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Architectural Review Board Staff Report

Meeting Date: March 14th, 2024

From: Alyssa Ahner, Planner

Location: 730-738 Long Road Crossing Drive

Description: Long Road Lipton Parcel, Lots 3-7: A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for an 8.98-acre tract of land located north of Long Road Crossing Drive and south of Interstate 64.

PROPOSAL SUMMARY

The Redmond Company, on behalf of Cronin Valley Real Estate, LLC, has submitted a Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for two proposed car dealerships.



Figure 1: Subject Site

HISTORY OF SUBJECT SITE

Pre-1988: Subject site was zoned "M-3" Planned Industrial.

1999: Subject site was rezoned from "M-3" Planned Industrial to "PI" Planned Industrial under governing [Ordinance 1540](#). A Site Development Concept Plan was subsequently approved.

2006: An Amended Site Development Concept Plan was approved.

2007: A Record Plat was approved.

2023: Subject site was rezoned from "PI" Planned Industrial under Ordinance 1540 to a new "PI" Planned Industrial District under governing [Ordinance 3262](#).

STAFF ANALYSIS

The Unified Development Code's Architectural Review Design Standards are broken down into two (2) areas of review: Site Design and Building Design.

General Requirements for Site Design are further broken down into the following categories:

- Site Relationship
- Circulation and Access
- Topography and Parking
- Retaining Walls

General Requirements for Building Design are further broken down into the following categories:

- Scale
- Design
- Materials and Color
- Landscape Design and Screening
- Signage
- Lighting

A. Site Relationships

The subject site is surrounded by vacant undeveloped land to the south and west. There is a car dealership immediately east of the site. Interstate 64 is just north of the site.

B. Circulation and Access

The development is proposing three (3) curb cuts along Long Road Crossing Drive. The curb cuts located on the eastern and western sides of the subject site are proposed as exit only. The third curb cut located in the middle of the site is proposed as a full access. Upon entering the site from the middle access location, vehicular traffic has the option to either turn left or right dependent on which car dealership they are visiting or continue straight through a landscaped drive aisle.

C. Topography

The site is generally flat with exception to the perimeter of the site which has a slight dip utilized for stormwater measures.



Figure 2: Color site plan for proposed development

D. Scale

There are two buildings proposed for the development. The building depicted on the eastern side of the subject site has a high roof height of 25'. The screening for rooftop mechanical equipment extends roughly 4' higher than high roof. It is a one-story design and is estimated to be 11,325 square feet.

The building proposed on the western portion of the site has a high roof height of 22'. The ACM panels utilized in the design continue upward to a maximum height of 26'. The screening for rooftop mechanical equipment extends roughly 1' higher than the ACM panels. It is a two-story design and is estimated to be 32,018 square feet on the first floor. The second floor is estimated to be 2,556 square feet.

While there aren't many buildings within the direct vicinity, the existing car dealership located immediately east of the site has an architectural feature that sits at a maximum height of 30'4" while other portions of the building vary between 22'-25'. It is a one-story design and is roughly 21,000 square feet.

E. Materials & Design

As mentioned previously, there are two buildings proposed – one for each of the individual dealerships. They are both oriented on the northern portion of the subject site and feature main entrances facing Interstate 64. The buildings share similar materials but each has their own color scheme and design based on corporate model.

The smaller building located on the eastern portion of the site is primarily comprised of a glass curtain wall system with clear glazing and two colors of ACM panels. The ACM panel colors are detailed as "Basalt Grey" and "Tricorn Black". EIFS is utilized for the exterior of the service shop and is detailed as the color "Cyberspace". These primary materials are depicted in Figure 3. The north elevation which is the façade visible from Interstate 64 is depicted in Figure 4.

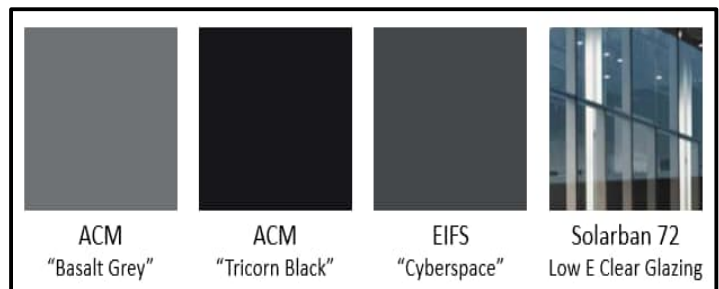


Figure 3: Primary materials/colors for eastern building

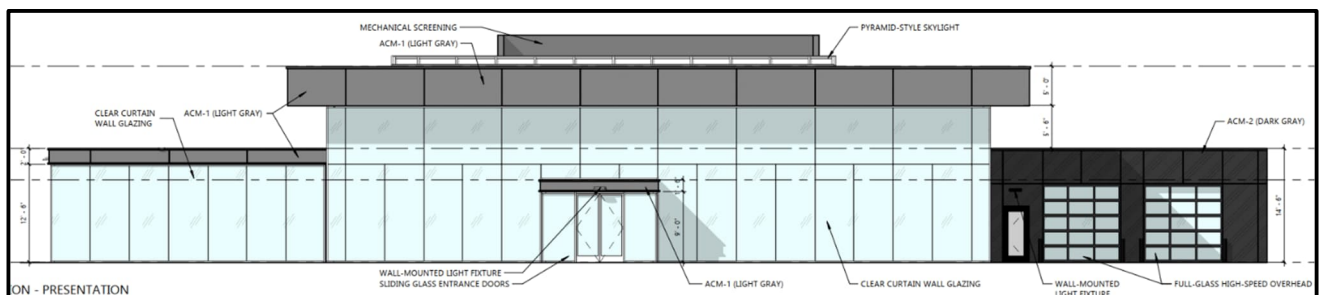


Figure 4: North elevation facing Interstate 64

As seen in Figure 4, there is a proposed drive-thru service vestibule on the right side of the building. This service area will have two (2) high-speed full glass overhead doors on the north elevation for the entry and two (2) of the same glass overhead doors on the south elevation for the exit. There are four (4) additional overhead doors on the south elevation for a total of six (6) on that façade. Three of these four are the full glass doors while one is a coiling overhead door in black.

The larger building located on the western portion of the site is primarily comprised of glass curtainwall system, one color of ACM panels, and two colors of EIFS. The ACM panel is detailed as a “Bronze - Shaped Sky Panels”. The EIFS colors are detailed as “Antler Velvet” and “Kaffee”. These primary materials/colors are depicted in *Figure 5*. The north elevation which is the façade visible from Interstate 64 is depicted in *Figure 6*.

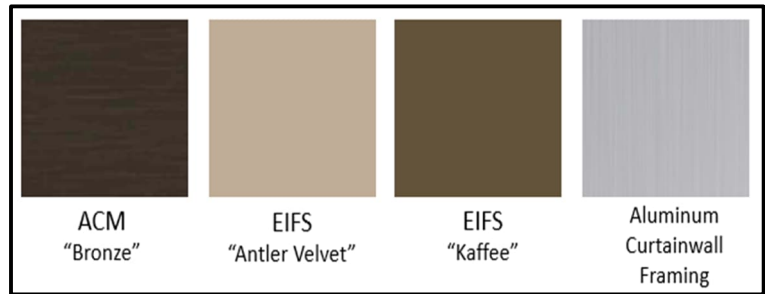


Figure 5: Primary materials for western building

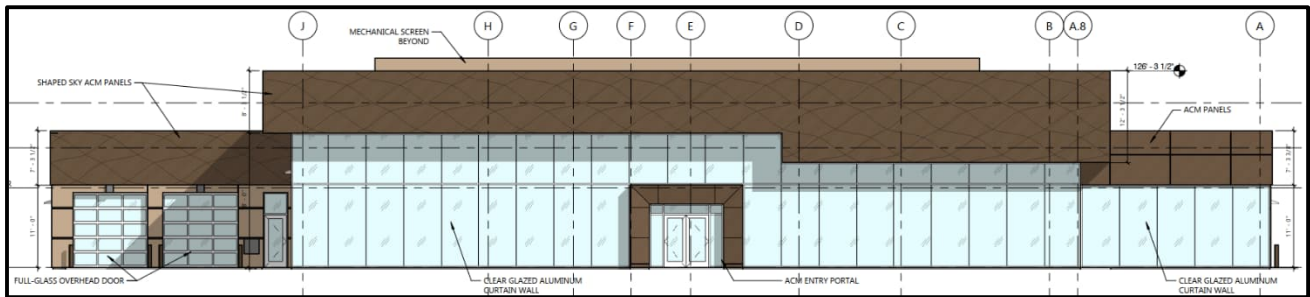


Figure 6: North elevation of western building

As seen in *Figure 6*, there is a proposed drive-thru service vestibule for this building as well but it is located on the left side. Similar to the eastern building, there are two high-speed full glass overhead doors on the north elevation for the entry and then two of the same doors on the south elevation for the exit. The south elevation features one additional glass overhead door for a total of three doors on that façade.

F. Landscape Design and Screening

The subject site requires a thirty (30) foot landscape buffer along Interstate 64. This buffer area overlaps with an existing stormwater easement and the 100-year highwater elevation. Landscaping is permitted within the stormwater easement but not within the highwater elevation. The proposed landscaping is setback from Interstate 64 to accommodate this restriction. *Figure 7* depicts these different areas and where landscaping is being proposed including what will surround the vehicle displays.

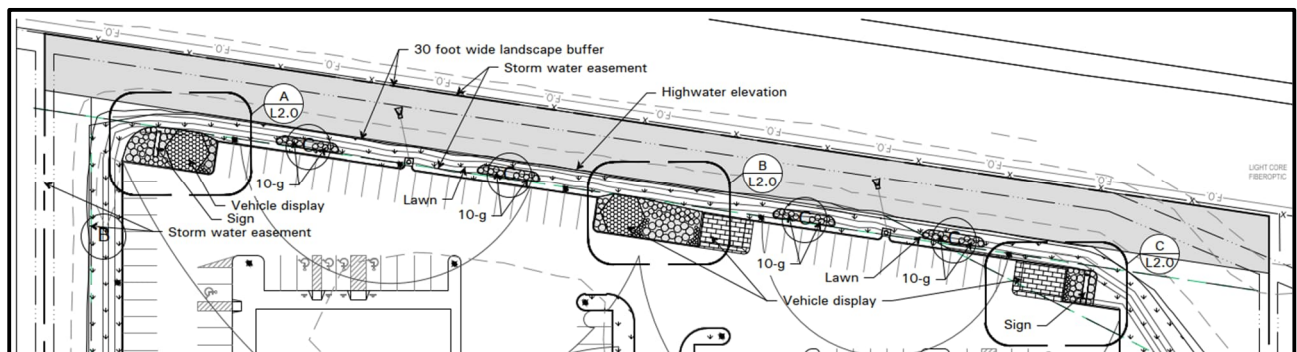


Figure 7: Proposed landscaping along Interstate 64

The perimeter of the site and the drive aisle that extends down the middle of the site feature a mixture of trees. The trees proposed along Long Road Crossing Drive are designated street trees and are provided every fifty (50) feet as required per code. The remainder of the site features landscaped parking islands and the in-depth details may be found on the provided landscape plan in the applicant’s submittal packet.

A trash enclosure is provided along both the eastern and western property line. Each enclosure is designed to be similar to the dealership building that they are located closest to. The elevations for these enclosures may be found on the colored elevations sheet for each individual building. Each enclosure will be screened by seven (7) Bayberry evergreen shrubs.

The roof top mechanical equipment is to be screened by metal panels in a color utilized elsewhere on each building.

G. Lighting

There are sixty (60) light poles and twenty (20) wall mounted lights proposed around the site and on the buildings. All lighting fixtures will remain consistent between the two dealerships. The applicant is also proposing ground mounted flood lights to accent the vehicle displays. Per the Unified Development Code, all exterior lighting fixtures are to be fully shielded and cut off. The photometric plan and proposed lighting fixtures are still under review by the Department.

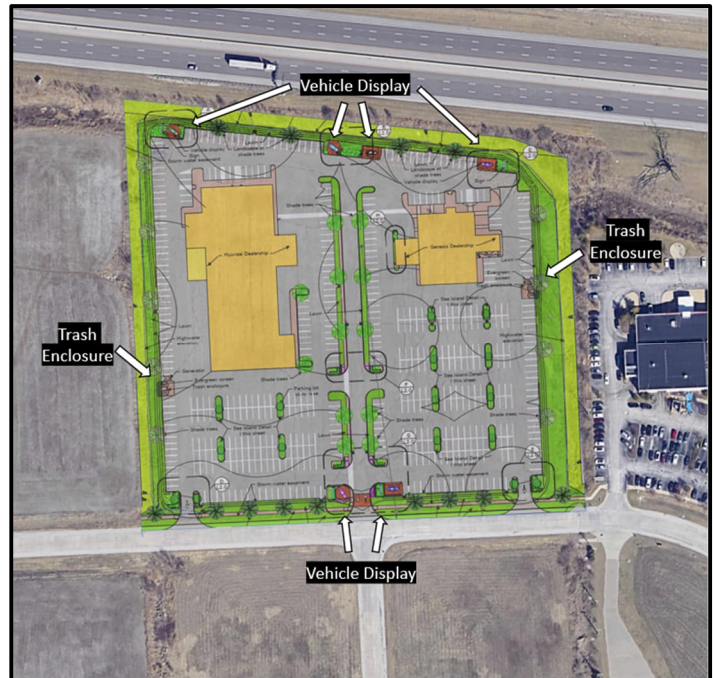


Figure 8: Trash enclosure and vehicle display locations

RENDERINGS



Dealership on eastern side



Dealership on western side

DEPARTMENT INPUT

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the Architectural Review Board will be included in Staff's report to the Planning Commission.

Staff requests review on the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for Long Road Lipton Parcel, Lots 3-7.

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

"I move to forward the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for Long Road Lipton Parcel, Lots 3-7 as presented, with a recommendation for approval (or denial) to the Planning Commission."

"I move to forward the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for Long Road Lipton Parcel, Lots 3-7 to the Planning Commission with a recommendation for approval with the following conditions..."

Attachments:

1. Architectural Review Packet Submittal

DEAN TEAM HYUNDAI/GENESIS

GENERAL NOTES

- Total Area of Tract = 391,569 sq. ft. (8,989 Acres)
- Tract is currently zoned: "P1" Planned Industrial District
- Adjoining properties are zoned: Interstate 64, U.S. Routes 40 & 61 (North) "PC" Planned Commercial District (East) "P1", "M1", "PC" Districts (South) "P1" Planned Industrial District (West)
- Tract lies in the following districts:
Sewer Metropolitan St. Louis Sewer District (Missouri River Watershed)
Fire Chesterfield Fire Protection District
School Rockwood School District
- All public utilities are available to the site
- Tract is served by the following utilities:
Electric Ameren Missouri
Gas Spire Gas Company
Telephone AT&T
Water Missouri American Water
- Contours are USGS Datum.
- All proposed improvements shall be constructed to City of Chesterfield Standards
- All grading and drainage to be in conformance with MSD Standards.
- The Chesterfield Valley Master Stormwater System is designed to provide stormwater detention for the development. Water Quality regulations as required by MSD will be provided with Site Improvement Plans.
- For clarity, this plan does not show the existing lot lines and cross-access easements for the property North of Long Road Crossing Drive. They will be removed and adjusted by the preparation of a new plan in the future in accordance with City of Chesterfield Regulations.
- We have examined Flood Insurance Rate Map (Community Panel Number 290606-0165-K), Map Number 2918002165K, having an effective date of February 4, 2015, of the National Flood Insurance Program prepared by the Federal Emergency Management Agency for the area containing the subject property. By graphic plotting only, the subject property is located within Zone "X" - AREA WITH REDUCED FLOOD RISK DUE TO LEVEL. This note is for the purpose of providing information as indicated on the current Flood Insurance Rate Map for this area, and should not be construed as an indication as to whether flood insurance should, or should not be purchased.

