED TO THE OWNER. REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE UNDERGROUND UTILITIES SHOWN HEREIN ARE APPROXIMATE AND BASED ON THE ACTUAL LOCATION OF SURFACE STRUCTURES AND PLANS PROVIDED BY THE OWNER. THE IMPLIED PRESENCE OR ABSENCE OF UTILITIES IS NOT TO BE CONSTRUED BY THE OWNER, ENGINEER, CONTRACTOR, OR SUBCONTRACTORS TO BE AN ACCURATE AND COMPLETE REPRESENTATION OF UTILITIES THAT MAY OR MAY NOT EXIST ON THE CONSTRUCTION SITE. BURIED AND ABOVE GROUND UTILITY LOCATION, IDENTIFICATION, AND MARKINGS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. REROUTING, DISCONNECTION, PROTECTION, ETC. OF ANY UTILITIES MUST BE COORDINATED BETWEEN THE CONTRACTOR, UTILITY COMPANY, AND OWNER. SITE SAFETY, INCLUDING THE AVOIDANCE OF HAZARDS ASSOCIATED WITH BURIED AND ABOVEGROUND UTILITIES REMAINS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITY PROPERTY FROM CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL FURNISH, ERECT, AND MAINTAIN MARKINGS AND ASSOCIATED HAZARD WARNING LIGHTS, DELINEATOR FENCE, AND OTHER ASSOCIATED FACILITIES AS REQUIRED FOR OPEN TRENCHES, EXCAVATIONS, TEMPORARY STOCK PILES, AND PARKED CONSTRUCTION EQUIPMENT THAT MAY POSE A POTENTIAL HAZARD AS PART OF THE DAILY OPERATIONS AT THIS SITE. CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY.
- CONTRACTOR SHALL CONTINUOUSLY COMPARE ALL LINES, GRADES, AND OTHER INFORMATION APPEARING ON THE PLANS WITH THE ACTUAL LINES, GRADES, AND SITE CONDITIONS. ANY DISCREPANCIES THAT MAY AFFECT THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER IN WRITING FOR DISPOSITION BEFORE CONTRACTOR PROCEEDS WITH THE WORK. CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR THE WORK COMPLETED PRIOR TO THE REPORT TO THE OWNER AND ENGINEER, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR CORRECTION OF THE WORK PRIOR TO THE REPORT TO THE OWNER AND ENGINEER.
- CONTRACTOR PARKING AND LAYDOWN AREAS SHALL BE COORDINATED WITH THE OWNER.
- PRIOR TO PERFORMING ANY WORK IN OR ON THE RIGHT OF WAY OF ANY CITY OR STATE ROADWAY, THE CONTRACTOR SHALL NOTIFY THE CITY / STATE TRAFFIC ENGINEER'S OFFICE. THE CONTRACTOR SHALL ERECT WARNING SIGNS AND BARRICADES TO PROTECT THE TRAVELING PUBLIC AND HIS WORKERS. THE SIGNING AND BARRICADING SHALL CONFORM TO THE APPROPRIATE APPLICATIONS OUTLINED IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR AS OTHERWISE DIRECTED BY THE CITY / STATE TRAFFIC ENGINEER. IF PERMITS ARE REQUIRED TO CONDUCT THE WORK, THE CONTRACTOR SHALL SECURE THE PERMITS AND SUPPLY THEM TO THE OWNER AT NO ADDITIONAL COST. ALL FULL WIDTH LANE CLOSURES, PARTIAL LANE CLOSURES, AND CONSTRUCTION ADJACENT TO PAVEMENT SHALL BE IDENTIFIED, SIGNED, AND BARRICADES ERECTED IN CONFORMANCE WITH THE APPLICABLE ARTICLES OF SECTION 701 OF THE STANDARD SPECIFICATIONS AND THE MUNICIPALITY'S REQUIREMENTS. ALL TRAFFIC PROTECTION, BOTH ONSITE AND OFFSITE, SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- CONTRACTOR SHALL REMOVE EARTHEN MATERIALS, EXISTING SURFACES, AND STRUCTURES AS REQUIRED. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OFF-SITE AND SHALL BE INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, UNLESS NOTED. THIS WILL INCLUDE BUT NOT BE LIMITED TO MUNICIPAL BUILDING PERMIT. THE OWNER WILL SECURE THE N.P.D.E.S. PERMIT. THE CONTRACTOR SHALL PROVIDE ANY FINANCIAL SURETIES REQUIRED AS PART OF ANY PERMIT.
- WHEN CONCRETE IS PLACED ABUTTING STRUCTURES, FOUNDATIONS OR EXISTING SIDEWALKS, A BOND BREAKER CONSISTING OF 1" P.J.F. AND ELASTOMERIC JOINT SEALANT SHALL BE USED FULL DEPTH UNLESS OTHERWISE NOTED.
- MAXIMUM CONSTRUCTION JOINT SPACING ON CONCRETE CURB AND GUTTER OR CONCRETE GUTTER SHALL NOT EXCEED 25'.
- SIDEWALK RAMPS FOR ADA SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN HEREIN. DETECTABLE WARNINGS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
- HOT-MIX ASPHALT PAVEMENT PATCHING SHALL BE IN ACCORDANCE WITH SECTION 442 OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND SUBMITTING ELECTRONIC AS-BUILT DRAWINGS, FOR UTILITIES AND DETENTION AREAS, TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PROJECT ACCEPTANCE.
- CONSTRUCTION STAKING, LAYOUT, AND GRADING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR USING THE BASIC TOPOGRAPHIC SURVEY CONTROLS PROVIDED IN THE PLANS. CONTRACTOR SHALL VERIFY SURVEY CONTROLS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES IN THE SURVEY CONTROLS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION. ANY ADDITIONAL SURVEY CONTROLS REQUIRED FOR CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE PRECEDENCE OVER PRESSURIZED LINES.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS INCORPORATED INTO THE WORK FOR ENGINEER REVIEW AND APPROVAL A MINIMUM OF 4 WEEKS PRIOR TO ORDERING.
- REFERENCES TO "INSPECTION" OR "INSPECTOR" IN THE SPECIFICATIONS SHALL NOT CREATE, IMPOSE, OR GIVE RISE TO ANY DUTY OWED BY THE OWNER OR ENGINEER TO THE CONTRACTOR, ANY SUBCONTRACTOR, OR ANY SUPPLIER. ALL IMPROVEMENTS SHALL BE SUBJECT TO INSPECTION BY A DULY AUTHORIZED AND QUALIFIED OWNER'S REPRESENTATIVE BOTH DURING THE COURSE OF CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE. THE INSPECTOR SHALL HAVE AUTHORITY OVER MATERIALS OF CONSTRUCTION, METHODS OF CONSTRUCTION AND WORKSMANSHIP TO ENSURE COMPLIANCE WITH WORKING DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE FOR REASONABLE TESTS AND PROOF OF QUALITY OF MATERIALS AS REQUESTED BY THE INSPECTOR. UPON DUE CAUSE, WHICH SHALL INCLUDE WEATHER CONDITIONS, WORKMANSHIP OR NON-ADHERENCE TO THE APPROVED PLANS AND SPECIFICATIONS, THE INSPECTOR SHALL HAVE THE AUTHORITY TO STOP CONSTRUCTION.
- WHERE SECTION, SUB-SECTION, SUBDIVISION, OR PROPERTY MONUMENTS ARE ENCOUNTERED, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED BEFORE SUCH MONUMENTS ARE REMOVED. THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL PROPERTY MARKERS UNTIL AN OWNER OR AUTHORIZED SURVEYOR HAS WITNESSED OR REFERENCED THEIR LOCATION.
- ALL TRENCH BACKFILL SHALL BE IMPORTED GRANULAR MATERIAL UNLESS EXISTING GRANULAR MATERIALS ARE SPECIFICALLY APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL AGGREGATE BASE COURSE SHALL BE COMPACTED TO 98% STANDARD PROCTOR DENSITY.
- ALL AGGREGATE BASE AREAS TO BE PAVED (PAVEMENT, SIDEWALK, CURB, OR STRUCTURES) SHALL BE PROOF-ROLLED WITH SEVERAL PASSES OF A FULLY LOADED DUMP TRUCK. CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ENGINEER 24 HOURS PRIOR TO PROOF ROLL AND SHALL MAKE ALL CORRECTIONS TO PROVIDE A SATISFACTORY SUBGRADE.
- ANY UNCONTROLLED CRACKING THAT OCCURS IN CONCRETE PAVEMENT, SIDEWALK, CURB, OR CURB AND GUTTER PRIOR TO FINAL ACCEPTANCE SHALL BE ROUTED OR SAWED AND SEALED ACCORDING TO THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY WORK IN AND AROUND UTILITY-OWNED INFRASTRUCTURE AND MAKE THEM AWARE OF WORK TO BE PERFORMED.
- ALL SIDEWALKS SHALL BE 4 INCHES IN THICKNESS AND CONSTRUCTED TO THE WIDTH SHOWN ON THE PLANS. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MIN. CROSS SLOPE OF 1% AND A MAX. CROSS SLOPE OF 2%. SIDEWALK THICKNESS SHALL BE INCREASED TO A MINIMUM 6" AT DRIVEWAYS OR AS REQUIRED BY THE MUNICIPALITY.
- ANY SIDEWALKS, FENCES, AND OTHER ITEMS NOT SHOWN TO BE REMOVED, BUT DAMAGED DURING CONSTRUCTION, SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

- CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY A MINIMUM OF 48 HOURS PRIOR TO CONNECTING TO OR INSTALLING ANY PUBLIC SEWER OR WATER MAINS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE PROJECT SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, THE CONTRACTOR MUST IMMEDIATELY PROVIDE THE INFORMATION TO THE ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK EFFECTED BY OMISSIONS OR DISCREPANCIES. IF THE CONTRACTOR FAILS TO SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL.

EXISTING TOPOGRAPHY:

- ALL UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE DERIVED FROM EXISTING UTILITY MARKINGS, OLD SITE PLANS, UTILITY COMPANY MAPS, PRIVATE LOCATOR AND OBSERVED EVIDENCE.
- ALL PIPE SIZES REFERENCED HEREON ARE SHOWN ACCORDING TO UTILITY COMPANY MAPS, OLD SITE PLANS AND OBSERVED EVIDENCE. ALL PIPE SIZES AND INVERTS SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- PRIOR TO ANY EXCAVATION CONTRACTORS SHALL CALL THE TOLL FREE MISSOURI ONE CALL TELEPHONE NUMBER 1-800-344-7483. ALLOW 48 HOURS FOR LOCATIONS OTHER THAN EMERGENCY ASSISTANCE.

SITE DEMOLITION:

- EXISTING UTILITIES TO REMAIN, WHICH ARE DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION, SHALL BE REPAIRED AND/OR REPLACED WITHOUT ADDITIONAL COMPENSATION. CONFLICTS WITH PROPOSED CONSTRUCTION AND UTILITIES TO REMAIN ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONSTRUCTION MANAGER FOR COORDINATION WITH THE OWNER'S REPRESENTATIVE, ENGINEER, AND UTILITY COMPANY.
- NO DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL TAKE PLACE WITHIN PUBLIC RIGHT-OF-WAY UNTIL ALL PERMITS ARE SECURED.
- ALL PAVEMENT TO BE REMOVED SHALL BE SAWCUT FULL DEPTH.
- CONTRACTOR SHALL EMPLOY ALL MEASURES NECESSARY DURING DEMOLITION TO CONTROL EROSION AND INSURE THAT SEDIMENT DOES NOT LEAVE THE SITE. TRACKING OF DIRT ONTO PUBLIC STREETS AND EXISTING PARKING LOT SHALL BE CLEANED IMMEDIATELY, AND ALL SEDIMENT AND EROSION CONTROL ITEMS SHALL BE INSTALLED PRIOR TO CLEARING AND DEMOLITION WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND BECOMING FAMILIAR WITH ALL CONSTRUCTION DOCUMENTS.
- ITEMS INDICATED TO BE REMOVED SHALL BE COMPLETELY REMOVED UNLESS INDICATED OTHERWISE.
- ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND STORED IN A LOCATION DESIGNATED BY THE OWNER.
- ALL TREES AND BRUSH INDICATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ROOT BALLS.
- UNLESS OTHERWISE IDENTIFIED AND/OR NOTED ON THE DEMOLITION PLAN, CONTRACTOR SHALL FULLY DEMOLISH, REMOVE, AND LAWFULLY DISPOSE OF ALL EXISTING BUILDINGS, IMPROVEMENTS, AND RELATED APPURTENANCES AT THIS SITE AND PROPERTY. CONTRACTOR SHALL ALSO DEMOLISH, REMOVE, AND LAWFULLY DISPOSE OF EXISTING IMPROVEMENTS AND CONSTRUCTIONS IN THE PUBLIC RIGHT-OF-WAY NECESSARY TO ACCOMPLISH THE NEW PROJECT WORK DESCRIBED ELSEWHERE IN THESE BIDDING AND CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL PROCURE ALL NECESSARY PERMITS AND APPROVALS FOR SUCH DEMOLITION WORK (BOTH INSIDE THE PROPERTY LINE AND IN THE PUBLIC RIGHT-OF-WAY) PRIOR TO COMMENCING ANY DEMOLITION OPERATIONS.
- CONTRACTOR SHALL FULLY PROTECT ALL SURROUNDING PROPERTIES FROM ANY AND ALL DAMAGE DURING DEMOLITION OPERATIONS; AND SHALL BE FULLY RESPONSIBLE FOR REPAIRING (TO A CONDITION ACCEPTABLE TO THE OWNER AND ARCHITECT) ANY AND ALL DAMAGE THAT DOES OCCUR.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROLS AND RELATED APPURTENANCES THAT ARE REQUIRED BY ANY APPLICABLE CODES AND ORDINANCES, DURING ALL DEMOLITION OPERATIONS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SAFETY AND SECURITY OF THE PROJECT SITE AND ITS SURROUNDINGS DURING DEMOLITION OPERATIONS.
- ALL DEMOLISHED EXISTING MATERIALS, SYSTEMS, AND CONSTRUCTIONS SHALL BE DISPOSED OF IN A LAWFUL MANNER, AND WRITTEN RECORDS OF THE FINAL DESTINATION FOR THESE MATERIALS, SYSTEMS, AND CONSTRUCTIONS (INCLUDING ANY IDENTIFIED HAZARDOUS ITEMS) SHALL BE PROVIDED TO THE OWNER AND ENGINEER. ADDITIONALLY, SOME EXISTING MATERIALS AND SYSTEMS MAY NEED TO BE RECYCLED AND/OR OTHERWISE SALVAGED IN ORDER TO MEET THE SUSTAINABILITY AND LEED REQUIREMENTS OF THIS PROJECT. SEE OTHER PORTIONS OF THESE BIDDING AND CONSTRUCTION DOCUMENTS FOR SUCH REQUIREMENTS.
- EXISTING SITE SHALL BE CLEANED ON A DAILY BASIS THROUGHOUT THE DURATION OF DEMOLITIONS OPERATIONS; AND NO DEBRIS OR PRODUCTS OF DEMOLITION SHALL BE ALLOWED TO ACCUMULATE OUTSIDE THE BOUNDARIES OF THE SITE.
- CONTRACTOR SHALL FULLY COORDINATE ALL PROJECT DEMOLITION OPERATIONS, INCLUDING THE REMOVAL AND LAWFUL DISPOSAL OF ALL IDENTIFIED HAZARDOUS MATERIALS AND SYSTEMS.
- CONTRACTOR SHALL SUBMIT A COMPLETE WRITTEN PLAN AND SCHEDULE FOR ALL PROPOSED DEMOLITION WORK TO OWNER AND ARCHITECT FOR REVIEW AND COMMENT, PRIOR TO BEGINNING ANY SUCH OPERATIONS. DURING THE COURSE OF THIS DEMOLITION WORK, IF ANY ARTIFACTS OR OTHER UNUSUAL ITEMS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY, BEFORE PROCEEDING ANY FURTHER. ANY EXPENSES RESULTING FROM THE FAILURE TO PROVIDE SUCH IMMEDIATE NOTIFICATION SHALL BE BORNE BY THE CONTRACTOR.

