

## Planning Commission Staff Report

<b>Project type:</b>	Amended Architectural Elevations
<b>Meeting Date:</b>	February 12, 2024
<b>From:</b>	Shilpi Bharti, Planner <i>SB</i>
<b>Location:</b>	900 Spirit of St. Louis
<b>Description:</b>	<b>Gateway Studios, Lot 1A:</b> Amended Architectural Elevations for a 19.3-acre tract of land zoned “PC” Planned Commercial District located on the north side of Chesterfield Airport Road and east of Spirit of St. Louis Boulevard.

### PROPOSAL SUMMARY

Arco Construction on behalf of Gateway Studios, LLC has submitted Amended Architectural Elevations for the recently approved Gateway Studio buildings. They are now proposing two changes:

- Change 1: Screening walls for the roof top mechanical equipment on all four sides of the building.
- Change 2: Replace some portion of the curtain wall on the south and west elevation. Propose staning for the previously approved integrally colored tilt-up panels.

### HISTORY OF SUBJECT SITE

The subject property was originally zoned “M3” Planned Industrial District by St. Louis County. On March 19, 2007 Ordinance 2342 was approved which rezoned the property to “PC” Planned Commercial District. Following the approval of the Ordinance a Lot Split and Boundary Adjustment Plat were approved in May of 2007.



Figure 1: Subject Site Aerial

In 2021 a Boundary Adjustment Plat, Amended Site Development Concept Plan, Site Development Section Plans for Lots 1 and 2, and an Architectural Specialty Lighting Plan was approved for the development known as Gateway Studios, a campus containing recording and film studios, office space and a hotel. In 2022, a Boundary Adjustment Plat, and an Amended Concept plan was approved. A Boundary Adjustment Plat was done to divide the Lot 1 into two lots Lot 1A and Lot 1B. Most recently in 2023, and Amended Site Development Section plan was approved for Lot 1A. The Site Plan was amended to include a trash enclosure on the east and modify the sidewalk layout. Currently the site is under construction.

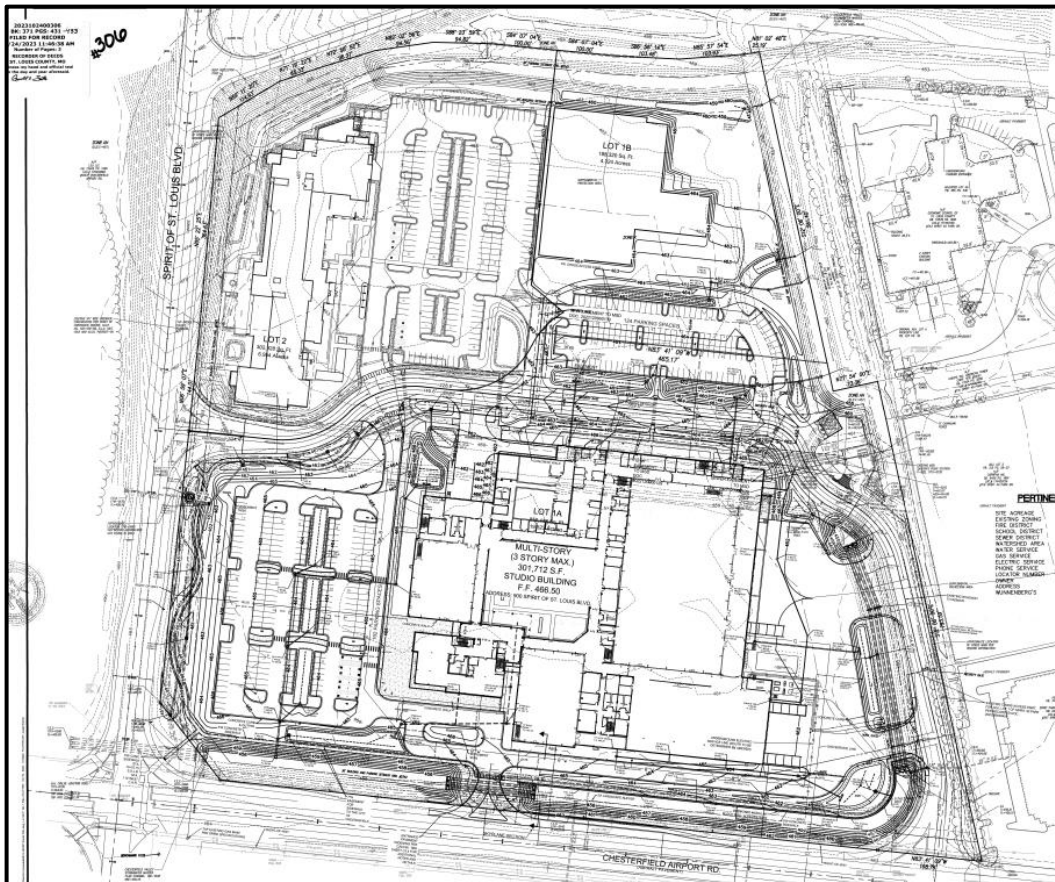


Figure 2: Recently approved Amended Site Development Section Plan.

