


## Planning Commission Public Hearing Report

**Meeting Date:** March 11, 2024

**From:** Shilpi Bharti, Planner 

**Location:** North side of North Outer 40 Road.

**Petition:** **P.Z. 02-2024 18009 and 18045 N. Outer 40 Rd. (Gumbo Flats Properties, LLC)**: A request for an ordinance amendment to create a new “PI” Planned Industrial for two parcels zoned “M3” Planned Industrial District, “NU” Non-Urban District and “PI” Planned Industrial District, and totaling 78.07 acres located on the north side of Outer 40 Road (16W310045 and 16W240041)

### **SUMMARY**

Stock & Associates Consulting Engineers, Inc, on behalf of Gumbo Flats Properties, LLC has submitted a request for an ordinance amendment to create a new “PI” Planned Industrial District by including the “M3” Planned Industrial District, “PI” Planned Industrial District, and “NU” Non-Urban District parcels. The ordinance amendment will modify the specific criteria and legal description in the existing ordinance of the PI District, ordinance 2944 and expand the legal description to consolidate one zoning over the area. The submittal includes a Preliminary Development Plan, narrative statement, Tree Stand Delineation, and outboundary survey. Different flood zones exist on the property and any development will be required to comply with the development requirements of the City’s flood hazard regulations.



Figure 1: Subject Site Aerial

## **SITE HISTORY**

The site is located in Ward 4 of City of Chesterfield. The site was zoned “M3” – Planned Industrial District prior to the City’s incorporation. A Conditional Use Permit “CUP” was granted by St. Louis County in 1967 to the 2.68 parcel of the site, located north of Levee Trail. The CUP provided approval for the extraction of raw materials from the Missouri River via dredging and stock piling, and outdoor storage of such materials by a conveyor belt system. In 2016, the area was zoned “PI” - Planned Industrial District to allow the “Batching Plant” as a permitted use. The 2.68 parcel as is governed by the Ordinance 2944.

## **SURROUNDING LAND USE AND ZONING**

The subject site is surrounded by “M-3” Planned Industrial zoning districts, and “PC” Planned Commercial District on the east. North Outer 40 Road and Interstate 64 run south and west of the subject site. The property on the west is zoned “PC” Planned Commercial and “NU” Non-Urban.

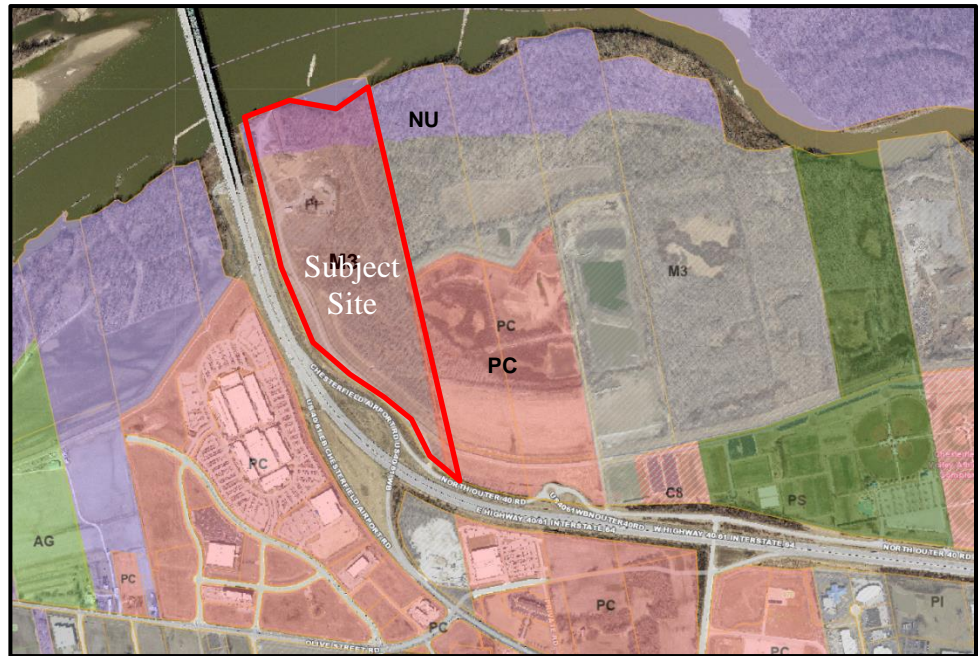


Figure 2: Zoning Map

## **COMPREHENSIVE PLAN**

The subject site is located within Ward 4 of the City of Chesterfield. The City of Chesterfield Comprehensive Plan contains the City of Chesterfield Land Use Plan, which is helpful in determining the future use of the site.

As per the City of Chesterfield Land Use Plan, the subject sites are within the Conservation land use. Conservation areas are undeveloped and/or preserved land dedicated for passive recreation or conservation purposes. Undisturbed land is reserved to protect natural beauty or serve environment and wildlife management purposes. Below are the development policies for Conservation land use as described in the City of Chesterfield Comprehensive Plan.

- Focus on preservation.
- Limit impervious surface or encourage the use of stormwater BMPs.
- Planned residential developments should promote open space and preserving natural features which may cluster new construction.