SITE LAYOUT:

- JOINTS IN SIDEWALK SHALL BE TOOLED AT 5' MAX. INTERVALS, UNLESS INDICATED OTHERWISE.
- NORTHING-EASTING COORDINATES AND DIMENSIONS FOR CURB AND GUTTER ARE TO FACE OF CURB.
- CONTRACTOR SHALL COORDINATE ALL WORK WITHIN PUBLIC RIGHT-OF-WAY WITH THE APPROPRIATE PUBLIC AGENCY. NOTIFICATION SHALL OCCUR A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WORK WITHIN PUBLIC RIGHT-OF-WAY. ALL PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- P.C. CONCRETE PAVEMENT AND SIDEWALKS SHALL BE CLASS PV AND CLASS SI, RESPECTIVELY, IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND BECOMING FAMILIAR WITH ALL CONSTRUCTION DOCUMENTS.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DOOR LOCATIONS.
- CONTRACTOR SHALL COORDINATE EQUIPMENT PADS WITH EQUIPMENT MANUFACTURERS.

SITE GRADING AND EROSION CONTROL:

- ALL SUBGRADE EXCAVATION AND COMPACTION SHALL BE COMPLETED IN ACCORDANCE WITH THE "SOILS REPORT" PREPARED BY ECS MIDWEST, LLC. ENGINEERED STRUCTURAL FILLS SHALL BE INCLUDED IN OVERALL SITE DEVELOPMENT TO PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR THE FLOOR SLABS ON GRADE AND ADJOINING PAVEMENT AREAS. REFER TO THE GEOTECHNICAL REPORT FOR APPROVED FILL MATERIALS.
- WHERE FIRM FOUNDATION MATERIAL IS NOT ENCOUNTERED AT THE GRADE ESTABLISHED, DUE TO UNSUITABLE SOIL, ALL SUCH UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH APPROVED COMPACTED GRANULAR MATERIAL.

- TOPSOIL SHALL BE STRIPPED IN ALL STRUCTURAL FILL AREAS BEFORE PLACEMENT OF FILL MATERIAL AND SHALL BE STOCKPILED IN AREAS DESIGNATED BY THE OWNER OR PER PLAN.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM EARTHWORK CALCULATIONS BASED ON THE PROVIDED PLANS AND TO LAWFULLY DISPOSE OF AND REMOVE ANY EXCESS MATERIAL FROM THE PROJECT SITE, OR TO PROVIDE ANY NECESSARY FILL MATERIAL THAT MAY BE REQUIRED TO MEET THE FINAL PLAN GRADES. THE DISPOSAL OR PROVIDING OF MATERIAL SHALL BE INCIDENTAL TO THE CONTRACT.
- ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "MISSOURI URBAN MANUAL."
- THE OWNER/ENGINEER SHALL PROVIDE THE SOIL EROSION AND SEDIMENT CONTROL PLANS INCLUDED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN BOOKLET AND ASSOCIATED DOCUMENTS IN ACCORDANCE WITH THE "GENERAL NPDES PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES," AND A COPY SHALL BE KEPT ONSITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION, ALL INSPECTIONS, AND MAINTENANCE OF ALL EROSION CONTROL FACILITIES REQUIRED BY THE GENERAL NPDES PERMIT UNTIL FINAL STABILIZATION OF ALL AREAS DISTURBED BY CONSTRUCTION OCCURS. MAINTENANCE AND REPLACEMENT OF EROSION CONTROL ITEMS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY MUST BE SEEDED, SODDED, BLANKETED OR OTHERWISE PROTECTED WITHIN 14 DAYS OF FINAL DISTURBANCE. ALL AREAS DISTURBED BY THE CONTRACTOR DURING THE CONSTRUCTION OF THIS PROJECT WHICH ARE LOCATED OUTSIDE OF THE PROPOSED SEEDING LIMITS SHALL BE GRADED TO DRAIN, FERTILIZED, SEEDED, MULCHED AND WATERED. THE COST ASSOCIATED WITH THE PLACEMENT OF ADDITIONAL FERTILIZER, SEED, MULCH AND WATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. A MINIMUM OF 70% VEGETATIVE COVERAGE IS REQUIRED PRIOR TO ACCEPTANCE. SEE LANDSCAPE PLANS FOR ADDITIONAL REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHOWN ON THE PLAN ARE THE MINIMUM MEASURES REQUIRED. UNFORESEEN CHANGES IN SCOPE, SCHEDULE OR CONSTRUCTION METHODS MAY RESULT IN CHANGES OR ADDITIONS TO THIS PLAN AND THE SWPPP. ANY CHANGES OR ADDITIONS NECESSARY TO MAINTAIN COMPLIANCE WITH THE NPDES PERMIT SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER.
- SHOULD PROJECT SCHEDULING PROHIBIT THE ABILITY TO SEED DISTURBED EARTH UPON COMPLETION OF GRADING, CONTRACTOR SHALL EMPLOY ALTERNATE SOURCE CONTROLS IN ADDITION TO THOSE ON THIS PLAN, INCIDENTAL TO THE CONTRACT.
- DUST CONTROL MUST BE PROVIDED AS NEEDED, BY WATERING OR OTHER MEANS.
- ALL AREAS WITH THE EXCEPTION OF PAVEMENT SHALL BE FINISHED IN ACCORDANCE WITH THE LANDSCAPE PLANS INCLUDED IN THE PLAN SET.
- CONTRACTOR SHALL INSTALL INLET FILTER PROTECTION BASKETS INSIDE ALL EXISTING AND PROPOSED MANHOLES AND INLET FRAMES.
- CONTRACTOR IS REQUIRED TO PROVIDE AND USE A CONCRETE WASHOUT AREA FOR RINSING CONCRETE TRUCKS.
- CONTRACTOR IS REQUIRED TO PROVIDE AND USE A TEMPORARY CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION TRAFFIC PER PLAN.
- CONTRACTOR SHALL PROVIDE AND USE A WHEEL WASH SYSTEM TO ENSURE THAT ALL CONSTRUCTION TRAFFIC ENTERING AND EXITING THE SITE MAINTAIN CLEAN TIRES. ANY SEDIMENT TRACKED ONTO ADJACENT ROADWAYS OR PAVED AREAS SHALL BE REMOVED BY THE CONTRACTOR BY THE END OF THE SAME WORK DAY.
- ALL ELEVATIONS SHOWN ARE TO FINISHED PAVEMENT UNLESS SPECIFIED OTHERWISE.
- ALL SLOPES GREATER THAN OR EQUAL TO 4:1 SHALL BE STABILIZED WITH NAG S75BN OR EQUIVALENT.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 6" TOPSOIL IN ALL ISLANDS, LANDSCAPE AREAS, AND OPEN SPACES.