## **STAFF ANALYSIS**

Proposed changes included in the proposal fall into two categories: screening and elevations.

### **Elevations**

The entire site consists of three building parts, studio, office and support spaces as shown in figure 3. The primary material used for the “studio spaces” is a light gray, tilt-up concrete with formliner panels, which was approved in 2021. The original approval for “support spaces” included darker colored areas

of the building that would be achieved through use of integrally colored concrete. Through construction, the integral coloring of “support space” panels was not completed, and also tilt-up concrete with formliner panels for “studio spaces” was not successful. In order to achieve the desired result that was previously approved on the site, the applicant is now proposing to stain these areas.

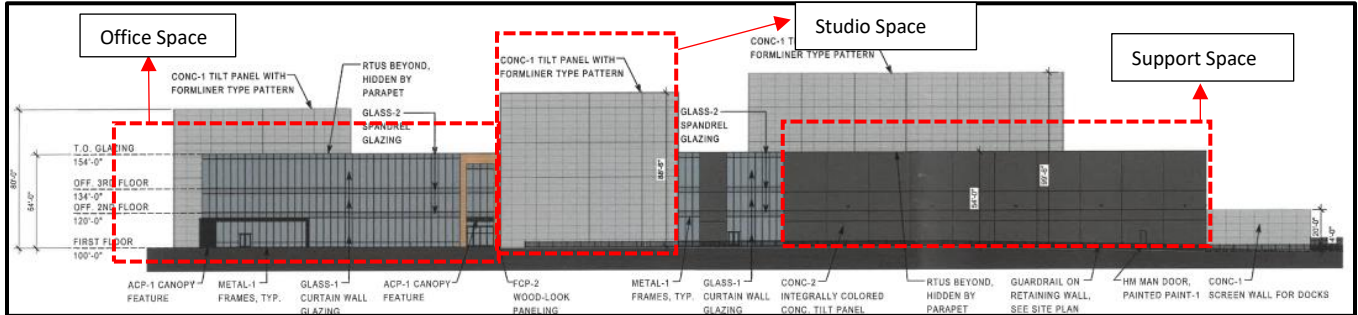


Figure 3: Previously approved south side elevation

Additionally, the applicant is proposing to replace some portion of the curtain walls on the west and south interior walls with ACM paneling which is similar to the roof deck area as shown in figure 4 and 5.

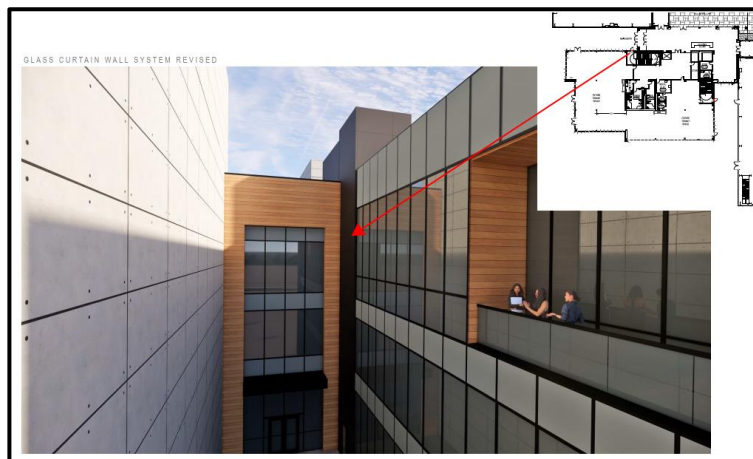


Figure 4: Replaced Curtain wall on west

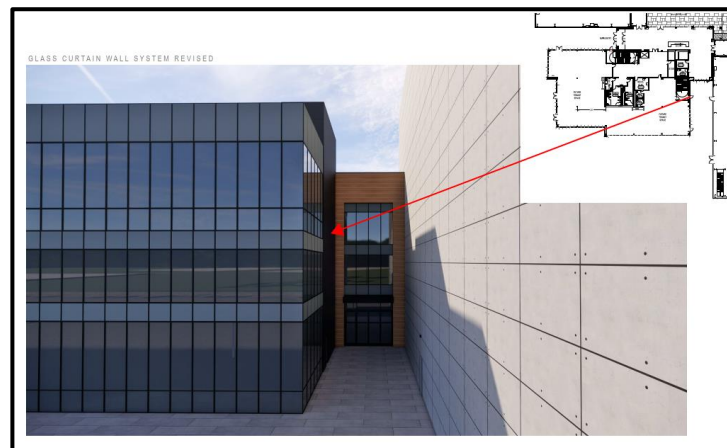


Figure 5: Replaced Curtain wall on south

**Screening**

The studio and the office portions of the campus are under construction. The applicant has is proposing additional rooftop mechanical equipment screening walls on the building. The tallest screening will be 17' high and will be visible from the west and north sides of the building.