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ILL. Exp. 02/2024
P.L. 02/2024

ABBREVIATIONS

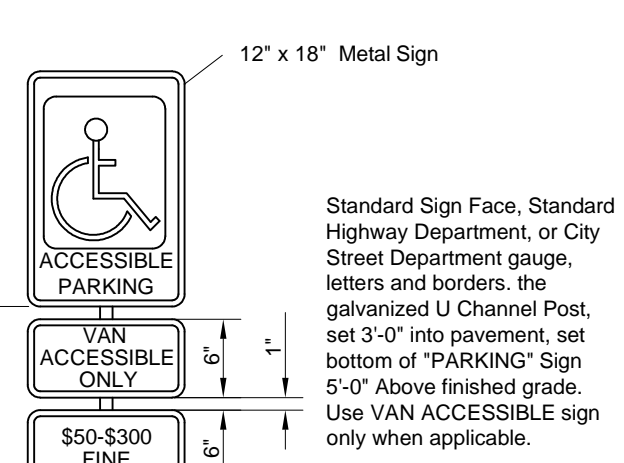
- AI - Area Inlet
- Asph - Asphalt
- B/B - Back to Back
- BW - Base of Wall
- CB - Catch Basin
- CB - Cord Basing
- CI - Curb Inlet
- CL or t - Centerline
- CMP - Corrugated Metal Pipe
- Co - Cleanout
- Conc - Concrete
- CTV - Cable Television
- DB - Dead Book
- DCB - Double Catch Basin
- DFL(N) - Drop FL from North
- DGI - Double Grate Inlet
- DIP - Ductile Iron Pipe
- E - Electric
- F/F - Face to Face
- FES - Flared End Section
- FL - Finish Floor
- FL - Flow Line
- GB - Grate Break
- GI - Grate Inlet
- Gr MH - Grate Manhole
- Gr - Length of Curve
- MS - Manhole
- MH - Metering Structure
- N/F - Now or Formerly
- OHE - Overhead Electric
- OHE&T - Overhead Electric & Telephone
- PB - Plat Book
- PG - Page
- PL - Property Line
- PVC - Polyvinyl Chloride Pipe
- R - Radius
- R.D. - Root Drain
- R/W - Right of Way
- RCP - Reinforced Concrete Pipe
- TBR - To Be Removed
- TBR&R - To Be Removed & Replaced
- TBRel - To Be Relocated
- TC - Top of Curb
- TF - Top of Foundation
- TG - Top of Ground
- TP - Top of Pavement
- TW - Top of Wall
- Typ - Typical
- UGE - Underground Electric
- UGFO - Underground Fiber Optic
- UGT - Underground Telephone
- U/P - Use in Place / Use in Place
- VCP - Vitrified Clay Pipe
- W - Water Service
- 32L3017S - MSD Sewer Identification #

LEGEND

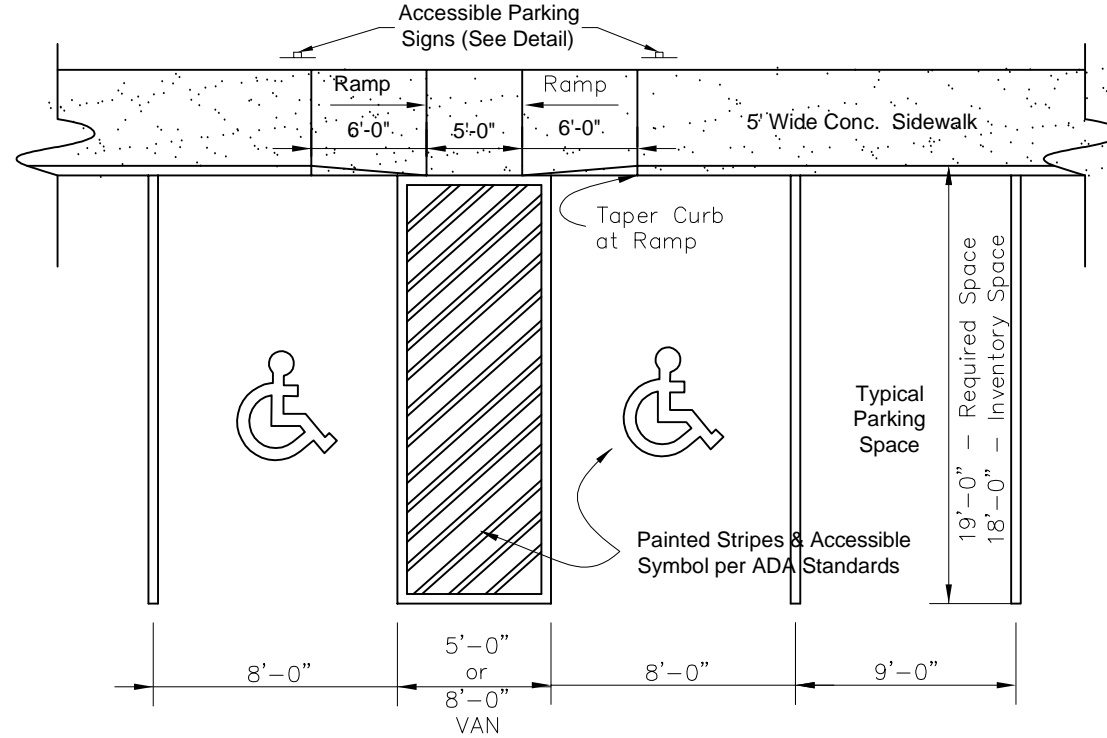
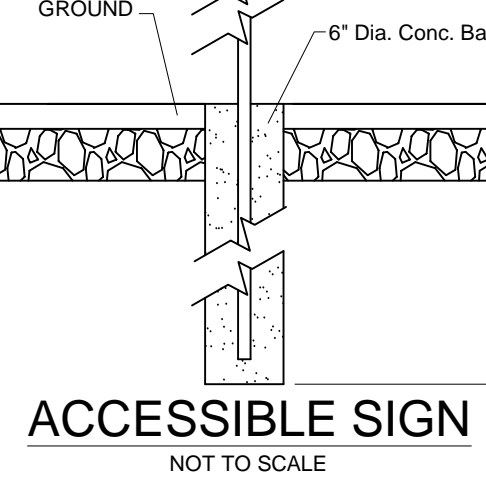
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--- UTILITY SERVICE (E, T, G, W, etc.)	--- MANHOLE
○ CATCH BASIN	○ GRATE INLET
△ FLARED END	△ FIRE HYDRANT
□ STREET LIGHT	□

Parking Spaces required by Section 405.04.040

PARKING LEGEND



ACCESSIBLE SIGN



ACCESSIBLE PARKING DETAIL

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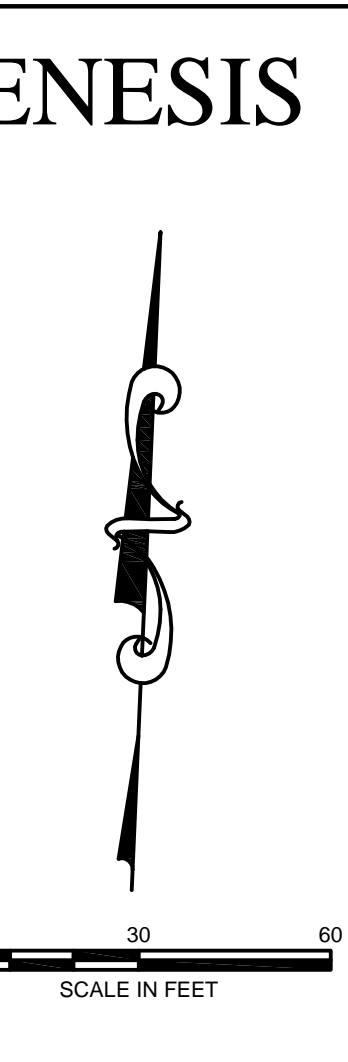
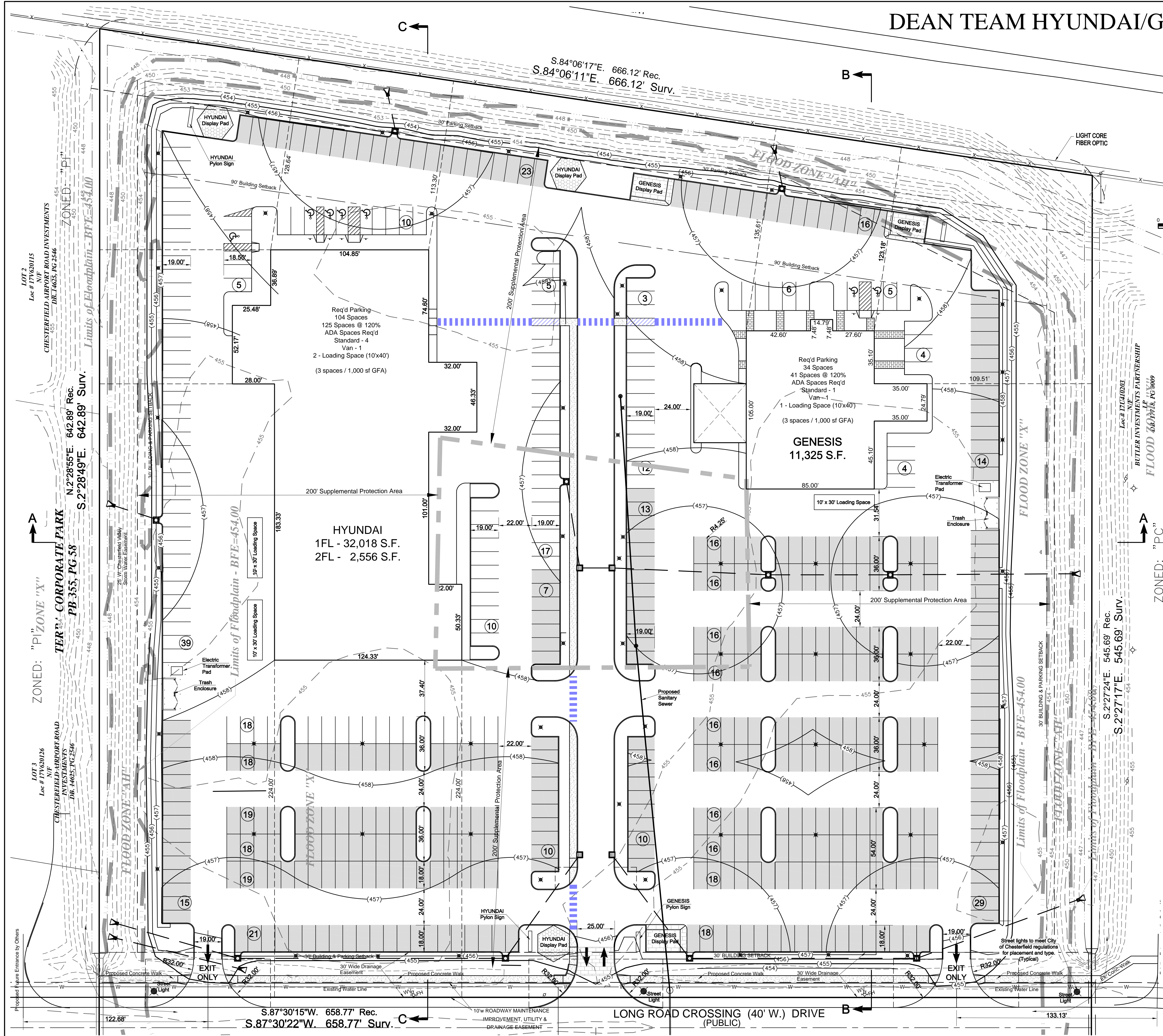
Prepared for:
CRONIN VALLEY REAL ESTATE
15121 Manchester Road
Ballwin, Missouri 63011

REVISIONS	DATE	DESCRIPTION
1	2024-02-13	KRS Per City of Chesterfield Review And Comment

DEAN TEAM HYUNDAI/GENESIS

Professional Engineer
JOHN R. WILLHITE
PE-2018000295

Designed	KRS
Drawn	KRS, DLH
Checked	JRW
Date	December 18, 2023
Project Number	23041
Sheet Number	3 of 4



ABBREVIATIONS

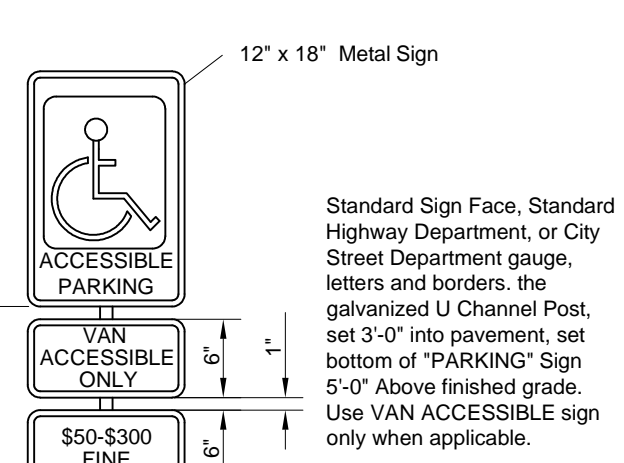
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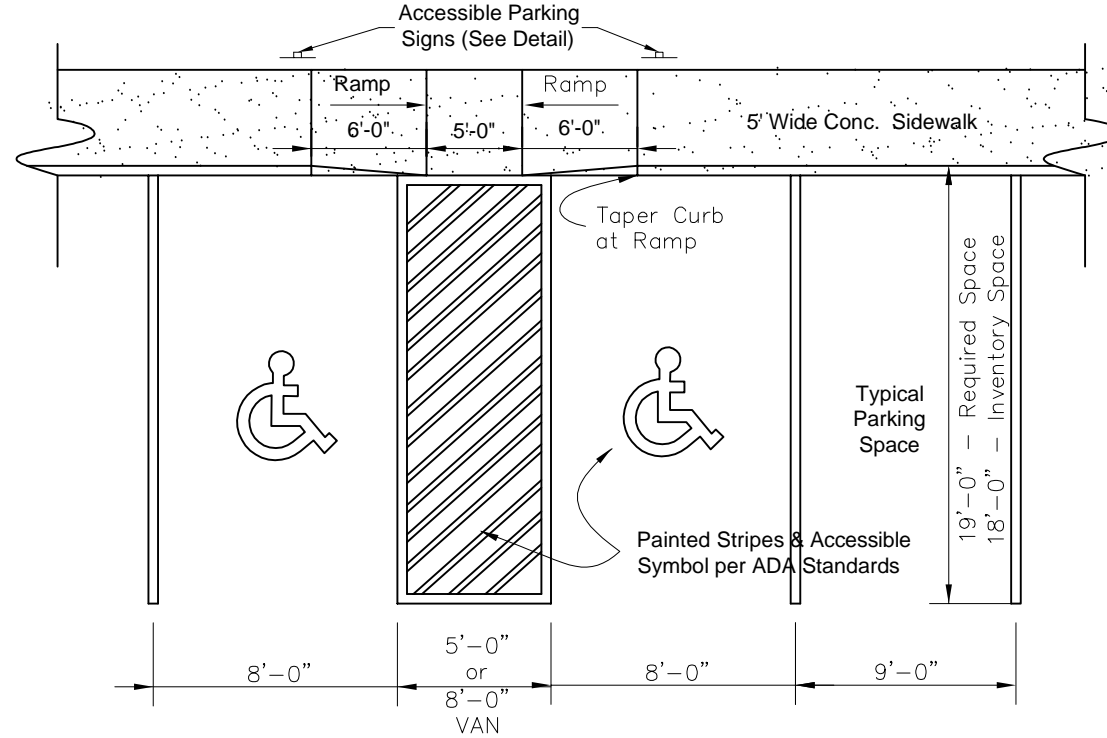
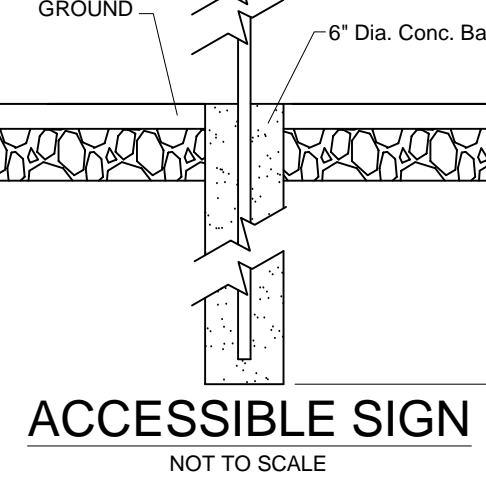
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Parking Spaces required by Section 405.04.040