SITE UTILITIES:

- THIS CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN MISSOURI", CURRENT EDITION.
 - MISSOURI DEPARTMENT OF TRANSPORTATION (MODOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION"
 - CITY OF CHESTERFIELD OFFICE OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS
 - METROPOLITAN ST. LOUIS SEWER DISTRICT RULES AND REGULATIONS AND ENGINEERING DESIGN REQUIREMENTS FOR SANITARY SEWER AND STORMWATER DRAINAGE FACILITIES.
- ALL UTILITY TRENCHES UNDER OR WITHIN 2' OF EXISTING OR PROPOSED PAVEMENT OR BUILDING SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH IDOT SPECIFICATIONS. CONTROLLED LOW-STRENGTH MATERIAL (CLSM) SHALL BE USED TO BACKFILL TRENCHES WITHIN PUBLIC RIGHT OF WAY. THE CLSM SHALL EXTEND 2 FT PAST THE PROPOSED PAVEMENT, CURB, OR SIDEWALK.
- OPEN CUT TRENCHES SHALL BE SHEETED AND BRACED AS REQUIRED BY THE GOVERNING STATE, FEDERAL LAWS AND MUNICIPAL ORDINANCES, AND AS MAY BE NECESSARY TO PROTECT LIFE, PROPERTY OR THE WORK.
- CONTRACTOR SHALL AT ALL TIMES DURING CONSTRUCTION PROVIDE AND MAINTAIN SUFFICIENT MEANS AND DEVICES TO REMOVE AND PROPERLY DISPOSE OF ALL WATER ENTERING THE EXCAVATIONS. WATER SHALL BE FILTERED AND DISCHARGED IN ACCORDANCE WITH THE NPDES REQUIREMENTS.
- ALL PIPE SHALL BE INSTALLED ON A BEDDING OF APPROVED, COMPACTED GRANULAR MATERIAL UNLESS OTHERWISE APPROVED BY THE ENGINEER. THE BEDDING MATERIAL SHALL BE INSTALLED PER STANDARD SPECIFICATIONS AND PROVIDED PLAN DETAILS.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL WATER MAINS AND SEWERS. IF SEPARATION IS NOT POSSIBLE, WATER MAIN ENCASEMENT SHALL BE REQUIRED OR THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- WATER MAINS SHALL CROSS ABOVE SEWERS WITH A MINIMUM VERTICAL SEPARATION OF 18 INCHES WHILE STILL MAINTAINING THE REQUIRED DEPTH OF COVER. IF PROPER SEPARATION IS NOT POSSIBLE, OR IF THE WATER MAIN MUST BE ROUTED UNDER THE SEWER, WATER MAIN ENCASEMENT SHALL BE REQUIRED OR THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- ALL SANITARY SEWERS SHALL BE TESTED FOR EXFILTRATION OF AIR UNDER PRESSURE, INFILTRATION OF WATER, AND/OR EXFILTRATION OF WATER AS PER STANDARD SPECIFICATIONS. ALL SANITARY SEWERS SHALL BE DEFLECTION TESTED NO SOONER THAN 30 DAYS AFTER INSTALLATION. ALL MANHOLES SHALL BE TESTED FOR WATERTIGHTNESS BY EITHER ASTM C 969 OR ASTM C 1244.
- STORM SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 - REINFORCED CONCRETE PIPE (RCP), ASTM C76
 - GASKETS - ASTM C443
 - FITTINGS - ASTM C443
 - SMOOTH INTERIOR WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE), ASTM F-2881 OR F-2764
 - WATER TIGHT JOINTS
 - JOINT SHALL BE SEALED SUFFICIENTLY TO PREVENT JETTING OR LEAKING AT THE JOINT
 - PVC STORM SEWER PIPING, ASTM D 3034, SDR 35
 - BELL-AND-SPIGOT ENDS
 - ASTM F 477, ELASTOMERIC SEALS FOR GASKETED JOINTS
 - FRAME AND GRATES
 - TYPE 1 CLOSED LID = NEENAH R-1713
 - TYPE 1 OPEN LID = NEENAH R-2504

- TYPE 3 = NEENAH R-3281-A
 - DITCH GRATE = NEENAH R-4342
- SANITARY SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 - PIPE AND FITTING MATERIAL - POLYVINYL CHLORIDE (PVC) SDR 26, ASTM D 3034, TYPE PSM
 - GASKETS - FLEXIBLE ELASTOMERIC, ASTM F 477, ASTM D 3139
 - JOINTS - ASTM D 3212
 - BEDDING - CLASS II, ASTM 2321
 - ALL CLEANOUT RIMS SHALL BE CONSTRUCTED FLUSH WITH THE FINISHED GROUND SURFACE.
 - CONTRACTOR SHALL COORDINATE CONSTRUCTION OF SANITARY SEWER SERVICES WITH THE DEPARTMENT OF PUBLIC WORKS.
 - CONTRACTOR SHALL COORDINATE WATER MAIN, FIRE AND DOMESTIC WATER SERVICES WITH THE DEPARTMENT OF PUBLIC WORKS.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY LINES THAT ENTER THE BUILDING. IN GENERAL, PLUMBING PLANS SHOW ALL INTERIOR BUILDING PIPING AND PIPING UP TO 5-FEET OUTSIDE THE BUILDING. CIVIL PLANS SHOW SITE PIPING BEGINNING FROM 5-FEET OUTSIDE THE BUILDING. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTIONS.
 - CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE PRECEDENCE OVER PRESSURIZED LINES.
 - ALL TRENCH BACKFILL SHALL BE IMPORTED GRANULAR MATERIAL UNLESS EXISTING GRANULAR MATERIALS ARE SPECIFICALLY APPROVED BY THE OWNER'S REPRESENTATIVE.
 - ALL MANHOLES AND INLET CASTINGS LOCATED WITHIN BITUMINOUS ASPHALT PAVEMENT SHALL BE CONSTRUCTED WITH A CONCRETE COLLAR AT THE SURFACE.
 - FOR ALL WATERMAIN CONSTRUCTION:
 - WATER MAIN AND SERVICES TO BE INSTALLED WITH A MINIMUM OF 5'-6" OF COVER FROM FINISHED GRADE TO TOP OF WATER PIPE.
 - TWO COMPLETE PIPE LENGTHS OF RESTRAINED JOINT PIPE SHALL BE CONSTRUCTED ON THE BRANCH LEG OF ALL TEES AND BOTH SIDES OF ALL 90 DEGREE BENDS.
 - ONE COMPLETE PIPE LENGTH OF RESTRAINED JOINT PIPE SHALL BE CONSTRUCTED ON BOTH SIDES OF ALL 11-1/4 AND 22-1/2 DEGREE BENDS.
 - ALL BENDS, TEES, PLUGS, VALVES AND HYDRANTS SHALL BE RESTRAINED JOINT.
 - ALL WATER MAIN PIPE 4" AND LARGER SHALL BE POLY WRAPPED DUCTILE IRON PIPE SPECIAL CLASS 52, 250 PSI RATING, WITH SINGLE GASKET JOINTS. CEMENT LINING SHALL BE PROVIDED FOR ALL PIPE.
 - ALL WATER SERVICE PIPE LESS THAN 4" SHALL BE COPPER PIPE, TYPE K OR PVC SDR 9 WITH A PRESSURE RATING OF 200 PSI.