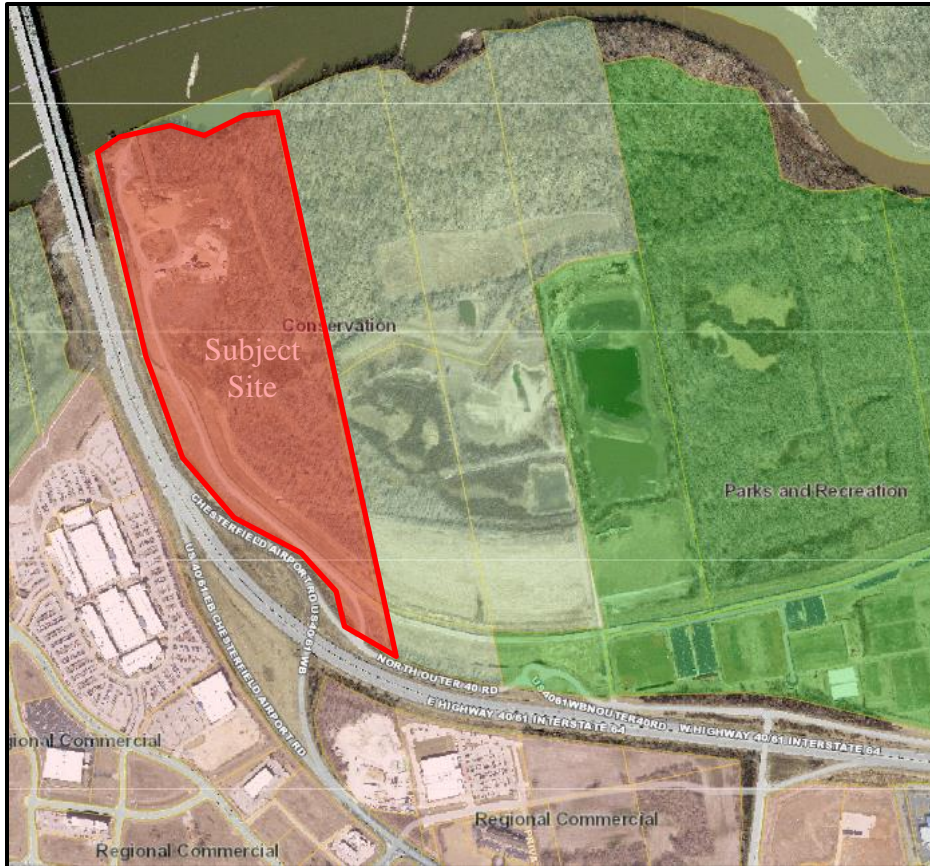


Figure 3: Land use map

### **PI - PLANNED INDUSTRIAL DISTRICT**

City of Chesterfield Unified Development Code regulations of the PI District offer a method for the industrial and selected commercial development of land in the City of Chesterfield that allows flexibility in applying certain zoning standards. The requirements are designed to offset the impact of changes in development standards allowed through these provisions. As per City Unified Development Code, the PI regulations should have the following outcomes:

- Ensure consistency with the Comprehensive Plan.
- Promote building styles and architectural styles that complement one another, as well as the surrounding area.
- Promote more efficient use of land.
- Incorporate site features, such as topography, views, vegetation, water features, and other factors into the design so they become assets to the development.
- Promote the most efficient arrangement of circulation systems, land use, and buildings.
- Promote environmentally sensitive developments.
- Allow development, under a specifically approved design concept and site plan.

## **REQUEST**

The applicant has submitted a Preliminary Development Plan and narrative statement for review. The proposed site will be used for stand-alone parking and an existing Batching Plant. As shown in the Preliminary Development Plan, the applicant is proposing gravel parking spaces on the north side of the existing levee trail, and a roadway that will connect to the property on the east. The gravel parking will not be public parking. The site will be accessed from the existing gravel access from the N Outer 40 Road. The permitted uses proposed for the development will be as follows:

- Batching Plant
- Parking area (stand-alone), including garages, for automobiles. Not including sales or storage of damaged vehicles for more than 72 hours

Additionally, the applicant is requesting that parking and access roads shall be gravel with appropriate dust control measures (spray water). This treatment of non-paved surface is approved for the existing gravel drive into the site. The gravel parking would allow moving the portion of previously approved parking location east of the subject site to this location.

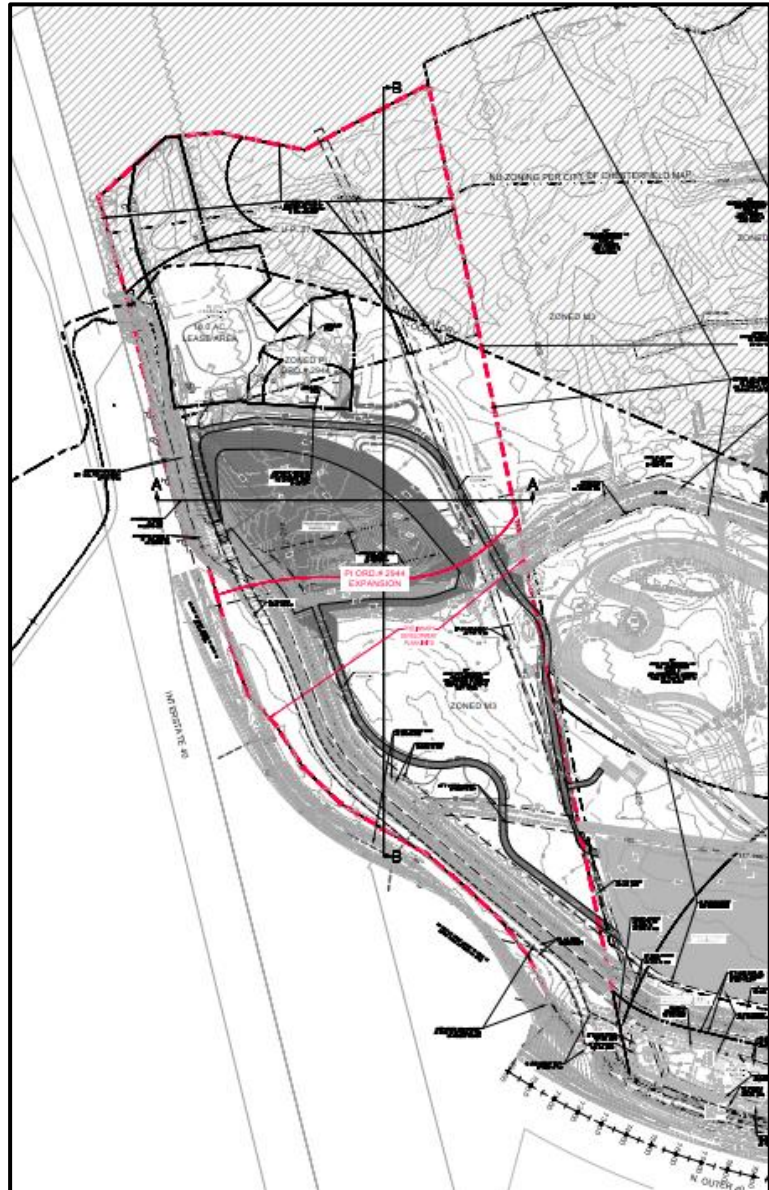


Figure 4: Preliminary Development Plan

A public hearing further addressing the request will be held at the March 11<sup>th</sup>, 2024 City of Chesterfield Planning Commission meeting. Attached please find a copy of the Public Hearing Notice, Petitioner's Narrative Statement and Preliminary Plan packet.

### Attachments

1. Public Hearing Notice
2. Applicant Narrative Statement
3. Preliminary Development Plan



# NOTICE OF PUBLIC HEARING CITY OF CHESTERFIELD PLANNING COMMISSION

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Chesterfield will hold Public Hearing on Monday, March 11, 2024 at 7:00 pm, in the Council Chambers at the City Hall, 690 Chesterfield Parkway West, Chesterfield, Missouri 63017.

Said Hearing will be as follows:

**P.Z. 02-2024 18009 and 18045 N. Outer 40 Rd. (Gumbo Flats Properties, LLC):** A request for an ordinance amendment to create a new “PI” Planned Industrial for two parcels zoned “M3” Planned Industrial District, “NU” Non-Urban District and “PI” Planned Industrial District, and totaling 78.07 acres located on the north side of Outer 40 Road (16W310045 and 16W240041).