The screen for the roof top unit at the main office, stairs, and elevator to roof level will be clad with Dusty Charcoal color aluminum composite metal paneling. Proposed mechanical equipment roof top screening will be flat, pre-finished metal panel with joints aligned to correspond with the concrete wall panels, except the main building screening. The screen for the roof top unit at the main office, stairs, and elevator to roof level will be clad with Dusty Charcoal color aluminum composite metal paneling.

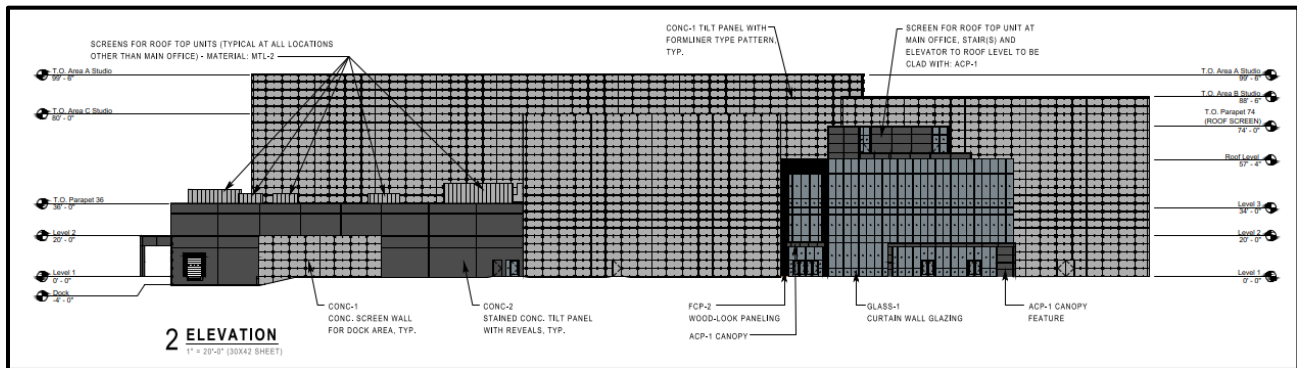


Figure 6: Proposed West Side Elevation

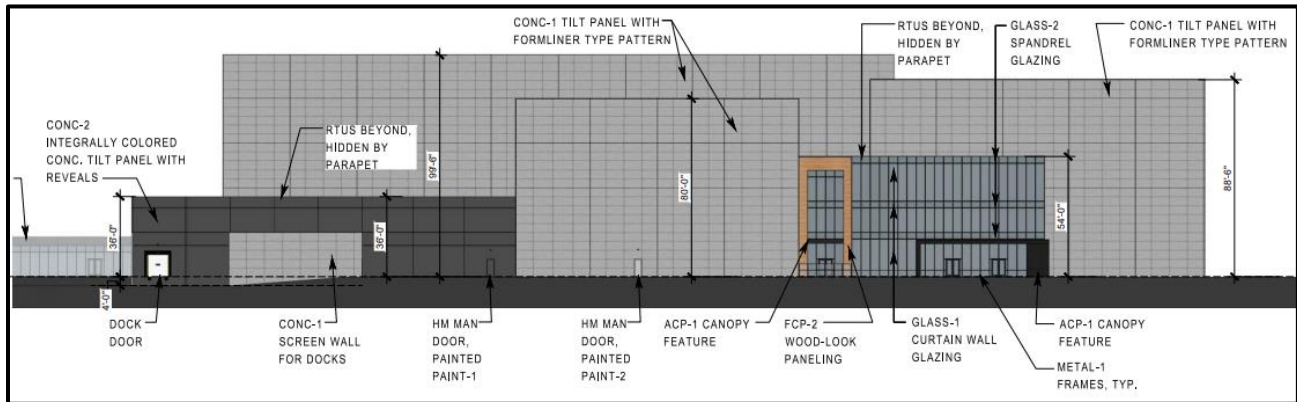


Figure 7: Previously approved West Side Elevation

**Access, Circulation, and Parking:**

There is no change in the access, circulation and parking from the recently approved Amended Site Development Plan. The site has two access, one from Chesterfield Airport Road on the south and another from Spirit of St. Louis Blvd. on the west. The site has 316 parking spaces and 12 ADA spaces. The site will be gated to restrict the general public entry.



**Lighting, and Landscaping:**

Architectural Specialty Lighting package, and Landscape Plan was approved for the development in 2021. At this time, there are no changes proposed with the Lighting and Landscaping plan.

**Rendering**



*Figure 8: Rendering*

**ARB MEETING REPORT**

The project was reviewed by the Architectural Review Board (ARB) members on November 9, 2023. There were comments related to proposed screening material, visibility to the proposed mechanical equipment, and the lack of quality to the exposed concrete of the studio building. At that time, the applicant requested to hold and the Board approved the request. Since then, the applicant revised their submittal. The applicant has addressed all of the ARB concerns, except the concern for the exposed concrete studio buildings. The applicant explained that the current weather condition is not suitable for stain and may push the execution of the method to the Spring. The applicant will come back through the approval process (ARB and Planning Commission review) at a later date.