PARKING LEGEND



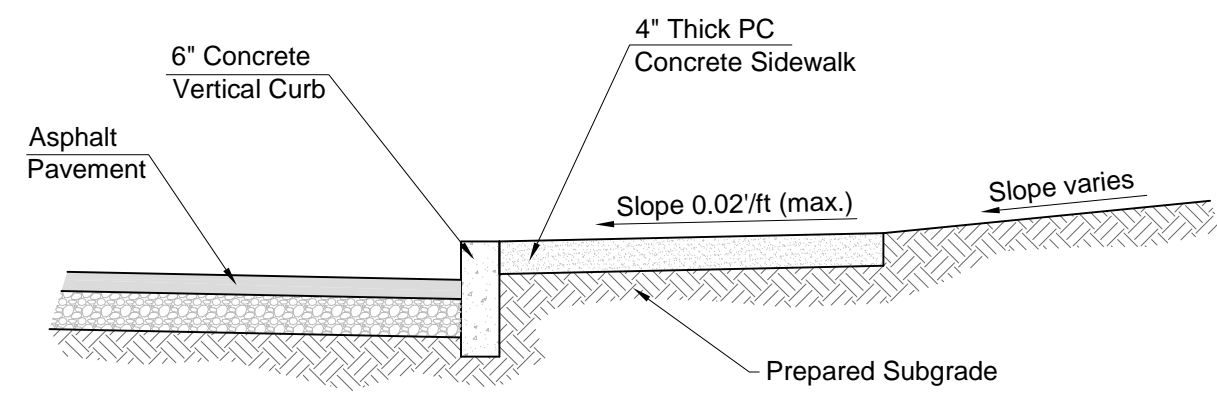
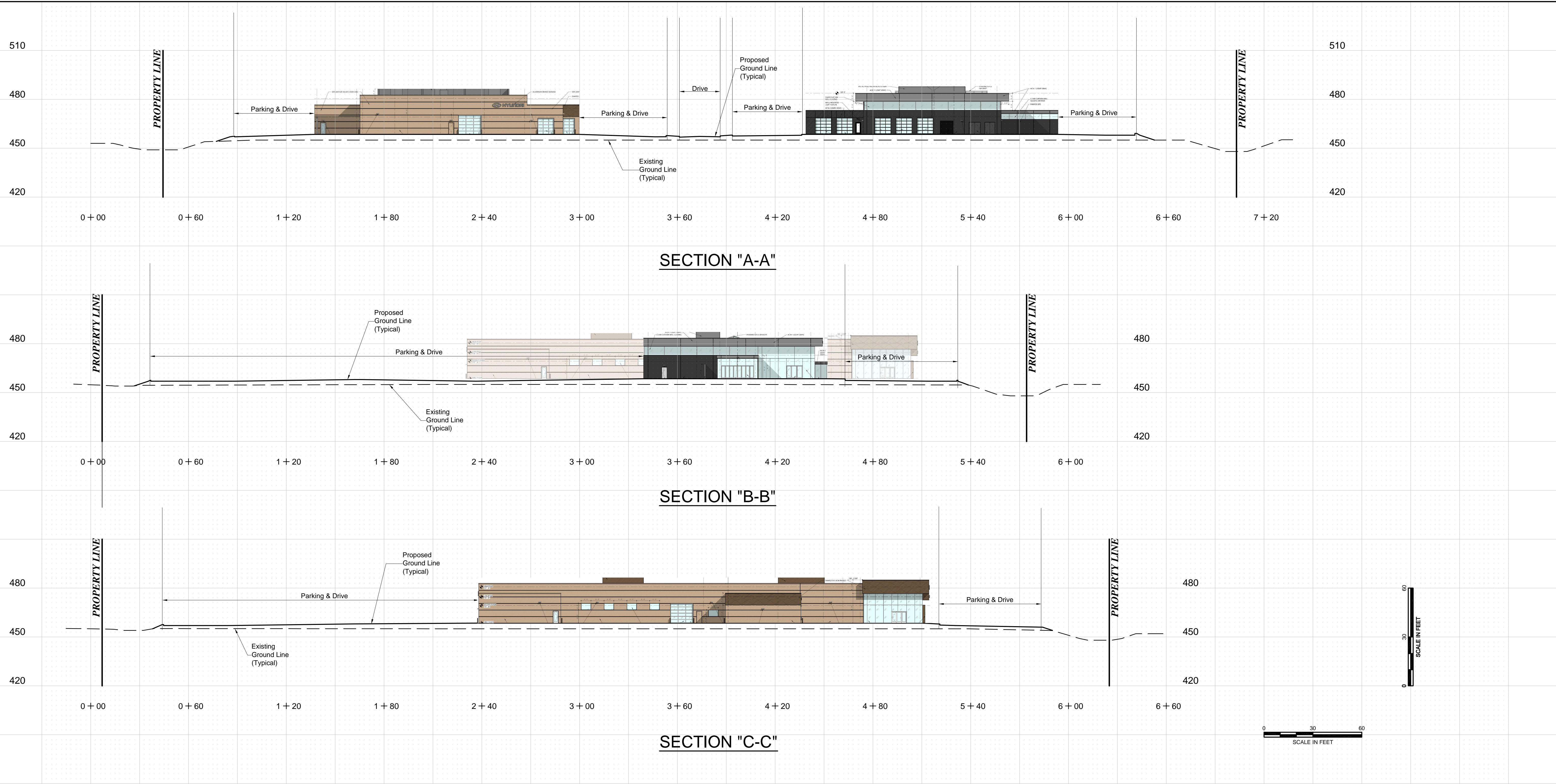
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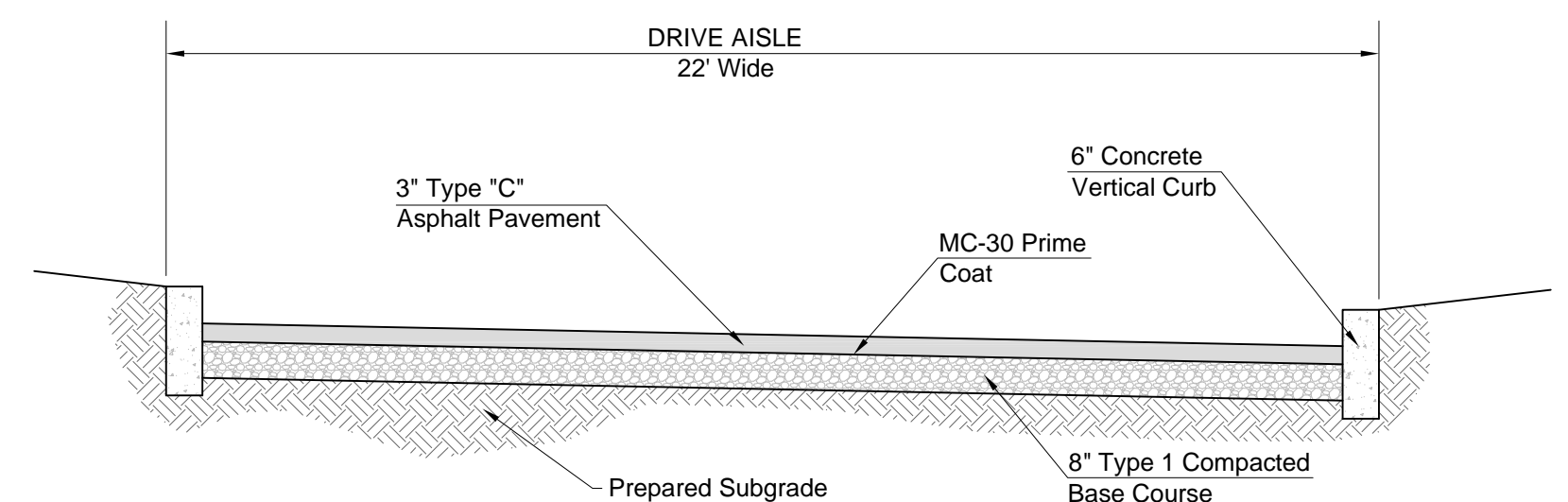
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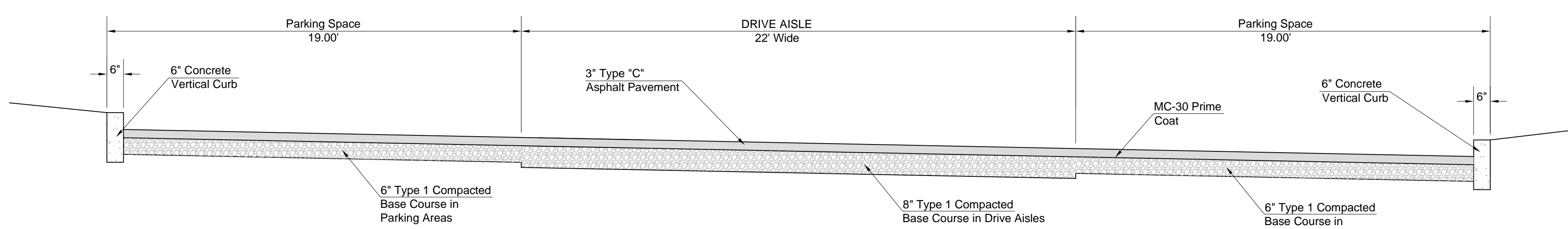
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TYPICAL SECTION THRU SIDEWALK



TYPICAL SECTION THRU DRIVE



TYPICAL SECTION THRU DRIVE AND PARKING

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 1111 S. Grand Blvd. St. Louis, MO 63104
 IL Exp. 12/31/2024 Prof. Reg. No. 001-00000002

NO.	DATE	DESCRIPTION
1	2024-02-13	KRS Per City Of Chesterfield Review And Comment

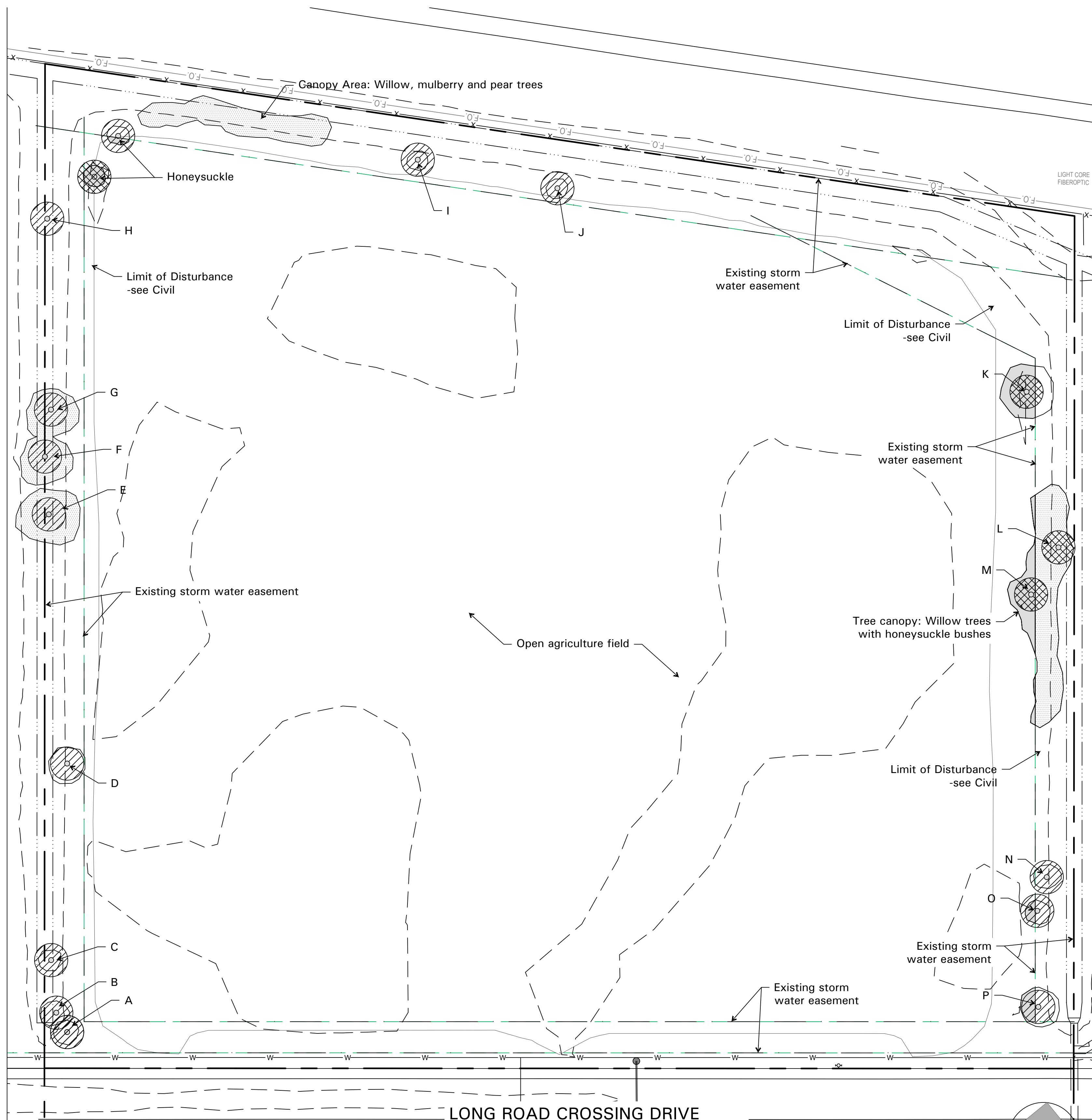
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Prepared for:
CRONIN VALLEY REAL ESTATE
 15121 Manchester Road
 Ballwin, Missouri 63011

DEAN TEAM HYUNDAI/GENESIS
 SITE SECTIONS

Designed: KRS
 Drawn: KRS, DLH
 Checked: JRW
 Date: December 18, 2023
 Project Number: **23041**
 Sheet Number: 4 of 4

JOHN R. WILLHITE
 PE-2018000295
 02-16-24



1 Tree Stand Delineation and Tree Protection Plan

LEGEND:

Symbol	Description
	Existing Tree
	Existing Tree to be removed
	Existing Tree at Storm Water Easement -not included in TPP
	Existing Tree Canopy
	Existing Tree Canopy not in Easement or ROW

Total Site Area: 8.969 acres
 Total tree canopy area on site: 1,110 sq. ft.
 Total tree to be removed: 1,110 sq. ft.
 Total tree canopy to remain: 0 sq. ft.

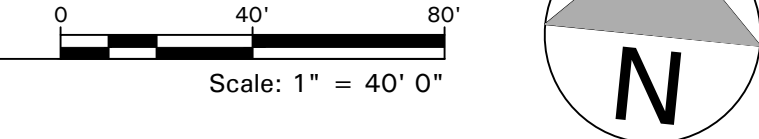
Tree Stand Delineation Notes:
 Existing vegetation observed on November 14, 2023 by Dermody & Associates, LLC and then on November 21, 2023 by Frontenac Forestry.

Site is open agricultural field with east, north and west perimeters dominated by Storm Water Easements. Vegetation at Storm Water Easement consist of volunteer vegetation to include, but not limited to corn, wheat, fescue and trees.

All trees within Storm Water Easement are subject to Chesterfield Levee District and are not included on Tree Preservation Plan.

Two trees exist outside the Storm Water Easement. One tree is an 8" DBH Crab Apple in poor condition and the second is Mulberry Tree in poor condition. Both trees will be removed.

Tree Protection Note:
 No trees outside Storm Water Easement will be preserved.



Install and maintain tree protection fence as indicated on preservation plan for all trees marked save. Silt protection shall be installed in a trenchless manner within the critical root zone of any tree to be SAVED. (I.E. woodchips, wattles, and hay bales)

I hereby certify that I have viewed the premises and provided this professional opinion regarding the survivability of significant trees on this site and abutting the site. Attached is a site plan illustrating the recommended location of tree protection fencing. This fence is to remain erect throughout the construction project. All tree inspections were performed from the ground and are limited in scope. Tree and utility locations are approximate and locations of utilities are subject to change.

Craig R. Murphy
 Craig R. Murphy
 I.S.A. Certified Arborist
 IL-9645A



Frontenac Forestry ~ 2460 Driftwood Ln. St. Louis, MO. 63146~ 314-496-2020

**TREE STUDY
 SITE PLAN REVIEW
 11-21-2023**

PROPERTY LOCATION: 738 Long Rd

#	TREE SPECIES	D B H	PRESERVE/ TBR	ADJOINING LOT	COMMENTS	CONDITION
A	hackberry	4"	TBR		Vines	Fair
B	hackberry	3"	TBR		Volunteer	Fair
C	boxelder	3"	TBR		Declining	Poor
D	willow	3"	TBR		Declining	Poor
E	cottonwood	10"x8" x4"	TBR		cluster of volunteers	Fair
F	mulberry	9x5"	TBR		cluster of volunteers, vines	Fair
G	cottonwood	12"	TBR		Vines	Fair
H	sycamore	4"	TBR		Declining	Poor
I	mulberry	4"	TBR		Volunteer	Fair
J	mulberry	2x4"	TBR		Volunteer, multi-trunk	Fair
K	mulberry	3x8"	TBR		Cluster	Fair
L	black locust	25x3"	TBR		Grove of volunteer saplings	Fair
M	black locust	20x5"	TBR		Grove of volunteer 5-8" trees	Fair
N	mulberry	2x5"	TBR		Volunteers, multi-stem	Good
O	mulberry	10"	TBR		minor storm damage	Fair

DERMODY & ASSOCIATES

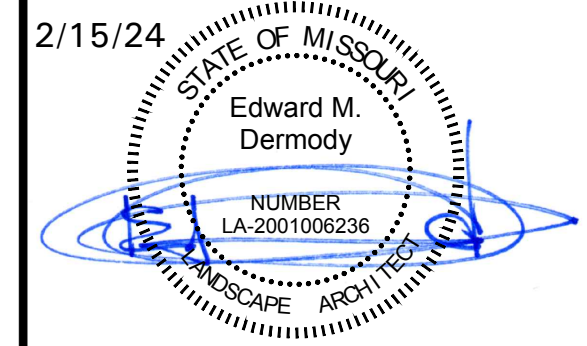
 Uisce beatha
 ph# 314.205.8871
 Missouri Certificate of Authority #200902208

Surveyor/ Civil Engineer:
 The Clayton Engineering Company, Inc.
 2268 Welsch Industrial Ct.
 St. Louis, MO 63146

Landscape Development Plan for:
 City of Chesterfield ARB
 DEAN TEAM HYUNDAI/ GENESIS
 Long Road Crossing Drive, Chesterfield, MO
 DRAWING PREPARED FOR:
 Cronin Valley Real Estate, LLC
 15121 Manchester Road
 Ballwin, MO 63011

Revisions:

No.	Description	Date:
1	City comments	2/15/24



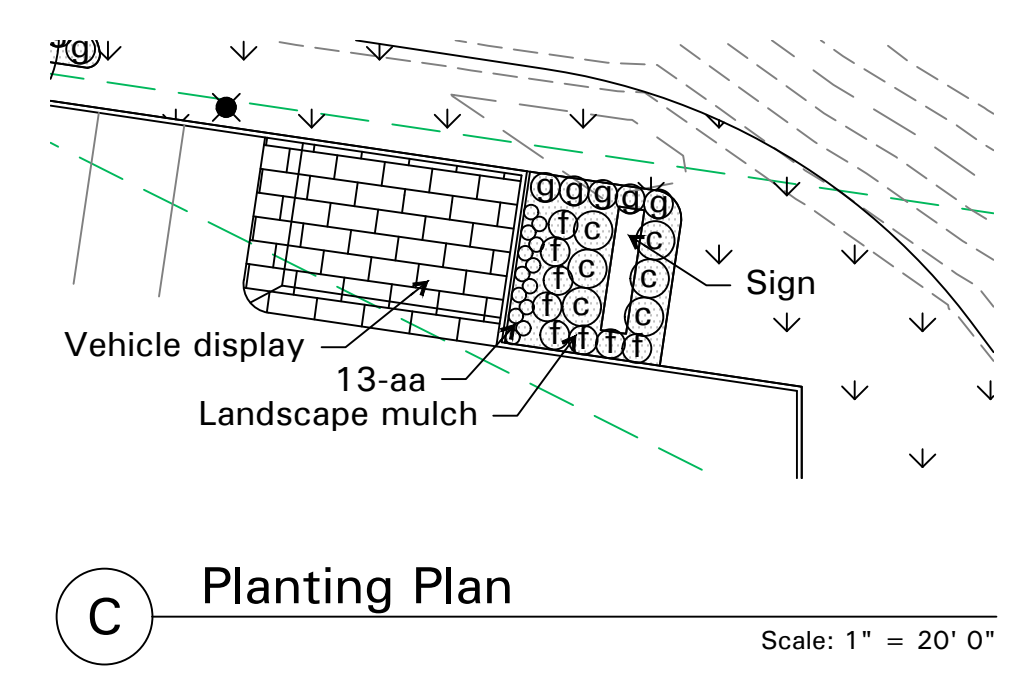
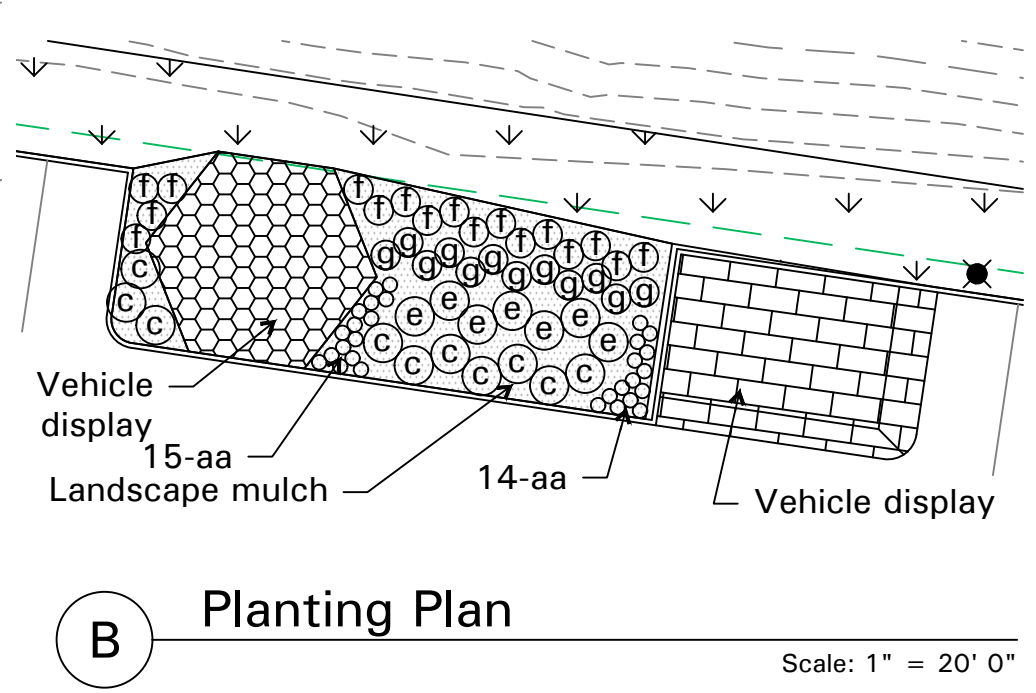
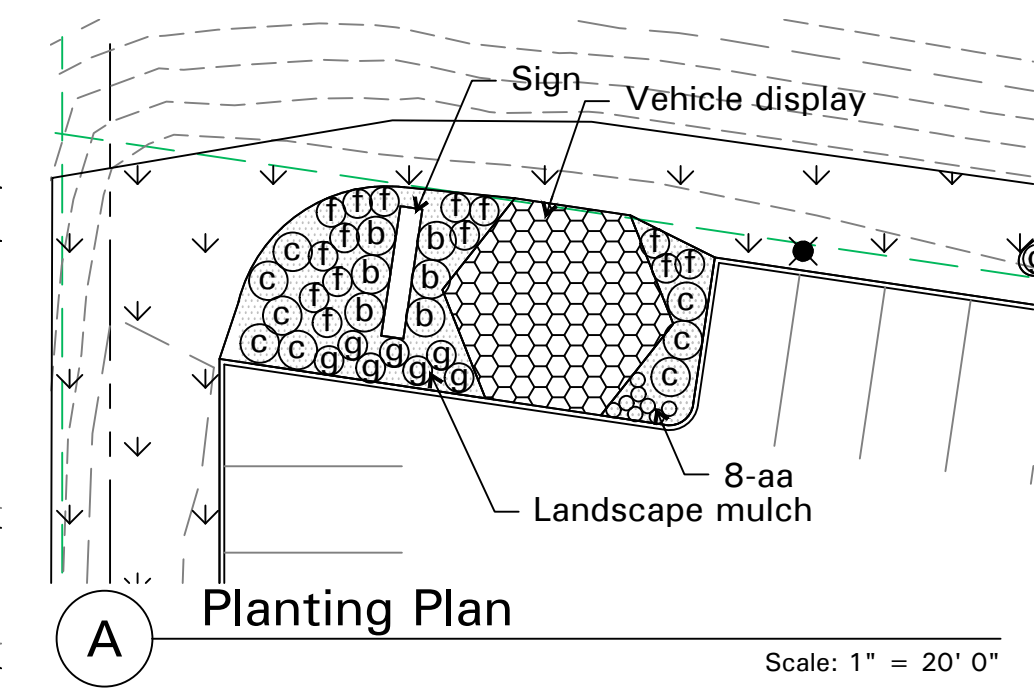
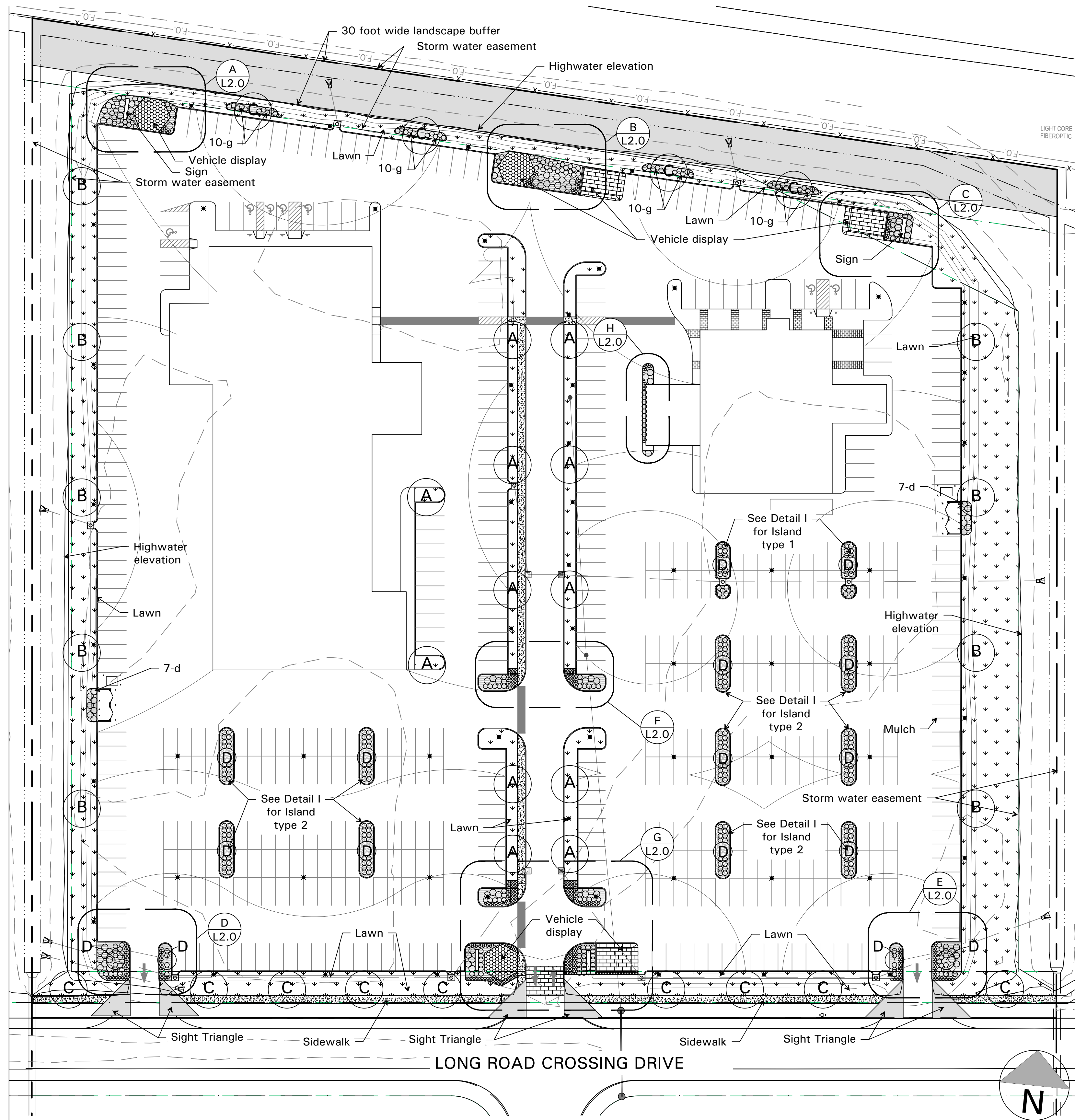
Edward M. Dermody
 Landscape Architect
 LA-2001006236

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Issue Date: December 19 2023
 Drawn by: EMD
 Checked By: EMD

Tree Stand Delineation and Tree Protection Plan

Project Number: 796.001
 Sheet Number:
 TSD-TPP



Chapter 405. Unified Development Code
 Article 04. Development Requirements And Design Standards