## PROPERTY DESCRIPTION

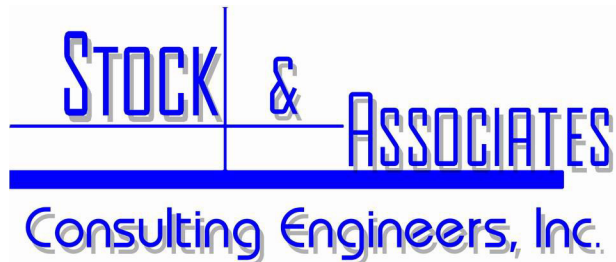
A tract of land located in U.S. Surveys 368 and 371, in Township 45 North, Range 3 East, of the Fifth Principal Meridian, City of Chesterfield, St. Louis County, Missouri.



**City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, MO 63017**

Information on this Public Hearing may be found on the City's website at <http://www.chesterfield.mo.us/public-notice.html> or by contacting Planner Shilpi Bharti at 636.537.4743 or via e-mail at [Sbharti@chesterfield.mo.us](mailto:Sbharti@chesterfield.mo.us). All interested parties will be given an opportunity to be heard at the Public Hearing.





## **PROJECT NARRATIVE**

### **Request for an Amendment to Ordinance # 2944 for 18009 & 18045 N Outer Forty Road**

Date: February 8, 2024

(Stock Project No. 222-7282.1)

On behalf of, “Gumbo Flats Properties, LLC.”, Stock & Associates Consulting Engineers Inc. respectfully requests the City of Chesterfield’s consideration in amending the Planned Industrial Ordinance # 2944 at 18045 N. Outer Forty Road to expand the limits of the PI District from 2.688 acres to 78.077 acres and to modify the specific criteria.

#### **Requested Revisions:**

##### **PERMITTED USES**

1. Batching Plant
2. Parking area (stand-alone), including garages, for automobiles. Not including sales or storage of damaged vehicles for more than 72 hours.

##### **PARKING AND LOADING REQUIREMENTS**

3. Parking and access roads shall be gravel with appropriate dust control measures (spray water).

##### **MISCELLANEOUS**

4. Overhead electric service is permitted.

##### **FROM C.U.P. No. 57**

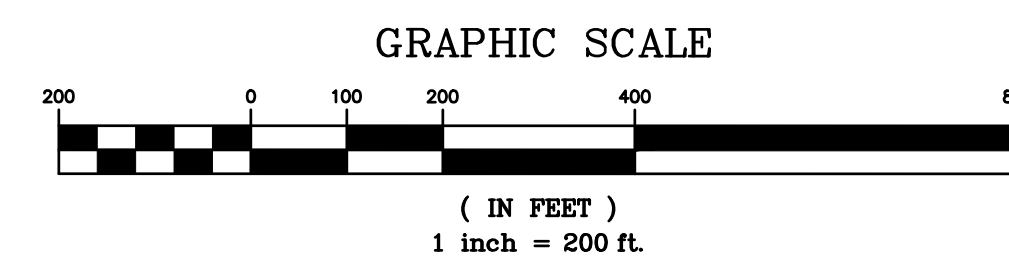
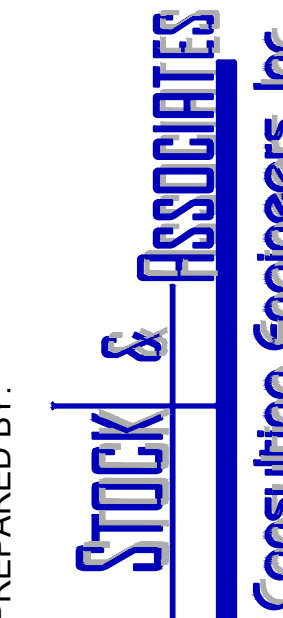
5. The uses permitted on the property in question shall be dredge barge docking facilities, unloading and conveyor belt system, outdoor storage of sand material.
6. The height of the sand and gravel stockpiles shall be limited to the level of the adjacent roadways.
7. The height of the structure shall be limited to two stories.
8. Parking areas shall be kept in a dust-free condition.
9. The extraction of raw materials shall be from the Missouri River only.

# PRELIMINARY DEVELOPMENT PLAN

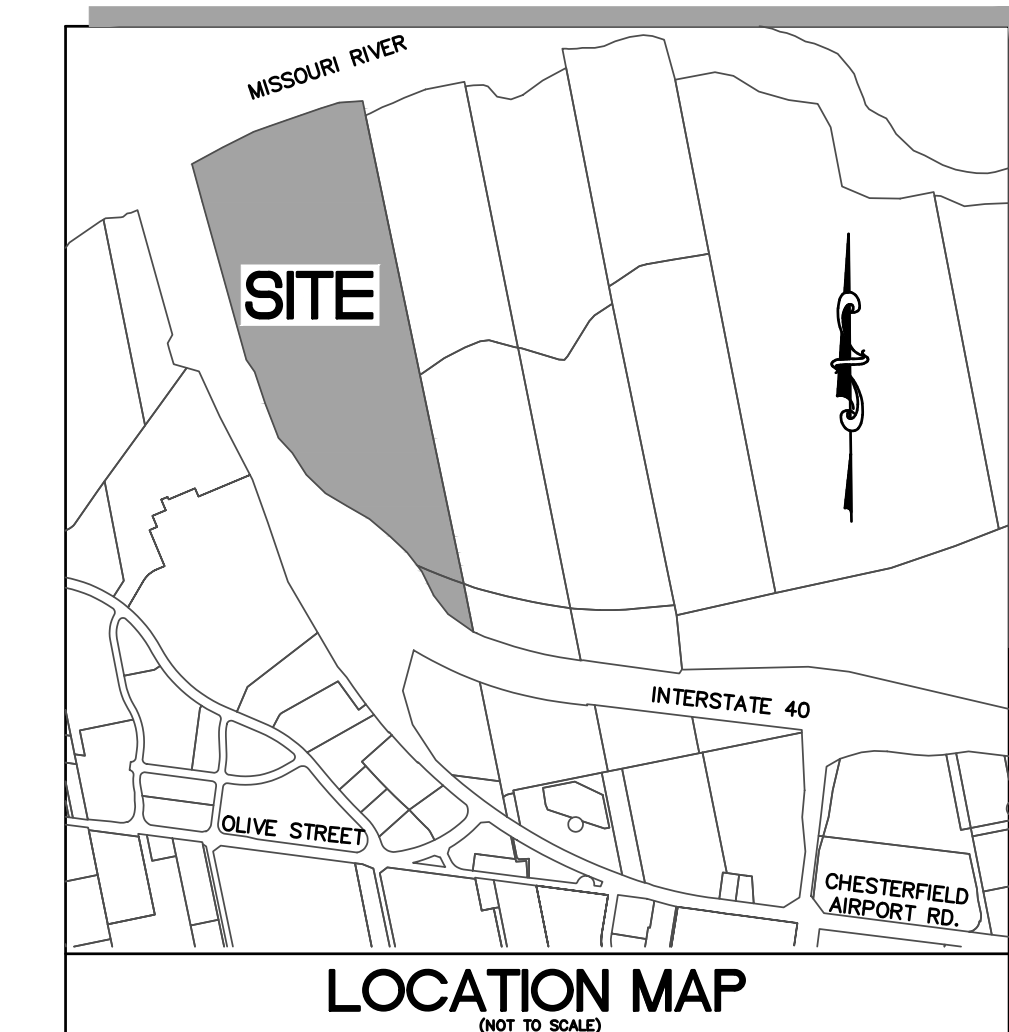
A TRACT OF LAND BEING PART OF U.S. SURVEYS 368 AND 371, IN  
TOWNSHIP 45 NORTH, RANGE 3 EAST OF THE 5TH PRINCIPAL MERIDIAN  
CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

