

IV.D.

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Architectural Review Board Staff Report

Meeting Date: March 14th, 2024

From: Alyssa Ahner, Planner

Location: 631 Veteran's Place Drive

Description: <u>Central City Park:</u> Architectural Elevations for an addition to the City of Chesterfield Amphitheater located in Central Park west of Chesterfield Parkway and south of Burkhardt Place.

PROPOSAL SUMMARY

Bond Architects, on behalf of the City of Chesterfield, has submitted Architectural Elevations for a proposed addition and improvements to the existing amphitheater located in Central Park.



Figure 1: Subject Site

Architectural Review Board March 14th, 2024

PROJECT OVERVIEW

Following authorization from City Council improvements to the existing for amphitheater located in Central Park, Staff has been working with Bond Architects on plans for the addition of a dressing room and restroom facilities. The dressing room addition is proposed just south of the existing stage while the restroom facilities would be connected to the existing concessions container along Veteran's Place Drive. See Figure 2 for these general locations.

Additional photos may be found below of the existing amphitheater and concessions area. The dressing room addition is proposed left of the stage and the restroom facilities are proposed behind the concessions area.

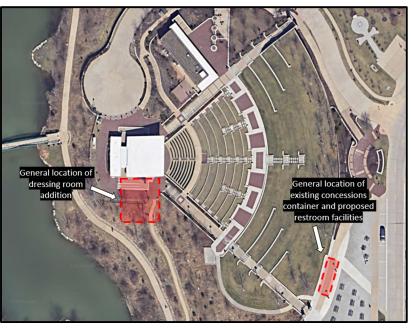


Figure 2: General location of proposed improvements



Figure 3: Existing amphitheater

The dressing room addition would be primarily comprised of 5" Vesta Steel Siding in the color "Ironstone" with accents of 5" Vesta Steel Siding in the color "Autumn Thistle". A concrete paver patio with accompanying metal canopy is proposed at the rear of building. The patio would overlook Central Park Lake; however, the grade change and summer vegetation would provide privacy from the opposite viewpoint as seen in Figure 5. The elevations for the building may be found on page A5.1 of the attached packet. A rendering has also been provided.



Figure 5: View of the back of amphitheater from the lake pavilion

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The proposed restroom facilities would share the same materials as the dressing room. The 5" Vesta Steel Siding in both "Ironstone" and "Autumn Thistle" would be utilized. These colors are similar to the existing concessions container. The elevations for the restroom facilities may be found on page A5.2 of the attached packet. A rendering has also been provided and offers the viewpoint of those entering the amphitheater from Veteran's Honor Park.

DEPARTMENT INPUT

Staff requests review on the Architectural Elevations for City of Chesterfield Central Park Amphitheater.

MOTION

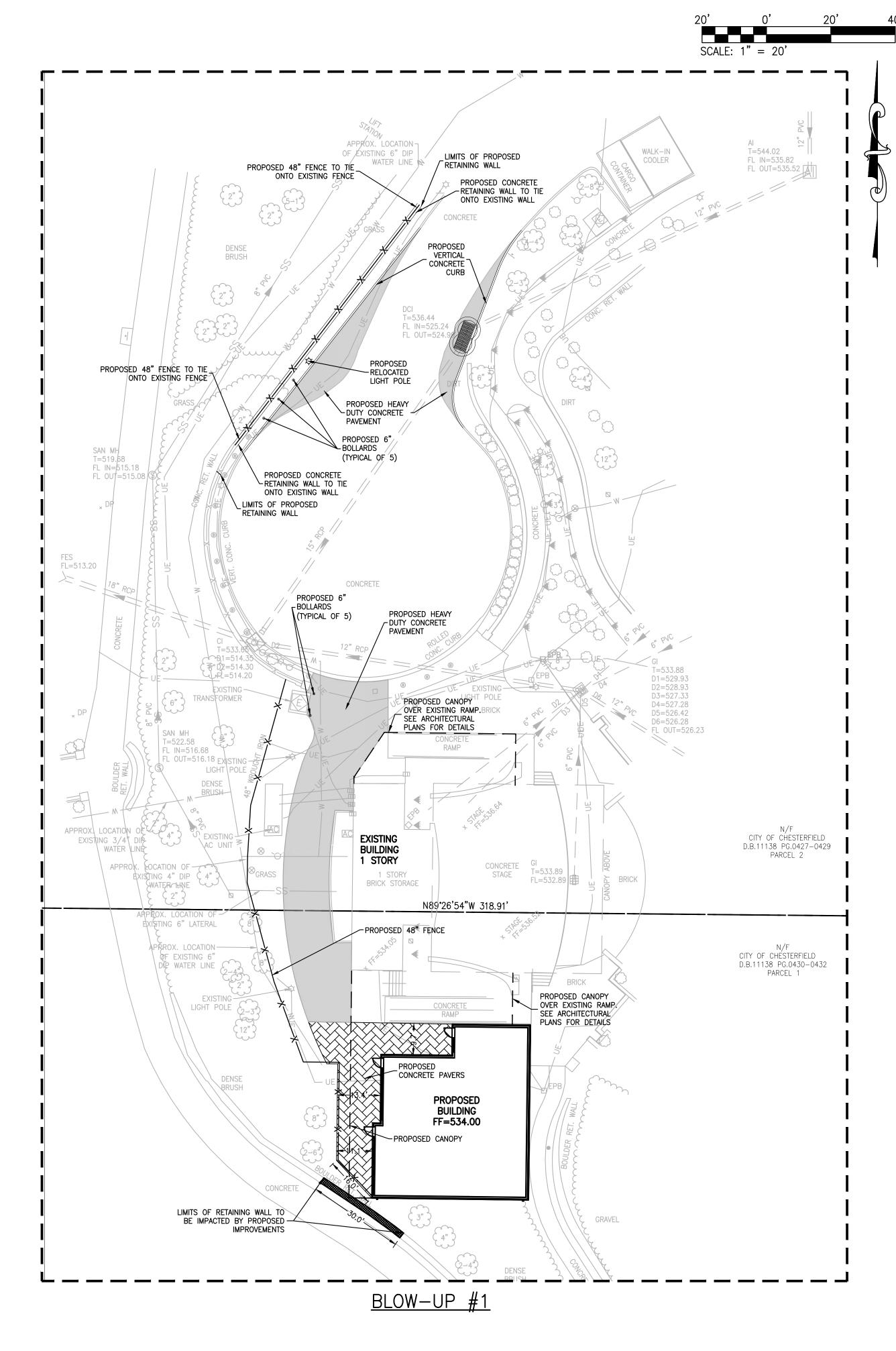
The following options are provided to the Architectural Review Board for consideration relative to this application:

"I move to forward the Architectural Elevations for the City of Chesterfield Central Park Amphitheater, with a recommendation for approval (or denial)."

