

## Planning Commission Staff Report

<b>Project type:</b>	Sign Package
<b>Meeting Date:</b>	June 24, 2024
<b>From:</b>	Shilpi Bharti, Planner <i>SB</i>
<b>Location:</b>	900 Spirit of St. Louis Blvd.
<b>Description:</b>	<b>Gateway Studios, Lot 1A Sign Package:</b> A sign package for Gateway Studios subdivision located on a 30.08-acre tract of land located north of Chesterfield Airport Road and east of Spirit of St. Louis Blvd., zoned "PC" - Planned Commercial District.

### PROPOSAL SUMMARY

Piros Signs, Inc. on behalf of Gateway Studios LLC, has submitted a Sign Package for Gateway Studios subdivision. The Gateway Studio Subdivision consists of three lots, Lot 1A, Lot 1B, and Lot 2. The applicant is requesting specific sign criteria for Lot 1A of Gateway Studios subdivision, Lot 1B, and Lot 2 will follow the City of Chesterfield Unified Development Code sign requirements. Sign criteria includes installing roof top signs, wall signs, monument signs and incidental signs.

### HISTORY OF SUBJECT SITE

The subject property was originally zoned "M3" Planned Industrial District by St. Louis County. On March 19, 2007 Ordinance 2342 was approved which rezoned the property to "PC" Planned Commercial District. Following the approval of the Ordinance a Lot Split and Boundary Adjustment Plat were approved in May of 2007.



Figure 1: Subject Site Aerial

In 2021 a Boundary Adjustment Plat, Amended Site Development Concept Plan, Site Development Section Plans for Lots 1 and 2, and an Architectural Specialty Lighting Plan was approved for the

development known as Gateway Studios, a campus containing recording and film studios, office space and a hotel. In 2022, a Boundary Adjustment Plat, and an Amended Concept plan was approved. A Boundary Adjustment Plat was done to divide the Lot 1 into two lots Lot 1A and Lot 1B. In 2023 an Amended Site Development Section plan was approved for Lot 1A. The Site Plan was amended to include a trash enclosure on the east and modify the sidewalk layout on the west. In the same year, Amended Architecture Elevation was approved. Currently, the site is under construction.

## **STAFF ANALYSIS**

The Gateway Studios subdivision consists of three lots. Lot 1A has proposed Studio buildings which is under construction, Lot 1B and Lot 2 sits vacant. The building on Lot 1A consists of office space, three studio buildings and supporting structure building. All these buildings are connected to each other and constitutes towards single building. The sign package submitted by applicant is to minimize the complexity of design by providing signs near appropriate positions. Sign package request is to modify sign requirements for wall signs, monument signs and add roof top sign which is prohibited in the City of Chesterfield Unified Development Code (UDC). Requested signs are larger in square feet area than allowed as per code, but the requested area blends with the structure as the Gateway Studio buildings are 50 feet to 100 feet tall. Proposed signs could provide appropriate visibility when viewed from distance.

### **Sign Packages**

The purpose of a Sign Package, which serves as the mechanism for allowing modifications to the UDC sign regulations, is to provide comprehensive, complementary, and unified signage throughout a development. The UDC states that “in order to encourage superior design, quality and character, comprehensive sign packages allow for specialized review of signs and flexibility from standard signage requirements.”

The UDC includes the following review factors that are to be considered by the Planning Commission when discussing the appropriateness of any requested sign package:

1. The physical impact of the proposed comprehensive sign package;
2. The quality of the proposed comprehensive sign package; and
3. Mitigation of unfavorable conditions such as excessive signs, light spillover from signs, height, and other related conditions and potentially negative impacts.

### **Request and UDC regulation**

#### **Lot 1A**

The Sign Package requested by an applicant for Lot 1 A of Gateway Studios subdivision is to get flexibility in the size of monument sign, number of proposed wall signs, and allowing prohibited roof top signs. The request and UDC regulation pertaining to signs are summarized below:

1. **Monument Sign:** As per Unified Development Code, a single commercial development in excess of twenty (20) acres in size shall be permitted a project identification sign at each main entrance

to the development. Lot 1A of Gateway Studios is 23 acres in size, and thus, Lot 1A is allowed total of two monument sign. Also, as per UDC, size of each monument sign shall not exceed 100 square feet in area and 6 feet in height. The applicant has proposed one monument sign to be 126 square feet and height of 7 feet. The second monument sign will comply with the code.

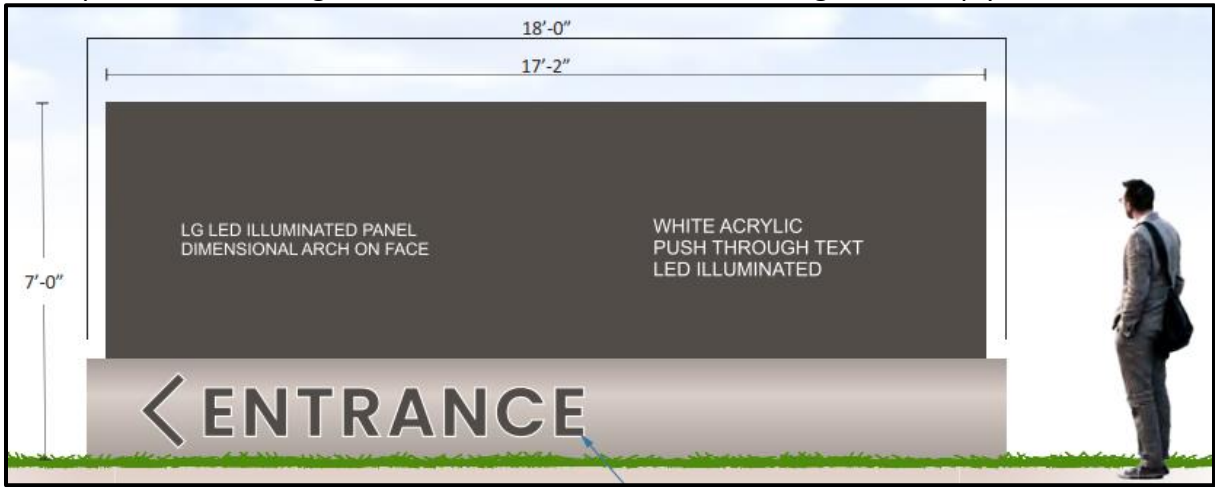


Figure 2: Proposed monument sign

- 2. **Wall signs:** The entire structure of Gateway Studios building is considered as one structure. As per UDC, the sole occupant of a building located on a corner lot or a lot with double frontage are allowed one (1) attached sign on any three (3) walls of a building that are exterior. The request is to have two (2) signs on south elevation (facing Chesterfield Airport Road), four (4) signs on west elevation (facing Spirit of St. Louis Blvd.), two (2) signs on east and two (2) signs on west elevations. The total sign area requested on each elevation is less than 5% of building elevation but exceeds 300 square feet in area. As per UDC, wall signs shall not exceed 5% of building elevation or 300 square feet area, whichever is less.