257 Chesterfield Business Parkway  
St. Louis, MO 63005 PH: (636) 530-9300  
500-93001 FAX: (636) 530-9300  
e-mail: general@stockandassociates.com  
Web: www.stockandassociates.com

PREPARED BY:



SCALE: 1" = 200'



## SITE INFORMATION

**OWNER:** GUMBO FLATS PROPERTIES, LLC  
**ADDRESS:** 18009 & 18045 N. OUTER 40 RD  
CHESTERFIELD, MO 63005  
**ZONING:** "PI" PLANNED INDUSTRIAL - ORD. No. 2944, M3 & NU  
16W310045 & 16W240041  
**LOCATOR NO.:** MONARCH FIRE PROTECTION DISTRICT  
**FIRE DISTRICT:** ROCKWOOD  
**SCHOOL DISTRICT:** METROPOLITAN ST. LOUIS SEWER DIST.  
**SEWER DISTRICT:** MISSOURI RIVER  
**WATER SHED:** 29189C0145K (02/04/2015)  
**FEMA MAP:** W/ LOMR NOV. 16, 2017 CASE NO. 17-07-0742P  
**ELECTRIC COMPANY:** AMEREN UE  
**GAS COMPANY:** SPIRE INC.  
**PHONE COMPANY:** AT&T  
**WATER COMPANY:** MISSOURI AMERICAN WATER COMPANY

## SHEET INDEX

PDP 1.0 OVERALL SITE PLAN  
PDP 2.0 SITE PLAN - TRAILER ACCESS NORTH OF LEVEE  
PDP 3.0 SITE SECTIONS  
PDP 4.0 PROPOSED LOT LAYOUT  
TSD TREE STAND DELINEATION

## PROPERTY DESCRIPTION

A tract of land located in U.S. Surveys 368 and 371, in Township 45 North, Range 3 East, of the Fifth Principal Meridian, City of Chesterfield, St. Louis County, Missouri, and being more particularly described as follows:

Beginning at the intersection of the northeast right of way line of Interstate 64, also known as Highway 40, variable width, and the west line of Lot 3 of Nicholas Mueller Estate Plat Book 2 Page 25 of the St. Louis County records; thence the following course and distances along said northeast right of way line: North 55 degrees 11 minutes 06 seconds West, 225.12 feet; North 37 degrees 50 minutes 17 seconds West, 169.45 feet; North 26 degrees 25 minutes 51 seconds West, 199.71 feet; North 37 degrees 39 minutes 24 seconds West, 175.60 feet; North 48 degrees 48 minutes 55 seconds West, 169.60 feet; North 49 degrees 46 minutes 39 seconds West, 197.61 feet; North 60 degrees 07 minutes 09 seconds West, 187.51 feet; North 59 degrees 03 minutes 47 seconds West, 183.94 feet; North 45 degrees 52 minutes 41 seconds West, 193.99 feet; North 32 degrees 48 minutes 51 seconds West, 190.24 feet; North 42 degrees 30 minutes 58 seconds West, 148.45 feet to a curve to the right having a radius of 2,724.29 feet, along said curve an arc distance of 270.42 feet and a chord which bears North 18 degrees 31 minutes 12 seconds West, 270.31 feet; North 15 degrees 40 minutes 42 seconds West, 243.13 feet; North 41 degrees 19 minutes 10 seconds West, 110.92 feet; North 15 degrees 40 minutes 42 seconds West, 510.00 feet; North 74 degrees 19 minutes 19 seconds East, 10.00 feet; North 15 degrees 40 minutes 42 seconds West, 170.00 feet; North 74 degrees 19 minutes 18 seconds East, 5.00 feet; North 15 degrees 40 minutes 42 seconds West, 120.00 feet; North 74 degrees 19 minutes 18 seconds East, 10.00 feet; and North 15 degrees 40 minutes 42 seconds West, 525.24 feet, to the South Bank of the Missouri River as located by Stock and Associates Consulting Engineers in October 2023; thence the following courses and distances along the said south Bank of the Missouri River: North 48 degrees 31 minutes 20 seconds East, 335.26 feet; North 84 degrees 44 minutes 55 seconds East, 198.93 feet; South 78 degrees 34 minutes 46 seconds East, 325.04 feet; and North 62 degrees 10 minutes 34 seconds East, 523.22 feet, to the west line of above said Lot 3; thence along said west line, South 11 degrees 29 minutes 32 seconds East, 3,768.25 feet to the POINT OF BEGINNING.  
Containing 3,401,035 square feet or 78.077 acres, more or less.

## PI PLANNED INDUSTRIAL DISTRICT ORD # 2944

Structure and Parking setbacks: Zero feet.

Height Requirements:  
Max Height of building, exclusive of roof screening shall not exceed 65 feet.

## LEGEND

- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING TREE
- EXISTING BUILDING
- EXISTING CONTOUR
- SPOT ELEVATION
- EXISTING UTILITIES
- FOUND 1/2" IRON PIPE
- SET IRON PIPE
- FOUND CROSS
- FOUND STONE
- FIRE HYDRANT
- LIGHT STANDARD
- BUSH
- FLOWLINE
- NOTES PARKING SPACES
- GUY WIRE
- POWER POLE
- WATER VALVE
- DENOTES RECORD INFORMATION
- ACCESSIBLE PARKING
- PROPOSED CONTOUR
- PROPOSED SPOT
- PROPOSED STORM
- PROPOSED SANITARY
- PROJECT BOUNDARY