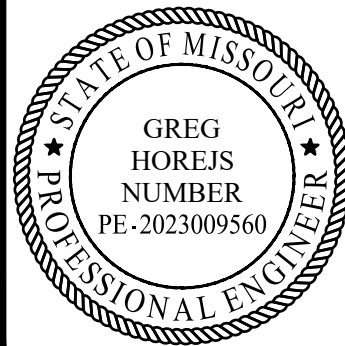
INDEMNIFICATION:

- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, THE CITY OF CHESTERFIELD, AND CAGE ENGINEERING, INC. FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE CONTRACTOR'S WORK. IN ANY AND ALL CLAIMS AGAINST THE OWNER OR CAGE ENGINEERING, INC. BY ANY EMPLOYEE OF THE CONTRACTOR, OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE CONTRACTOR, OR ANYONE FOR WHOM ACTS THE CONTRACTOR MAY BE LIABLE, THE INDEMNIFICATION OBLIGATION SHALL NOT BE LIMITED IN ANY WAY BY ANY LIMITATION ON THE AMOUNT OF DAMAGES, COMPENSATION OR BENEFITS PAYABLE BY OR FOR THE CONTRACTOR UNDER WORKER'S COMPENSATIONS ACTS, DISABILITY BENEFIT ACTS OR OTHER EMPLOYEE BENEFIT ACTS.

CONSTRUCTION MEANS, METHODS, SAFETY

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING OSHA STANDARDS AND WITH ANY OTHER APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS. THE CONTRACTOR SHALL PROVIDE ALL SAFEGUARDS, SAFETY DEVICES AND PROTECTIVE EQUIPMENT AND SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS UTILIZED BY THE CONTRACTOR AND HIS SUB-CONTRACTORS IN THE PERFORMANCE OF THEIR WORK AND SHALL TAKE ANY OTHER ACTIONS NECESSARY TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES ON THE JOB AND THE SAFETY OF THE PUBLIC AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES, EQUIPMENT, AND FOR SAFETY PRECAUTIONS OR PROGRAMS, UNLESS SUCH MEANS AND EQUIPMENT ARE SPECIFIED IN THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH SECTION 108.06 LABOR, METHODS, AND EQUIPMENT OF THE "STANDARD SPECIFICATIONS."

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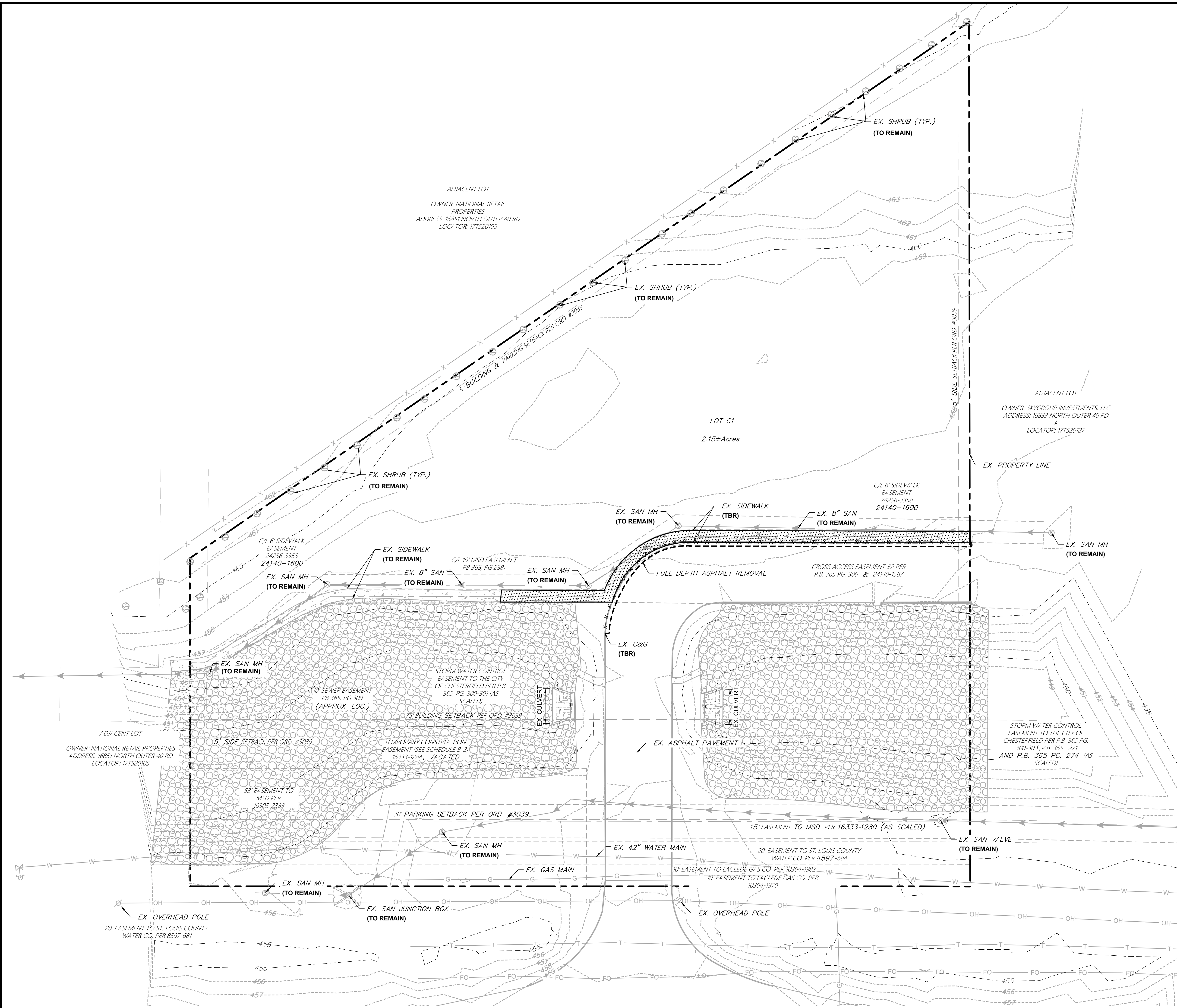
SITE DEVELOPMENT PLAN FOR
**CIGARS INTERNATIONAL -
RETAIL EXPANSION**
16839 NORTH OUTER 40 ROAD
CHESTERFIELD, MISSOURI

PROJ. NO: 230327
ENG. KHJ/JGN
DATE: 01/26/2024

SHEET TITLE

**GENERAL
NOTES &
SPECIFICATIONS**

SHEET NUMBER
C0.1
2 OF 8



DEMOLITION LEGEND

- ASPHALT/GRAVEL PAVEMENT REMOVAL, FULL DEPTH
- CONCRETE PAVEMENT / SIDEWALK REMOVAL, FULL DEPTH
- SAWCUT PAVEMENT, FULL DEPTH
- CURB & GUTTER REMOVAL
- UTILITY REMOVAL
- TREE/BUSH REMOVAL
- UTILITY STRUCTURE REMOVAL (TBR)

SOURCE BENCHMARK:

BASIS OF BEARINGS:

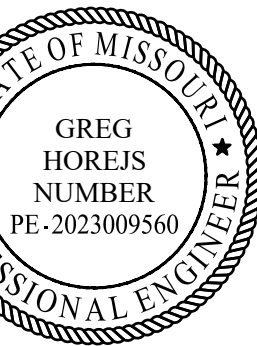
MISSOURI WEST 2401
 HORIZONTAL DATUM: NAVD83
 VRS BASE STATION PRS1258813930 (CORS-ID MOOF)
 N (Y) = 324131.152 (METERS)
 E (X) = 232983.491 (METERS)
 COMBINED FACTOR = 0.99993890
 VERTICAL DATUM: NAVD88 (GEOID12B)

SITE BENCH MARK: CUT SQUARE ON CONCRETE CURB NEAR SOUTHEAST SIDE OF DRIVEWAY.
 ELEVATION = 457.32

NOTES:

1. CONTRACTOR TO CONFIRM EXISTING CONDITIONS OF THE SITE. IF DISCREPANCIES ARE DISCOVERED, THEN THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER. CONTACT LOCAL UTILITY COMPANIES FOR MORE INFORMATION.
2. UTILITIES AS SHOWN WERE DEVELOPED FROM ABOVE GROUND OBSERVATIONS ONLY. CONTRACTOR SHALL VERIFY AND LOCATE THE DEPTH OF ALL UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO EXCAVATION OR CONSTRUCTION AND PROTECT SAID UTILITIES FROM DAMAGE.