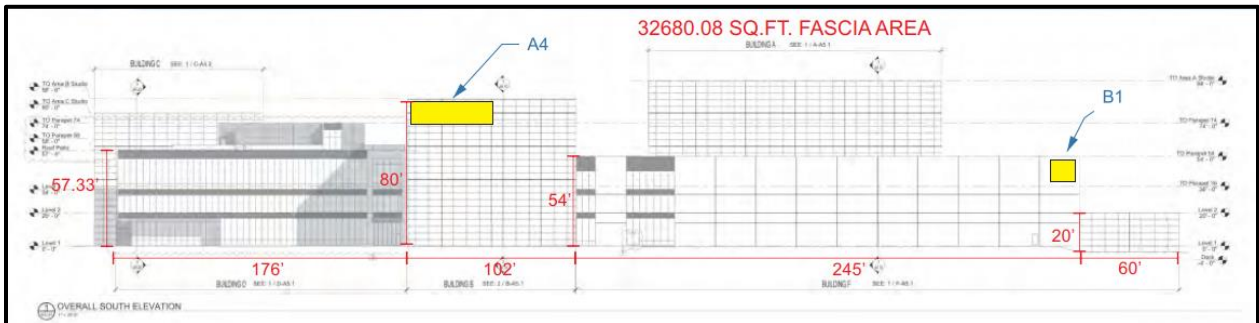


Figure 3: Proposed wall signs on south elevation

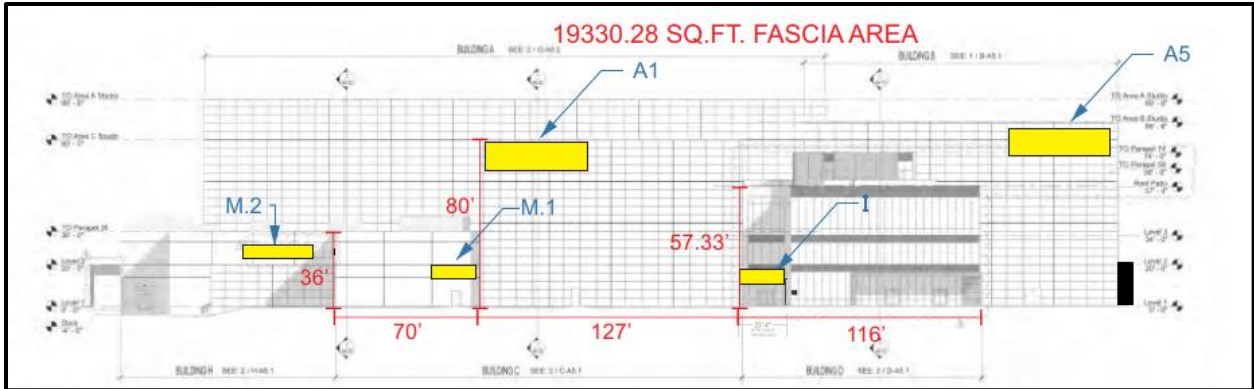


Figure 4: Proposed wall signs on west elevation

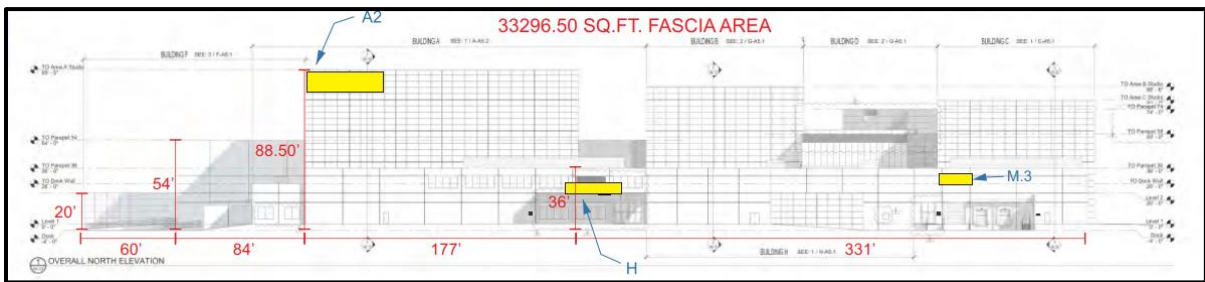


Figure 5: Proposed wall signs on north elevation

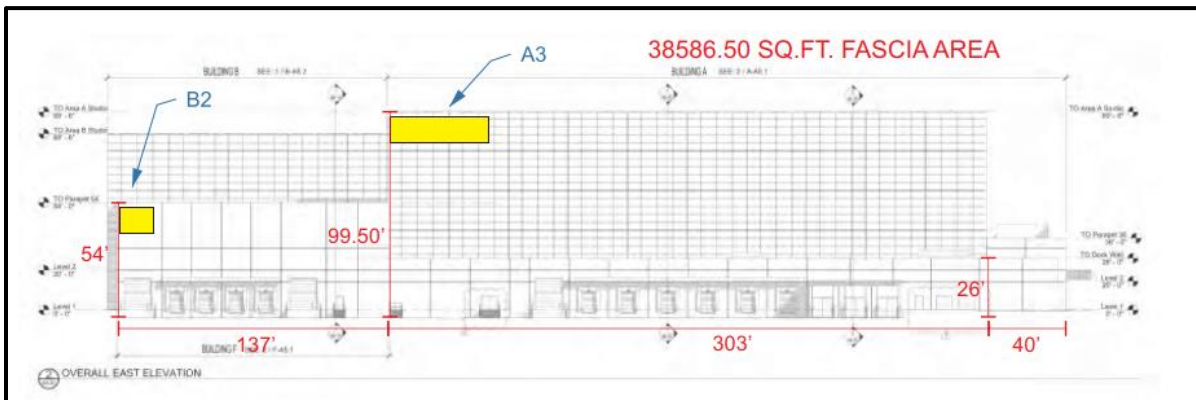


Figure 6: Proposed wall signs on east elevation

- 3. Roof top signs:** Projected signs and roof top signs are prohibited in the City of Chesterfield Unified Development Code. The applicant is requesting two (2) roof top signs; one on the west elevation and another on the north elevation. These signs are placed at the entry of studio buildings to indicate the studio number.



Figure 7: Proposed rooftop sign (Studio 75) on west elevation

- 4. **Incidental signs:** The City of Chesterfield Unified Development code exempts incidental signs but the incidental signs need to follow the setback and height requirements. Incidental signs are not allowed to exceed more than six (6) feet height. The applicant is requesting total of eight (8) incidental signs, each having height of 5'-9".

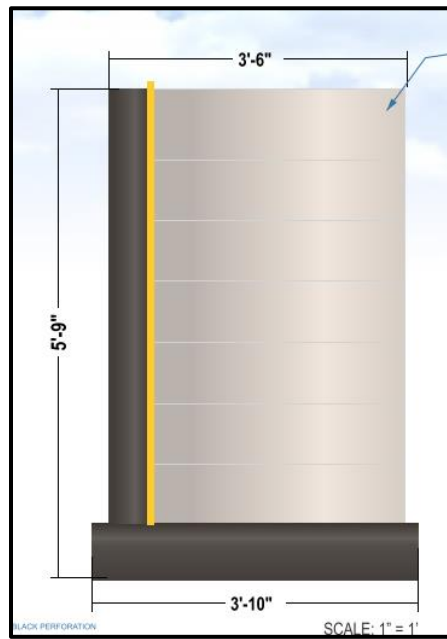


Figure 8: Proposed Incidental sign

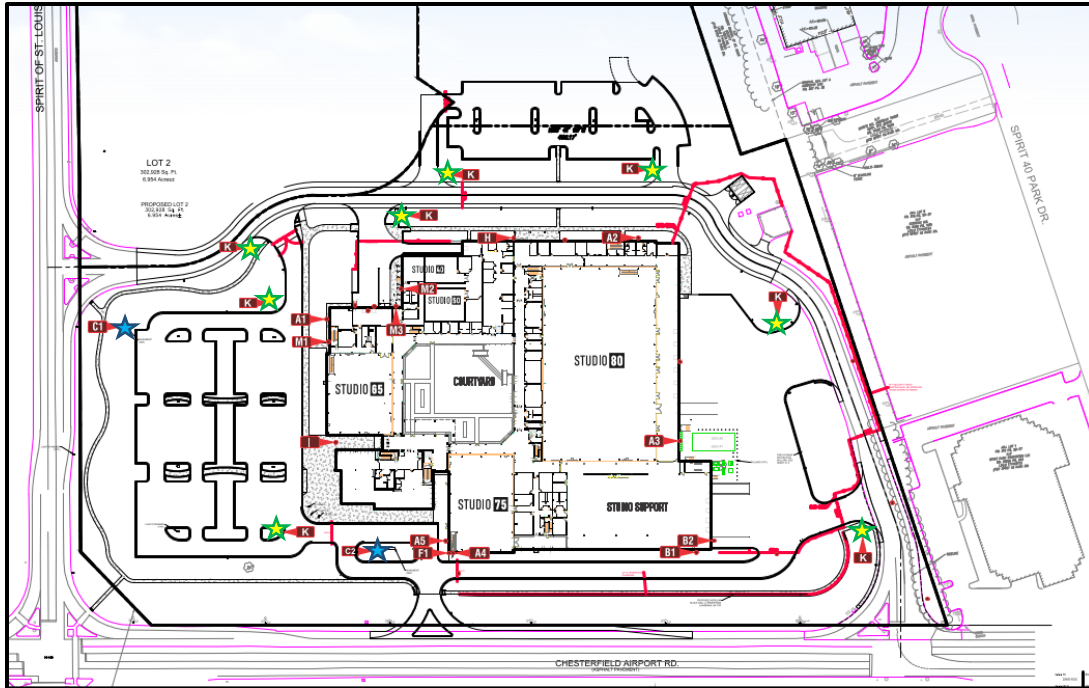


Figure 9: Site Plan showing the incidental sign marked as “K” (yellow star) and monument sign marked as “C” (blue star)

### Lot 1B and Lot 2

The signs proposed on Lot 1B and Lot 2 will follow the City of Chesterfield Unified Development Code sign requirements.

### DEPARTMENTAL INPUT

The applicant has submitted a Sign Package for Gateway Studios subdivision seeking flexibility in the number of wall signs, size of monument sign, and allowing roof top signs for Lot 1A. Lot 1B and Lot 2 in the subdivision will follow the Unified Development Code sign requirements. The applicant has met all the filing requirements for a comprehensive Sign Package. As per City of Chesterfield Unified Development Code, a Comprehensive Sign Package requires Planning Commission approval, and staff recommends action.

### MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Sign Package for Gateway Studios Sign as presented.”
- 2) “I move to approve the Sign Package for Gateway Studios with the following conditions...”  
(Conditions may be added, eliminated, altered or modified)

Attachments: Attachment A  
Sign Package Request

## SIGN REGULATIONS

### Section 1:

All signage within the development shall be in conformance with the Comprehensive Sign Package.

All tenants, businesses, and owners within the development shall receive a copy of the Comprehensive Sign Package from the owner at the time of lease/sale.

Signage on Lot 1-B and Lot 2 shall conform to the Unified Development Code.

### Section 2: Sign Criteria for Lot 1A

#### A. Wall Sign (shown as blue box in the Exhibits)

1. The elevations identified in Exhibit A and D shall be permitted a maximum of 2 wall signs. Total cumulative area of two signs shall not exceed 525 square feet.
2. The elevation identified in Exhibit B is allowed to have 4 wall signs. Total cumulative area of the four signs shall not exceed 960 square feet.
3. The elevation identified in Exhibit C is allowed to have total 2 wall signs. Total cumulative area of two signs shall not exceed 460.29 square feet.