## ABBREVIATIONS

- ATG - ADJUST TO GRADE
- B.C. - BACK OF CURB
- C.O. - CLEANOUT
- D.B. - DEED BOOK
- E - ELECTRIC
- ELEV. - ELEVATION
- EX. - EXISTING
- F.C. - FACE OF CURB
- FL - FLOWLINE
- FT. - FEET
- FND. - FOUND
- G - GAS
- H.W. - HIGH WATER
- LFB - LOW FLOW BLOCKED
- M.H. - MANHOLE
- N/F - NOW OR FORMERLY
- PL - PLANT
- PS - PAGE
- PR - PROPOSED
- P.V.C. - POLYVINYL CHLORIDE PIPE
- R.C.P. - REINFORCED CONCRETE PIPE
- R/W - RIGHT-OF-WAY
- SQ. - SQUARE
- T - TELEPHONE CABLE
- T.B.A. - TO BE ABANDONED
- T.B.R. - TO BE REMOVED
- T.B.R.&R. - TO BE REMOVED AND REPLACED
- TYP. - TYPICALLY
- U.P. - USE IN PLACE
- U.O.N. - UNLESS OTHERWISE NOTED
- V.C.P. - VITRIFIED CLAY PIPE
- W - WATER
- (86'W) - RIGHT-OF-WAY WIDTH

## FLOOD NOTE:

SUBJECT PROPERTY LIES WITHIN FLOOD ZONE ZONE AE (BASE FLOOD ELEVATIONS DETERMINED, ELEV.=460.15-460.85), FLOODWAY AREAS IN ZONE AE, FLOOD ZONE AH (FLOOD DEPTHS OF 1 TO 3 FEET, USUALLY AREAS OF PONDING), BASE FLOOD ELEVATIONS DETERMINED, ELEV.=460), AND FLOOD ZONE X SHAD (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP NUMBER 29189C0145K WITH AN EFFECTIVE DATE OF 02/04/2015 AND REVISED TO REFLECT LOMR NOV. 16, 2017 CASE NO. 17-07-0742P, BY GRAPHICALLY PLOTTING.

## GEOTECHNICAL NOTE

CONTRACTOR SHALL READ THE GEOTECHNICAL FEASIBILITY STUDY MWT JOB NO. 15545 TITLED NORTH OUTER 40, CHESTERFIELD, MISSOURI, AS PREPARED BY MIDWEST TESTING (DAN BARCZYKOWSKI, P.E.) DATED 11/09/2022. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT. THE GEOTECHNICAL REPORT, ANY ADDENDUMS OR ADDITIONAL RECOMMENDATIONS FROM THE GEOTECHNICAL ENGINEER ARE CONSIDERED PART OF THESE SPECIFICATIONS AND SHALL BE USED AS THE BASIS FOR CONSTRUCTION MEANS AND METHODS.

## DISCLAIMER:

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN, UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

## UTILITY NOTE:

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.



MoDOT LOCATE (314) 340-4100



PREPARED FOR  
GUMBO FLATS PROPERTIES, LLC  
MR. JERRY KERR - MANAGER  
PHONE: (855) 332-4777

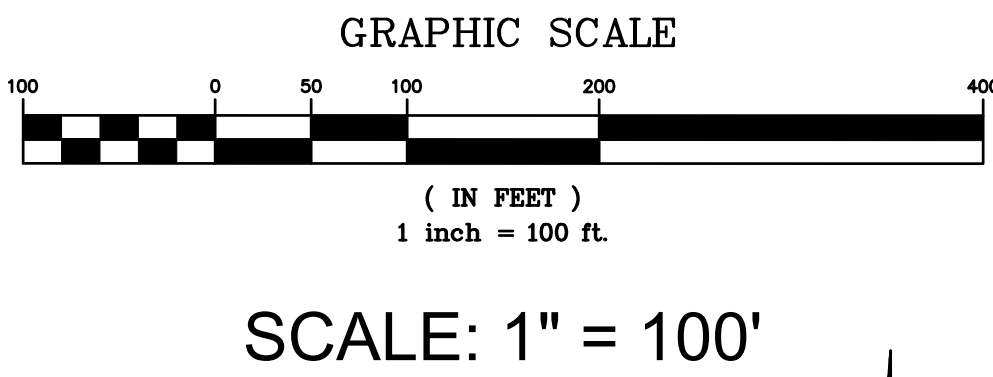
**ST. LOUIS COUNTY BENCHMARK**  
BENCHMARK#12387  
NAD83 Elev = 461.00  
Standard DNR aluminum disk stamped SL-38A situated in grassy area south of Chesterfield Airport Road and east of Chesterfield Industrial Boulevard, north of a bank addressed as #1000 Chesterfield Industrial Boulevard; roughly 49 feet south of the centerline of Chesterfield Airport road, 78 feet east of the centerline of Chesterfield Industrial Boulevard, and 40 feet northeast of the northwest corner of the subdivision entrance monument for Chesterfield Industrial Park.