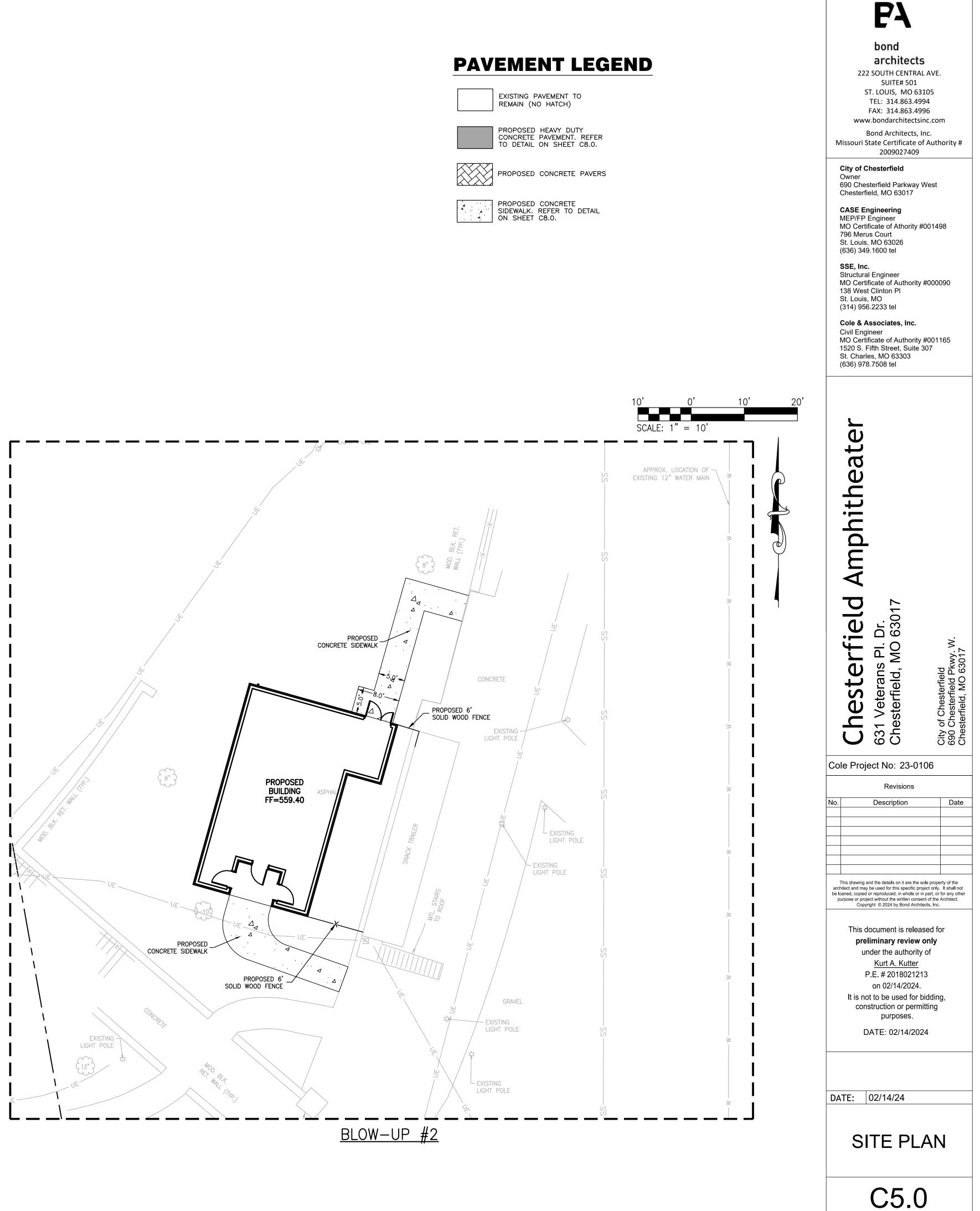
"I move to forward the Architectural Elevations for the City of Chesterfield Central Park Amphitheater with a recommendation for approval with the following conditions..."

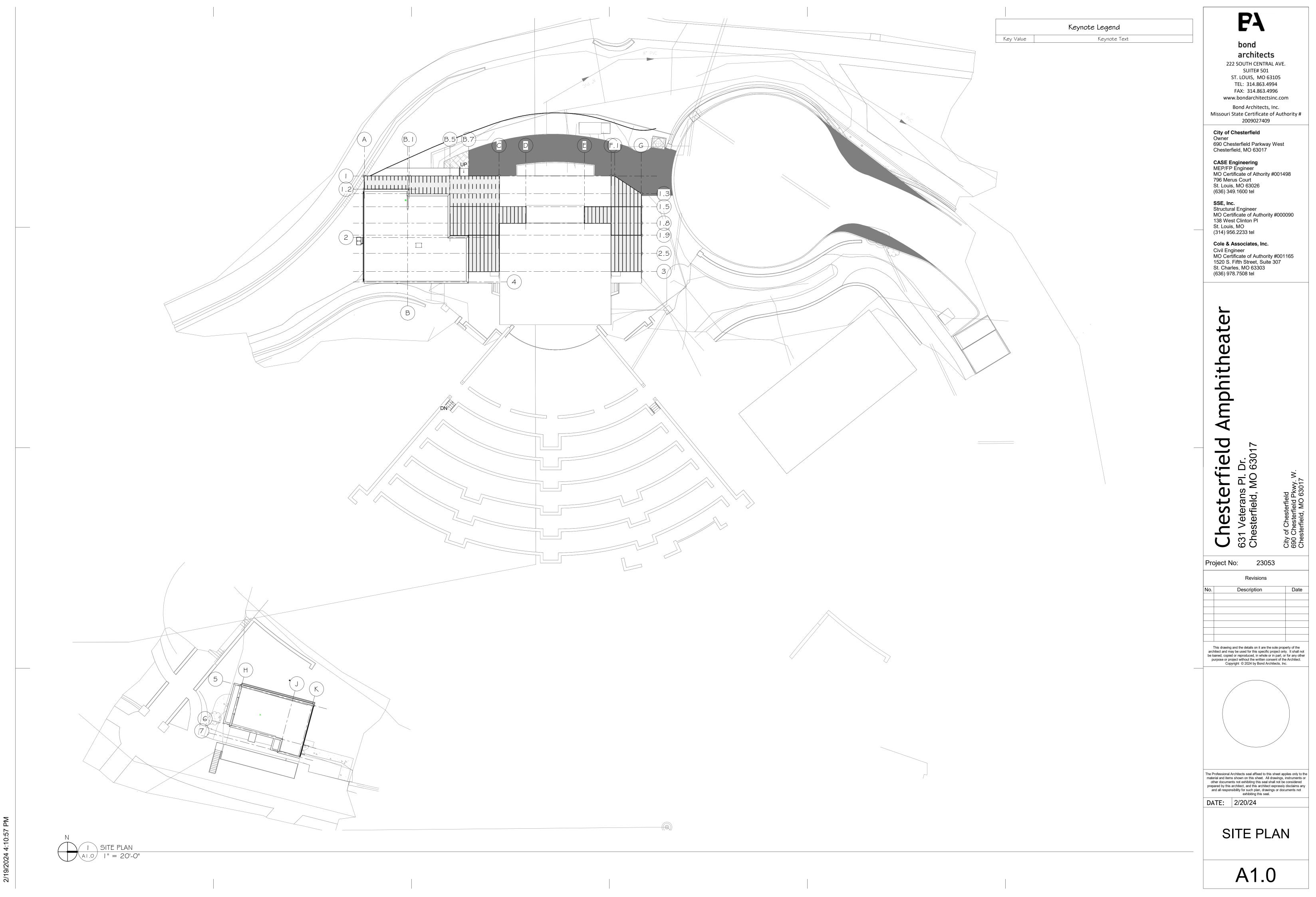
Attachments:

1. Architectural Review Packet Submittal



USER: Megan Silvey TAB: SITE PLAN DATE: February 14, 2024 – 1:35:12 PM DRAWING: S:\JOBS\Jobs2023\23-0106\C





| SYMBOL LEGE | <u>IND</u> | | |
|-------------|-------------------|---|----|
| | 1.0 | SECTION NUMBER SHEET NAME | |
| | | ELEVATION NUMBER | |
| | 1.0 | SHEET NAME | |
| | ? | REVISION CLOUD & NUMBE | R |
| \/ | | BREAKLINE | |
| | I/A102 | PLAN MATCHLINE | |
| | /A O | OUTLINE OF HIDDEN OBJECTS, NIC ITEMS, REMOVED MATERIALS | |
| | | CENTER LINE OR FLOOR LIN | ΙE |
| | -0 | COLUMN GRID LINE | |
| | | FINISH INDICATION LINE | |
| ROOF SYMBO | OLS LEGEN | D | |
| | EXISTING | MECHANICAL UNIT | |
| | NEW MEC | CHANICAL UNIT | |
| \bigcirc | ROOF DR | AIN | |
| \bigcirc | SPLASH F | PAN | |
| 0 | GAS VEN | Т | |
| PLAN SYMBOL | S LEGENE | 2 | |
| | EXISTIN TO REM | G CONSTRUCTION 1AIN | |
| | | G CONSTRUCTION REMOVED | |
| | NEW CC | DNSTRUCTION | |