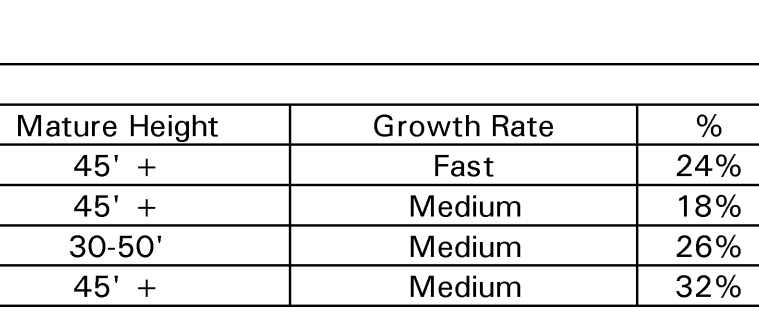
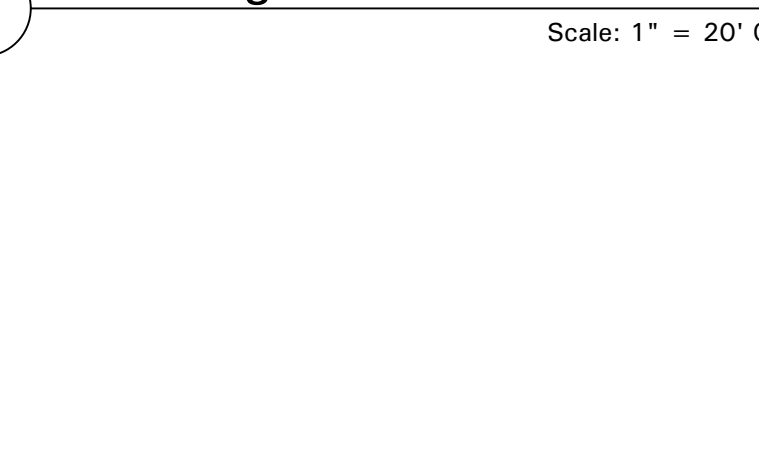
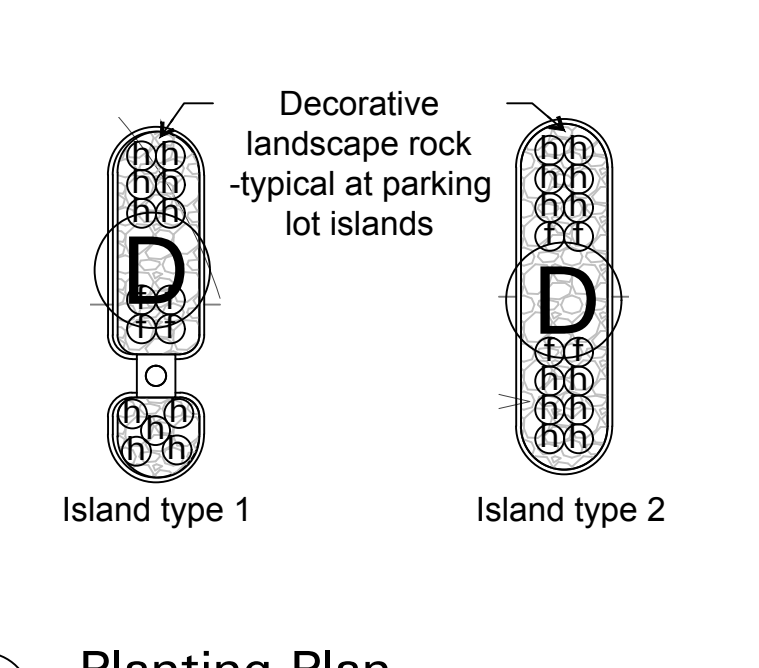
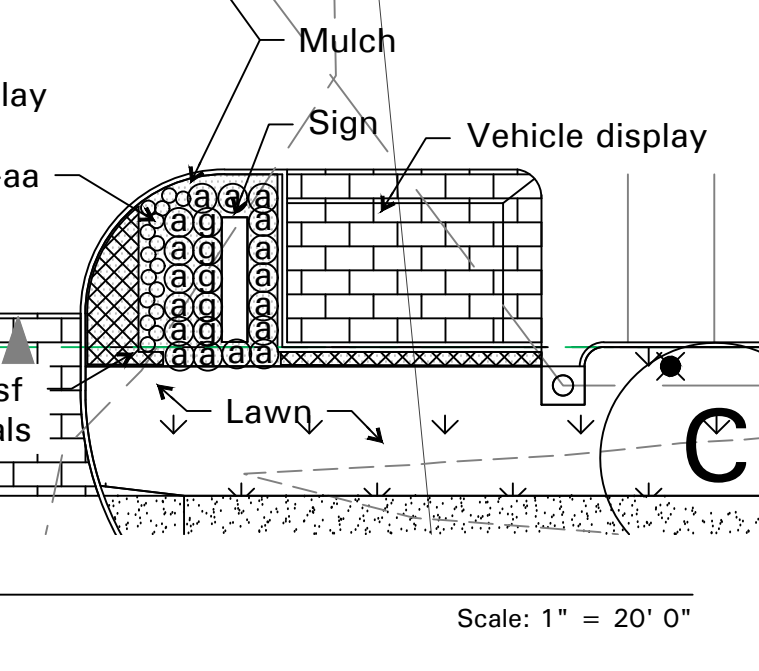
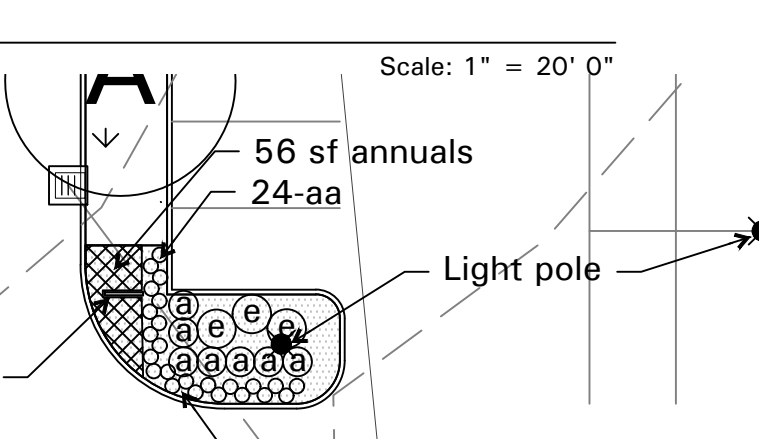
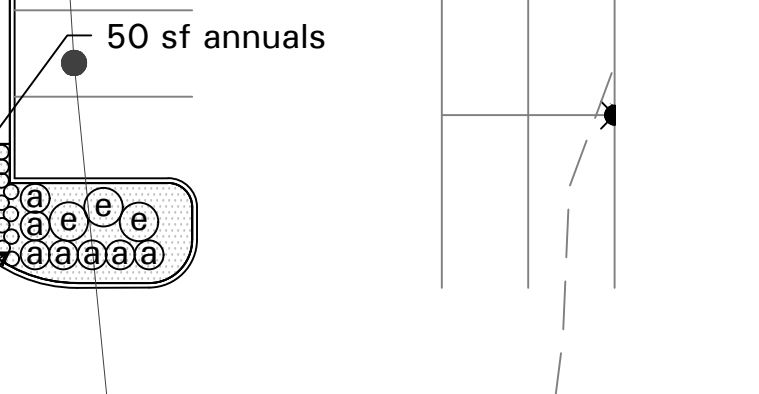
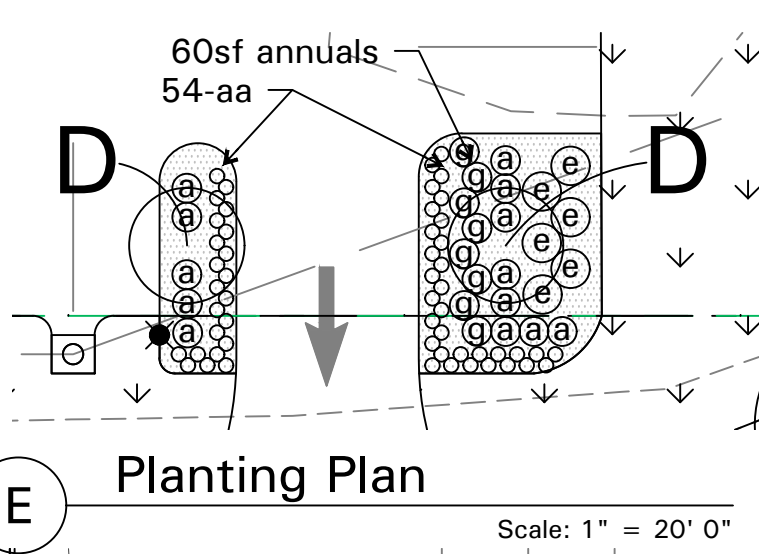
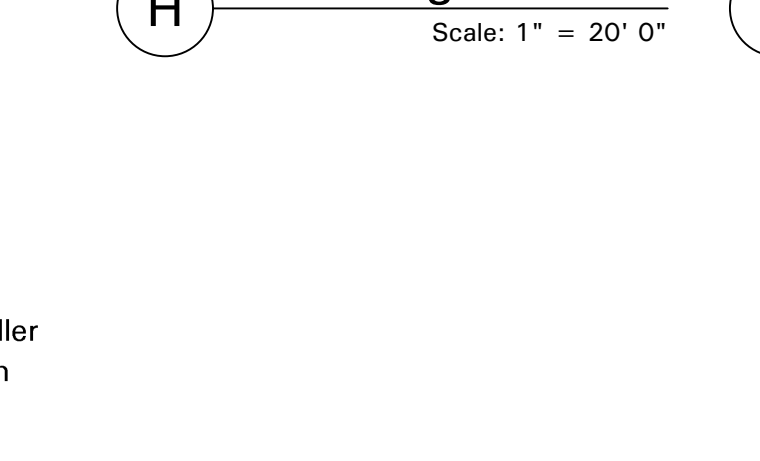
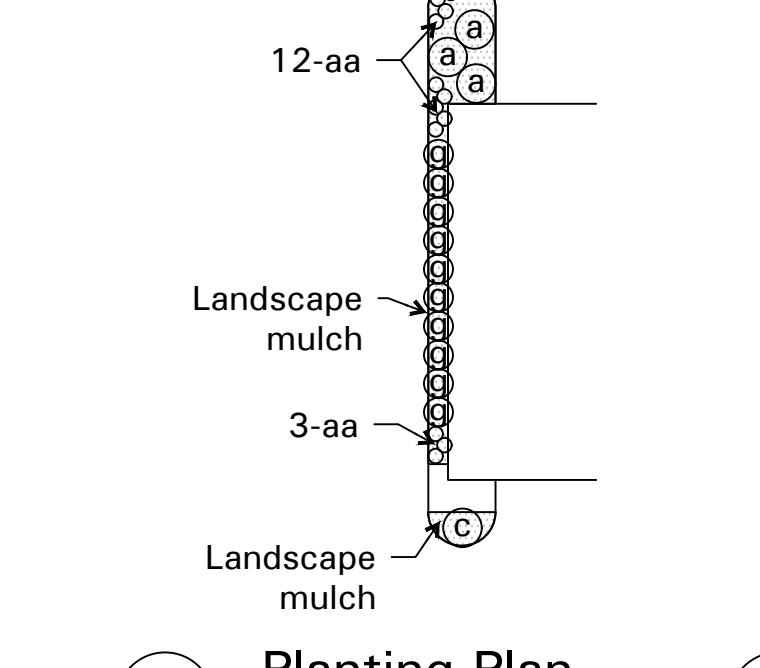
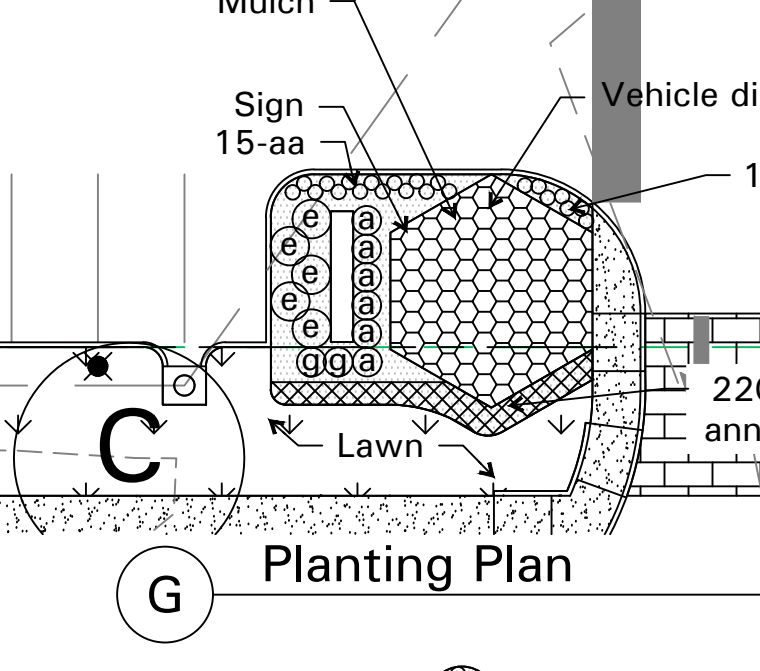
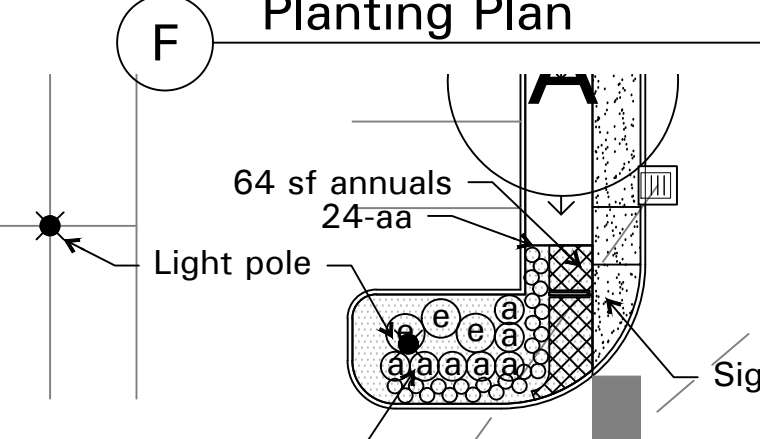
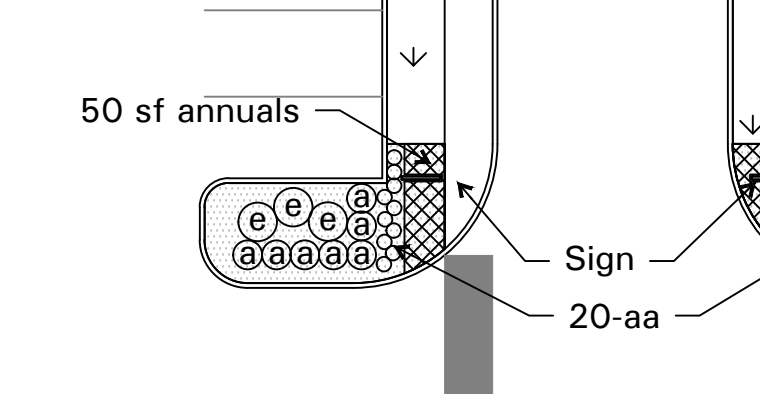
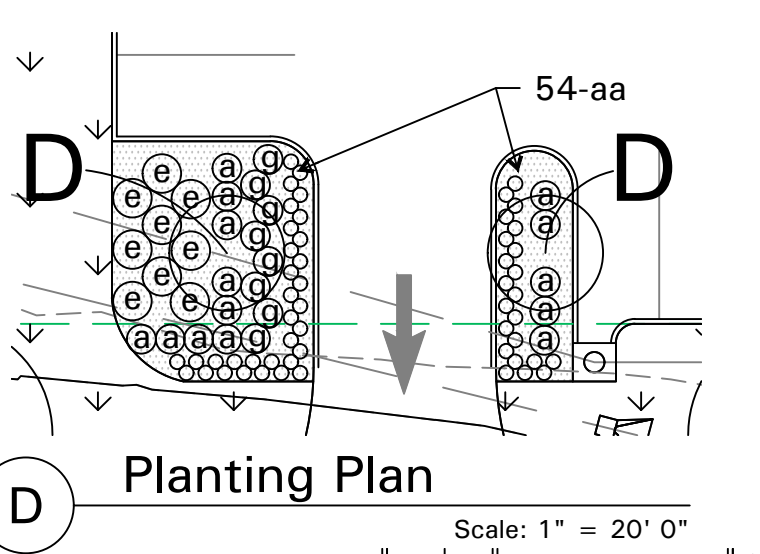
Section 405.04.020. Tree Preservation And Landscape requirements
 Part F Tree Stand Delineation (TSD)
 Existing trees found within Stormwater Easement
 No existing trees found within non-easement areas

Part I Tree Protection Plan
 Trees found within Stormwater Easement are a part of Levee District responsibilities and can to

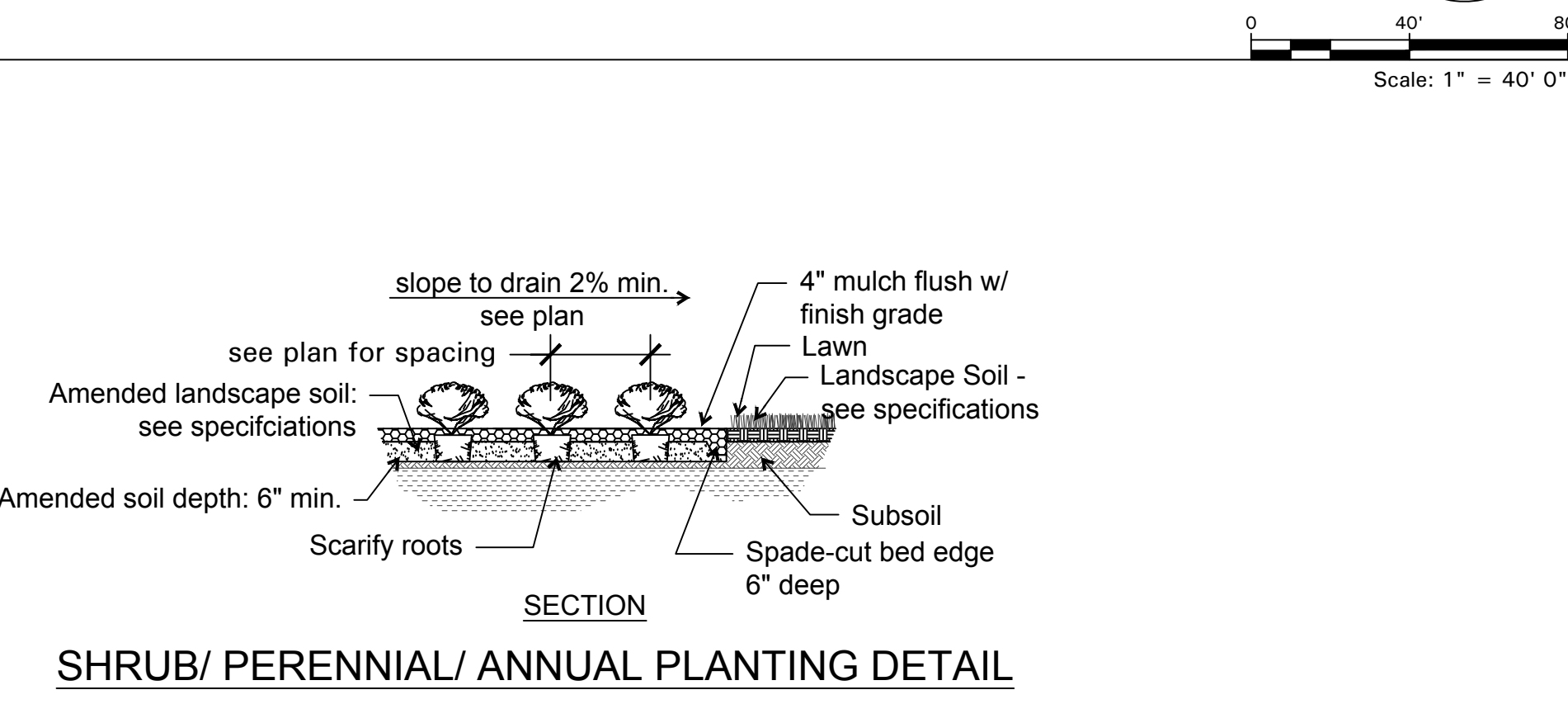
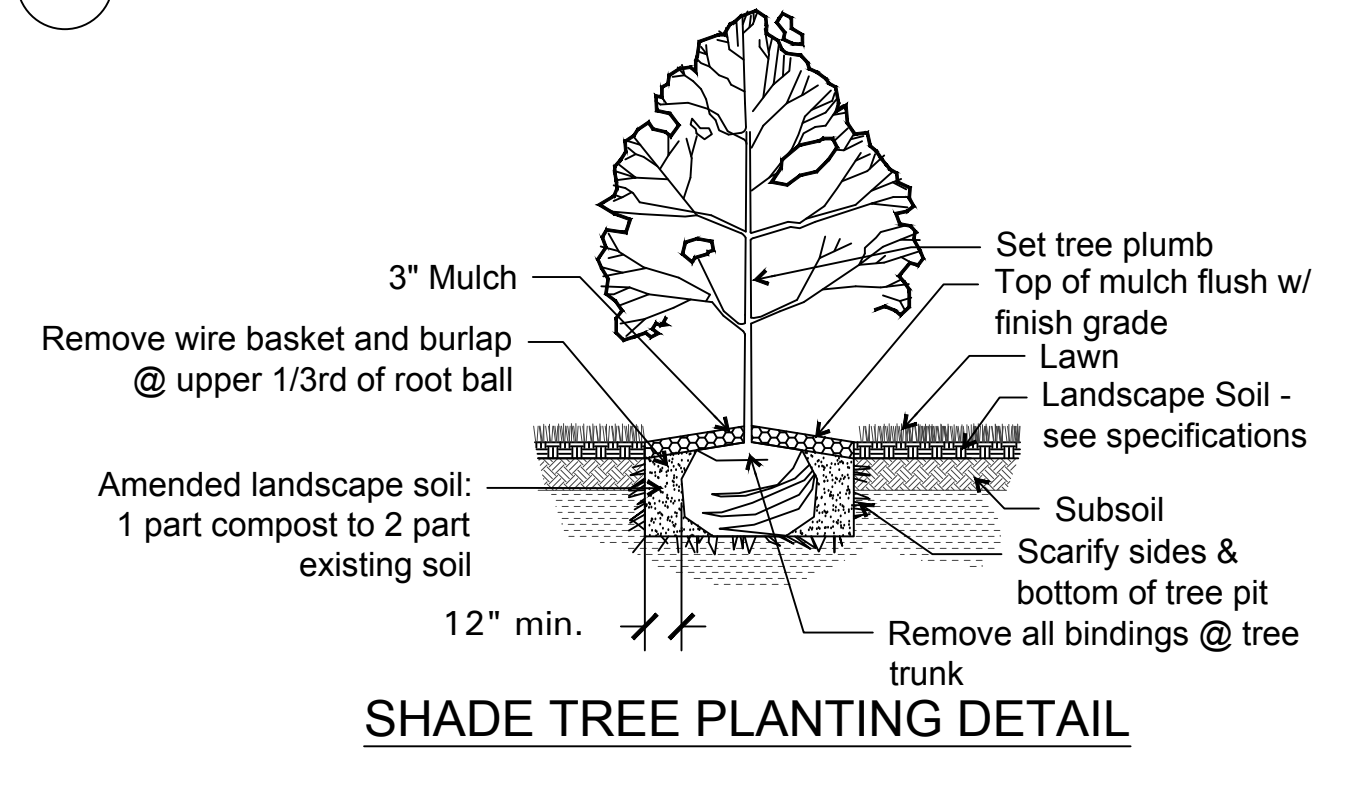
Part J All trees selected from City of Chesterfield List

Part K Landscape Proposals

- Landscape Plan Requirements - see plan
- Landscape Buffers, Setbacks, Berms Or Walls. Adjoining property same zoning -no buffer required. 30 Ft. Wide buffer provided at Long Road Crossing Drive. NOTE: Front, Side and Rear Yard include Stormwater Easement. See Civil Site Survey
- Landscape For Parking Lots And Tree Islands. See Civil Site Plan for parking lot islands. No landscape islands provided at vehicular display area
- Street Trees, Shrubs And Plantings. See plan for street tree locations @ 50' O.C.
- Installation and Maintenance. Landscape shall be maintained seasonally. Landscape shall be installed by professional landscape installer. Landscape shall be irrigated by in-ground automatic irrigation system.



1 Planting Plan Exhibit for Planning and Zoning



Key	Qty	Common Name	Botanical Name	Size	Type	Mature Height	Growth Rate	%
A	12	Zelkova	Zelkova serrata 'Green Vase'	2.5" Cal.	Deciduous Tree	45' +	Fast	24%
B	9	Tulip Tree	Liriodendron tulipifera	2.5" Cal.	Deciduous Tree	45' +	Medium	18%
C	13	Nyssa sylvatica	Black Gum	2.5" Cal.	Street Tree	30-50'	Medium	26%
D	16	Upright Maple	Acer platanoides 'Columnare'	2.5" Cal.	Parking Lot Tree	45' +	Medium	32%

Key	Qty	Common Name	Botanical Name	Size	Notes
a	81	Boxwood	B. sempervirens 'Green Velvet'	20-22"	Ball & Burlap
b	6	Gold Tip Juniper	Juniperus x pfitzeriana 'Saybrook Gold'	5 Gal.	
c	27	Ground Cover Juniper	Juniperus x pfitzeriana 'Daub's Frosted'	5 Gal.	
d	14	Bayberry	Myrica pensylvanica	5 Gal.	
e	39	Nine Bark	Physocarpus opulifolius 'Amber Jubilee'	3 Gal.	
f	87	Prairie Drop Seed	Sporobolus heterolepis 'Tara'	1 Gal.	
g	97	Little Blue Stem	Schizachyrium scoparium 'Standing Ovation'	1 Gal.	
h	142	Muhly Grass	Muhlenbergia capillaris	1 Gal.	