**SITE BENCHMARK**  
ELEV.=465.84  
FND. CUT CROSS ON EASTERN MEDIAN ISLAND OF ROUNDABOUT AS SHOWN HEREON.

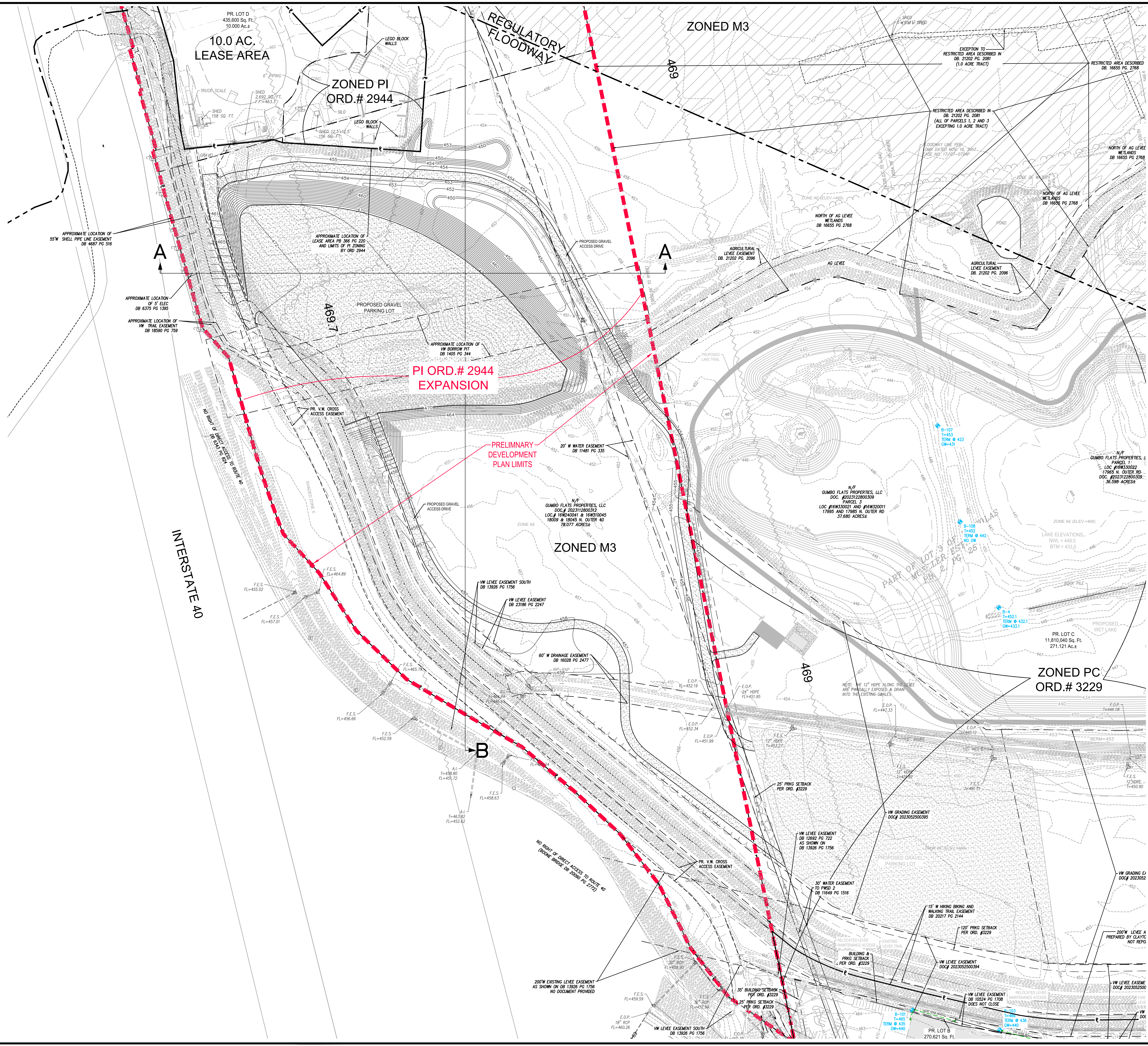
PRELIMINARY DEVELOPMENT PLAN FOR:  
**TEXT AMENDMENT TO PI ORD. # 2944**  
 18009 & 18045 NORTH OUTER 40 ROAD  
 CHESTERFIELD, MO 63005



DATE: 01/26/2024	JOB NO.: 222-7282.1
REV. P #:	RISE MAP #
S.L.C. MAT #:	16W & 17W
M.A.N.R. #:	MAT. SUP. #
SHEET TITLE: OVERALL SITE PLAN	
SHEET NO.: PDP 1.0	



SCALE: 1" = 100'



PREPARED BY:  
**STOCK & ASSOCIATES**  
 Consulting Engineers, Inc.  
 257 Chesterfield Business Parkway  
 St. Louis, MO 63005 PH: (636) 530-9300  
 530-9300 FAX: (636) 530-9300  
 e-mail: general@stockinc.com  
 Web: www.stockinc.com

PRELIMINARY DEVELOPMENT PLAN FOR:  
**TEXT AMENDMENT TO PI ORD.# 2944**  
 18009 & 18045 NORTH OUTER 40 ROAD  
 CHESTERFIELD, MO 63005



02/08/2024  
 GEORGE M. STOCK E-25116  
 CIVIL ENGINEER  
 CERTIFICATE OF AUTHORITY  
 NUMBER: 500996

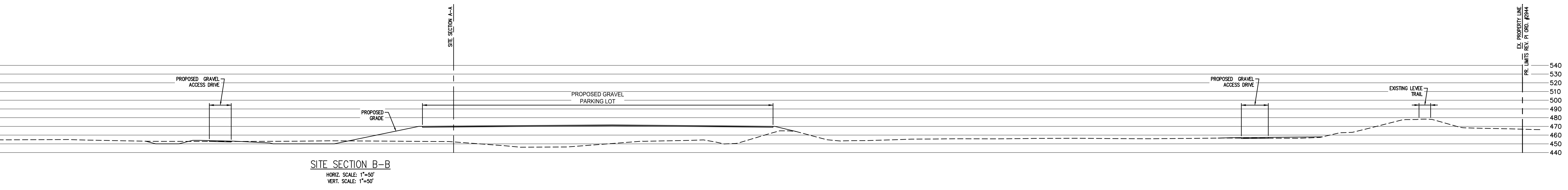
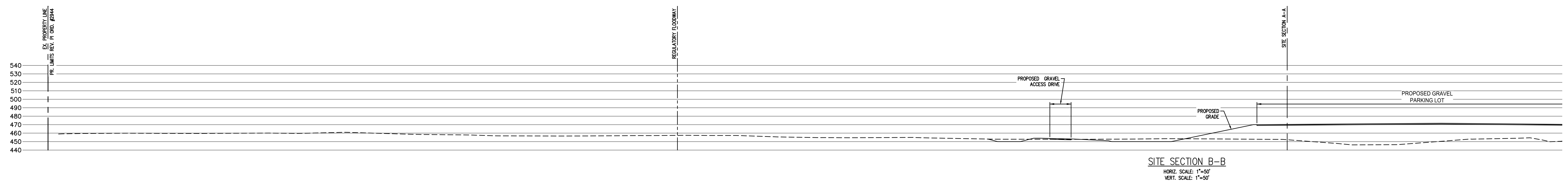
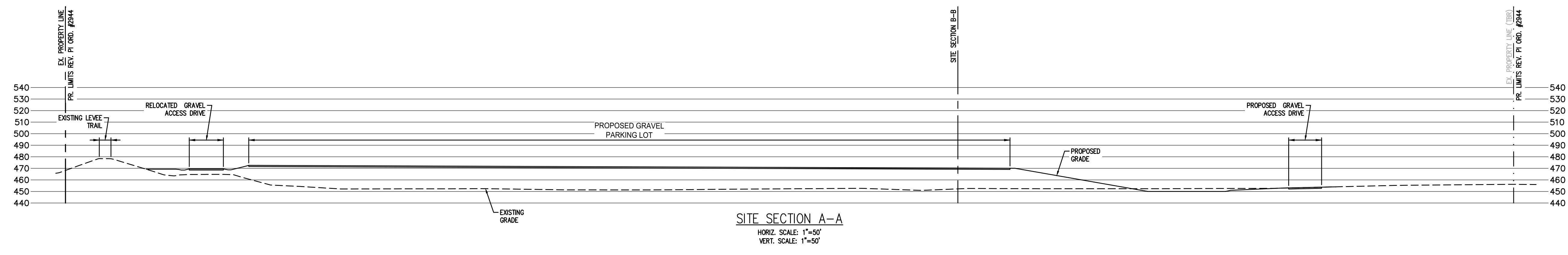
REVISIONS:	
1	02/08/2024 - PROJECT LIMITS

DRAWN BY:	GM.S.	CHECKED BY:	GM.S.
DATE:	01/26/2024	JOB NO.:	222-7282.1
DES. P.#		BASE MAP:	1W & 17W
S.L.C. HAT #		HAT SUP. #	
M.D.N.R. #			