GENERAL NOTES

| | TRUE NORTH |
|-----------|---------------------|
| ROOM NAME | ROOM TAG |
| 0000 | DOOR TAG |
| Â | WINDOW TAG |
| 00.000 | KEYNOTE |
| | CEILING HEIGHT TAG |
| 2A-a | WALL PARTITION TYPE |
| ELEVATION | ELEVATION |
| | |

| ELEVATION SYMBOL LEGEND | | |
|-------------------------|----------------------------|--|
| (Ĵ) | WINDOW TYPE | |
| 00000 | DOOR NUMBER | |
| 00.000 | REFER TO KEYNOTE LEGEND | |
| | CONCRETE MASONRY | |
| | BRICK MASONRY | |
| | METAL PANELS | |



PRECAST STONE



METAL SIDING 2 - 5" VESTA STEEL SIDING, 480 AUTUMN THISTLE

METAL SIDING 1 - 5" VESTA

STEEL SIDING, 414 IRONSTONE

| ŧ | And |
|-------|--|
| @ | At |
| ABV | Above |
| ACT | Acoustic Ceiling Tile |
| ADA | American with Disabilities Act |
| | |
| ADJ | Adjacent |
| AFF | Above Finish Floor |
| ALUM | Aluminum |
| AP | Acoustic Panel |
| APROX | Approximate |
| BLDG | Building |
| BLK | Block |
| BLKG | Blocking |
| BM | Beam |
| во | Bottom Of |
| CAB | Cabinetry |
| CB | Chalk Board |
| CG | Corner Guard |
| CJ | Construction/Control Joint |
| CL | |
| | Center Line |
| CLG | Ceiling |
| CLR | Clear |
| СМИ | Concrete Masonry Unit |
| CO | Clean Out |
| COL | Column |
| CONC | Concrete |
| CONST | Construction |
| CONT | Continuous |
| CPT | Carpet |
| CPCI | Contractor Provided Contractor Installed |
| CPOI | Contractor Provided Owner Installed |
| CSDO | Cased Opening |
| DF | Drinking Fountain |
| DIA | Diameter |
| DR | Door |
| DS | Downspout |
| DTL | Detail |
| DWG | Drawing |
| EJ | Expansion Joint |
| EL | Elevation |
| ELEC | Electrical |
| ELEV | Elevator |
| | |
| EQ | Equal |
| EQIV | Equivalent |
| EWC | Electric Water Cooler |
| EXIST | Existing |
| EXP | Exposed |
| EXT | Exterior |
| FD | Floor Drain |
| FEC | Fire Extinguisher Cabinet |
| FIN | Finish |
| Flr | Floor |
| FO | Face Of |
| FT | Feet |
| FRP | Fiber Reinforced Panel |
| FRT | Fire Retardant Treated |
| FTG | Footing |
| GC | General Contractor |
| GFI | Ground Fault Interrupter |
| GYP | Gypsum Board |
| HDR | Header |
| HM | Hollow Metal |
| HORZ | |
| нр | |

HR Hour

INIT

JAN

ID Inside Diameter

Janitor

LAV Lavatory (Sink)

INSUL Insulation

HVAC Heating Ventilating and Air Conditioning

STANDARD ABBREVIATIONS

| | MB | Marker Board |
|---|-------------|-------------------------------------|
| | MDF | Medium Density Fiberboard |
| | | Mechanical |
| | | Manufacturer |
| | | Minimum |
| | | Miscellaneous |
| | MTL | Masonry Opening |
| | | Not In Contract |
| | | Not To Scale |
| | | On Center |
| | | Outside Diameter |
| | | Opposite Hand |
| | OPCI | Owner Provided Contractor Installed |
| | | Opening |
| | | Opposite |
| | | Owner Provided Owner Installed |
| | | Oriented Strand Board Paint |
| | PL | |
| | | Plastic Laminate |
| | PLAS | |
| | | Plumbing |
| | | Plywood |
| | | Parallam |
| | | Polyvinyl Chloride |
| | | Quantity |
| | R RB | Riser Rubber Base |
| ł | RD | |
| | REINF | Reinforcing |
| | REQD | Required |
| | RF | Resilient Flooring |
| | RM | Room Rough Octave |
| | RO RS | Rough Opening Roller Shade |
| | SC | Solid Core |
| | SC | |
| | SECT | Section |
| | SF | Specialty Finish |
| | SHT | Sheet |
| | SIM SPEC | Similar Specification |
| | | Stainless Steel |
| | STD | |
| | STL | Steel |
| | | Storage |
| | | Structural |
| | SV T | Sheet Vinyl Tile |
| | T | Tread |
| | TB | Tack Board |
| | TNG | Tongue & Groove |
| | ТО | Top Of |
| | TP | Toilet Partition |
| | TYP TS | Typical Transition Strip |
| | | Unless Noted Otherwise |
| | VERT | Vertical |
| | VIF | Verify In Field |
| | VWC | Vinyl Wall Covering |
| | w/ | With |
| | w/o WB | Without |
| | WB WC | Wallbase Water Closet (Toilet) |
| | WD | Wood |
| | | Window |
| | WP | Wall Panel |
| | WPR | Waterproofing |
| | WWF | Welded Wire Fabric |
| | | |
| | | |
| | | |

| Ι. | VERIFY AND COORDINA AND START OF AND DL SHALL BE NOTIFIED, IN |
|-----|---|
| 2. | IF DISCREPANCIES ARE INTENSIVE REQUIREME |
| 3. | DO NOT SCALE DRAWI SHALL BE FIELD VERIFI ARCHITECT IN WRITING |
| 4. | VERIFY ALL COLUMN CO |
| 5. | IN THE CASE OF CONF CONSTRUCTION MANA WITH THE WORK. |
| 6. | ABBREVIATIONS THROU QUESTION. |
| 7. | DIMENSIONS SHOWN (COLUMN GRID LINES, L |
| 8. | COORDINATE THE INST TO: STRUCTURAL MEM FIXTURES,CEILING SYS THE FINISH FLOOR IND SURFACE OF CEILING). |
| 9. | PROVIDE AND INSTALL FOR THE PROPER OPER DRAWINGS. COORDINA ARCHITECT. ACCESS P |
| 10. | WHERE ADJOINING ROO UNDER CENTER LINE OI |
| 11. | ROOM FINISHES SHOW SPACES ADJOINING TH |
| 12. | ALL EXPANSION JOINTS FOR THE FINISHED SUR |
| 13. | FOR ALL METAL STUD F OPENING, AT FRAME H |
| 14. | INSTALL ALL WORK PLU REQUIRED. |
| 15. | PROVIDE AND INSTALL WALL BOARD. PLACE (MATERIALS. |
| 16. | INTERIOR METAL STUD |
| 17. | PROVIDE LATERAL BRAN REQUIREMENTS FOR S |
| 18. | INSTALLATION OF SUS |
| 19. | WHERE INDICATED ON BEHIND AND AROUND I PARTITIONS. |
| 20. | ALL STAIRS AND SHAFT EQUAL BY APPROVED A |
| 21. | ALL CONCEALED WOOD |
| 22. | PROVIDE FIRE TREATED BETWEEN STUDS FOR , |
| 23. | WHERE FIRE EXTINGUIS REQUIRED TO PROVIDE |
| 24. | PROVIDE AND INSTALL OF ALL CASEWORK, TO |
| 25. | PROVIDE FIRE SAFING FLOOR SLABS AND AT |
| 26. | ALL DUCT PENETRATION |

- 26. RATED PARTITIONS.

- FOR CLARIFICATION.
- OR REFERENCED.
- CHANGES CONSTRUCTION TYPE.

I. VERIFY AND COORDINATE ALL DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING URING CONSTRUCTION. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE ARCHITECT WRITING, FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.

> E FOUND WITHIN CONTRACT DOCUMENTS AND PROJECT MANUAL, THE MOST DEMANDING AND/OR COST ENT SHALL TAKE PRECEDENCE UNLESS OTHERWISE AGREED BY THE ARCHITECT IN WRITING.

/INGS. RELY ON WRITTEN DIMENSIONS GIVEN. NOTIFY THE ARCHITECT FOR CLARIFICATIONS. ALL DIMENSIONS IED AND COORDINATED WITH ALL OF THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, NOTIFY THE G FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.