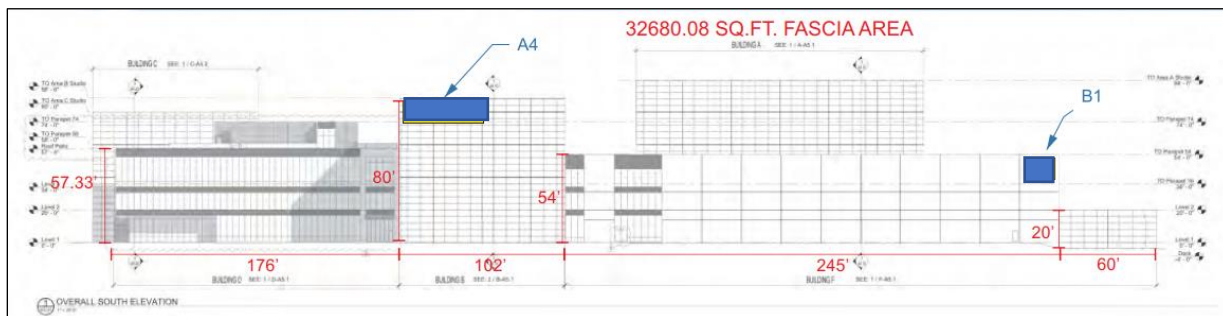


Exhibit A (South Elevation)

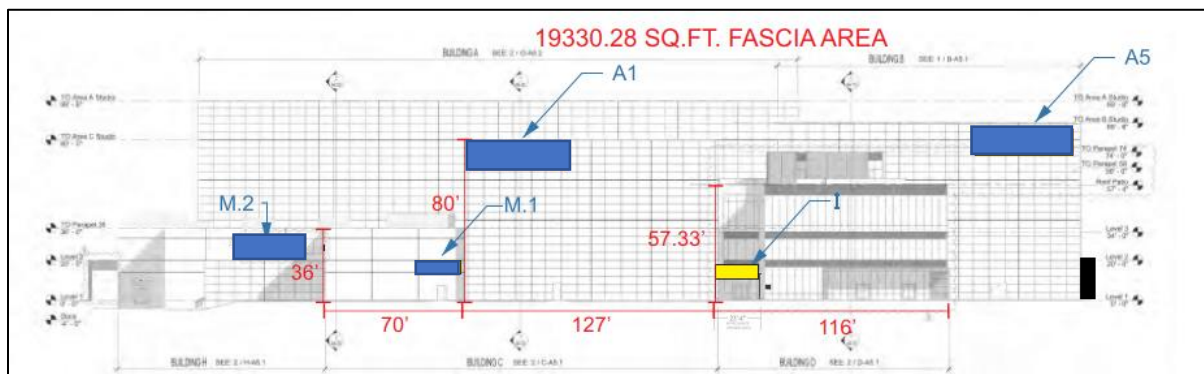
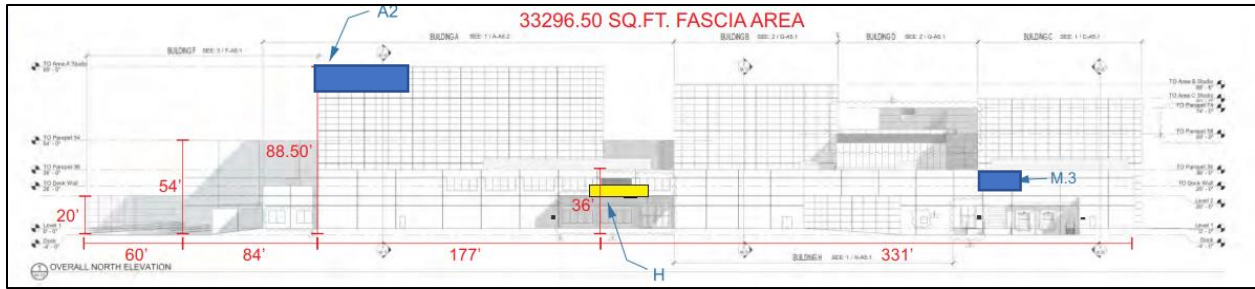
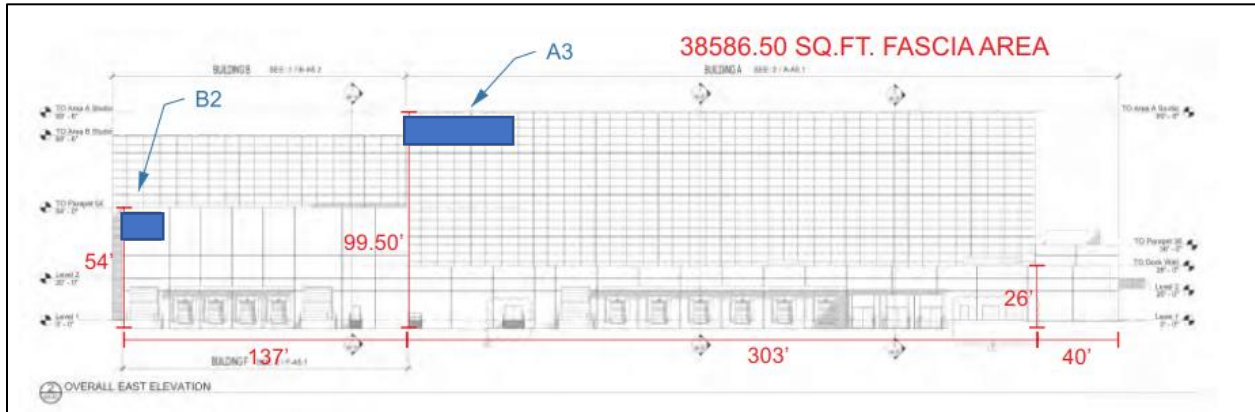


Exhibit B (West Elevation)



**Exhibit C (North Elevation)**



**Exhibit D (East Elevation)**

**B. Roof Sign (shown as yellow box in the Exhibits)**

1. The elevations identified in Exhibit B and C shall each permit one roof top sign as shown in the exhibits.

**C. Monument Signs**

1. Lot 1A is allowed two monument signs.
2. One monument sign shall not exceed 7 feet height, and 126 square feet sign area. Second monument sign shall comply with the Unified Development Code sign requirements.

**D. Incidental Signs (marked as K (yellow star) in Exhibit E)**

1. In addition to other incidental signs permitted in the UDC, 8 incidental signs shall be permitted with a maximum height not exceeding 5'9" as shown in Exhibit F.



2. Incidental signs shall not be located in the structure or parking setbacks.
3. The incidental sign shall not be in the sight distance triangle.

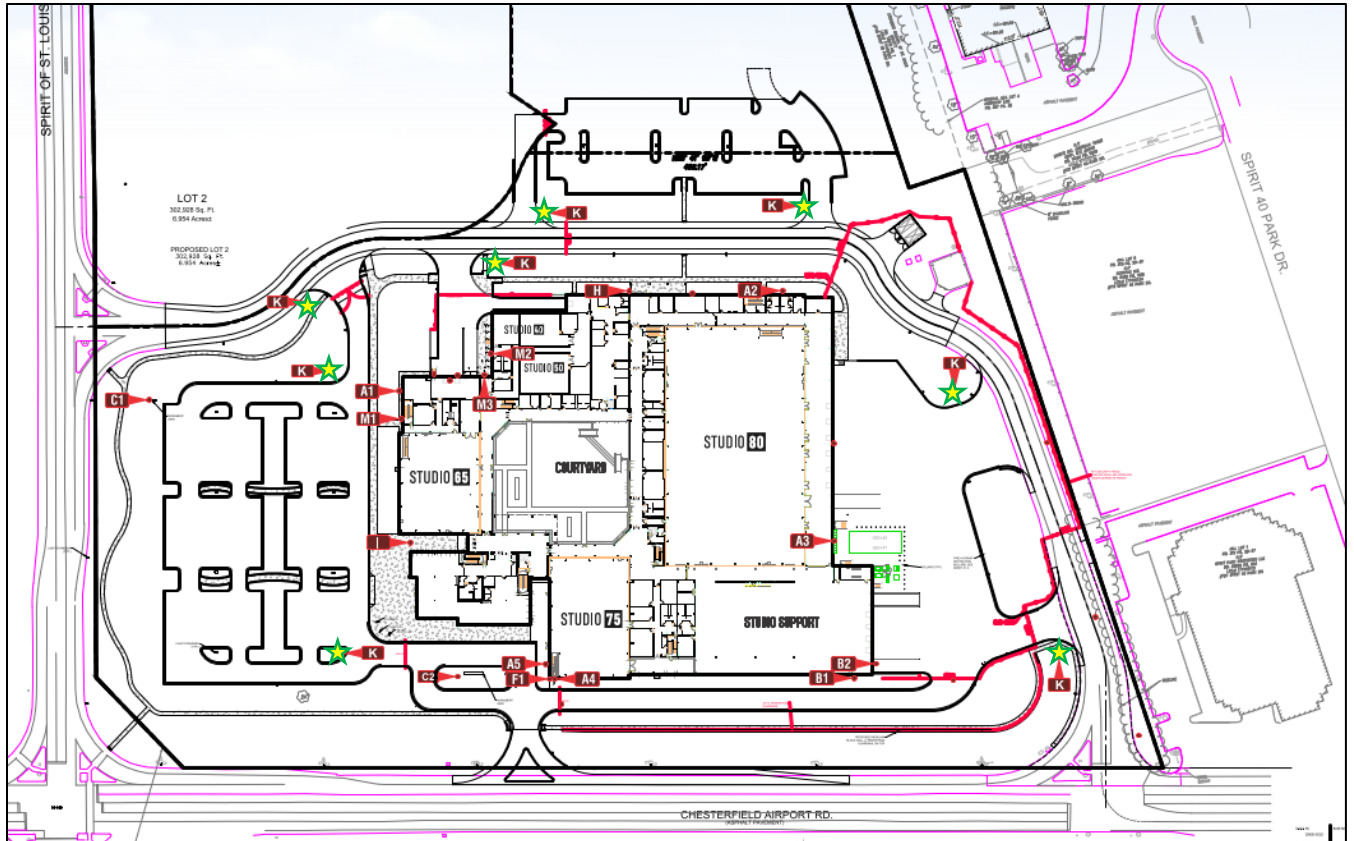


Exhibit E (Site Plan showing sign locations)

# Gateway Studios

## Sign Package Submission

June 03, 2024

The enclosed package is under consideration to become the standard for all signage installed on Gateway Studios Record Plat Lot 1A. The purpose of this narrative is to provide a summary to assist in the review and approval of the Gateway Studios sign criteria.

The primary objective of the Gateway Studios signage program is to provide proper site identification and maximize the ease of navigating around the large complex. We feel we will accomplish our objective while maintaining a visually appealing site. As with all amenities, lighting, and landscape, the signage shall be complimentary to the site's use.

Gateway Studios is unique, as the first of its kind development in the Midwest. The site will have frontage along Chesterfield Airport Road, Spirit of St. Louis Blvd., and major visibility from Interstate 64. However, the main site entrance will be along Spirit of St. Louis Blvd.