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SITE DEVELOPMENT PLAN FOR
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PROJ NO: 230327

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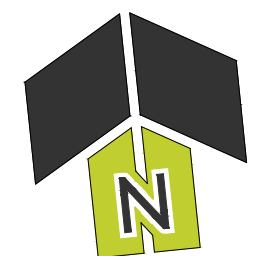
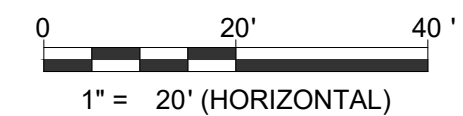
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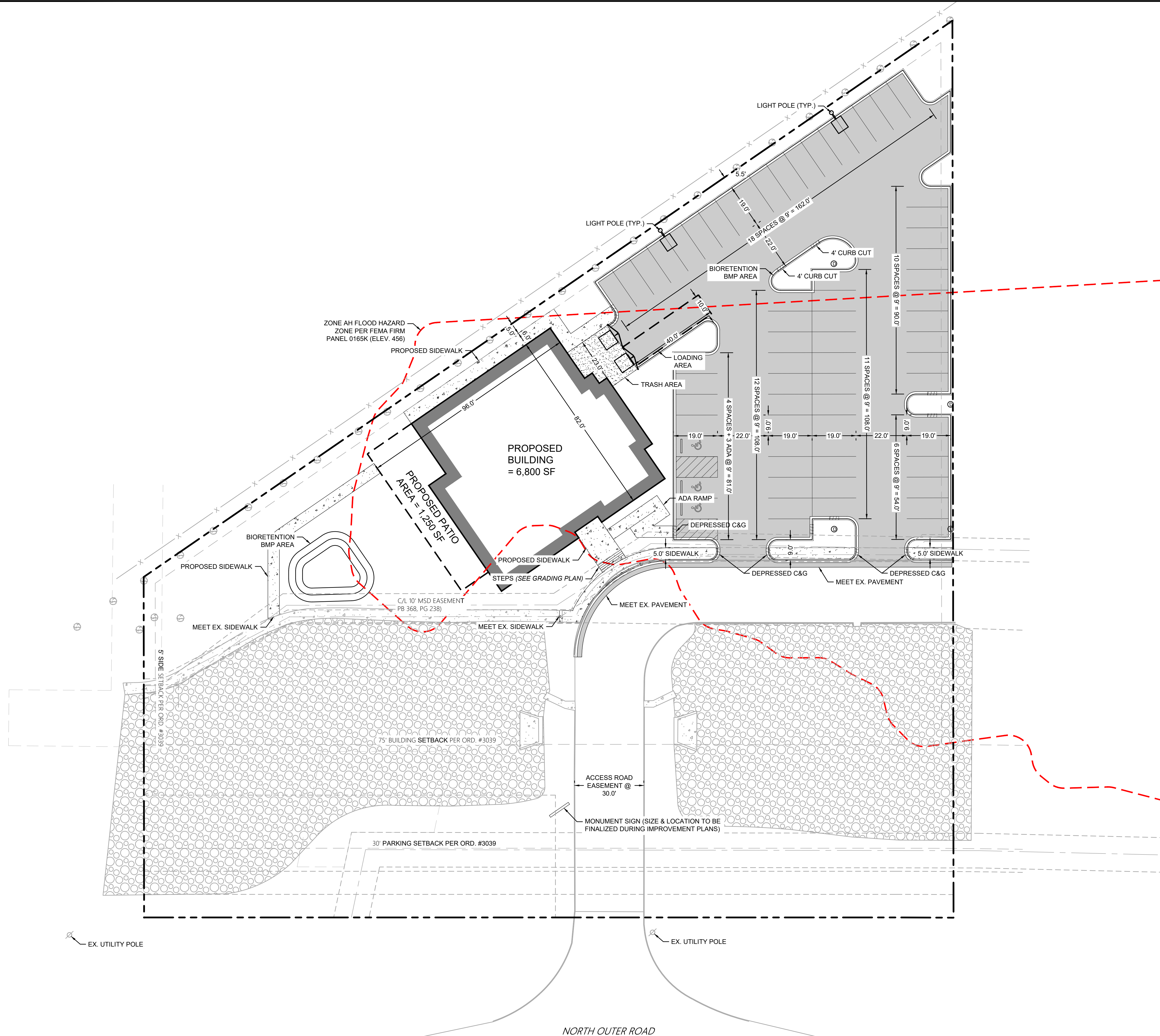
EXISTING
 CONDITIONS
 &
 DEMOLITION
 PLAN

SHEET NUMBER


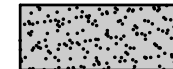

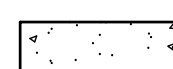
C1.0

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PAVEMENT LEGEND

-  STANDARD DUTY BITUMINOUS PAVEMENT
-  HEAVY DUTY BITUMINOUS PAVEMENT
-  HEAVY DUTY CONCRETE PAVEMENT
-  PCC SIDEWALK

SHEETS NOTES:

ZONING:
 CURRENT ZONING = PC (PLANNED COMMERCIAL)
 REQUIRED ZONING = NO CHANGE

SPACE REQUIREMENTS:
 MAXIMUM FLOOR RATIO DENSITY = 0.55 OR 55%
 OPEN SPACE RATIO = 0.35 OR 35%
 FLOOR AREA RATIO (FAR) = 0.19 OR 19%

LOT AREA = 93,999 SF (2.16 AC)
 BUILDABLE AREA = 42,298 SF (0.97 AC)
 IMPERVIOUS AREA = 39,300 SF (0.90 AC)
 PERVIOUS AREA = 54,900 SF (1.26 AC)
 PROVIDED OPEN SPACE = 0.42 OR 42%

DESIGN REQUIREMENTS:
 FRONT YARD SETBACK (PARKING): 30 FT
 FRONT YARD SETBACK (STRUCTURE): 75 FT
 SIDEYARD SETBACK: 5 FT

PARKING STALL DIMENSIONS = 9 FT X 19 FT
 DRIVE AISLE WIDTH = 22 FT

PARKING REQUIREMENTS:

REQUIRED PARKING:
 BAR = 12 STALLS PER 1,000 GROSS FOOT AREA (GFA)
 RETAIL = 4.5 STALLS PER 1,000 GFA

*THE PROPOSED BUILDING WILL BE OCCUPIED BY APPROXIMATELY 40 PERCENT BAR AND 60 PERCENT RETAIL.