COORDINATES AND CHECK AGAINST DIMENSIONS SHOWN ON PLANS AND DETAILS.

FLICT BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, NOTIFY THE ARCHITECT IN WRITING. NOTIFY THE AGER/GENERAL CONTRACTOR OF ANY CONFLICT AND GET CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING

DUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN

ON FLOOR PLANS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO FINISH FACE OF PARTITIONS, MASONRY, OR UNLESS OTHERWISE NOTED.

TALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING, BUT NOT LIMITED MBERS, MECHANICAL DUCTS AND INSULATION, CONDUITS, RACEWAYS, SPRINKLER SYSTEM, LIGHT STEMS, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND MAINTAIN THE FINISH CEILING HEIGHT ABOVE DICATED IN THE DRAWINGS AND THE FINISH SCHEDULE. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH

ACCESS PANELS WHERE SHOWN ON THE REFLECTED CEILING PLANS AND AS REQUIRED BY BUILDING CODE OR ERATION OR MAINTENANCE OF MECHANICAL OR ELECTRICAL EQUIPMENT, WHETHER OR NOT INDICATED ON THE IATE SIZE, LOCATION, AND TYPE OF ACCESS PANEL WITH OTHER WORK AND RECEIVE APPROVAL OF THE PANEL SHALL BE AS SPECIFIED.

DOMS HAVE DIFFERENT TYPES OF FLOORING OR SIMILAR FLOORING OF DIFFERENT COLORS, MAKE TRANSITION OF DOOR LEAF UNLESS NOTED OTHERWISE.

OWN IN THE FINISH SCHEDULE SHALL APPLY TO ALL ALCOVES, FREESTANDING COLUMNS, OR OTHER ANCILLARY THE SCHEDULED ROOM UNLESS OTHERWISE NOTED.

TS IN THE FINISHED AREA EXPOSED TO VIEW SHALL BE COVERED WITH EXPANSION JOINT COVERS APPROPRIATE URFACE, WHETHER FLOOR, CEILING, WALL, OR JUNCTIONS THEREOF.

PARTITIONS, INSTALL DOUBLE STUDS (MIN) AT DOOR FRAME JAMBS. INSTALL STUD TRACKS AT EACH SIDE OF HEAD HEIGHT AND BETWEEN STUDS AND ADJACENT STUDS.

LUMB, LEVEL, TRUE, SQUARE, STRAIGHT AND IN PROPER ALIGNMENT WITH NO DISTORTIONS, PROVIDE SHIMS AS

CORNER BEADS, EDGE TRIM, JOINT MATERIALS AND FASTENERS TO ENSURE PROPER INSTALLATION OF GYPSUM CORNER BEADS AT EXTERNAL CORNERS. PLACE TAPED EDGE TRIM WHERE GYPSUM BOARD ABUTS DISSIMILAR

) PARTITIONS SHALL BE FACED WITH 5/8 INCH TYPE X GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.

ACING OF INTERIOR PARTITIONS THAT DO NOT EXTEND TO DECK ABOVE AS REQUIRED TO MEET LOCAL SEISMIC BRACING, UNO.

SPENDED CEILING SYSTEMS SHALL MEET LOCAL CODE REQUIREMENTS FOR SEISMIC BRACING.

THE DRAWINGS, PROVIDE ACOUSTIC BLANKETS IN PARTITIONS TIGHT WITHIN SPACE, AROUND CUT OPENINGS, DELECTRICAL AND MECHANICAL ITEMS WITHIN OR BEHIND PARTITIONS, AND TIGHT TO ITEMS PASSING THROUGH

FTS TO BE RATED I HR UNLESS NOTED OTHERWISE. SEAL ALL PENETRATIONS PER UL STANDARD ASSEMBLIES OR AGENCY

OD (PLYWOOD SHEATHING, BLOCKING, ETC.) TO BE FIRE TREATED.

ED 2 INCH X & INCH NOMINAL WOOD BLOCKING OR EQUIVALENT METAL STRAPPING RUNNING CONTINUOUSLY CALL WALL HUNG EQUIPMENT OR OTHER ITEMS ATTACHED TO GYPSUM WALL BOARD PARTITIONS.

ISHER CABINETS AND OTHER EQUIPMENT ARE RECESSED IN FIRE RATED PARTITIONS, MODIFY PARTITIONS AS DE CONTINUOUS ENCLOSURE TO ENSURE UNINTERRUPTED FIRE RATING.

L ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OILET ACCESSORIES AND OF ALL FLOOR-MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.

INSULATION PER UL LISTED REQ'D AT ALL PIPE, DUCT, ELECTRICAL, ETC., PENETRATIONS THROUGH CONCRETE FIRE AND SMOKE WALLS.

ONS THROUGH PARTITIONS AND CEILING SHALL BE PROVIDED WITH NECESSARY FRAMES AND BRACING AROUND THE OPENING AND SHALL BE PROVIDED WITH AUTOMATIC FIRE DAMPERS AS REQUIRED BY THE BUILDING DEPARTMENT FOR FIRE-

27. ALL EXPOSED STEEL ANGLES, PLATES, ETC., SHALL BE GALVANIZED FOR CORROSION RESISTANCE UNLESS NOTED OTHERWISE.

28. NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN TYPICAL ELEVATION MOUNTING HEIGHTS/LOCATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR ADA COMPLIANCE PRIOR TO INSTALLATION.

29. CONTRACTOR TO RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT AN OFF-SITE FACILITY. CONTRACTOR TO CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIAL AND DEBRIS THAT HAVE BLOWN OR WASHED OFF-SITE.

30. SEE CODE PLANS FOR FEC AND FE LOCATIONS, RATED PARTITIONS

31. ALIGN FINISH FACE OF NEW PARTITION WITH FINISH FACE OF FURRED OUT PARTITION, UON.

32. CONTRACTOR TO VERIFY FLOOR FLATNESS AFTER DEMO AND PARTITIONS AND STOREFRONTS ARE MARKED ON FLOOR. IF FLOOR IS OUT OF FLATNESS BY MORE THAN SPECIFIED IN 03 30 00, APPLY HYDRAULIC CEMENT UNDERLAYMENT SPECIFIED IN 03 54 16 TO CORRECT FLOOR PRIOR TO CONSTRUCTION OF ALL PARTITIONS AND STOREFRONTS. PROVIDE UNIT COST

33. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY PROTECTION, FENCING AND PARTITIONS AS NECESSARY

34. IF HAZARDOUS MATERIAL IS ENCOUNTERED NOTIFY ARCHITECT & OWNER IMMEDIATELY.

35. UNLESS SPECIFICALLY INDICATED OTHERWISE, THE SAME WALL TYPE NEXT TO A DOOR OR OPENING SHALL CONTINUE OVER THE DOOR, OPENING OR STOREFRONT.

36. IN THE ABSENCE OF A WRITTEN DIMENSION, OR IN CASE OF DOUBT AS TO THE PROPER MEASUREMENT, CONSULT THE ARCHITECT

37. TYPICAL DETAILS THROUGHOUT THE DRAWING SET SHALL APPLY FOR ALL APPLICABLE CONDITIONS EVEN IF NOT SPECIFICALLY SHOWN

38. UNLESS SPECIFICALLY NOTED OTHERWISE, ENCLOSE ALL VERTICAL MECHANICAL PIPES, RAIN LEADERS, ETC. WITH 4" CMU OR GYPSUM BOARD TO MATCH SURROUNDING FINISHES.