The revised submittal was reviewed by ARB on January 14, 2024. The Board made a motion to forward the Amended Architectural Elevations to the Planning Commission with a recommendation to approve with the following three conditions:

1. Color of wall infill panels where duct penetrations were omitted shall match adjoining wall surfaces as closely as possible.
2. Metal screening panels at roof top mechanical units shall be extended around corners to provide more effective visual obstruction.
3. Generator color shall be compatible with colors of adjacent building materials.

Since then, applicant has revised their submittal and responded to three conditions.

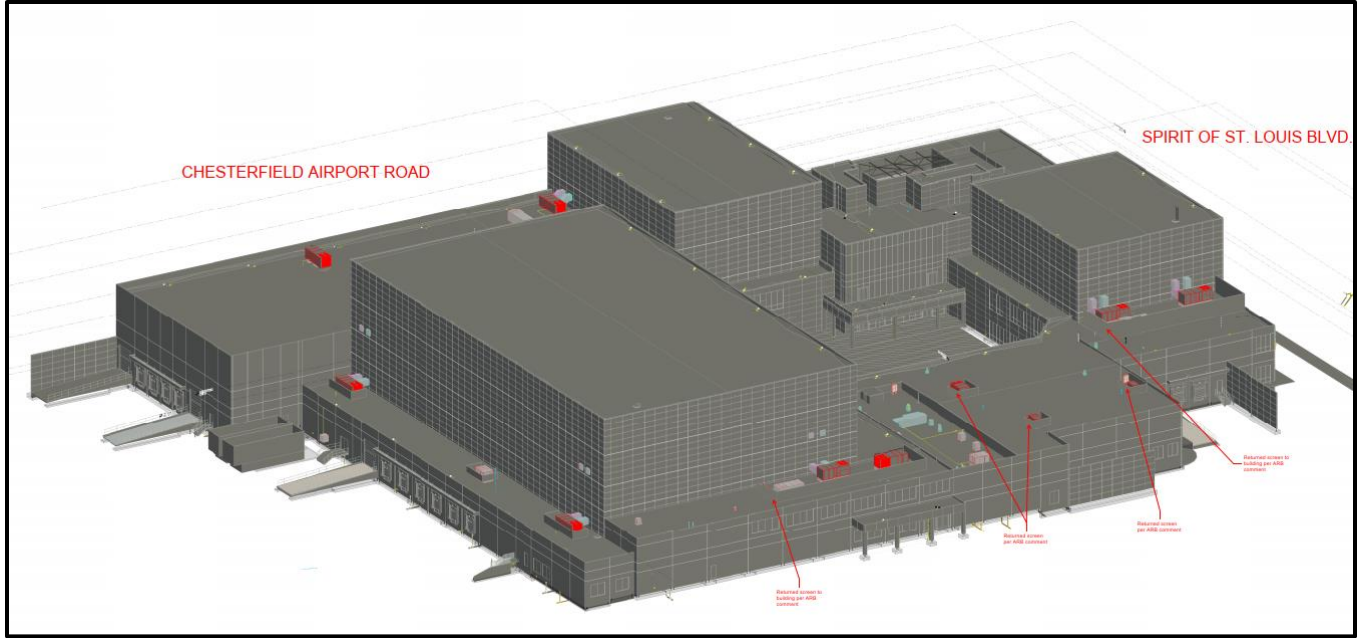


Figure 9: Isometric view showing mechanical equipment screening

### **DEPARTMENTAL INPUT**

Staff has reviewed this proposed development and found it to be in compliance with the City’s Unified Development Code and site-specific ordinances. All outstanding comments have been addressed at this time. The applicant will come back to the board in later date for the approval of stain. Staff requests review and approval on the Amended Architectural Elevations for Gateway Studios Lot 1A.

### **MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Amended Architectural Elevations for Gateway Studios Lot 1A as presented, with a recommendation for approval (or denial).”
- 2) “I move to approve the Amended Architectural Elevations for Gateway Studios Lot 1A with a recommendation for approval with the following conditions...”

### **Attachments**

1. Planning Commission Packet Submittal

February 5, 2024

Shilpi Bharti, Planner  
City of Chesterfield  
690 Chesterfield Pkwy W  
Chesterfield MO 63017

RE: Spirit of St. Louis Corporate Center (Gateway Studios) Lot 1  
900 Spirit of St. Louis Blvd., Chesterfield, MO  
**ARB Comments - Main Building**  
GMA Job No. SJ2324

Dear Ms. Bharti,

Please see the following for our responses from the ARB result letter dated January 12, 2024.  
Responses in italics.