Signage locations are marked on the site map ([Exhibit 1](#)). Approximate locations are shown for signs K and L as they will be solely located within the drive/parking complex and will be placed where they are needed the most. Wall sign locations have been mocked up on building elevations ([Exhibit 2](#)).

### I. MONUMENT SIGNS;

- a. Two (2) illuminated freestanding monument signs will be allowed for this lot. The first sign will be located along the secondary entrance on Chesterfield Airport Road. Our intention for this sign is to eventually update the overall site development plan to allow the sign at the intersection of Chesterfield Airport Road and Spirit of St. Louis Blvd. This sign will utilize an arrow to guide users to the main entrance of the site along Spirit of St. Louis Blvd. The sign will be 126 square feet at 7 feet in overall height (Sign C2) ([Exhibit 3](#)). The second sign will be located at the entrance to the site along Spirit of St. Louis Blvd. This sign will be 85.83 square feet at 5'-6" overall height (Sign C1) ([Exhibit 4](#)). Both signs will utilize push thru letters as well as a face lit logo.

### II. WALL SIGNS:

- a. There are seven (7) illuminated, wall-mounted I.D. signs proposed for the site, with signage on each of the four building elevations. These will be the main source of site identification due to their building placement and are meant to identify the site from greater distances, as well as from Interstate 64. Five (5) of the signs will consist of face lit channel letters with logo cabinets and will be 425.00 square feet each (Signs A1-A5). Two (2) signs will consist of face lit logo cabinets only and will be 100.00 square feet each (Signs B1-B2). ([Exhibit 5](#))

- b. In addition to the wall mounted I.D. signs, we will have three (3) illuminated, face lit, studio entrance signs of varying sizes (Signs M1-M3). (Exhibit 6) These will be located above or at their respective entrances and are meant to guide the users to the correct door, once on site.

### III. ROOF/CANOPY MOUNTED SIGNS:

- a. The site will utilize two (2) “roof/canopy mounted signs” above the entrances of Studio 80 (Sign H) and Studio 75 (Sign I). These signs are meant to identify their respective entrances to on site users. (Exhibit 7)

### IV. WAYFINDING SIGNS:

- a. The site will utilize up to eight (8) illuminated wayfinding signs within the complex interior drive lanes and parking lots at 18.38 square feet each (Signs K1-K8). These are necessary due to the vast size of the complex and the different studio entrance locations. Exact placement to be determined. (Exhibit 8)

All major freestanding signs shall be subjected to the same base and landscaping requirements as detailed in the Unified Development Code.

All other signage for Lot 1A, not specifically detailed in the above-mentioned sign plan, shall be governed in accordance with the City of Chesterfield Unified Development Code.

Signage for Lot 1B and Lot 2 shall be governed in accordance with the City of Chesterfield Unified Development Code.

All signage within the development shall be in conformance with the Comprehensive Sign Package.

All tenants, businesses, owners, within the development shall receive a copy of the Comprehensive Sign Package from the owner at the time of sale/lease.

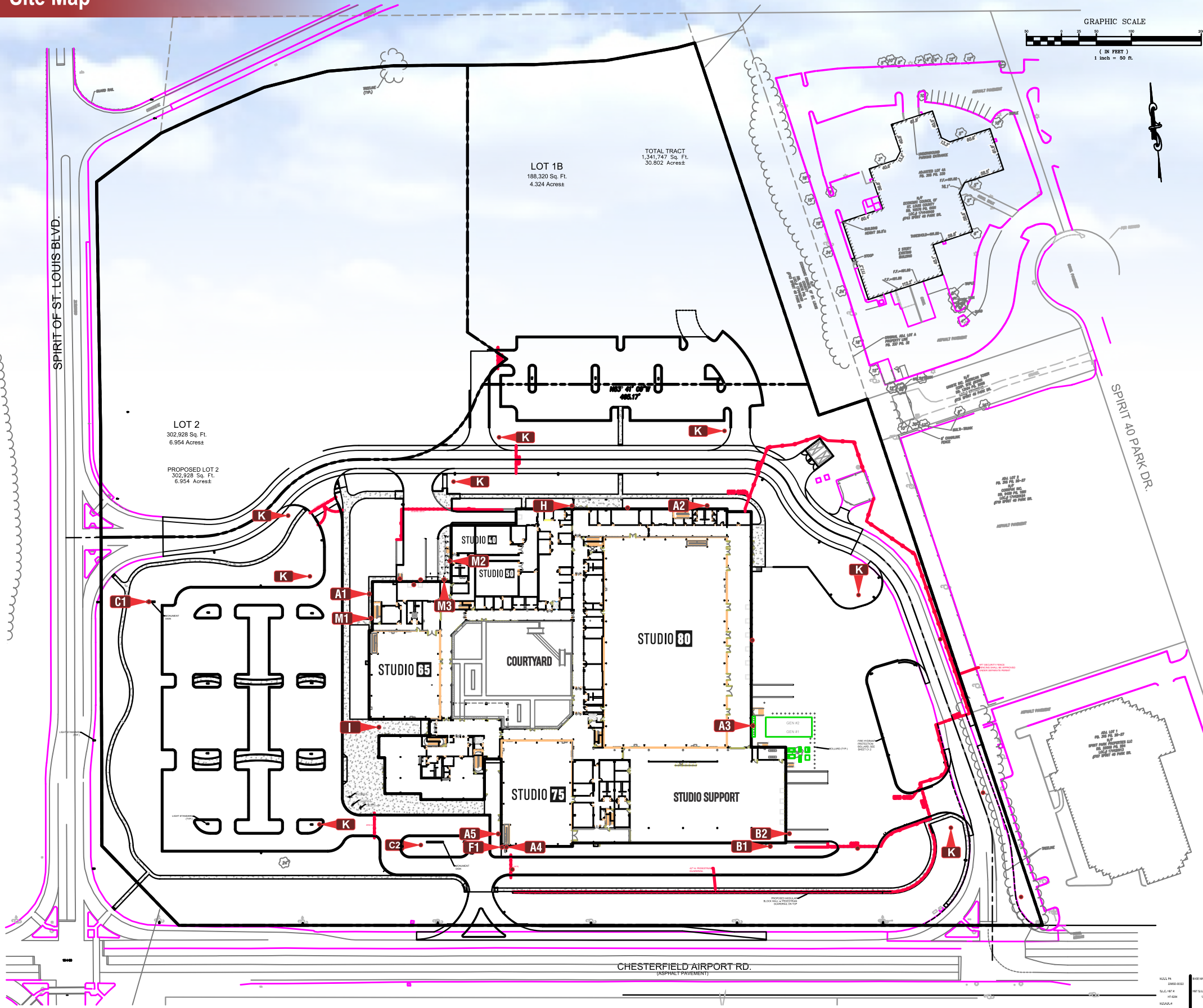
**SIGN MATRIX**

Monument Sign C2	126.00 Square Feet (Exhibit 3)
Monument Sign C1	85.83 Square Feet (Exhibit 4)
Wall Signs A1 – A5	425.00 Square Feet (Exhibit 5)
Wall Signs B1 – B2	100.00 Square Feet (Exhibit 5)
Wall Sign M1	59.00 Square Feet (Exhibit 6)
Wall Sign M2	50.40 Square Feet (Exhibit 6)
Wall Sign M3	35.29 Square Feet (Exhibit 6)
Roof Sign H	193.12 Square Feet (Exhibit 7)
Roof Sign I	55.00 Square Feet (Exhibit 7)
Wayfinding Signs K1 – K8	18.38 Square Feet (Exhibit 8)