39. PROVIDE CONTINUOUS CONTROL JOINT IN EXTERIOR CLADDING MATERIAL AT CONDITIONS WHERE STRUCTURAL WALL BACK UP



bond architects

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City of Chesterfield Owner

690 Chesterfield Parkway West Chesterfield, MO 63017

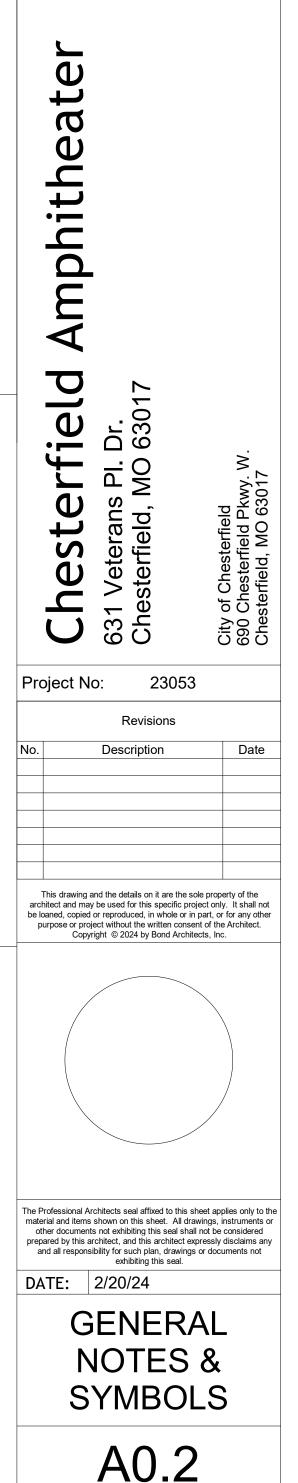
CASE Engineering

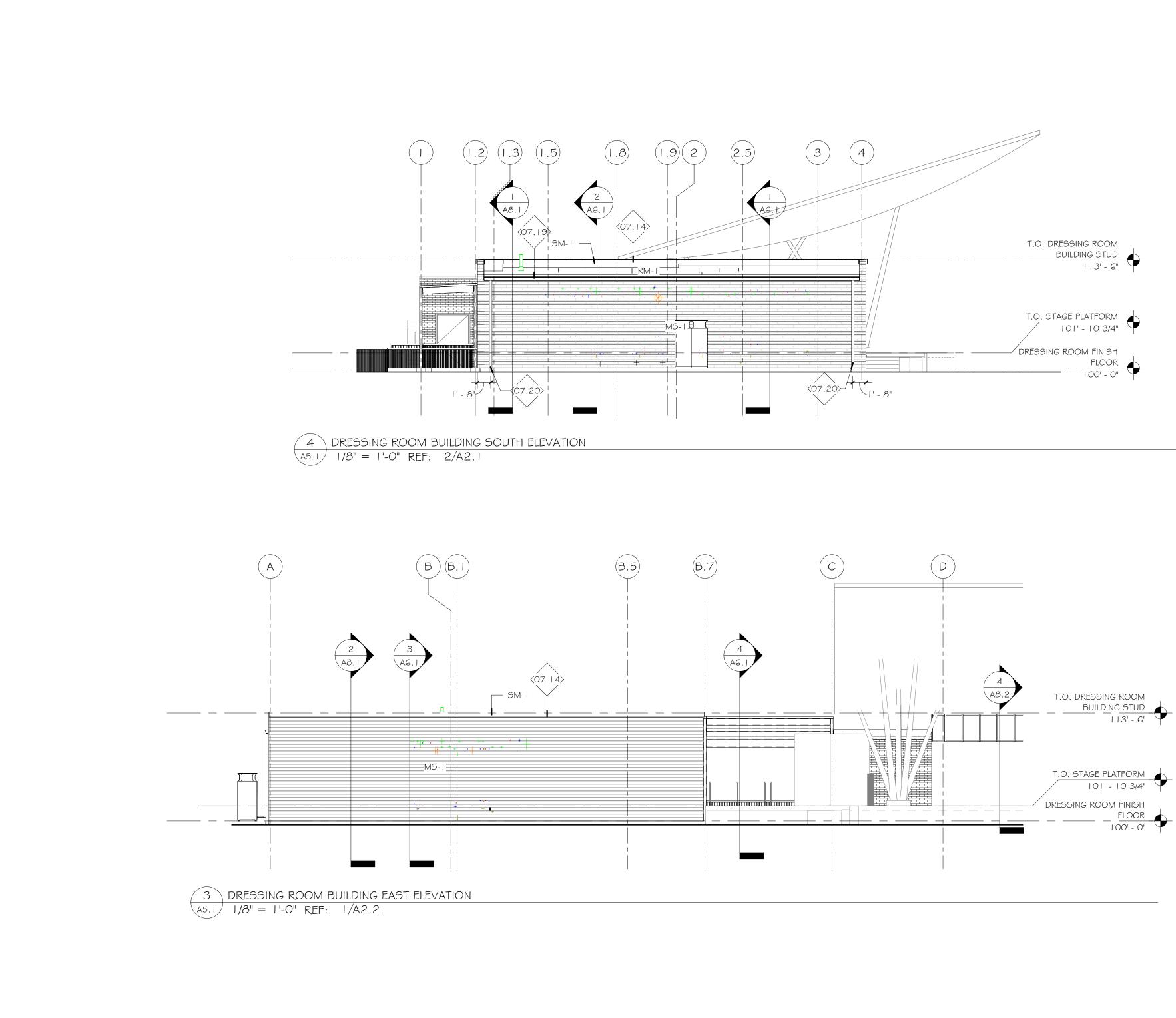
MEP/FP Engineer MO Certificate of Athority #001498 796 Merus Court St. Louis, MO 63026 (636) 349.1600 tel

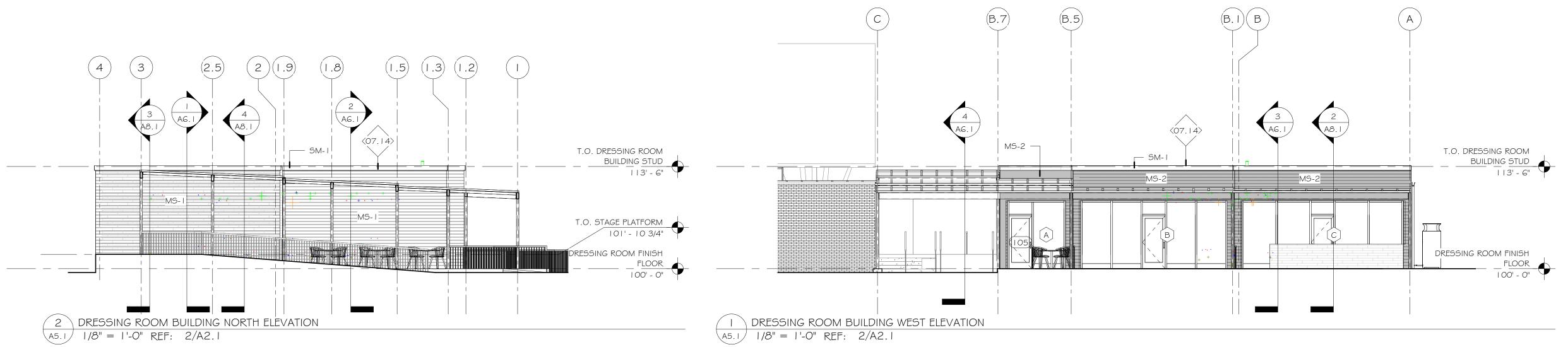
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Cole & Associates, Inc.

Civil Engineer MO Certificate of Authority #001165 1520 S. Fifth Street, Suite 307 St. Charles, MO 63303 (636) 978.7508 tel







ELEVATION GENERAL NOTES

- I. REPOINT AS INDICATED ON DRAWINGS.
- REMOVE ALL ABANDONED DEVICES. PATCH AND REPAIR AS REQUIRED TO 2. MATCH RESTORED FINISH MATERIAL.
- 3. ALL NEW BRICK SHALL MATCH EXISTING IN COLOR, TEXTURE, FINISH, SIZE AND PROFILE UNLESS OTHERWISE NOTED. ALL NEW MASONRY JOINTS SHALL MATCH ORIGINAL IN COLOR, STRENGTH, COMPOSITION AND TOOLING PROFILE.
- 4. SALVAGE EXISTING, NON-DEFECTIVE BRICK MATERIALS REMOVED DURING DEMOLITION FOR REUSE AT AREAS TO BE INFILLED.
- CLEAN MASONRY TO REMOVE EFFLORESCENCE AND STAINING. 5.
- REPLACE ALL EXTERIOR CAULK JOINTS, TYPICAL. 6.
- REMOVE RUST AND RE-COAT EXISTING ANGLE AS REQUIRED. DO NOT "SPOT" 7. CLEAN. IF EFF OR STAINING IS EVIDENT, CLEAN ENTIRE PLANE OF WALL. CONTRACTOR TO VERIFY EXISTING CONDITION.
- 8. EXTERIOR STOREFRONT FINISH TO MATCH EXISTING FINISH, UNO.
- VERTICAL MULLIONS IN EXTERIOR STOREFRONT TO BE SPACED EQUALLY, 9. U.N.O.
- IO. EXTERIOR STOREFRONT GLASS TYPE TO BE G? U.N.O., SEE SPECS.
- MINIMUM GLASS THICKNESSES TO MEET GANA PUBLICATION: "LAMINATED 11. GLAZING REFERENCE MANUAL" AND "GLAZING MANUAL" AND IGMA PUBLICATION FOR INSULATING GLASS: SIGMA TM-3000, "NORTH AMERICAN GLAZING GUIDELINES FOR SEALED INSULATING GLASS UNITS FOR COMMERCIAL AND RESIDENTIAL USE."