**ARB Comments / Conditions:**

**ITEM 1: Color of wall infill panels where duct penetrations were omitted shall match adjoining wall surfaces as closely as possible.**

- *We will infill the holes in the walls to match the adjacent concrete panel surfaces.*

**ITEM 2: Metal screening panels at rooftop mechanical units shall be extended around corners to provide more effective visual obstruction.**

- *Please see the first attachment for modifications to the roof screen to address the ARB's comment.*

**ITEM 3: Generator color shall be compatible with colors of adjacent building materials.**

- *Please see the second attachment for the generator color that was selected. This color was chosen to be compatible with the colors of the adjacent building materials.*

Sincerely,



Louis Vandeloecht  
Architect / President

Cc:

Gerald W. Kerr - Gateway Studios  
Justin Wyse – City of Chesterfield  
Mike King - ARCO National Const.  
Nick Orbik – ARCO National Const.  
Grant Alexander - GMA Architects  
Lani Handshear - GMA Architects  
Angela Rodriguez - GMA Architects

[jerry.kerr@gsp.com](mailto:jerry.kerr@gsp.com)  
[jwyse@chesterfield.mo.us](mailto:jwyse@chesterfield.mo.us)  
[mking@arco1.com](mailto:mking@arco1.com)  
[norbik@arco1.com](mailto:norbik@arco1.com)  
[galexander@gma-architects.com](mailto:galexander@gma-architects.com)  
[walker@gma-architects.com](mailto:walker@gma-architects.com)  
[anrodriguez@gma-architects.com](mailto:anrodriguez@gma-architects.com)