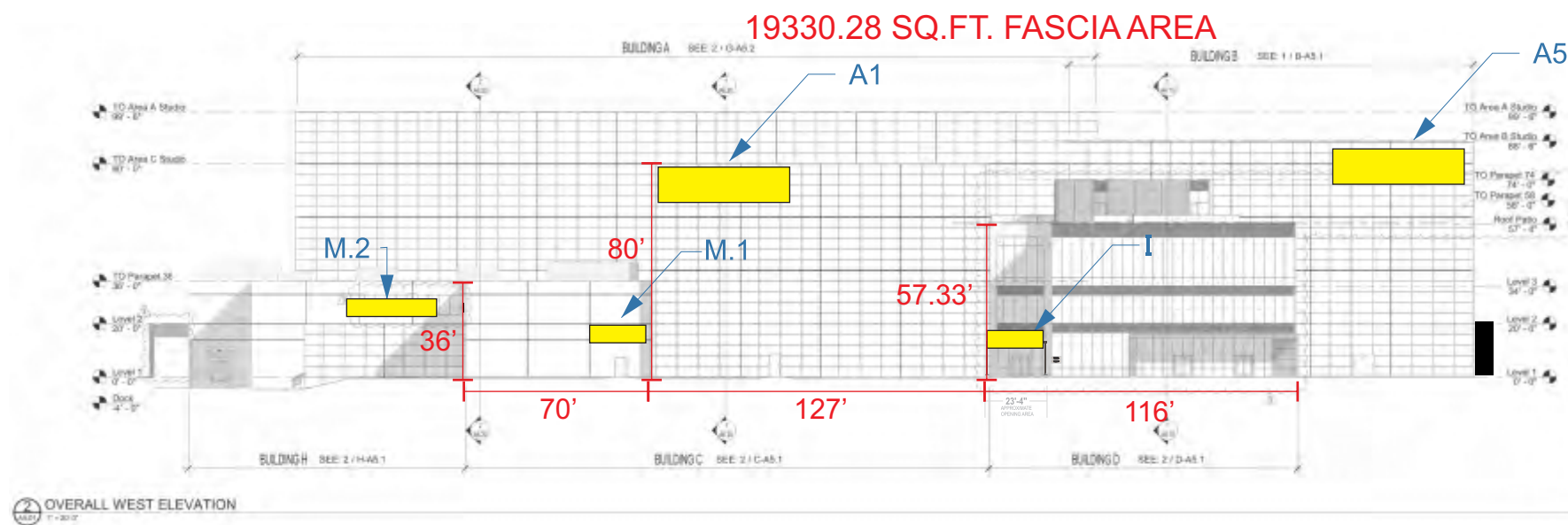
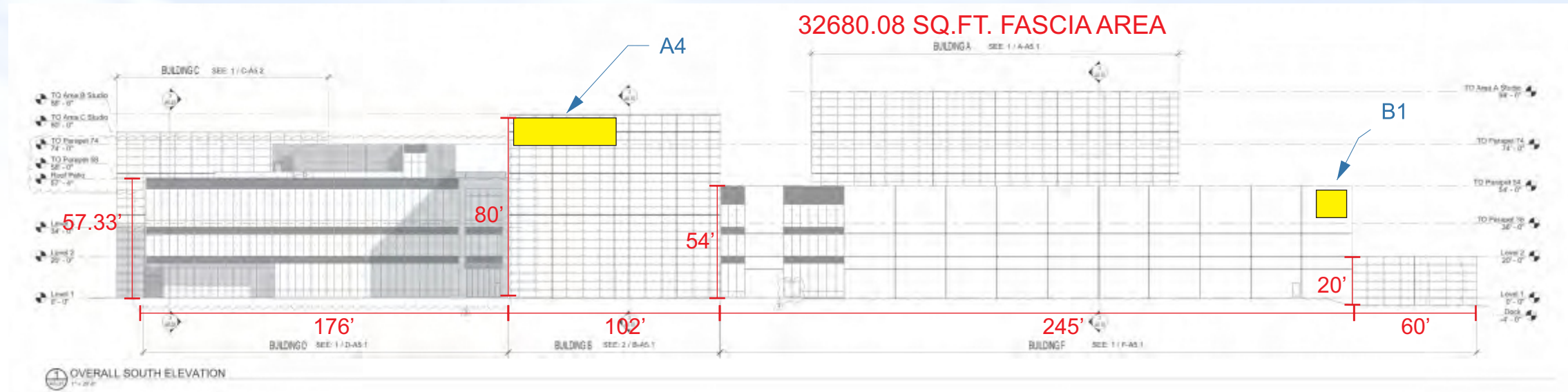
Elevation	Max Number of Signs		Maximum Percent of Elevation by UDC	Building Fascia Area	Total Sign Size	Percent Requested
	Permitted by UDC	Total Requested				
South	1	2	5%	32680.08	525.00	1.60%
West	1	5	5%	19330.28	1014.4	5.24%
North	1	3	5%	33296.50	653.41	1.96%
East	0	2	0	38586.50	525.00	1.36%

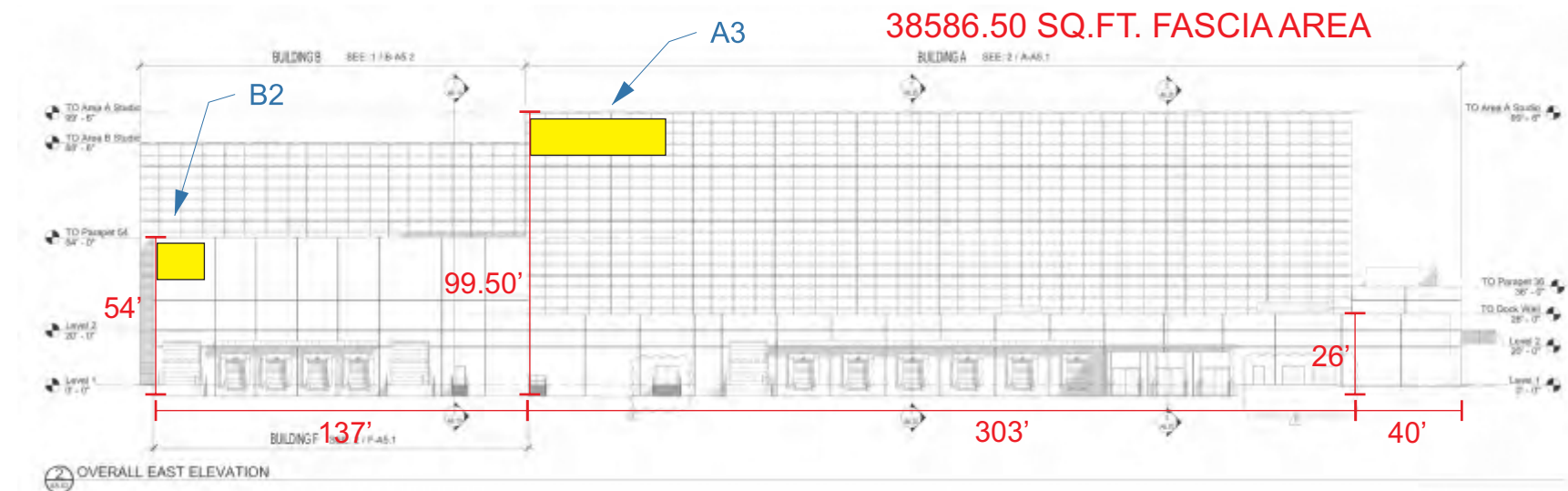
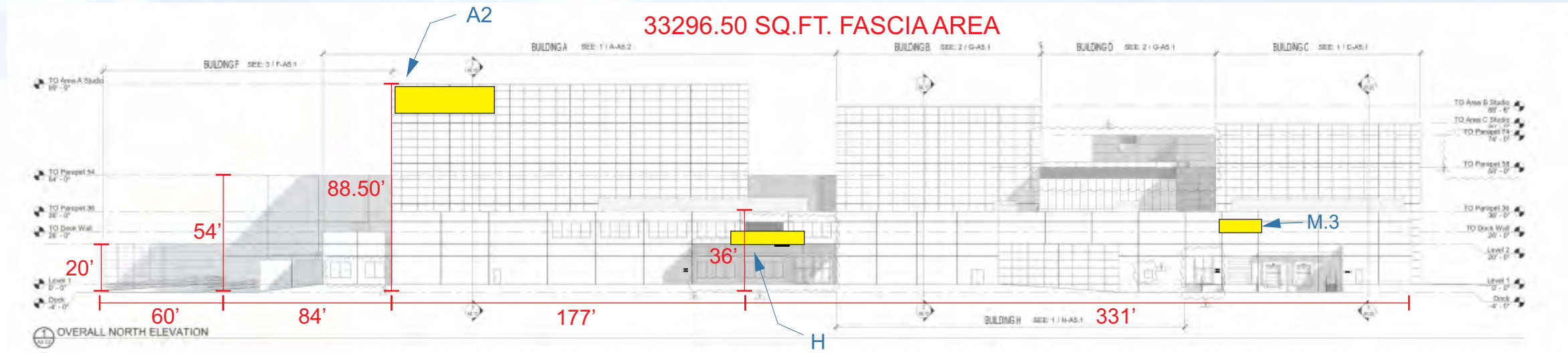
### Sign Schedule

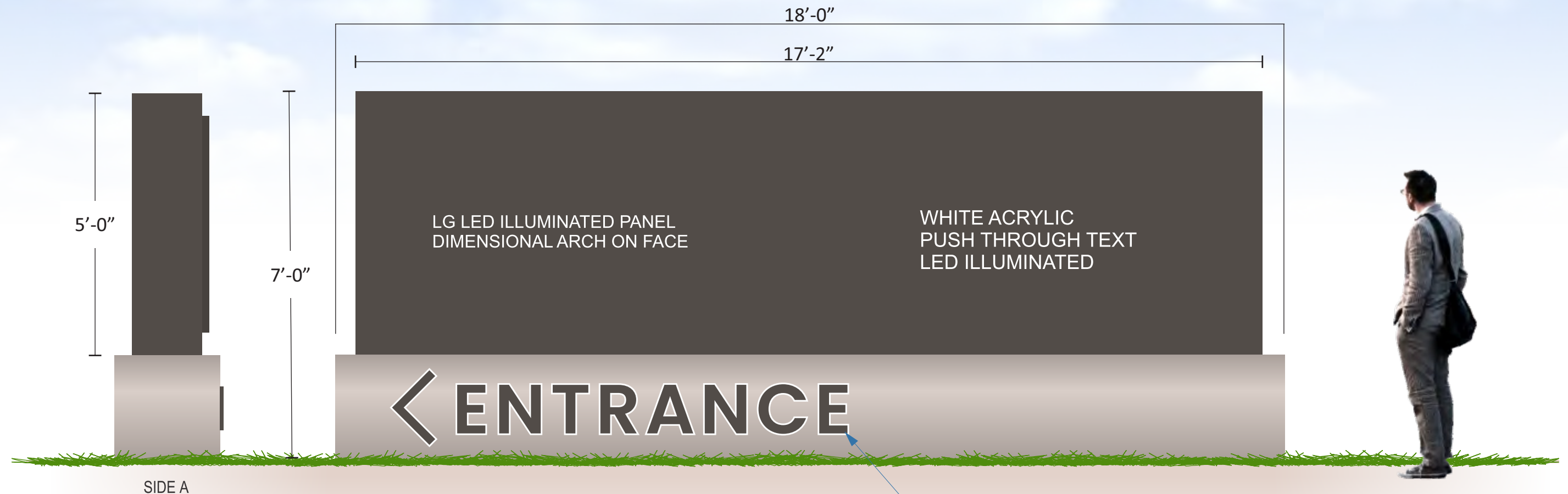
- A** LOGO + LETTER WALL SIGNS (A1, A2, A3, A4, A5)
- B** SQUARE LOGO WALL SIGNS (B1, B2)
- C** MONUMENTS (C1, C2)
- H** ROOFTOP SIGN
- I** ROOFTOP SIGN
- K** DIRECTIONAL SIGNS (K1 thru K8)
- M** WALL CHANNEL LETTER SET (M1, M2, M3)



ALL SET 1  
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 ALL SET 3  
 ALL SET 4  
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### Monument Sign

SCALE: 1/2" = 1'

PRODUCE & INSTALL EXTERIOR SIGNAGE.