ELEVATION MATERIALS: SEE SHEET AO.2 FOR MORE INFORMATION

| | Keynote Legend |
|--------|---------------------------------|
| RM-1 | ROOF MEMBRANE |
| SM-1 | SHEET METAL |
| CONC-1 | EXPOSED CONCRETE |
| MS-2 | METAL SIDING 2 (AUTUMN THISTLE) |
| MS-1 | METAL SIDING I (IRONSTONE) |

| | <i>y</i> 5 |
|-----------|-----------------------------|
| Key Value | Keynote Text |
| | |
| 07.14 | ALUMINUM COPING |
| 07.19 | PREFINISHED METAL GUTTER |
| 07.20 | PREFINISHED METAL DOWNSPOUT |

E۶

bond

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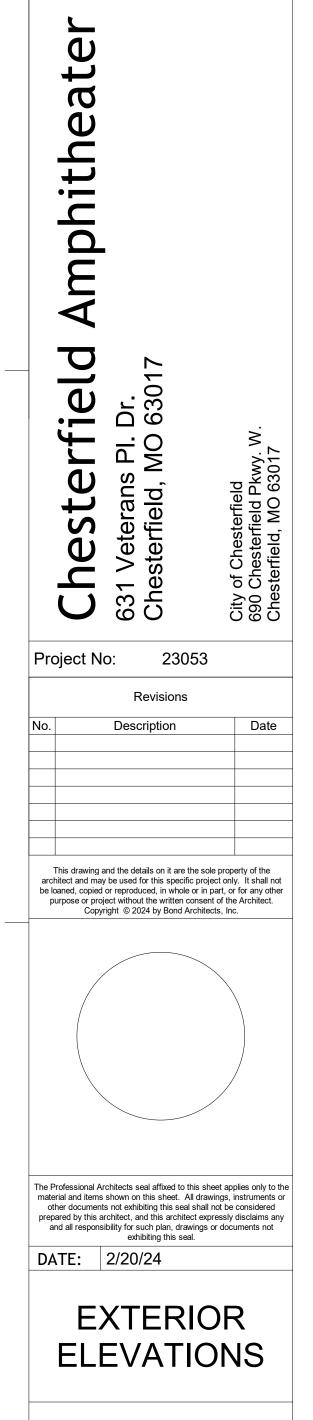
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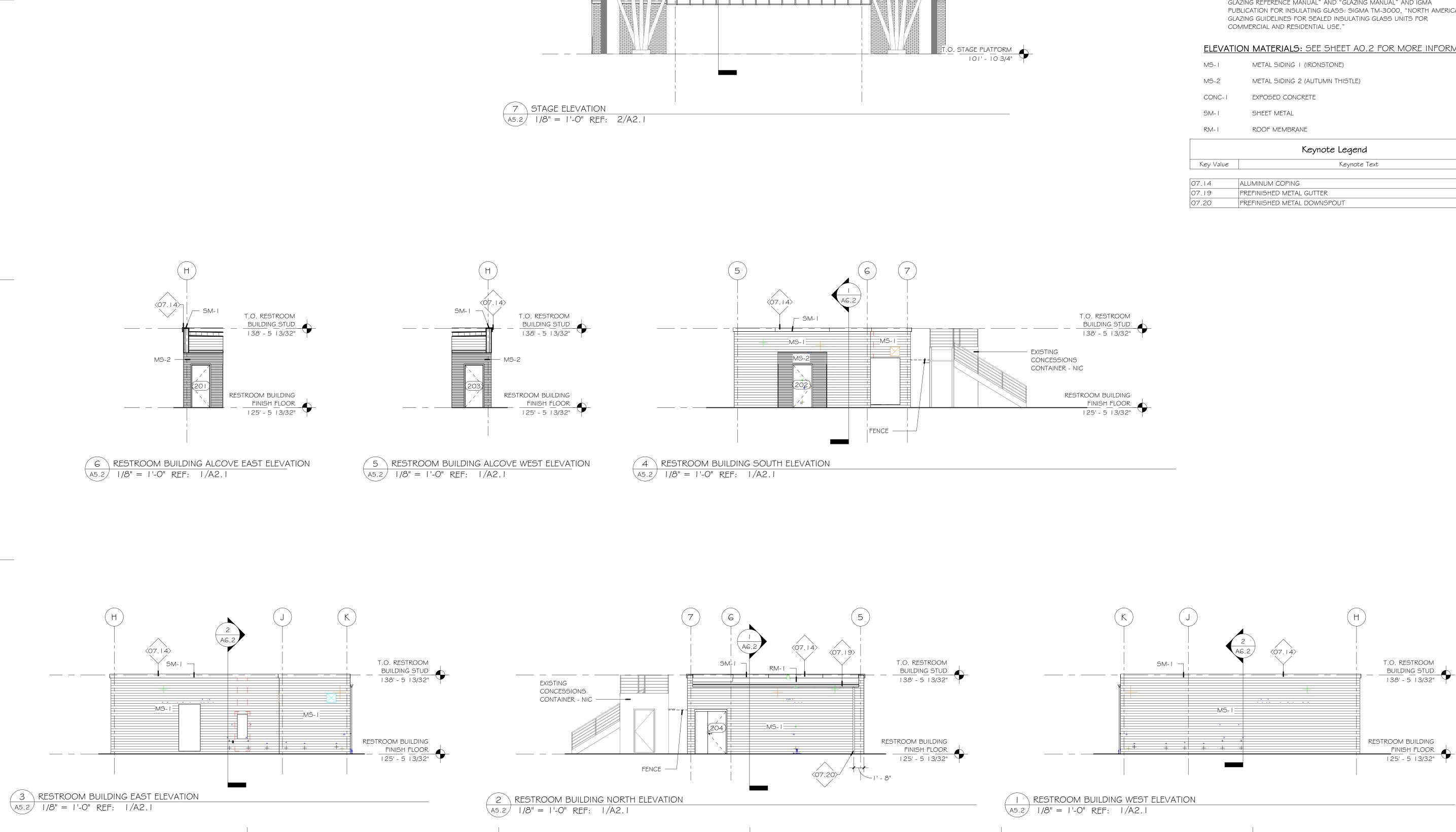
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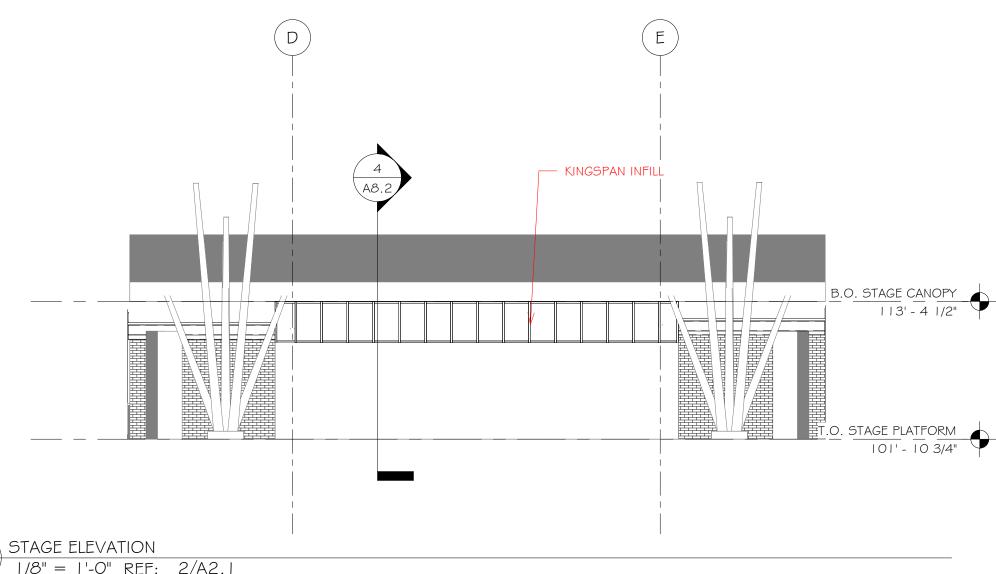
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A5.1