SHEET TITLE:  
 SITE PLAN - TRAILER LOT AND ACCESS NORTH OF LEVEE

SHEET NO.:  
 PDP 2.0





PRELIMINARY DEVELOPMENT PLAN FOR:  
**TEXT AMENDMENT TO PI ORD. # 2944**  
 18009 & 18045 NORTH OUTER 40 ROAD  
 CHESTERFIELD, MO 63005



02/08/2024  
 GEORGE M. STOCK E-25116  
 CIVIL ENGINEER  
 CERTIFICATE OF AUTHORITY  
 NUMBER: 000996

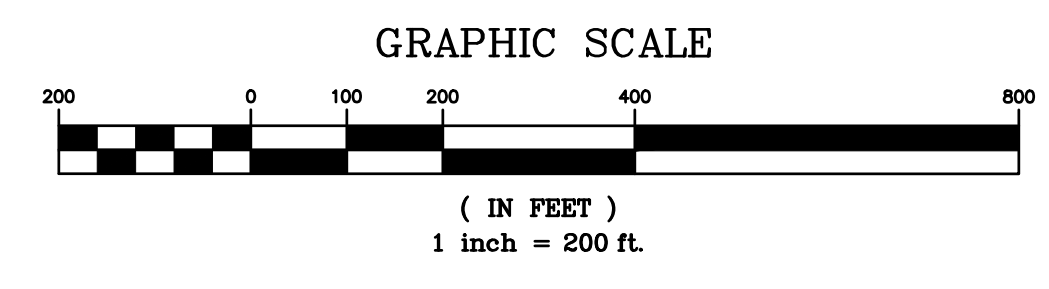
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1	02/08/2024	- PROJECT LIMITS
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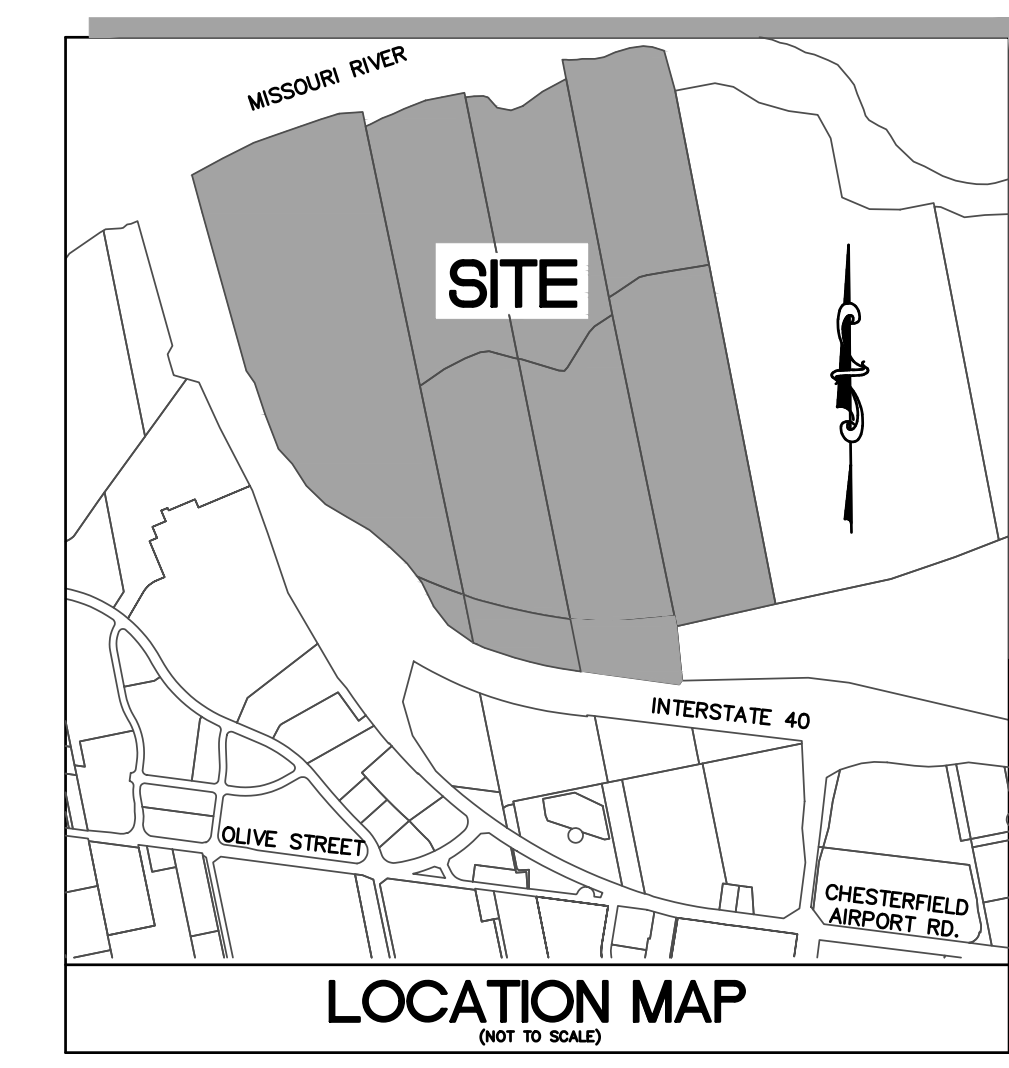
DRAWN BY: A.C.D.	CHECKED BY: G.M.S.
DATE: 01/26/2024	JOB NO: 222-7282.1
SKD. P.#	BASE MAP #
S.L.C. MAT #	MAT SUP. #
M.D.N.R. #	

SHEET TITLE:  
 SITE SECTIONS

SHEET NO.:  
 PDP 3.0



SCALE: 1" = 200'



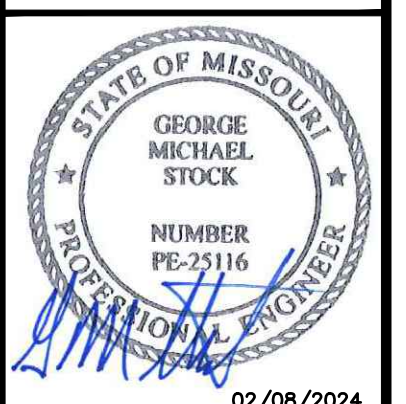
LINETYPE LEGEND

PR. PROPERTY LINES	---
EX. PROPERTY LINES	---
EX. ZONING LIMITS	---
PI ORD. #2944 EXPANSION	---

PREPARED FOR  
 GUMBO FLATS PROPERTIES, LLC  
 MR. JERRY KERR - MANAGER  
 PHONE: (855) 332-4777

PREPARED BY:  
**STOCK & ASSOCIATES**  
 Consulting Engineers, Inc.  
 257 Chesterfield Business Parkway  
 St. Louis, MO 63005 PH: (636) 530-9300  
 5301 S. OXFORD FAX: (636) 530-9300  
 e-mail: general@stockassoc.com  
 Web: www.stockassoc.com