GENERAL NOTES:

- Plan provided for City of Chesterfield ARB, Planning and Zoning Commission and City Council review and approval. Not for construction.
- All street trees will be located at least 10' from all storm sewer structures.
- All disturbed areas to be sodded.
- An landscape to watered with in-ground irrigation system.
- All plant materials to be locally grown.

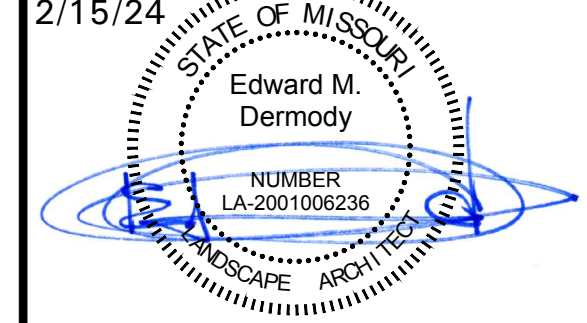
3,600	+/- Sq. Ft. Decorative Landscape Rock		
5,900	+/- Sq. Ft. Double Ground Hardwood Bark Mulch		
47,100	+/- Sq. Ft. Fescue Sod		

Landscape Development Plan for:
 City of Chesterfield ARB
 DEAN TEAM HYUNDAI/ GENESIS
 Long Road Crossing Drive, Chesterfield, MO

DRAWING PREPARED FOR:
 Cronin Valley Real Estate, LLC
 15121 Manchester Road
 Ballwin, MO 63011

Revisions:

No.	Description	Date:
1	City comments	2/15/24



Edward M. Dermody
 Landscape Architect
 LA-2001006236

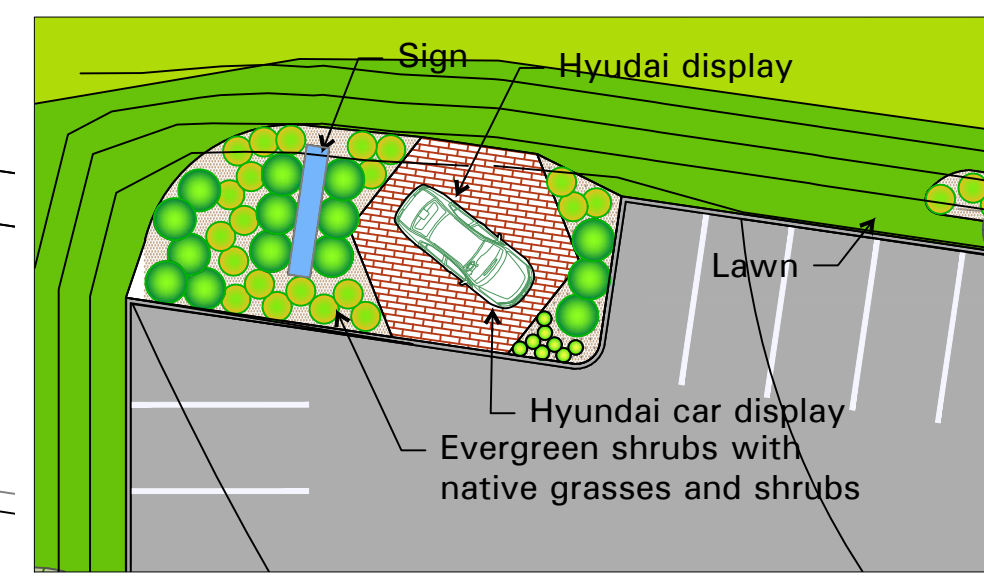
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Issue Date: December 19 2023
 Drawn by: EMD
 Checked by: EMD
 Sheet Title

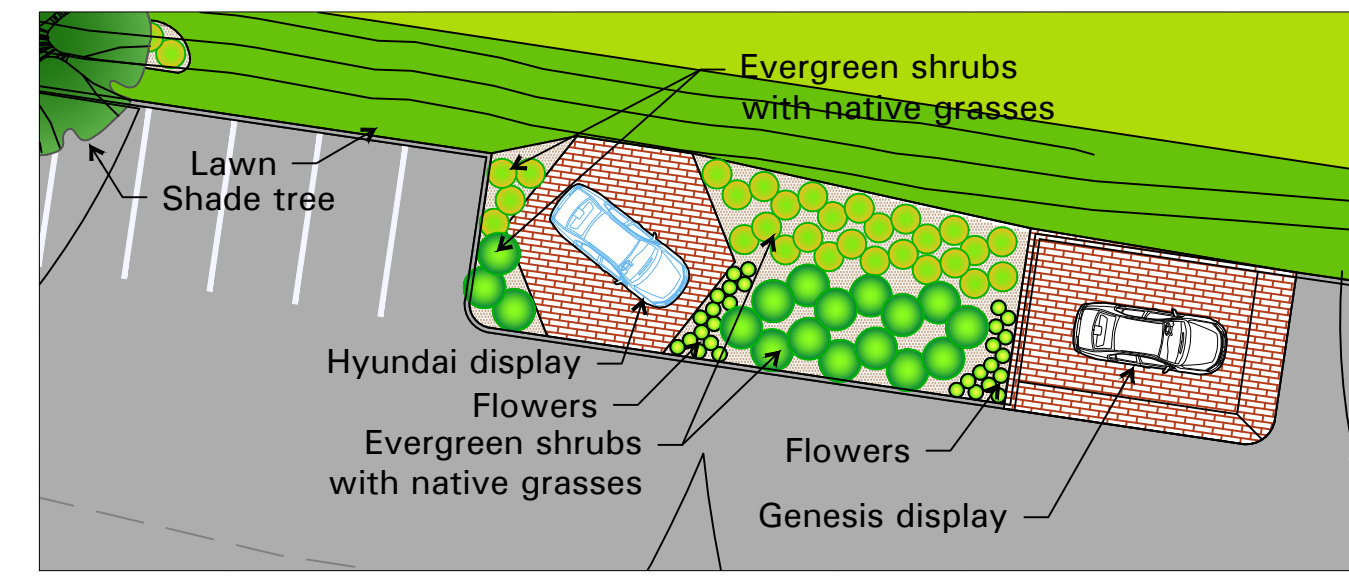
Planting Plan for
 Planning and Zoning

Project Number: 796.001
 Sheet Number:
 L1.0

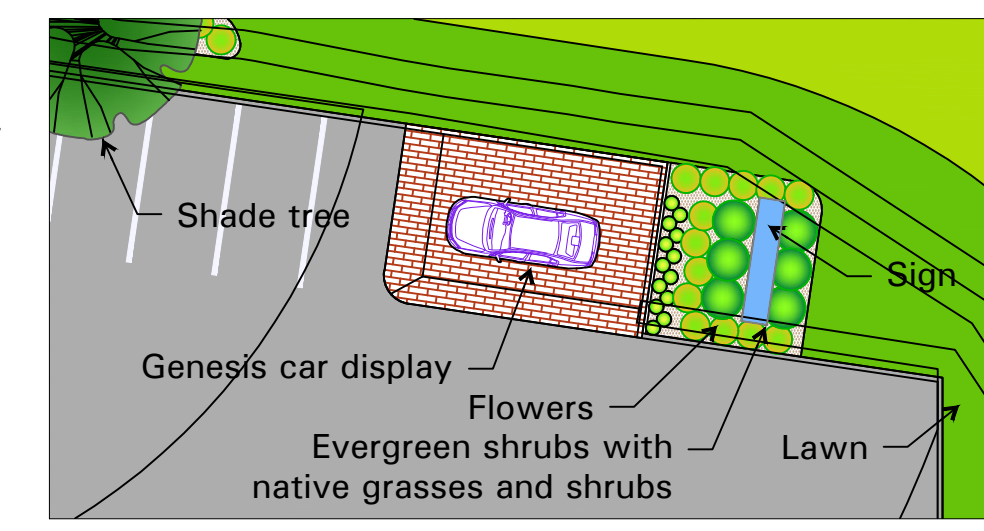




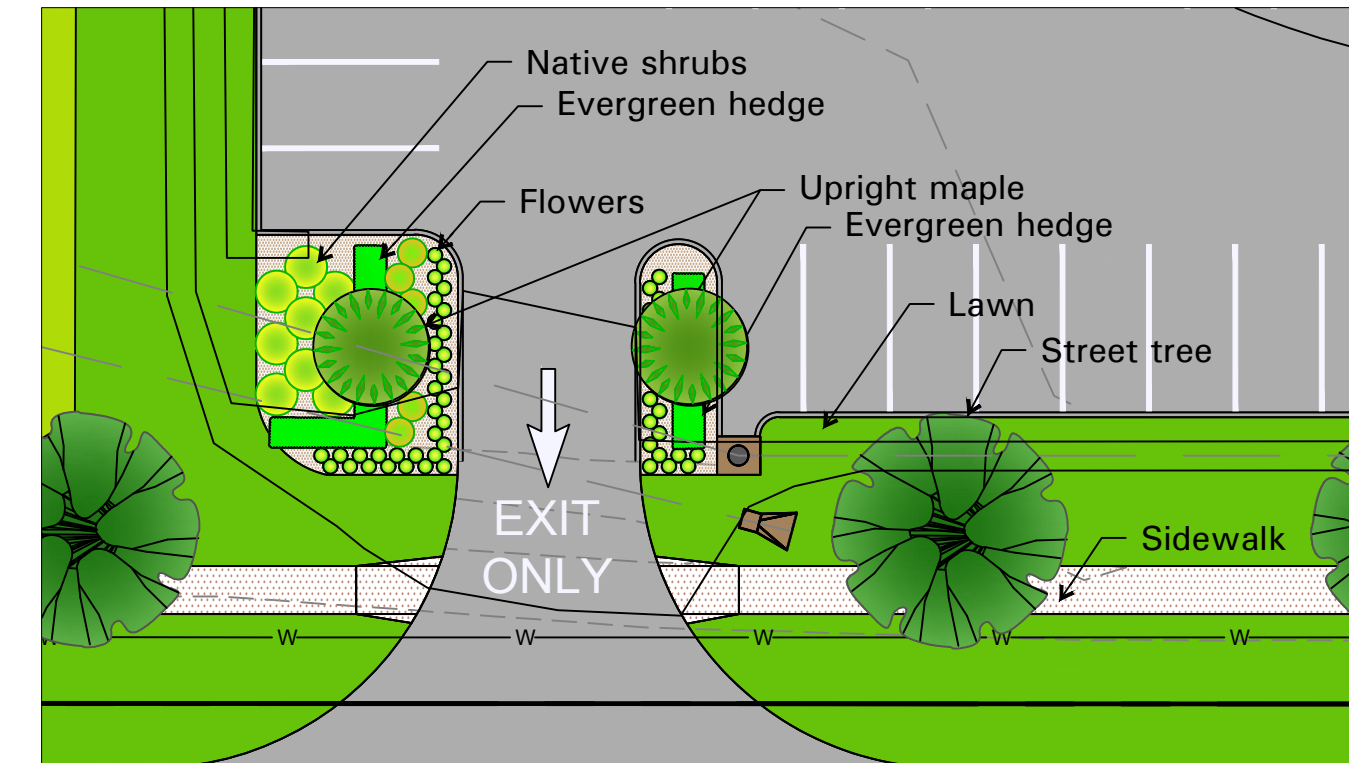
A Planting Plan Scale: 1" = 20' 0"



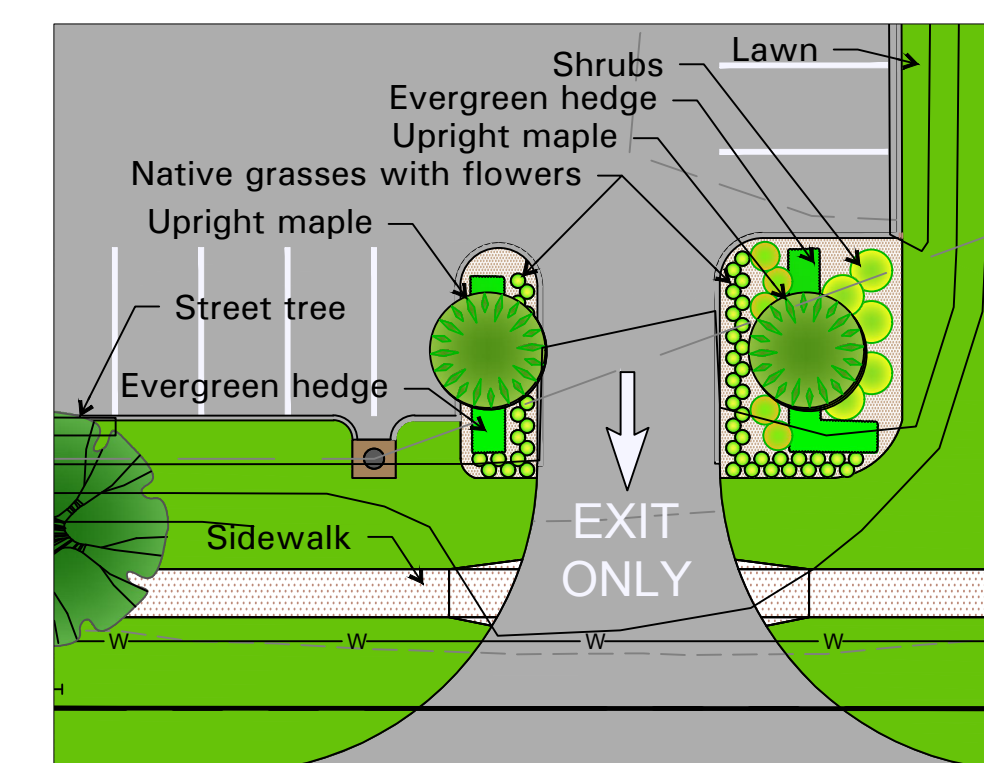
B Planting Plan Scale: 1" = 20' 0"



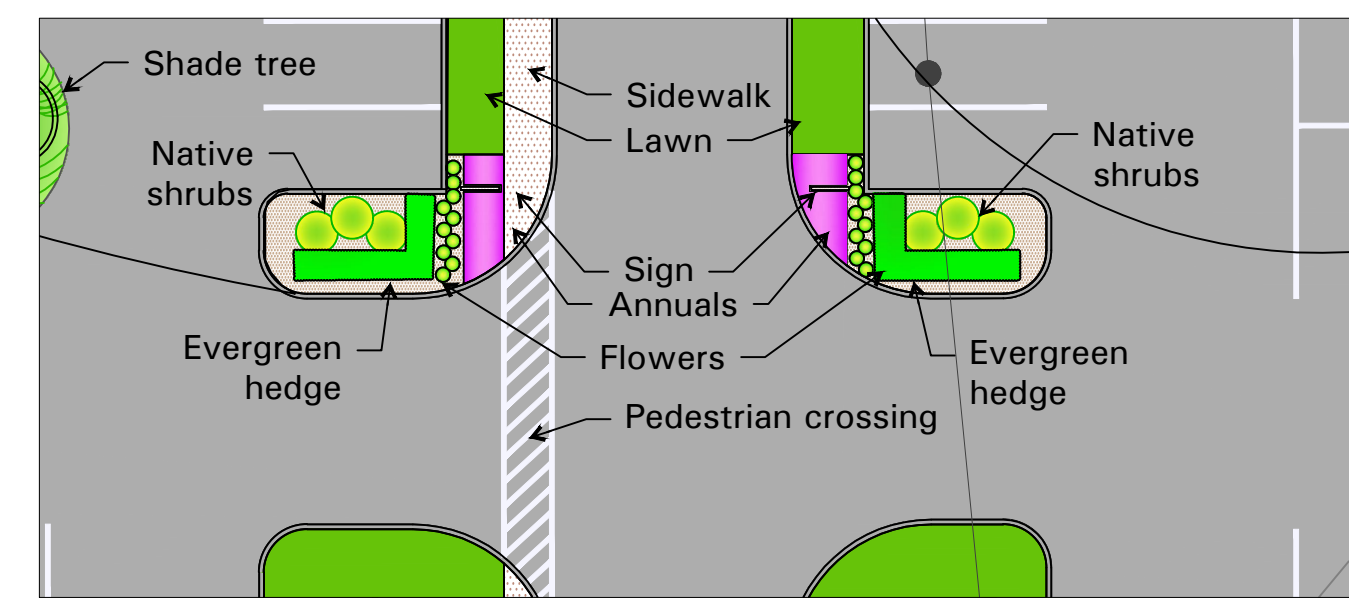
C Planting Plan Scale: 1" = 20' 0"