ELEVATION GENERAL NOTES

- I. REPOINT AS INDICATED ON DRAWINGS.
- 2. REMOVE ALL ABANDONED DEVICES. PATCH AND REPAIR AS REQUIRED TO MATCH RESTORED FINISH MATERIAL.
- 3. ALL NEW BRICK SHALL MATCH EXISTING IN COLOR, TEXTURE, FINISH, SIZE AND PROFILE UNLESS OTHERWISE NOTED. ALL NEW MASONRY JOINTS SHALL MATCH ORIGINAL IN COLOR, STRENGTH, COMPOSITION AND TOOLING PROFILE.
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- REPLACE ALL EXTERIOR CAULK JOINTS, TYPICAL. 6.
- REMOVE RUST AND RE-COAT EXISTING ANGLE AS REQUIRED. DO NOT "SPOT" 7. CLEAN. IF EFF OR STAINING IS EVIDENT, CLEAN ENTIRE PLANE OF WALL. CONTRACTOR TO VERIFY EXISTING CONDITION.
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- 10. EXTERIOR STOREFRONT GLASS TYPE TO BE G? U.N.O., SEE SPECS.
- II. MINIMUM GLASS THICKNESSES TO MEET GANA PUBLICATION: "LAMINATED GLAZING REFERENCE MANUAL" AND "GLAZING MANUAL" AND IGMA PUBLICATION FOR INSULATING GLASS: SIGMA TM-3000, "NORTH AMERICAN

ELEVATION MATERIALS: SEE SHEET AO.2 FOR MORE INFORMATION

| | Keynote Legend |
|--------|---------------------------------|
| RM-1 | ROOF MEMBRANE |
| SM-1 | SHEET METAL |
| CONC-I | EXPOSED CONCRETE |
| MS-2 | METAL SIDING 2 (AUTUMN THISTLE) |
| MS-1 | METAL SIDING I (IRONSTONE) |

| Key Value | Keynote Text |
|-----------|-------------------------------|
| | |
| 07.14 | ALUMINUM COPING |
| 07.19 | PREFINISHED METAL GUTTER |
| 07.20 | PREFINISHED METAL DOWNISPOLIT |



bond

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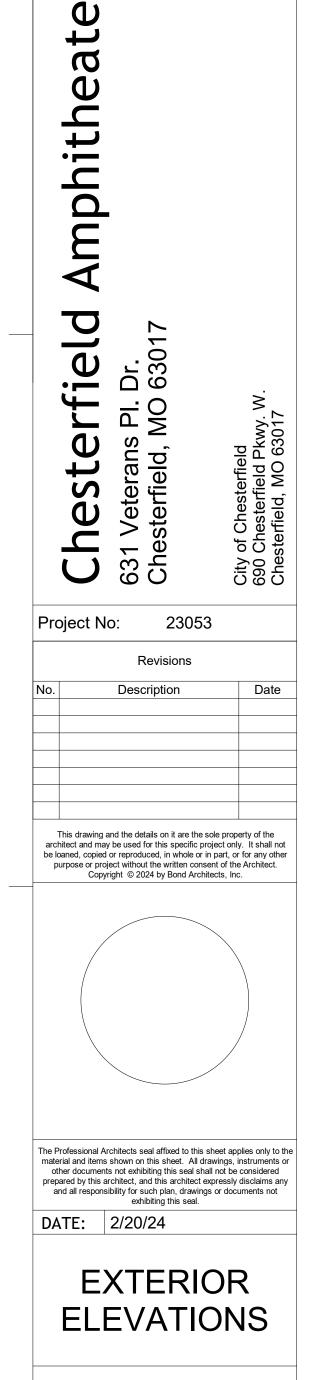
CASE Engineering MEP/FP Engineer

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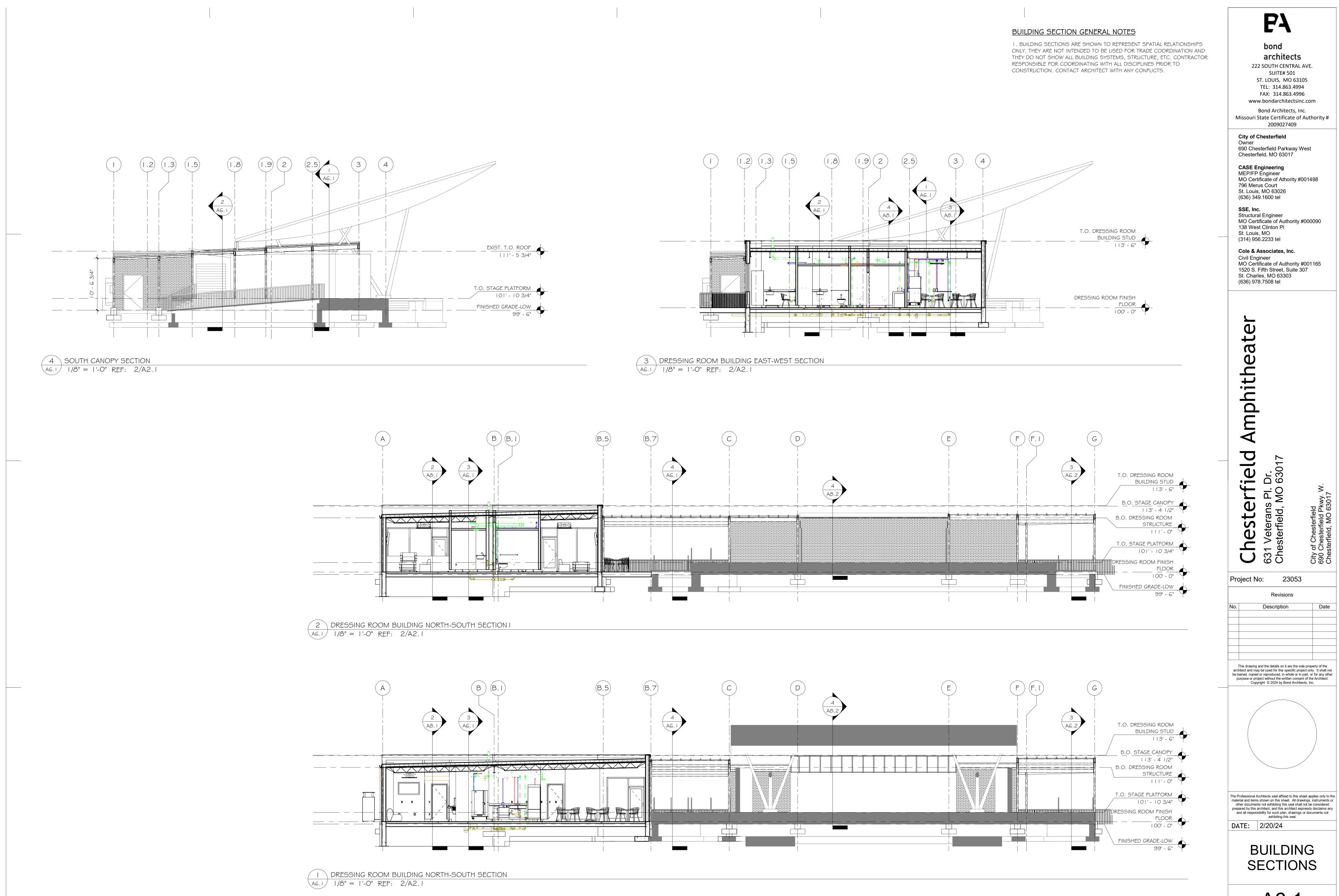
SSE, Inc. Structural Engineer MO Certificate of Authority #000090 138 West Clinton Pl St. Louis, MO (314) 956.2233 tel