- ALUMINUM FABRICATED PANELS & BASE
- WHITE LED INTERNALLY ILLUMINATED
- WHITE ACRYLIC PUSH THROUGH FACES
- YELLOW PANEL TO BE ILLUMINATED
- DIMENSIONAL ARCH ATTACHED TO FACE
- DETAILS AS NOTED

WHITE REFLECTIVE APPLIED TO BASE  
1" ACRYLIC LETTER MOUNTED ON TOP

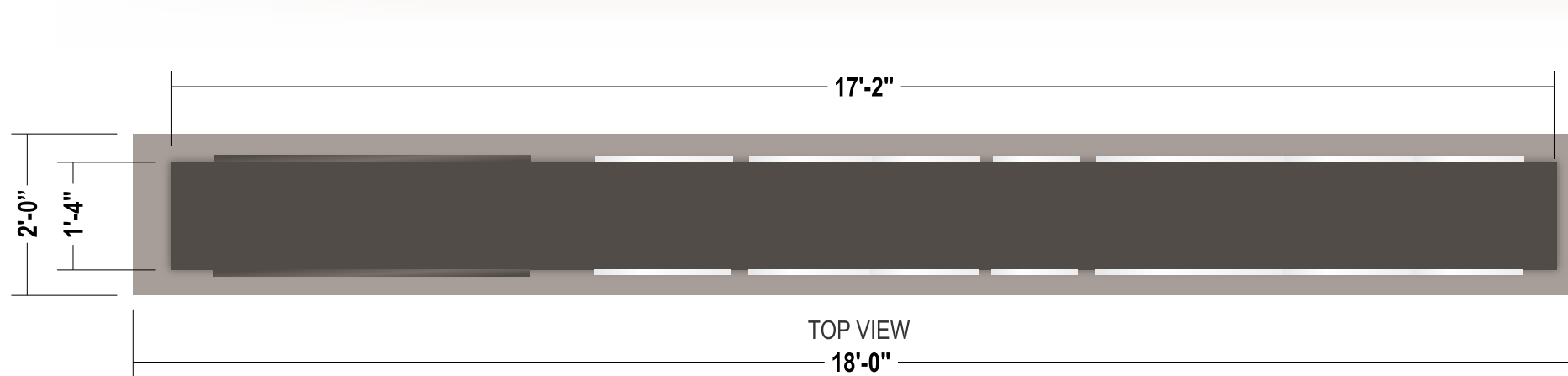
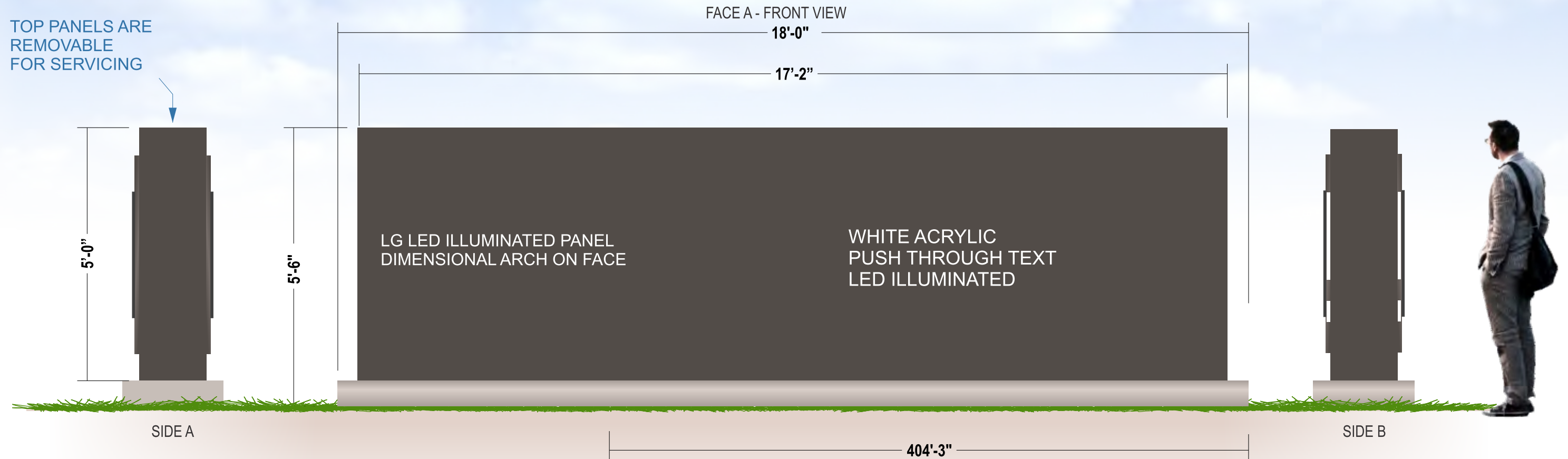


Push Thru Letters



Face Lit Cabinet Sign





ALUMINUM FABRICATED BASE

### Monument Sign (D/F)

SCALE: 1" = 1'

PRODUCE & INSTALL EXTERIOR SIGNAGE.

- ALUMINUM FABRICATED PANELS & BASE
- WHITE LED INTERNALLY ILLUMINATED
- WHITE ACRYLIC PUSH THROUGH FACES
- YELLOW PANEL TO BE ILLUMINATED
- DIMENSIONAL ARCH ATTACHED TO FACE
- YELLOW ACRYLIC ACCENT BAR
- DETAILS AS NOTED

(C1)

Push Thru Letters



Face Lit Cabinet Sign





A - (A1, A2, A3, A4, A5) - Channel Letters - Quantity: 5

Face Lit Channel Letters





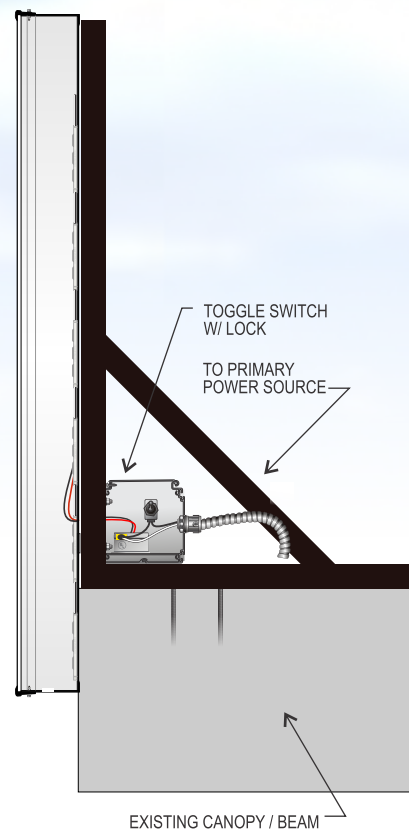
H - Canopy Letter Set Detail

Face Lit Channel Letters





H - Canopy Letter Set Detail



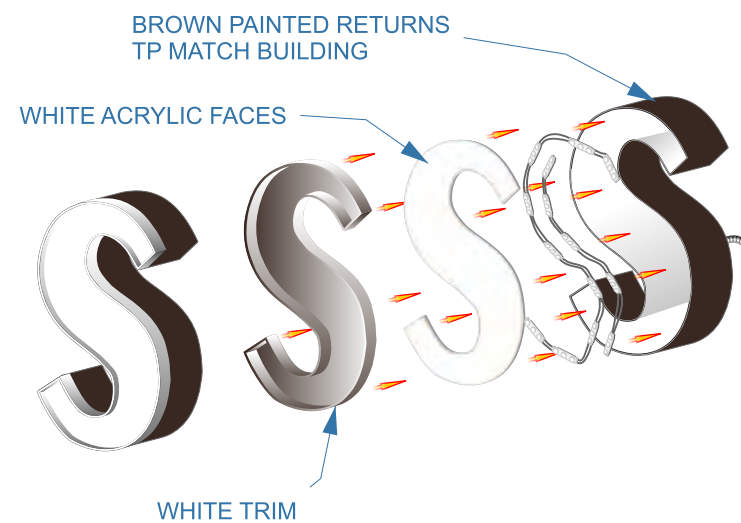
Section Detail

Roof Sign

SCALE: 3/8" = 1'

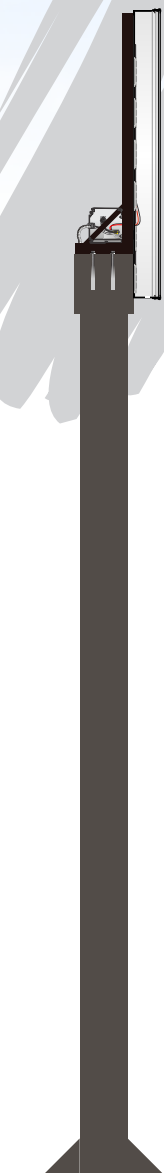
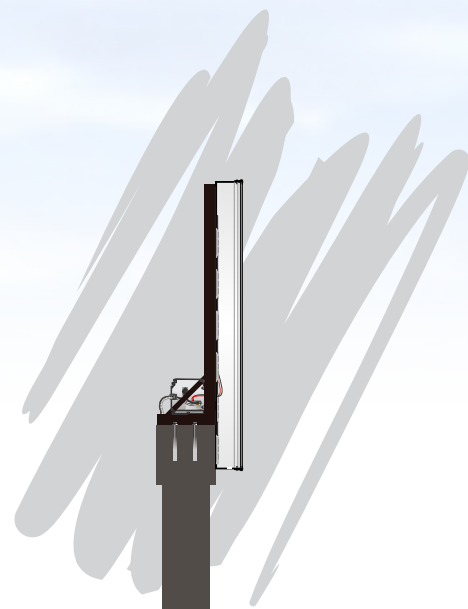
PRODUCE & INSTALL EXTERIOR SIGNAGE.