*PER THE CITY OF CHESTERFIELD ORDINANCE, A MAXIMUM PARKING COUNT IS 120% OF THE MINIMUM

REQUIRED PARKING (BAR) @ 30%	24 STALLS
REQUIRED PARKING (RETAIL) @ 70%	21 STALLS
REQUIRED PARKING (PATIO)	15 STALLS

MIN. REQUIRED PARKING	60 STALLS
ADA SPACES REQUIRED	3 STALLS
MAX OF 120% OF MINIMUM	12 STALLS

TOTAL MAXIMUM REQUIRED PARKING 72 STALLS

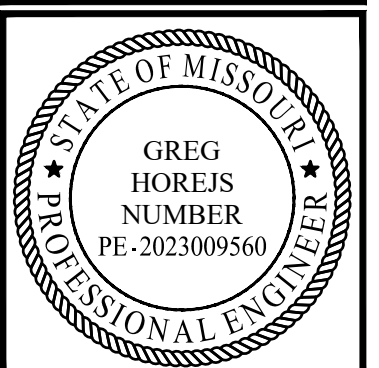
PROVIDED PARKING:

STANDARD STALLS	62 STALLS
ADA STALLS	3 STALLS
TOTAL STALLS	65 STALLS

ADDITIONAL NOTE(S):

- MECHANICAL AREA SHALL INCLUDE TRASH ENCLOSURE FINAL LOCATION TO BE DETERMINED DURING FINAL ENGINEERING
- FLOOD ELEVATION CONTOUR DATA IS BEST APPROXIMATED FROM FEMA FIRM PANEL 0165K
- BASE FLOOD ELEVATION (BFE) = 456'

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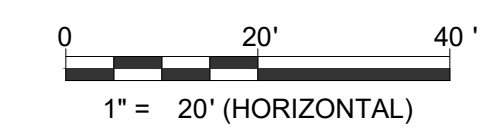
REVISIONS

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 16839 NORTH OUTER 40 ROAD
 CHESTERFIELD, MISSOURI

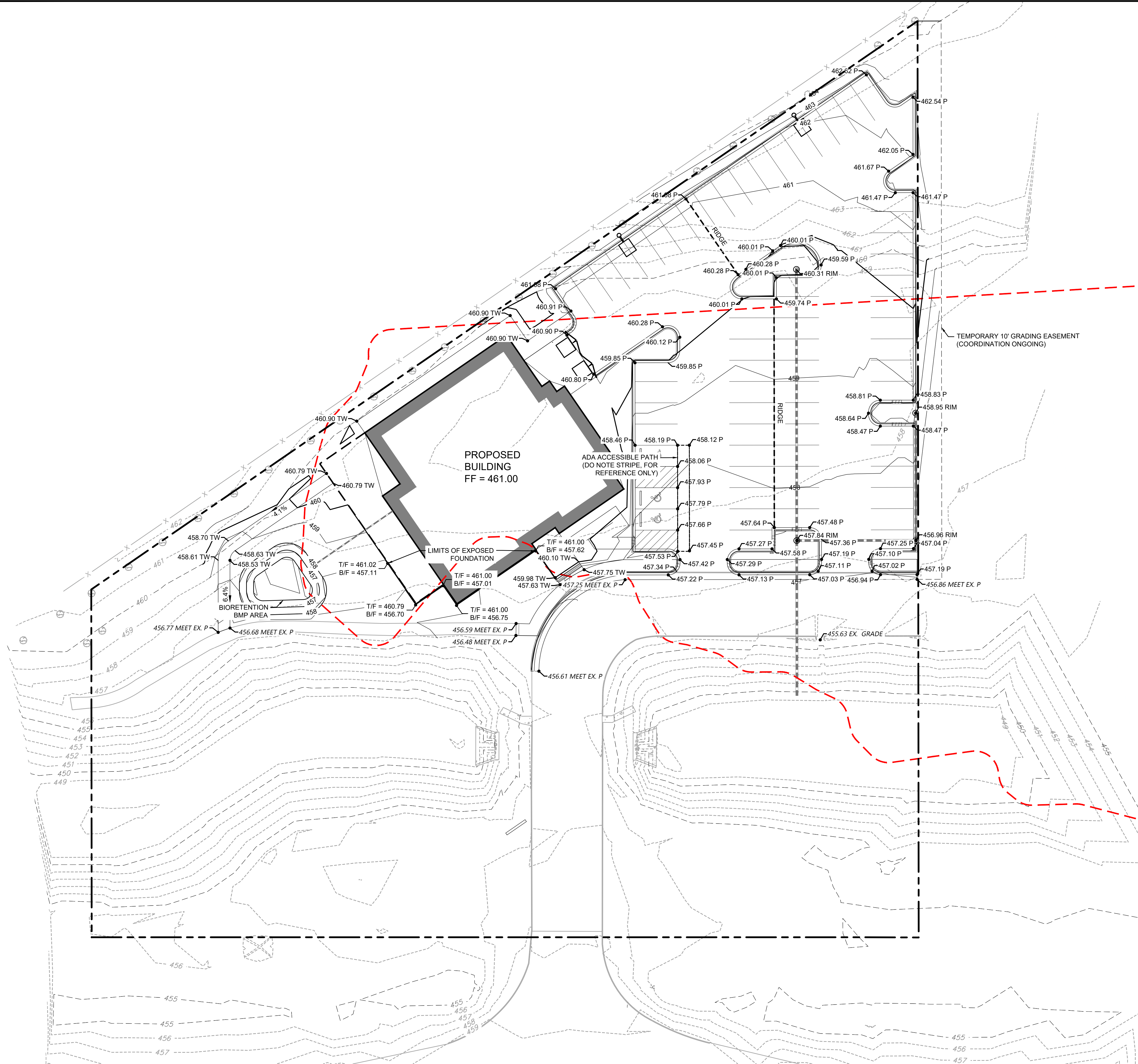


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SHEET TITLE
SITE LAYOUT PLAN



SHEET NUMBER
C2.0
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GRADING LEGEND

	DRAINAGE ARROW
	OVERLAND FLOOD ROUTE
	SPOT ELEVATION
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR

SHEET NOTE: STORM STRUCTURE RIM GRADES SHALL BE 6" ABOVE THE GROUND GRADE (G)