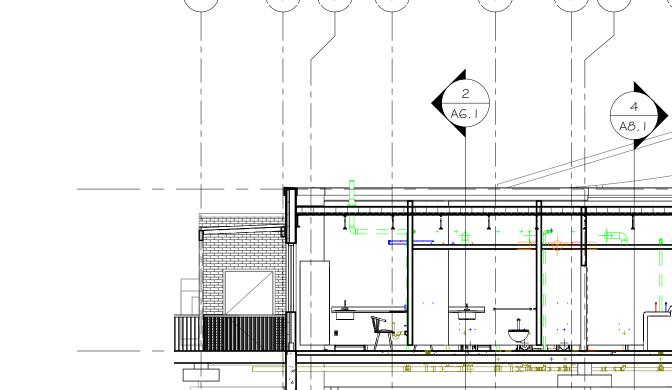
Cole & Associates, Inc.

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A5.2



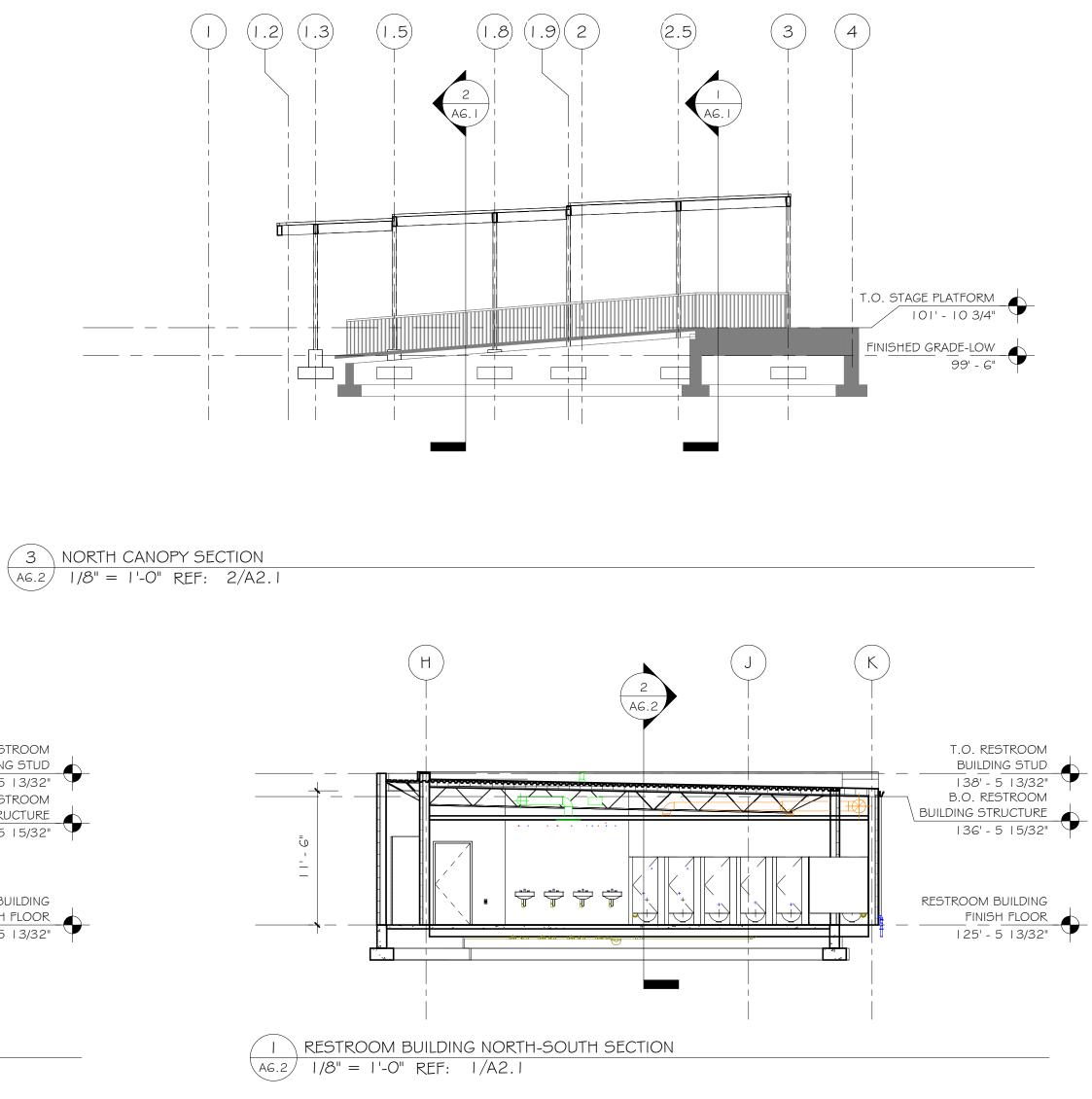


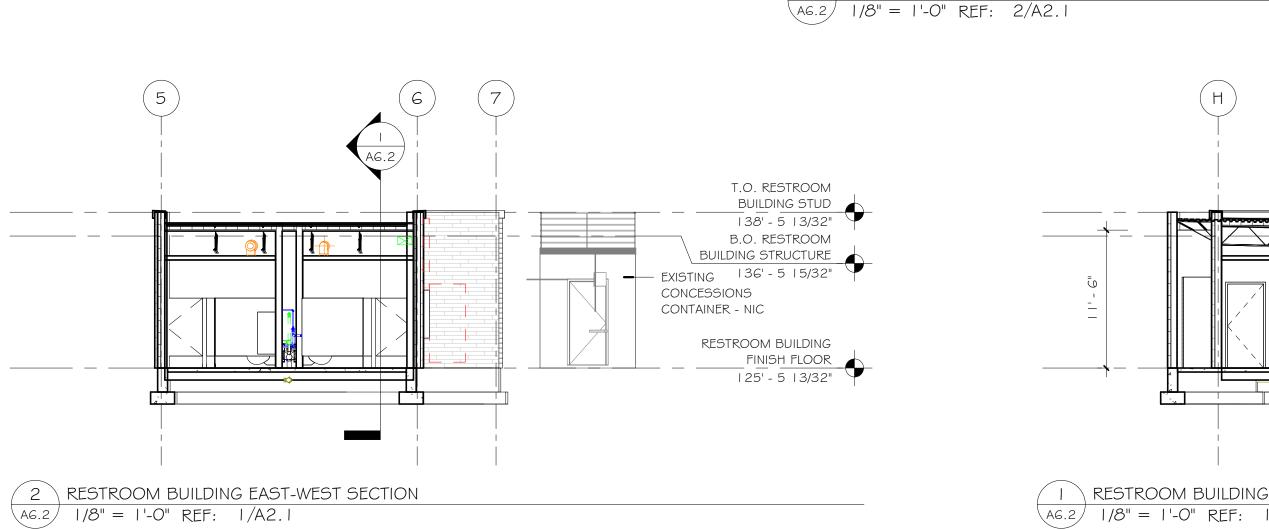


A6.1

02







BUILDING SECTION GENERAL NOTES

I. BUILDING SECTIONS ARE SHOWN TO REPRESENT SPATIAL RELATIONSHIPS ONLY. THEY ARE NOT INTENDED TO BE USED FOR TRADE COORDINATION AND THEY DO NOT SHOW ALL BUILDING SYSTEMS, STRUCTURE, ETC. CONTRACTOR RESPONSIBLE FOR COORDINATING WITH ALL DISCIPLINES PRIOR TO CONSTRUCTION. CONTACT ARCHITECT WITH ANY CONFLICTS.



bond architects

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