---



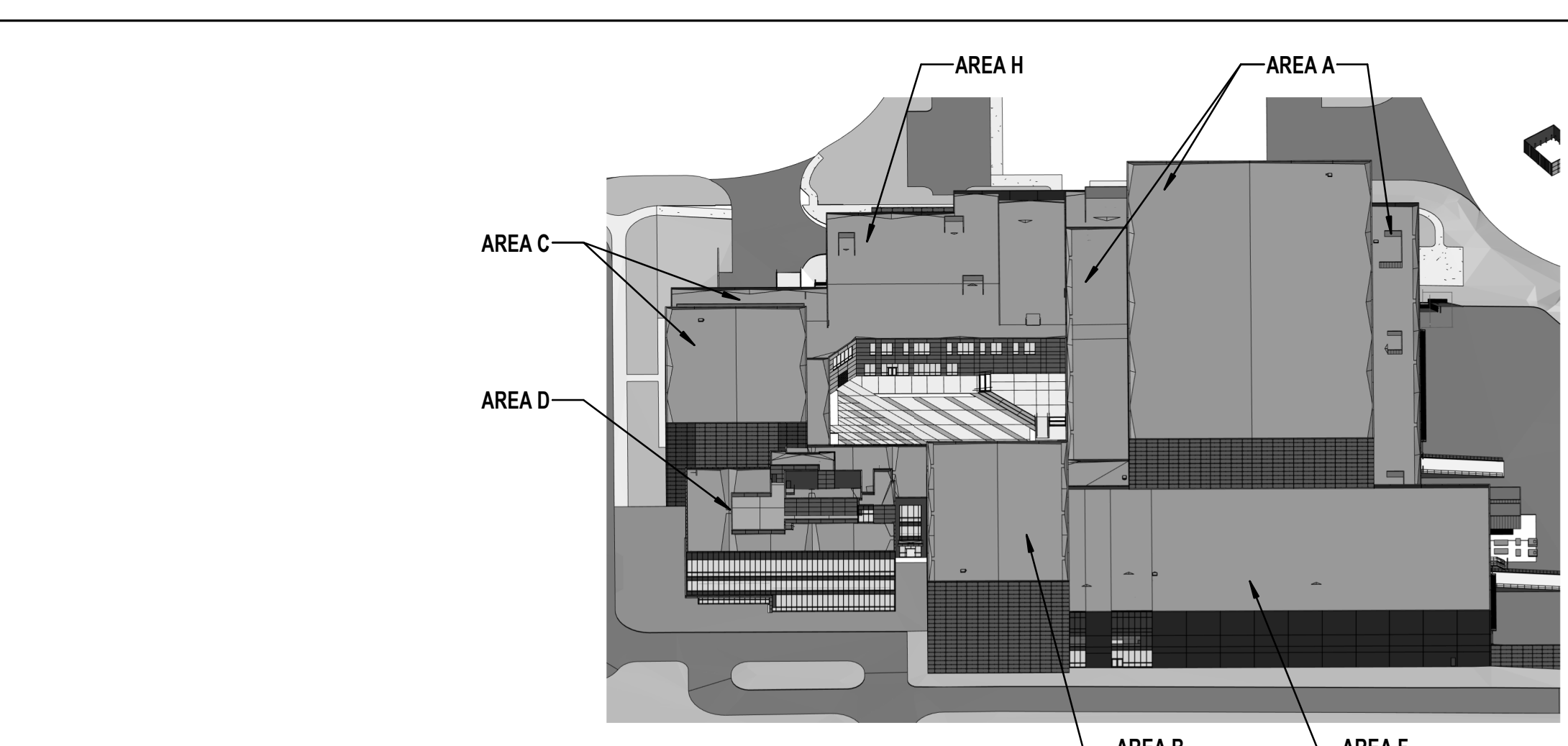
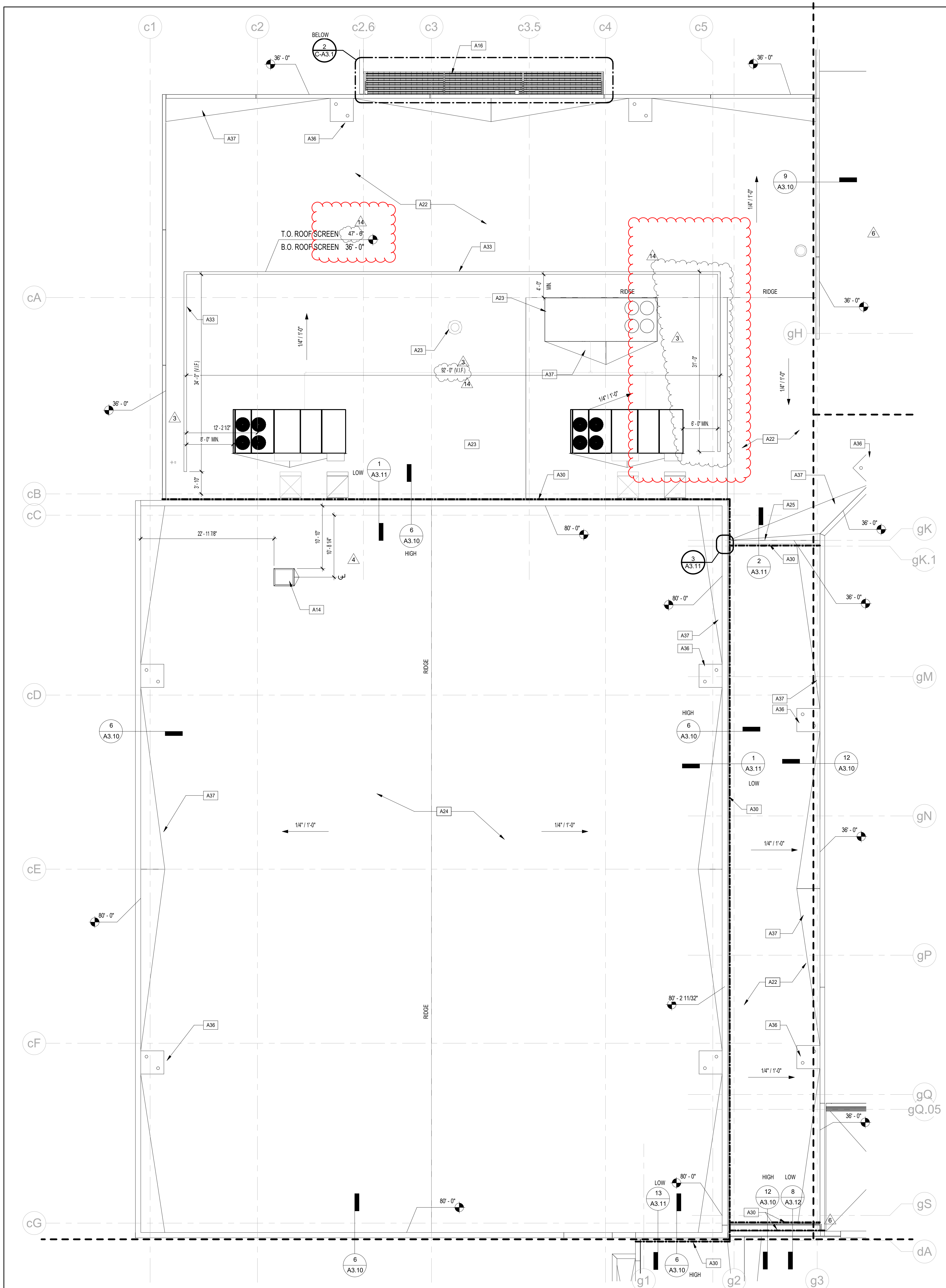








18" = 1'-0"