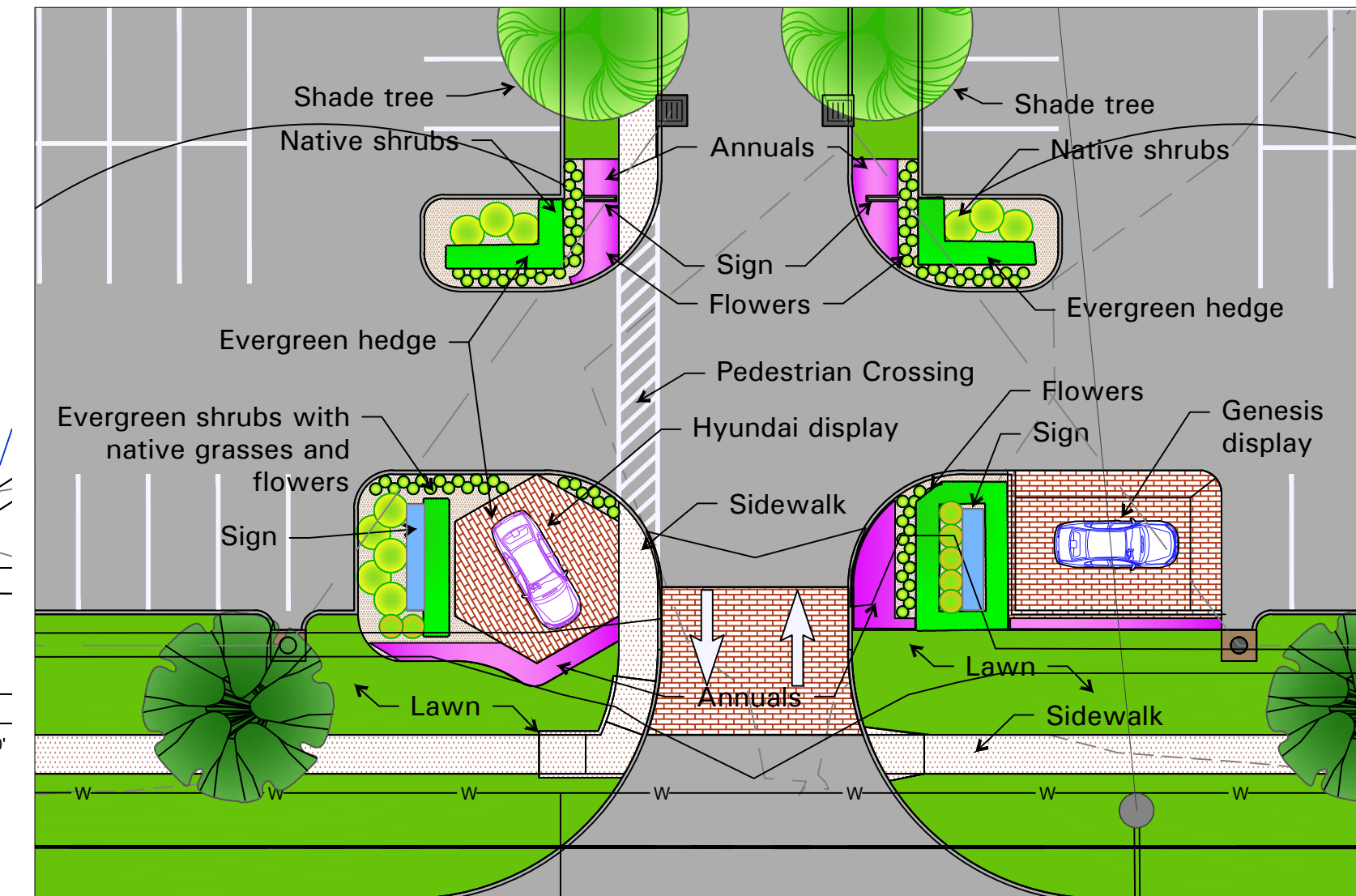
D Planting Plan Scale: 1" = 20' 0"



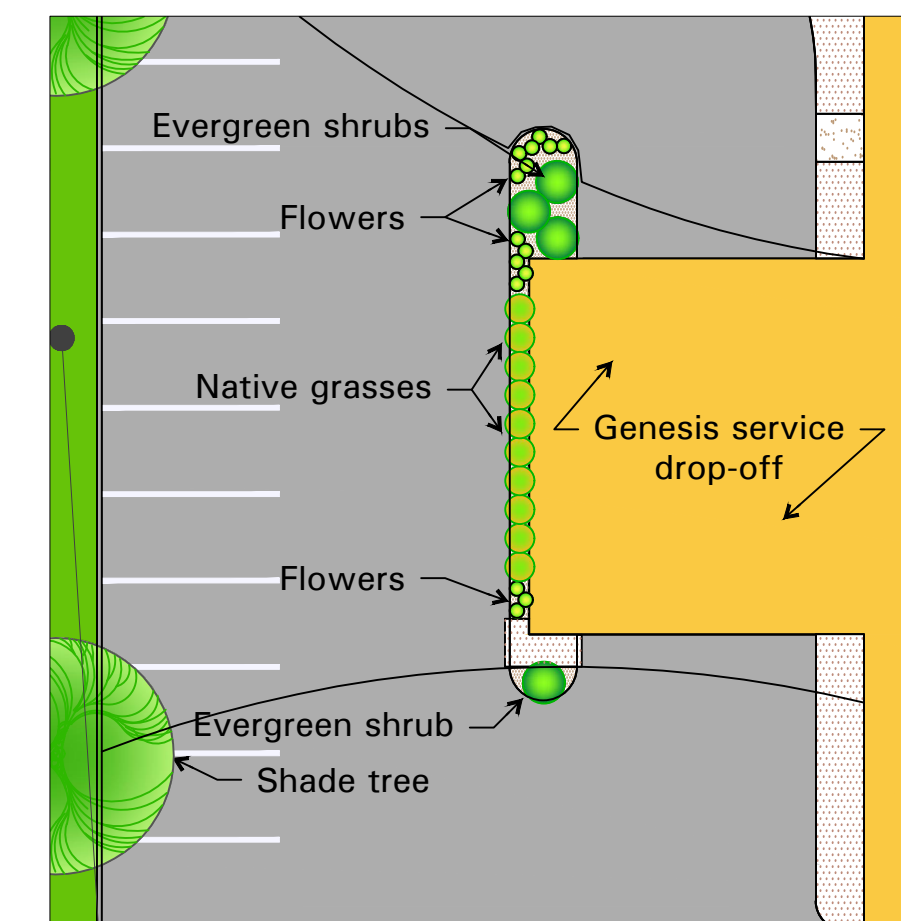
E Planting Plan Scale: 1" = 20' 0"



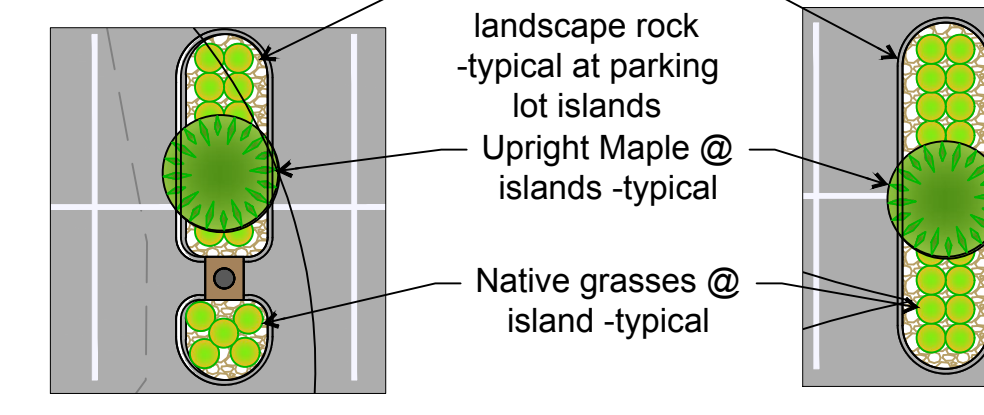
F Planting Plan Scale: 1" = 20' 0"



G Planting Plan Scale: 1" = 20' 0"



H Planting Plan Scale: 1" = 20' 0"



I Typical landscape island(s) Scale: 1" = 20' 0"

1 Planting Plan Exhibit for Planning and Zoning

Tree Planting Schedule/ Summary Table								
Key	Qty	Common Name	Botanical Name	Size	Type	Mature Height	Growth Rate	%
A	12	Zelkova	Zelkova serrata 'Green Vase'	2.5" Cal.	Deciduous Tree	45' +	Fast	24%
B	9	Tulip Tree	Liriodendron tulipifera	2.5" Cal.	Deciduous Tree	45' +	Medium	18%
C	13	Nyssa sylvatica	Nyssa sylvatica	2.5" Cal.	Street Tree	30-50'	Medium	26%
D	16	Upright Maple	Acer platanoides 'Columnare'	2.5" Cal.	Parking Lot Tree	45' +	Medium	32%

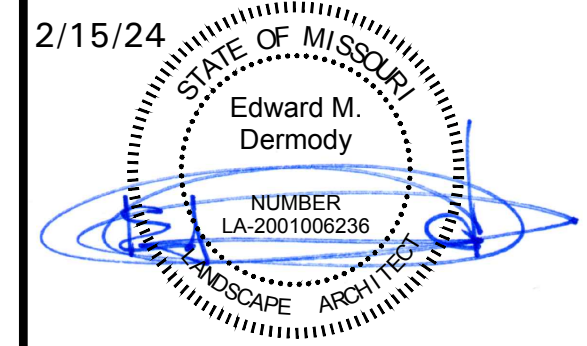
Shrub, Ornamental Grasses and Perennial Schedule				
Key	Qty	Common Name	Botanical Name	Size
a	81	Boxwood	B. sempervirens 'Green Velvet'	20-22"
b	6	Gold Tip Juniper	Juniperus x pfitzeriana 'Saybrook Gold'	5 Gal.
c	27	Ground Cover Juniper	Juniperus x pfitzeriana 'Daub's Frosted'	5 Gal.
d	14	Bayberry	Myrica pensylvanica	5 Gal.
e	39	Nine Bark	Physocarpus opulifolius 'Amber Jubilee'	3 Gal.
f	87	Prairie Drop Seed	Sporobolus heterolepis 'Tara'	1 Gal.
g	97	Little Blue Stem	Schizachyrium scoparium 'Standing Ovation'	1 Gal.
h	142	Muhly Grass	Muhlenbergia capillaris	1 Gal.
aa	279	Variagated Liriope	Liriope muscari 'Variagated'	1 Gal.
	440	+/- Sq. Ft. Annuals	Field select by owner	1 Qt.
	3,600	+/- Sq. Ft. Decorative Landscape Rock		24" OC
	5,900	+/- Sq. Ft. Double Ground Hardwood Bark Mulch		8" OC
	47,100	+/- Sq. Ft. Fescue Sod		



Surveyor/ Civil Engineer:
The Clayton Engineering
Company, Inc.
2268 Welsch Industrial Ct.
St. Louis, MO 63146

Landscape Development Plan for:
City of Chesterfield ARB
DEAN TEAM HYUNDAI/ GENESIS
Long Road Crossing Drive, Chesterfield, MO
DRAWING PREPARED FOR:
Cronin Valley Real Estate, LLC
15121 Manchester Road
Ballwin, MO 63011

Revisions:		
No.	Description	Date:
1	City comments	2/15/24



Edward M. Dermody
Landscape Architect
LA-2001006236

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Issue Date: December 19 2023

Drawn by: EMD

Checked by: EMD

Sheet Title
SITE AND LANDSCAPE PLAN

Project Number: 796.001

Sheet Number:
LO.0



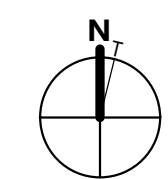
PROGRAMMING GUIDE
 MO701 GENESIS OF CHESTERFIELD
 ADAPTIVE EXCLUSIVE, SINGLE POINT

	REQUIRED	PROVIDED
TOTAL USEABLE LAND	1.75 AC	2.88 AC
CUSTOMER FOCUS AREAS	6,200 SF	6,991 SF
ADMINISTRATION	950 SF	688 SF
SERVICE WORK SHOP	2,300 SF	1,657 SF
SERVICE DRIVE	1,000 SF	1,319 SF
PARTS	600 SF	311 SF
TOTAL BUILDING AREA**	11,050 SF	11,330 SF
# DISPLAY VEHICLES	3	3
# SERVICE DRIVE VEHICLES	2	2
# SERVICE BAYS (W/ LIFTS) AT GENESIS FACILITY	3	3
# SERVICE BAYS (W/ LIFTS) AT HYUNDAI FACILITY	3	5

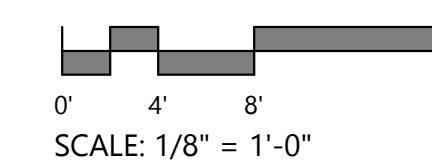
* AREAS ABOVE ARE CALCULATED FROM CENTER OF ALL WALLS
 ** TOTAL BUILDING AREA MEASURED TO OUTSIDE FACE OF EXTERIOR WALLS

DEPARTMENT LEGEND

- F&I
- SALES
- WAITING / LOUNGE
- SERVICE
- PARTS
- SHOWROOM / CIRCULATION
- IT / SUPPORT



1 FIRST FLOOR PRESENTATION
 1/8" = 1'-0"



DEAN TEAM - GENESIS OF CHESTERFIELD

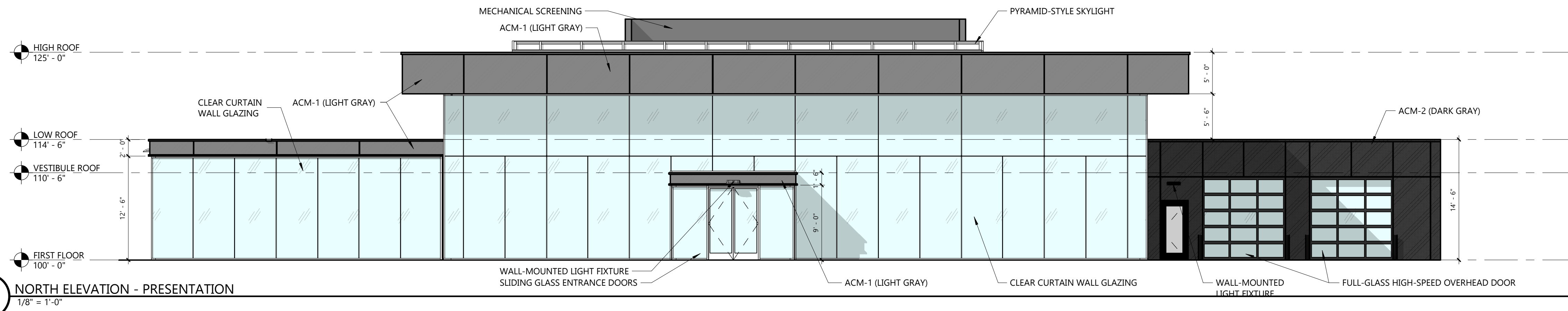
First Floor Presentation Plan

23062

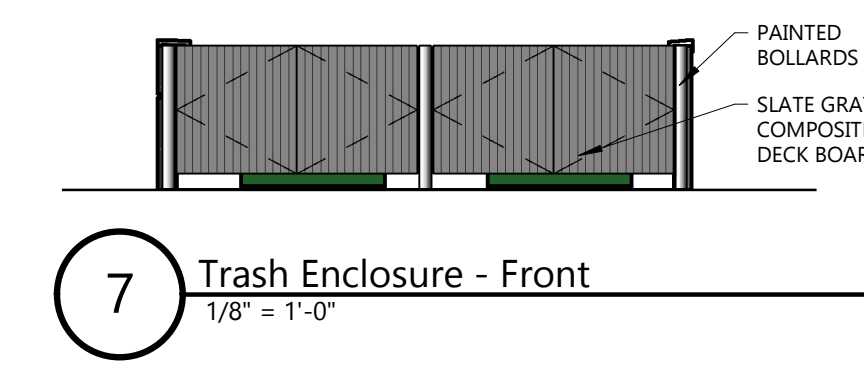
2/15/2024

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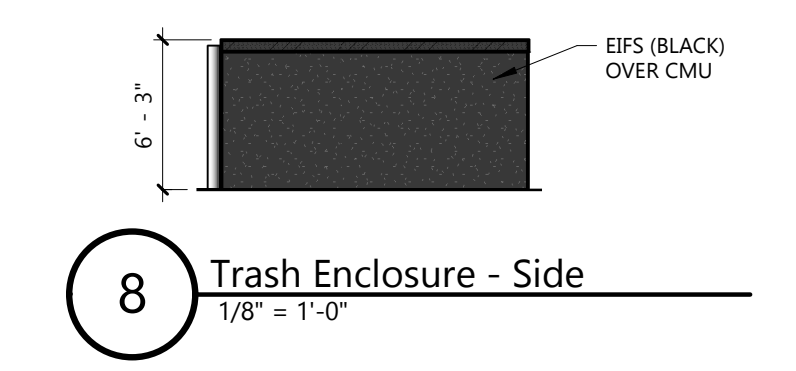