PRELIMINARY DEVELOPMENT PLAN FOR:  
**TEXT AMENDMENT TO PI ORD. # 2944**  
 18009 & 18045 NORTH OUTER 40 ROAD  
 CHESTERFIELD, MO 63005



02/08/2024  
 GEORGE M. STOCK E-25116  
 CIVIL ENGINEER  
 CERTIFICATE OF AUTHORITY  
 NUMBER: 000996

REVISIONS:

1	02/08/2024 - PROJECT LIMITS
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DRAWN BY: A.C.D.	CHECKED BY: G.M.S.
DATE: 01/26/2024	JOB NO: 222-7282.1
SKED. P.#	BASE MAP # 16W & 17W
S.L.C. MAT #	MAT SUP. #
M.D.N.R. #	

SHEET TITLE:  
 PROPOSED  
 LOT LAYOUT  
 SHEET NO.:  
 PDP 4.0

Existing woodland tree canopy consisting of primarily Cottonwood, Sycamore and Silver Maple (4"-30")  
Very sparse understory.

Existing woodland tree canopy consisting of primarily Cottonwood, some Sycamore and Silver Maple.  
Considerable small Box Elder and invasive honeysuckle.

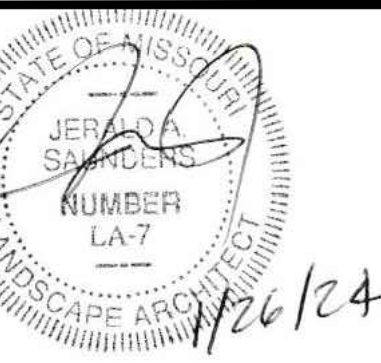
Existing woodland tree canopy consisting of primarily Cottonwood, some Sycamore and Silver Maple.  
Considerable small Box Elder and invasive honeysuckle.



**Tree Condition Rating:**

Excellent	4
Good	3
Fair	2
Poor	1
Dead	0

Tree Stand Delineation Prepared under direction of:  
Brian Bage  
Certified Arborist MW- 5033A



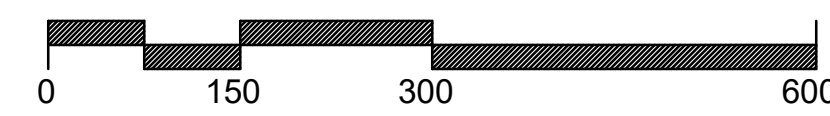
Jerold Saunders - Landscape Architect  
MO License # LA-007

Consultants:

Tree ID	Common Name	DBH	Condition
4240	Cottonwood	25	2
4241	Cottonwood	24	2
4242	Cottonwood	28	2
4243	Cottonwood	33	2
4244	Cottonwood	25	2
4245	American sycamore	30	2
4246	Cottonwood	36	2
4247	Cottonwood	30	2
4248	Cottonwood	28	2
4249	Cottonwood	25	2
4250	Cottonwood	25	2
4251	Silver maple	24	2
4252	Cottonwood	30	2
4253	Cottonwood	33	2
4254	Cottonwood	37	2
4255	Cottonwood	38	2
4256	Cottonwood	28	2
4257	Cottonwood	28	2
4258	Cottonwood	35	2
4259	Silver maple	28	2
4260	Cottonwood	30	2
4261	Cottonwood	24	2
4262	Cottonwood	32	2
4263	Cottonwood	32	2
4264	Cottonwood	44	2
4265	Silver maple	30	2
4266	Cottonwood	32	2
4267	Cottonwood	40	2
4268	Cottonwood	32	2
4269	Cottonwood	42	2
4270	Cottonwood	40	2
4271	Cottonwood	28	2
4272	Cottonwood	28	2
4273	Cottonwood	30	2
4274	Cottonwood	42	2
4275	Cottonwood	31	2
4276	Cottonwood	57	2
4277	Cottonwood	57	2
4278	Cottonwood	30	2
4279	Cottonwood	32	2
4280	Cottonwood	33	2
4281	Cottonwood	33	2
4309	Cottonwood	28	2
4310	Cottonwood	30	2
4311	Cottonwood	30	2
4312	Cottonwood	30	2
4313	Cottonwood	33	2
4314	Cottonwood	33	2
4315	American sycamore	30	2
4316	Cottonwood	36	2
4317	Cottonwood	54	3
4319	Cottonwood	34	2
4320	Cottonwood	38	3
4321	Cottonwood	38	3
4322	Cottonwood	34	3
4323	Cottonwood	30	3
4324	Silver maple	30	3
4325	Cottonwood	30	3
4326	Cottonwood	35	3
4327	Cottonwood	38	3
4328	Cottonwood	35	3
4329	Cottonwood	35	3
4330	Cottonwood	40	3
4331	Cottonwood	35	3
4332	Cottonwood	37	3
4333	American sycamore	25	3
4334	Cottonwood	30	3
4335	Cottonwood	28	2
4336	Cottonwood	28	2
4337	Cottonwood	30	3
4338	American sycamore	29	3
4339	American sycamore	32	3
4340	American sycamore	34	2
4341	American sycamore	28	3
4342	American sycamore	24	3
4343	Cottonwood	40	3
4344	Cottonwood	26	3
4345	Cottonwood	26	2
4346	Cottonwood	29	3
4347	Cottonwood	29	3
4348	Cottonwood	32	3
4349	Cottonwood	26	3
4350	Cottonwood	28	3
4351	Cottonwood	26	3
4352	Cottonwood	29	3
4353	Cottonwood	25	3
4354	Cottonwood	28	3
4355	Cottonwood	26	3
4356	Cottonwood	26	3
4357	Cottonwood	26	3
4358	Cottonwood	28	3
4359	Cottonwood	29	2
4360	Cottonwood	30	2
4361	Cottonwood	27	2
4362	Cottonwood	24	2
4363	American sycamore	28	3
4364	Cottonwood	30	2
4365	Cottonwood	28	2

**Total Site Area** = 3,401,035 s.f. (78.08 acres)  
**Woodland Tree Canopy Area** = 1,620,173 s.f. (37.19 acres)

Tree Stand Delineation  
SCALE 1"=150'



**Site Development Plan**  
**Gateway Studios**  
17935-18055 North Outer 40 Road  
Chesterfield, MO 63005

Revisions:

Date	Description	No.

Drawn: KP  
Checked: RS

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Missouri State Certificate of Authority # LAC #000119

Sheet Title: SDP Tree Stand Delineation

Sheet No: **TSD**

Date: 1/25/24  
Job #: 813.026