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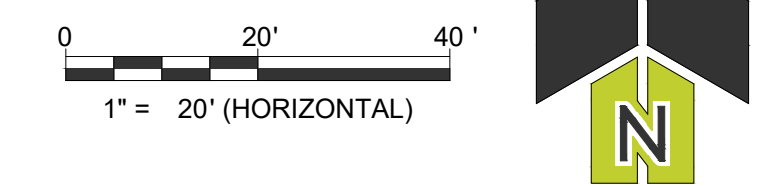
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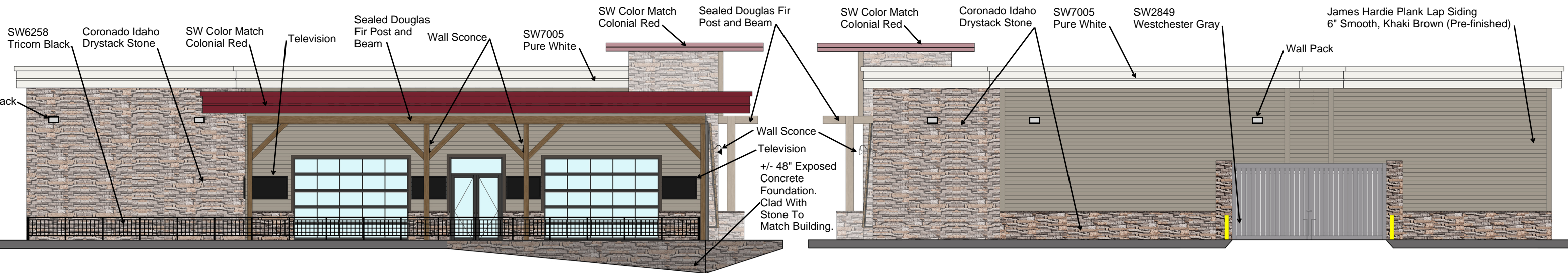
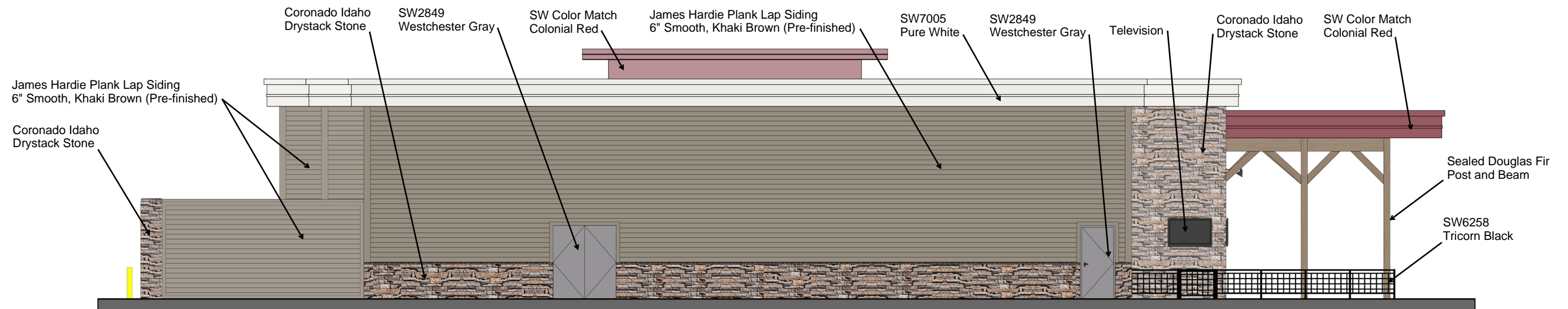
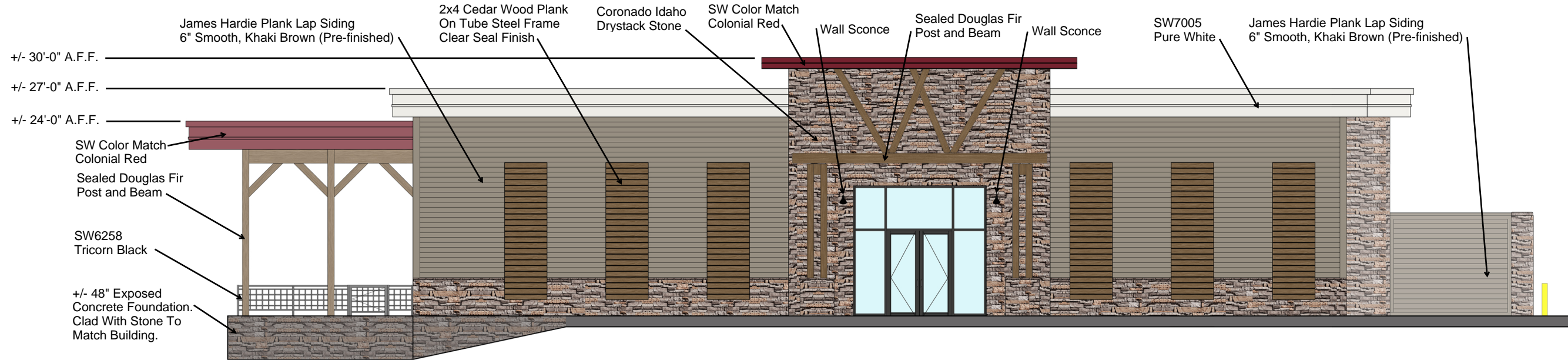
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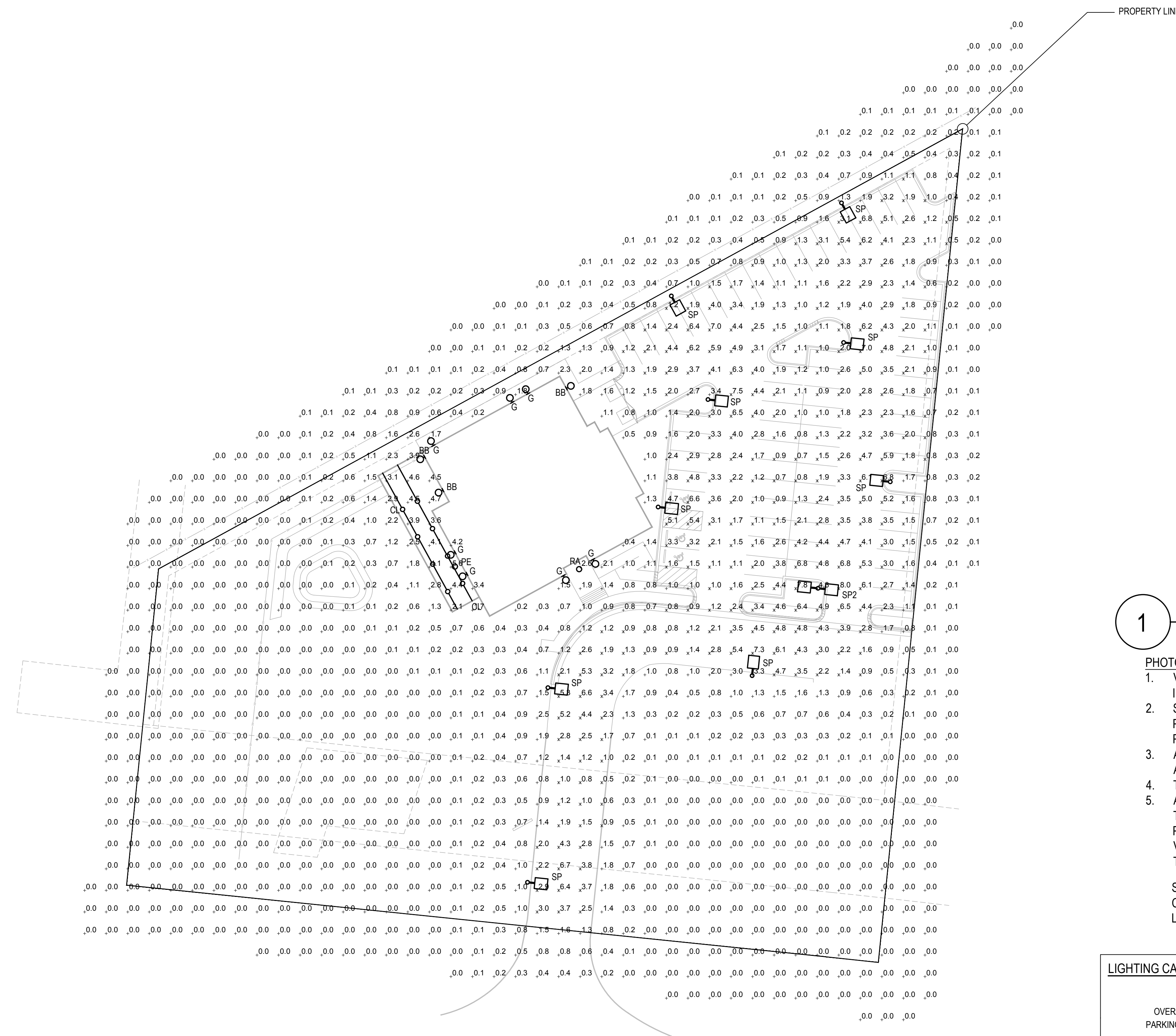
SHEET TITLE
**GRADING &
 DRAINAGE
 PLAN**



SHEET NUMBER
C3.0
 5 OF 8

****All Mechanical Units To Be Shielded By Parapets****





1 SITE LIGHTING PHOTOMETRIC
SCALE: 1" = 30'-0"

- PHOTOMETRY PLAN GENERAL NOTES:
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
 - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
 - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 - THERE WILL BE NO OFF-SITE GLARE ALLOWED.
 - ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.
- SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF CHESTERFIELD EXTERIOR LIGHTING STANDARDS

LIGHTING CALCULATION STATISTICS SUMMARY:

	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
OVERALL SITE:	1.0fc	8.0fc	0.0fc	NA	NA
PARKING AREAS:	2.8fc	8.0fc	0.5fc	16:1	5.6:1

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16839 NORTH OUTER 40 ROAD
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PROJ NO: 230327
ENG: JMB
DATE: 06/04/2024

SHEET TITLE
SITE LIGHTING
PHOTOMETRIC

SHEET NUMBER
PH-1