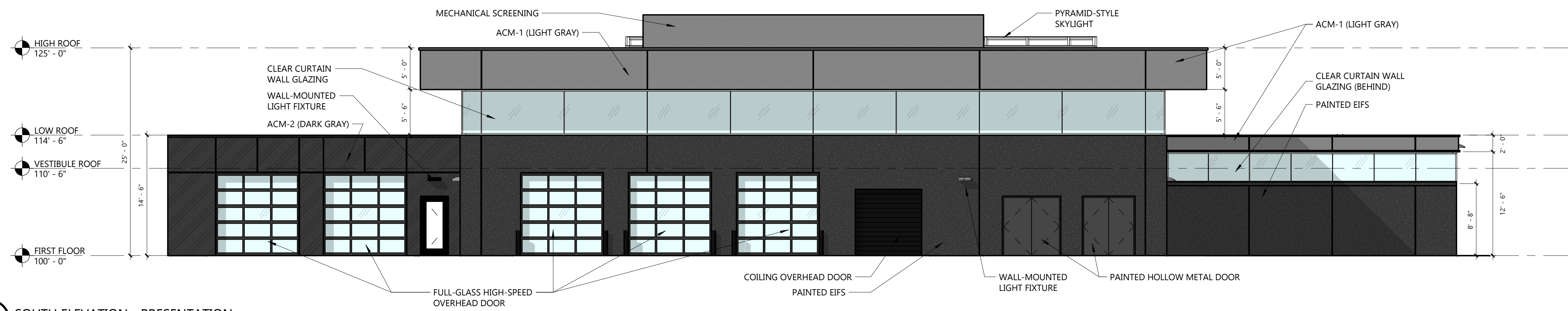
1 NORTH ELEVATION - PRESENTATION
1/8" = 1'-0"



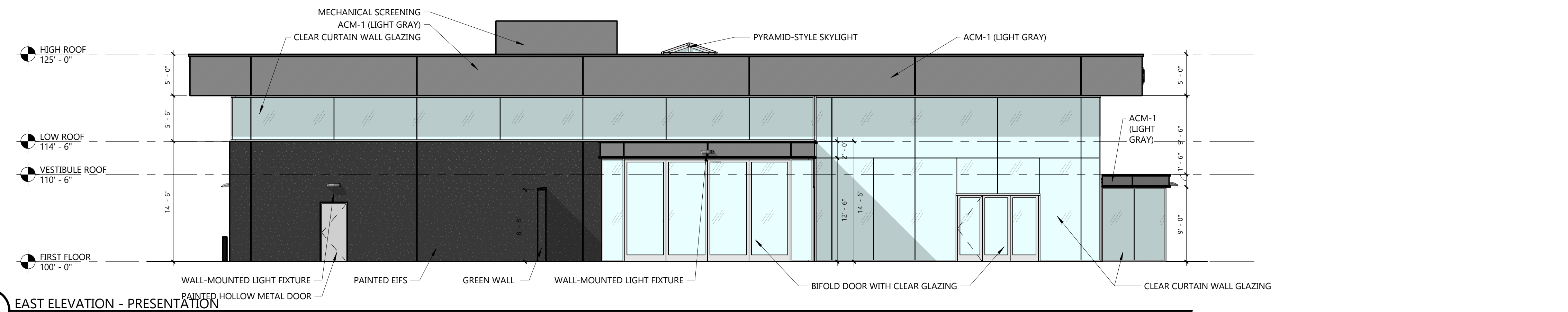
7 Trash Enclosure - Front
1/8" = 1'-0"



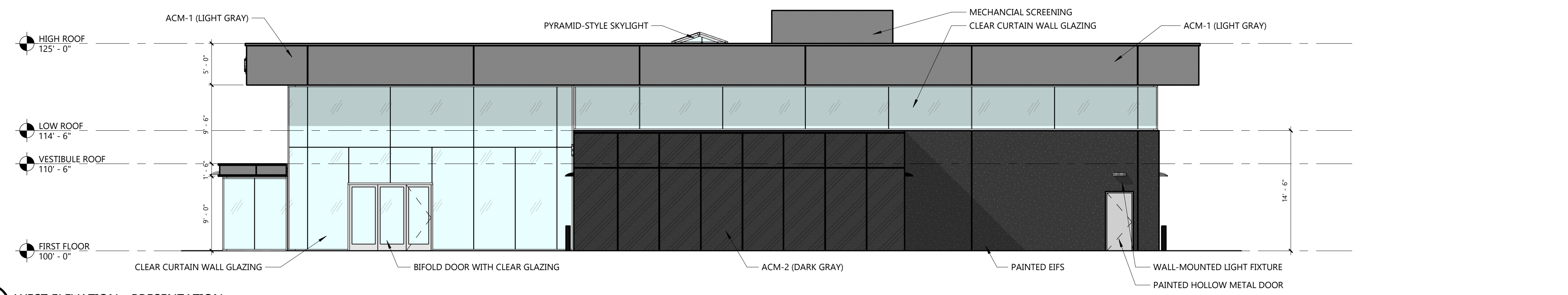
8 Trash Enclosure - Side
1/8" = 1'-0"



2 SOUTH ELEVATION - PRESENTATION
1/8" = 1'-0"



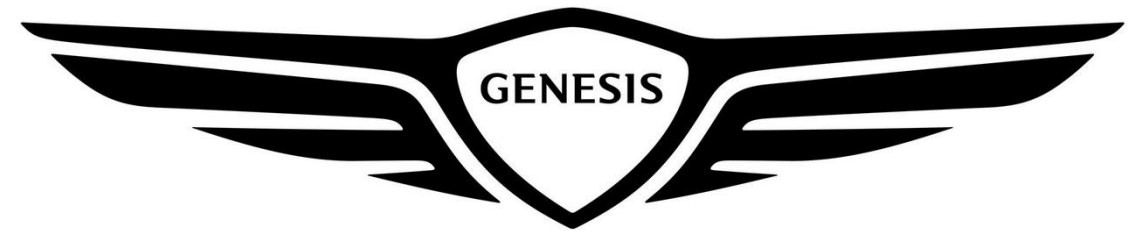
3 EAST ELEVATION - PRESENTATION
1/8" = 1'-0"



4 WEST ELEVATION - PRESENTATION
1/8" = 1'-0"

DEAN TEAM - GENESIS OF CHESTERFIELD

Genesis of Chesterfield Exterior Finishes



GENESIS

OLARBAN 72 LOW E

EIFS-1



GL-2

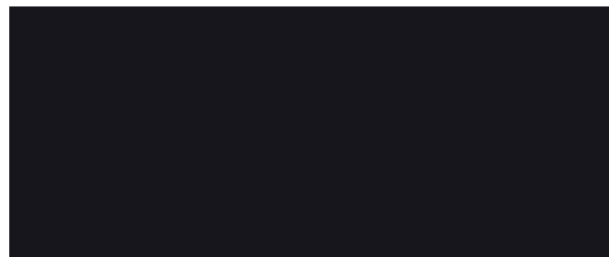
Material	Aluminum
Manufacturer	Oldcastle
Product	Reliance Casette
Color	See finish schedule for details
Dimension	
Location	Entry vestibule, exterior of showroom

**SOLARBAN 72 LOW E CLEAR
GLAZING**



P-1

Material	Paint
Manufacturer	Sherwin Williams
Product	
Color	SW 7076 Cyberspace
Dimension	
Location	Exterior of service shop



ACM-2

Material	Aluminum composite metal panel
Manufacturer	Alucobond
Product	
Color	Tricorn Black SMP, Matte
Dimension	
Location	Service write-up exterior



ACM-1

Material	Aluminum composite metal panel
Manufacturer	Alucobond
Product	
Color	Basalt Grey PVDF-2, Matte
Dimension	
Location	Exterior fascia



GENESIS BUILDING - VIEW FROM NORTHEAST CORNER

Dean Team Hyundai & Genesis

RENDERINGS



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2/15/2024

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GENESIS BUILDING - VIEW FROM NORTHWEST CORNER

Dean Team Hyundai & Genesis

RENDERINGS



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BUILDING INFORMATION	
CODES	
• BUILDING CODE: 2015 IBC W/ AMENDMENT 500a	
• ENERGY CODE: 2015 IECC W/ AMENDMENT 500a	
• MECHANICAL: 2015 IMC W/ AMENDMENT 500d	
• ELECTRICAL: 2014 NEC W/ AMENDMENT 500e	
• PLUMBING: 2015 UPC W/ AMENDMENT 500f	
BUILDING INFO	
• CONSTRUCTION TYPE: IIB	
• SPRINKLER SYTEM: FULLY SPRINKLERED	
• FIRE ALARM: YES	
• NO FIRE SEPARATION REQUIRED	
GENERAL BUILDING/STRUCTURAL INFO	
• FOUNDATIONS: 8" AND 10" CAST IN PLACE FOUNDATIONS W/ 2" XPS INSULATION	
• EXTERIOR WALLS: 8" CMU W/ 2" XPS EIFS	
• STRUCTURAL STEEL AT PRE-OWNED AND SHOWROOM CURTAINWALLS AND WITHIN EXTERIOR WALLS	
• MEZZANINE FLOORS: 8" PRECAST W/ 2 OR 3" TOPPING	
• ROOF: STEEL BAR JOISTS W/ 1-1/2" METAL DECK, 6" POLYSTYRO INSULATION, EPDM ROOF MEMBRANE	

PG TABLE
MO011 DEAN TEAM HYUNDAI
PG: 660

	PG REQUIRED	PROVIDED
SHOWROOM & OFFICE AREA	-- SF	5,566 SF
SHOWROOM DISPLAY VEHICLES	5	6
CUSTOMER FACING AREA	5,350 SF	11,276 SF
GENERAL ADMIN/BUSINESS OFFICE	1,450 SF	1,847 SF
TOTAL CUSTOMER FACING & ADMIN	6,800 SF	13,123 SF
SERVICE DRIVE	1,800 SF	2,307 SF
SERVICE DRIVE VEHICLES	4 SF	4
SERVICE WORKSHOP	7,875 SF	15,427 SF
HYUNDAI SERVICE BAYS & LIFTS	15	15
GENESIS ICE SERVICE BAYS & LIFTS	5	5
PARTS DEPT/STORAGE	2,625 SF	4,881 SF
TOTAL SERVICE & PARTS AREA	12,300 SF	20,308 SF
TOTAL AREA	19,100 SF	33,735 SF

* AREAS ABOVE ARE CALCULATED FROM CENTER OF ALL WALLS

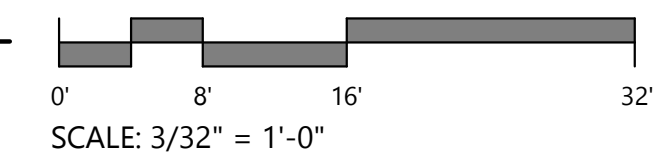
	PG REQUIRED	PROVIDED
TOTAL SITE AREA	124,850 SF (2,866 AC)	266,304 SF (6,113 AC)
SALES USEABLE LAND AREA	86,650 SF	212,380 SF
SERVICE USEABLE LAND AREA	18,000 SF	20,000 SF
TOTAL USABLE LAND AREA	105,750 SF (2,428 AC)	232,380 SF (5,335 AC)

DEPARTMENT LEGEND

- ADMIN
- F&I
- IT / SUPPORT
- PARTS
- SALES
- SERVICE
- SERVICE RECEPTION
- SHOWROOM / CIRCULATION
- WAITING / LOUNGE



1 FIRST FLOOR PRESENTATION
3/32" = 1'-0"



Dean Team Hyundai

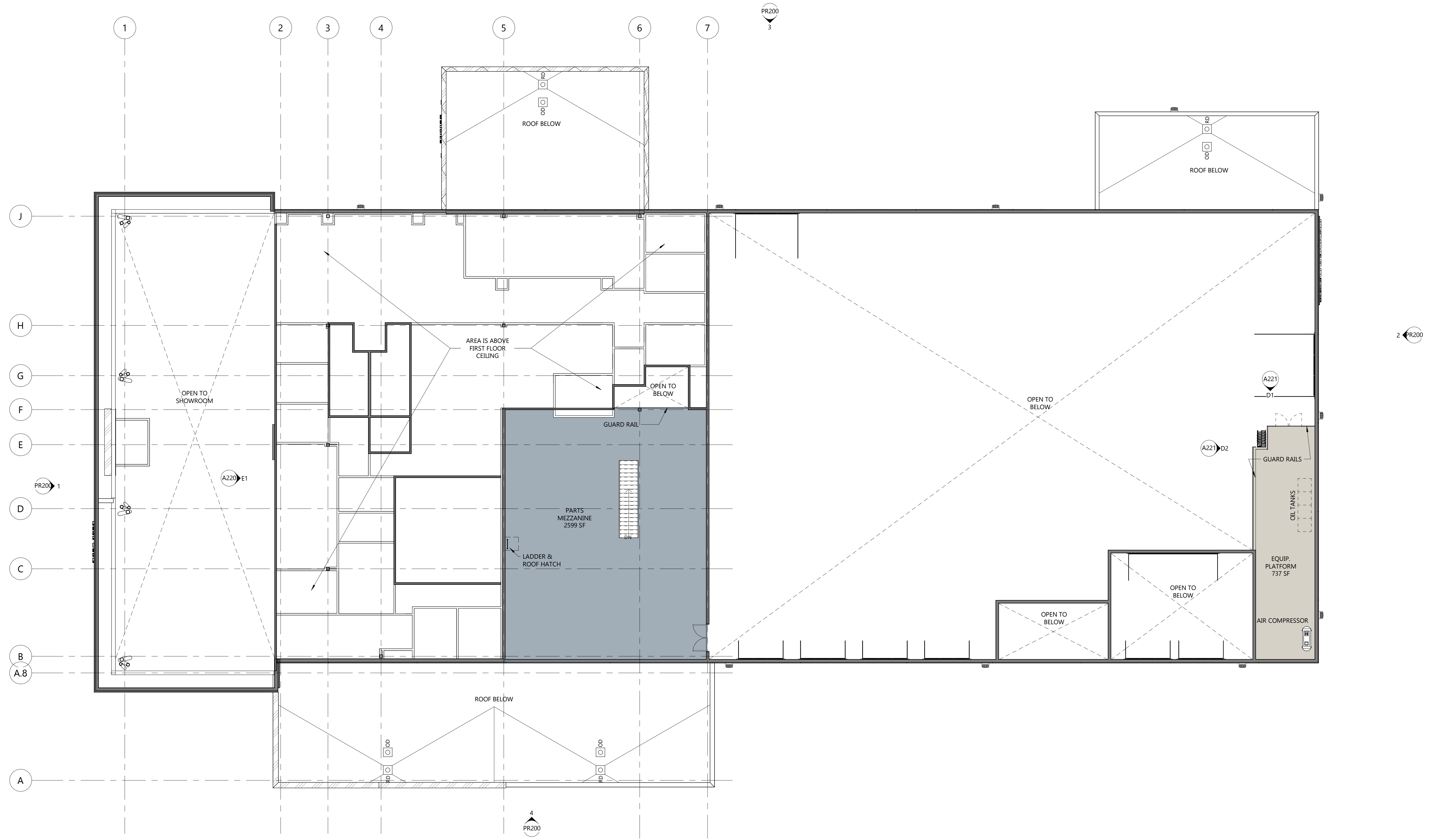
First Floor Presentation Plan

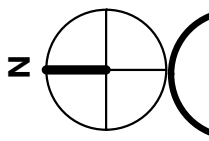


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1 SECOND FLOOR PRESENTATION
 3/32" = 1'-0"

Dean Team Hyundai Exterior Finishes

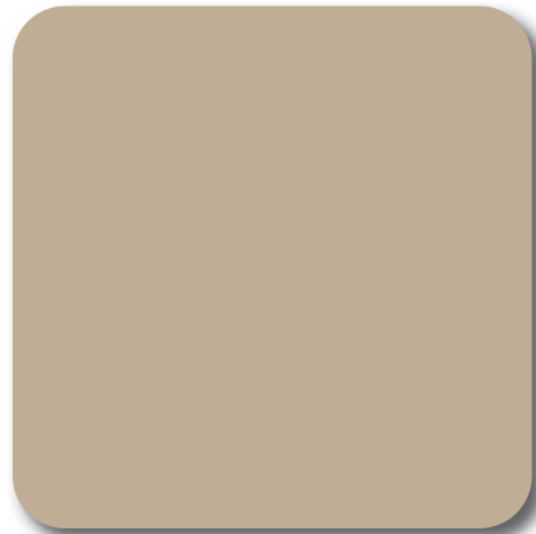


HYUNDAI

EIFS-1



**ACM – Hyundai North American
Bronze**
Shaped Sky Panels/ Flat Panels

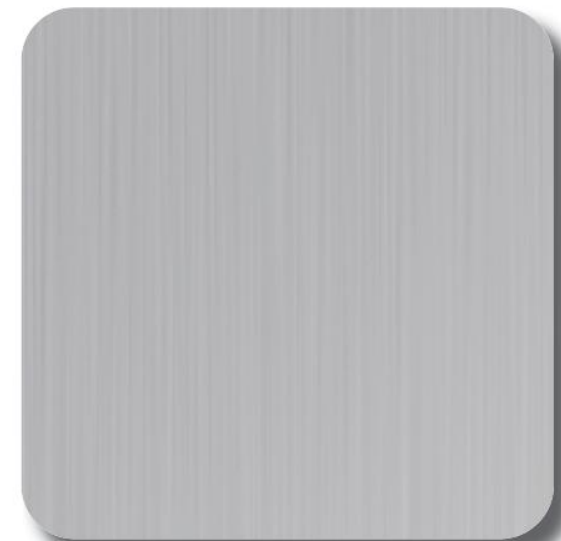


P-1: Antler Velvet SW 9111
Sherwin Williams (exterior)
P-8: Antler Velvet SW 9111
Sherwin Williams (interior)

EIFS-2



P-2: Kaffee SW 6104
Sherwin Williams (exterior –
accent wainscott)



Clear Anodized Aluminum
Curtainwall Framing

SOLARBAN 72 LOW E
CLEAR GLAZING



HYUNDAI BUILDING - VIEW FROM NORTHEAST CORNER

Dean Team Hyundai & Genesis

RENDERINGS



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HYUNDAI BUILDING - VIEW FROM NORTHEAST CORNER

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