### ROOF PLAN GENERAL NOTES

1. TPO ROOFS SHALL BE 60 MIL, MECHANICALLY FASTENED, WHITE TPO MEMBRANE OVER POLYISO RIGID INSULATION (R-25 MIN).
2. FLASH MECHANICAL EQUIPMENT AND PENETRATIONS ON THE ROOF ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
3. ALL ROOF HATCHES SHALL BE 2'-6" x 3'-0".
4. UNDERSIDE OF METAL ROOF DECK SHALL BE PAINTED WHITE PRIMER.
5. FLASHING AND COUNTER FLASHING FOR ROOF TOP UNITS SHALL BE COMPLETED IN ACCORDANCE WITH SMACNA.
6. 10'-0" MINIMUM DISTANCE ANY VENT TO AIR INTAKE.
7. FOR TYPICAL MECHANICAL CURBS SEE DETAIL 2 / A3.10
8. FOR TYPICAL PIPE PENETRATIONS SEE DETAILS 3 / A3.10 AND 4 / A3.10
9. PROVIDE ROOF WALKWAY MATS AROUND ALL ROOF TOP EQUIPMENT.
10. USE OF PITCH POCKETS WITH POURABLE SEALER FOR FLASHING OF ROOF PENETRATIONS ARE NOT PERMITTED.
11. ROOF PENETRATIONS FOR PIPE AND/OR CONDUIT SHALL BE FLASHED INDIVIDUALLY OR SHALL BE COVERED WITH AN INSULATED SHEET METAL CURB FLASHING ASSEMBLY, DESIGNED IN ACCORDANCE WITH SMACNA RECOMMENDATIONS - SPACE PIPE/CONDUIT PENETRATIONS NOT LESS THAN 12" AWAY FROM PARAPET WALLS, ROOF CURBS AND ADJACENT PIPE/CONDUIT PENETRATIONS.
12. PIPE OR CONDUIT INSTALLED ABOVE THE ROOF SURFACE SHALL BE SUPPORTED BY PREFABRICATED PIPE SUPPORTS DESIGNED SPECIFICALLY FOR THAT PURPOSE. PROVIDE PROTECTION MAT BENEATH PIPE/CONDUIT SUPPORTS IN ACCORDANCE WITH ROOFING MANUFACTURER'S REQUIREMENTS.

**GMA**  
ARCHITECTS  
900 N. Rock Hill Rd.  
St. Louis, MO 63119  
P: 314.822.5191  
F: 314.963.0714  
www.gma-architects.com

**ARCO**  
CONSTRUCTION  
THE DESIGN/BUILD PEOPLE  
900 N. Rock Hill Rd.  
St. Louis, MO 63119  
P: 314.963.0715  
F: 314.963.7114  
www.arcoconstruction.com

CIVIL:  
STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.  
207 CHESTERFIELD BUSINESS PKWY  
CHESTERFIELD, MO 63080  
636-534-1100

STRUCTURAL:  
MONDAY ENGINEERING  
1147 OLIVE CANYON RD #500  
ST. LOUIS, MO 63141  
314-997-7310

MECHANICAL:  
CHARLES E. JARRELL  
3401 BENT AVE.  
ST. LOUIS, MO 63116  
314-772-5400  
MISSOURI CERTIFICATE OF AUTHORITY #000896

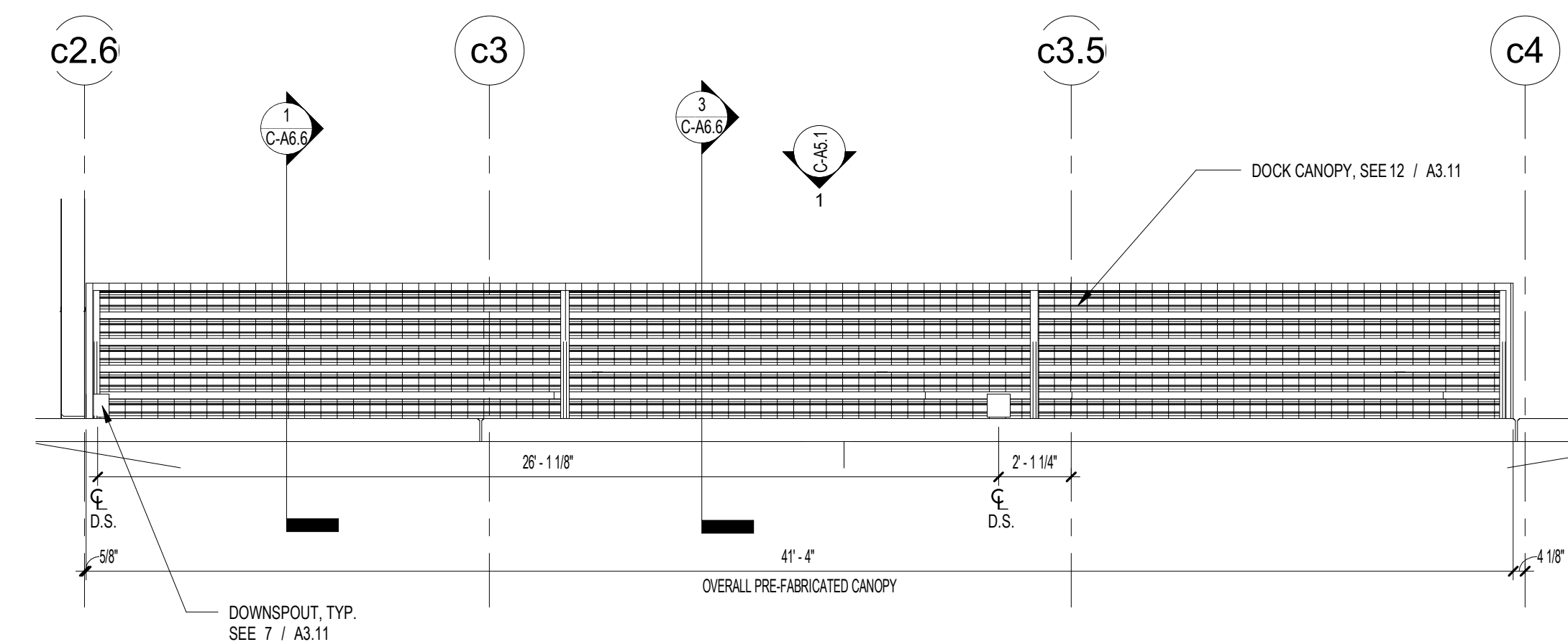
ELECTRICAL:  
GEO ENGINEERING  
3001 BENT AVE.  
ST. LOUIS, MO 63116  
314-772-5400  
MISSOURI CERTIFICATE OF AUTHORITY #000896