- CUSTOM FABRICATED CHANNEL LETTERS
- WHITE ACRYLIC FACES & TRIM
- RETURNS PAINTED BROWN TO MATCH BUILDING
- 2" RETAINER ON BOX PAINTED WHITE
- BLACK VINYL "80" ON FACE
- LETTERS / BOX MOUNTED TO TOP OF CANOPY
- MOUNTING BRACKETS TBD - FIELD SURVEY NEEDED
- DETAILS AS NOTED





I.4 - Archway Sign Detail



## Roof Sign

PRODUCE & INSTALL EXTERIOR ARCHWAY.

- CUSTOM FABRICATED ARCHWAY
- PAINT COLOR TBD
- WHITE LED ILLUMINATED CHANNEL LETTERS
- WHITE ACRYLIC FACES (75 TO BE BLACK VINYL)
- WHITE TRIM
- BROWN PAINTED RETURNS
- LETTERS MOUNTED TO TOP OF ARCHWAY
- BASEPLATE MOUNT / BOLTED TO CONCRETE PAD
- DETAILS TBD
- ENGINEERING NEEDED

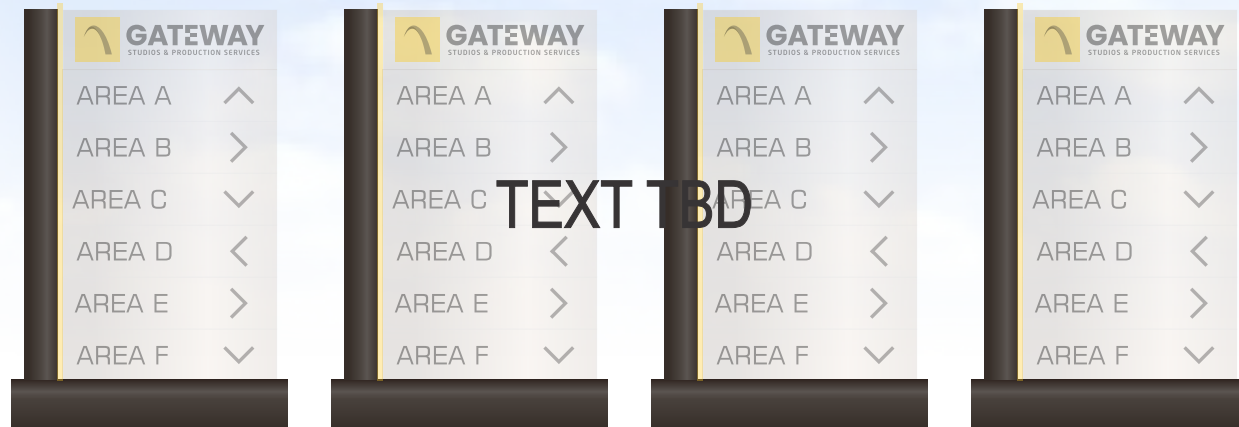


SIDE DETAIL



K - (K1, K2, K3, K4, K5, K6, K7, K8) - Directional Sign- Quantity: 8

18.38 SQUARE FEET

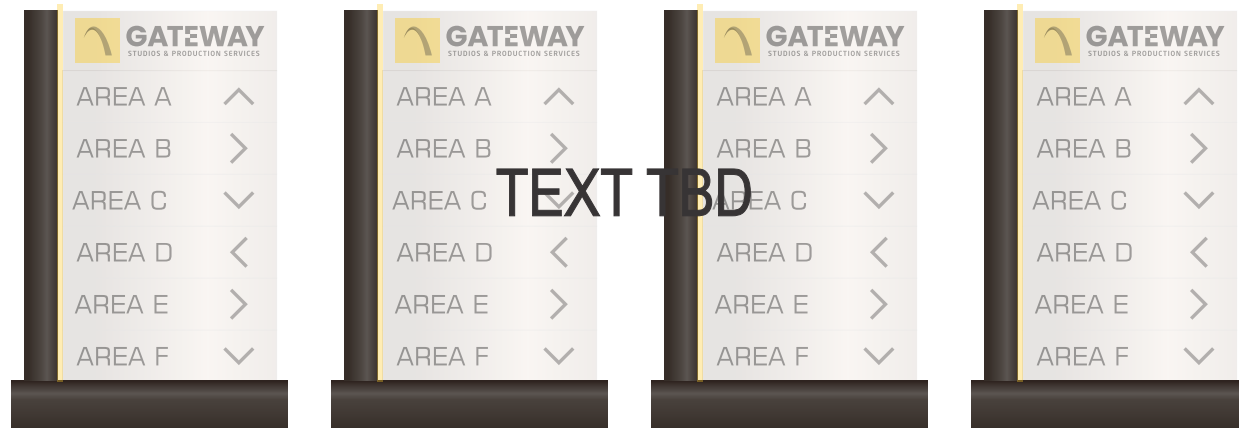


K1

K2

K3

K4

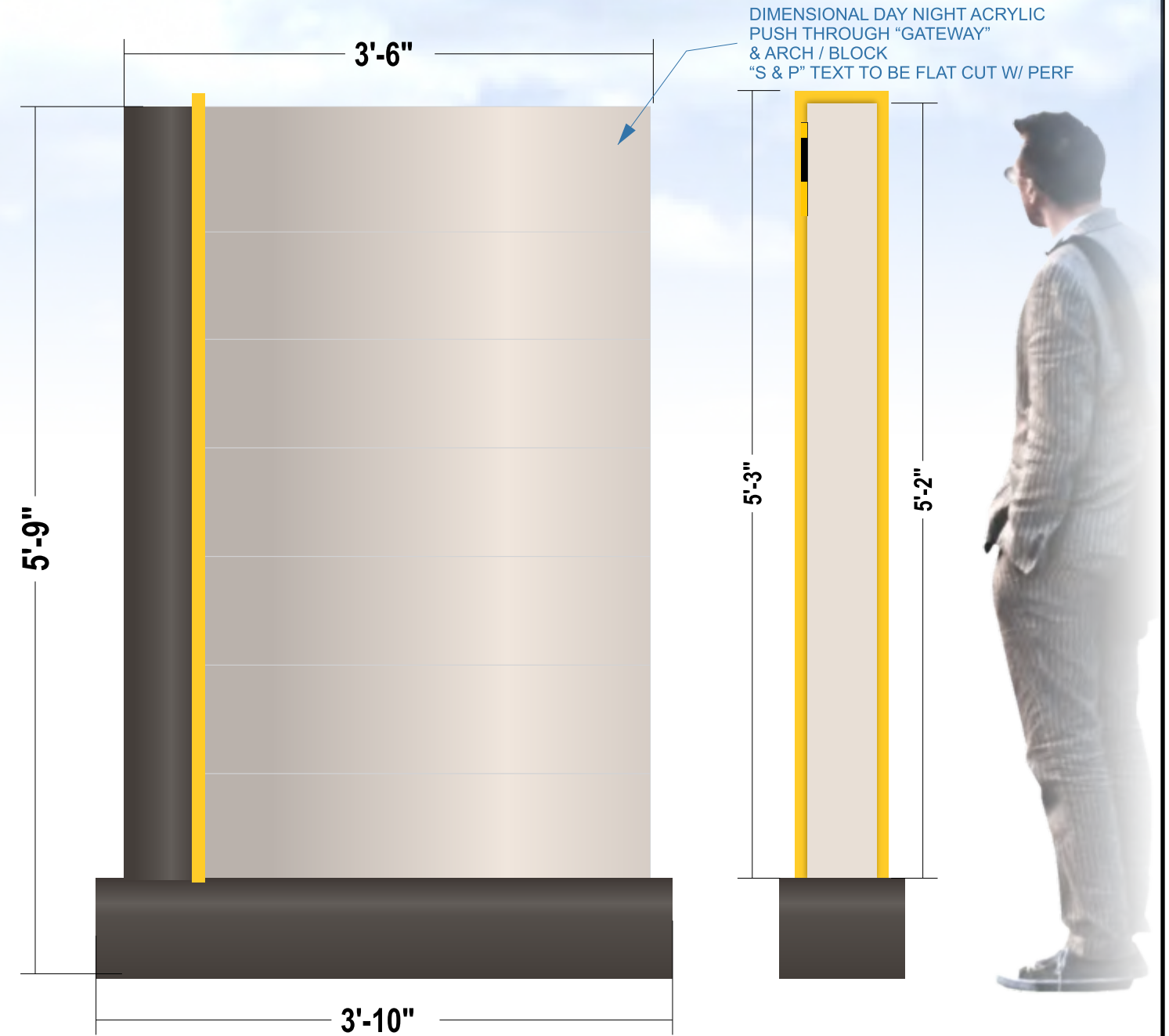


K5

K6

K7

K8

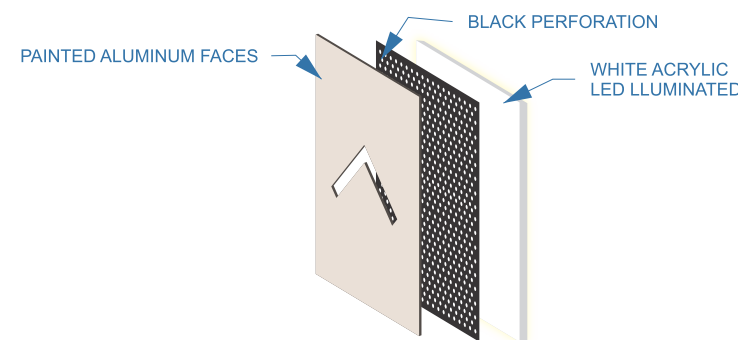


SCALE: 1" = 1'

**Directional / Wayfinding Signs** SCALE: 3/8" = 1'

PRODUCE & INSTALL EXTERIOR SIGNAGE.

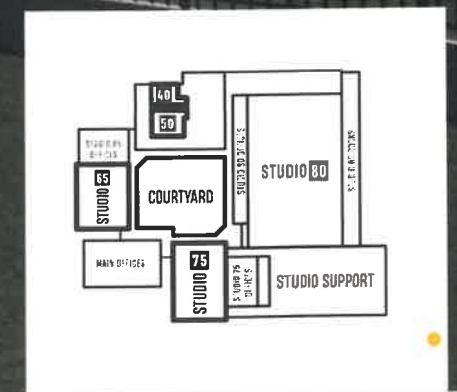
- ALUMINUM FABRICATED PANELS
- REMOVABLE PANEL FOR FUTURE UPDATING
- WHITE LED INTERNALLY ILLUMINATED
- BLACK DAY/NIGHT PERFORATION ON WHITE ACRYLIC FACES INTERNALLY
- DETAILS AS NOTED
- YELLOW ACRYLIC ACCENT BAR







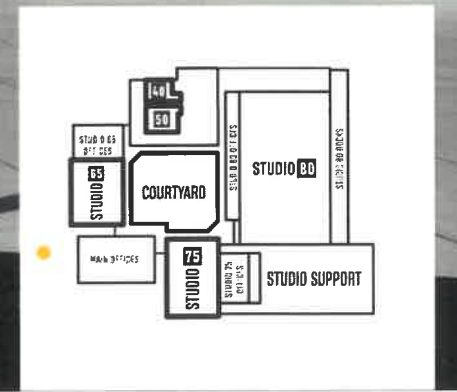
South



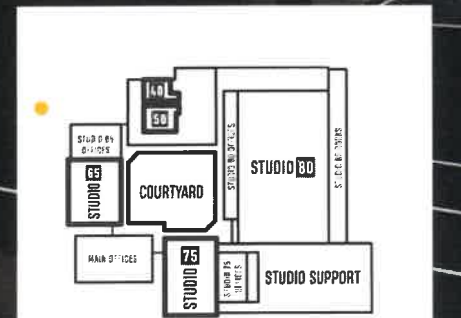
East



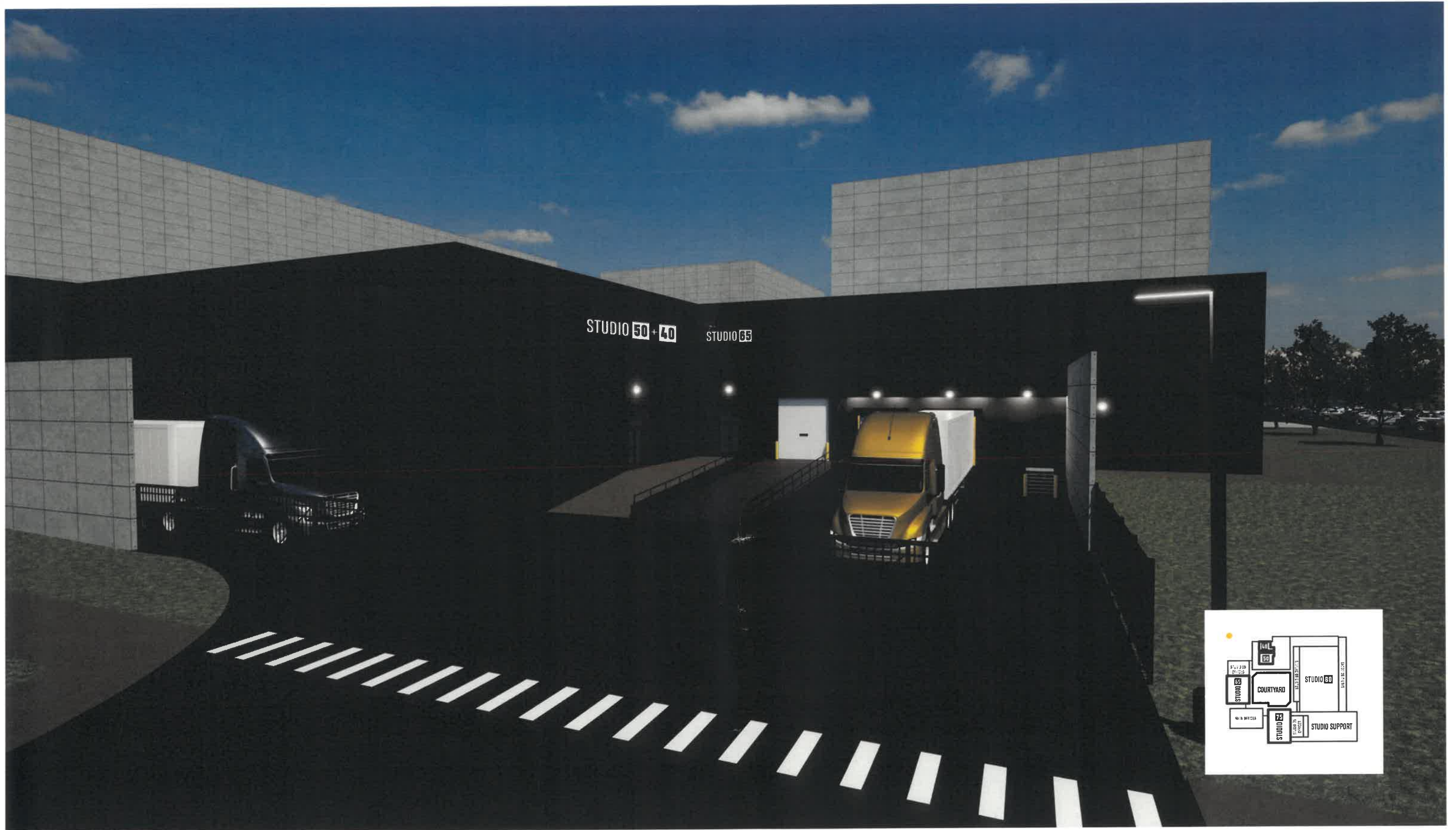
West



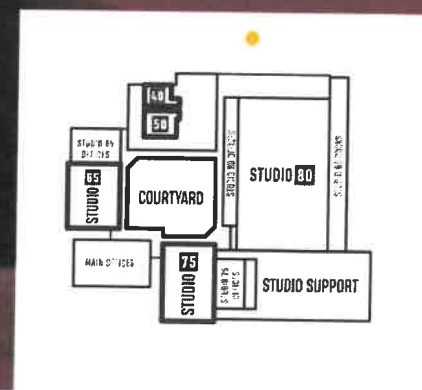
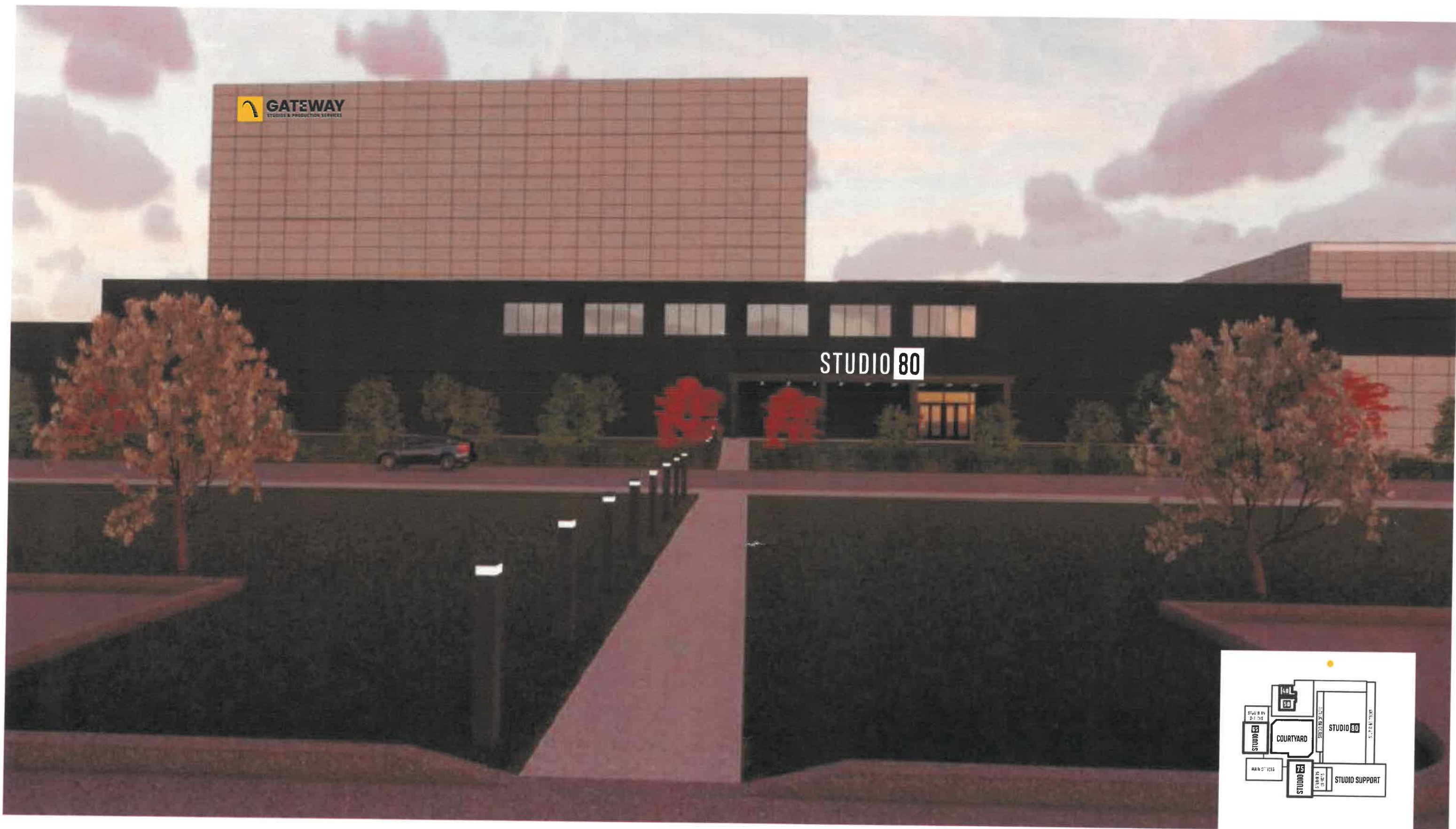
West



West



North



North