PLUMBING:  
D.J. LANGRISH PLUMBING CO.  
306 ST. LOUIS AVE.  
VALLEY PARK, MO 63088  
636-225-9992

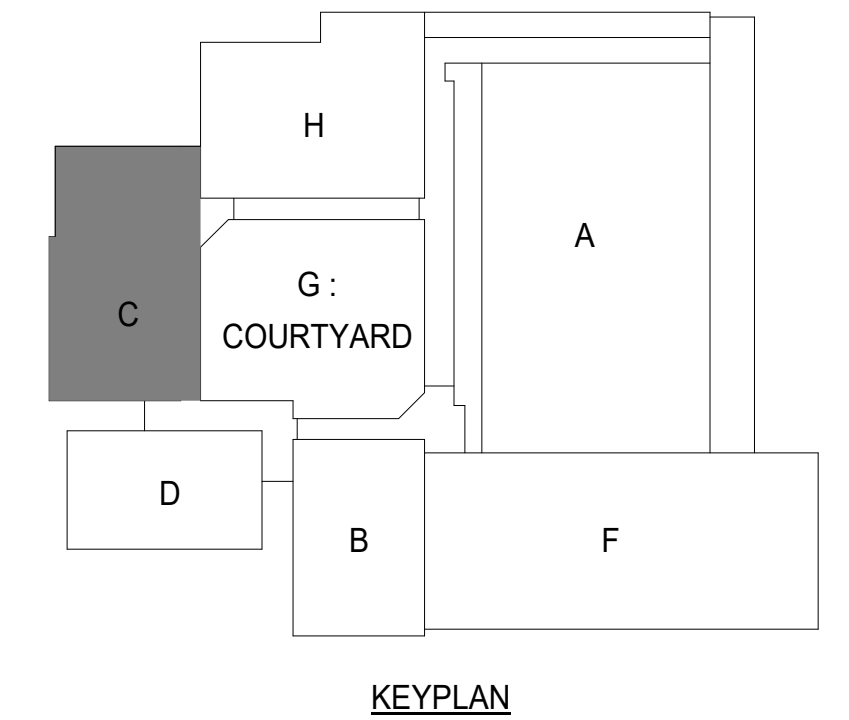
### KEY NOTES

A14	ROOF LADDER AND HATCH - SEE 19/A3.10
A16	PREFABRICATED CANOPY WITH DOWNSPOUTS - SEE 12 / A3.11
A22	TPO ROOF MEMBRANE OVER MIN. R25 RIGID INSULATION AND SLOPED ROOF STRUCTURE
A23	ROOFTOP EQUIPMENT - SEE MECHANICAL DRAWINGS.
A24	TPO ROOF MEMBRANE OVER 4" ELASTIZELL INSULATING CONCRETE, 4" INSULATION, 1.98" SLURRY AND SLOPED ROOF STRUCTURE.
A25	WALL PENETRATING ROOF AT CHANGE IN ROOF SLOPE.
A30	EXPANSION JOINT - SEE STRUCTURAL.
A33	ROOF SCREEN - SEE 11 / A3.11
A36	ROOF DRAIN AND OVERFLOW DRAIN (TYPICAL) - SEE 5 / A3.11
A37	ROOF CRICKET (TYPICAL), TAPERED INSULATION AS REQUIRED.

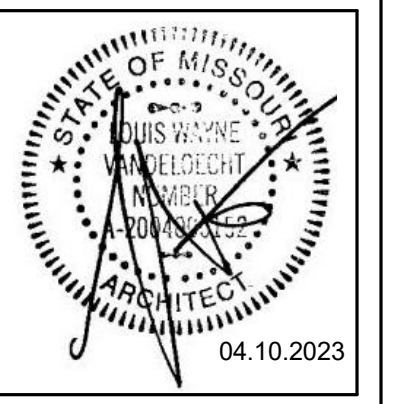
1 AREA C ROOF PLAN  
1/8" = 1'-0"



2 ENLARGED PLAN - DOCK CANOPY  
1/4" = 1'-0"



PROJECT  
**GATEWAY STUDIOS - Main Building**  
900 SPIRIT OF ST. LOUIS BLVD  
CHESTERFIELD, MO 63005



JOB NO: SJ2324  
PA: LLW / ARR  
PERMIT: 07.21.2021

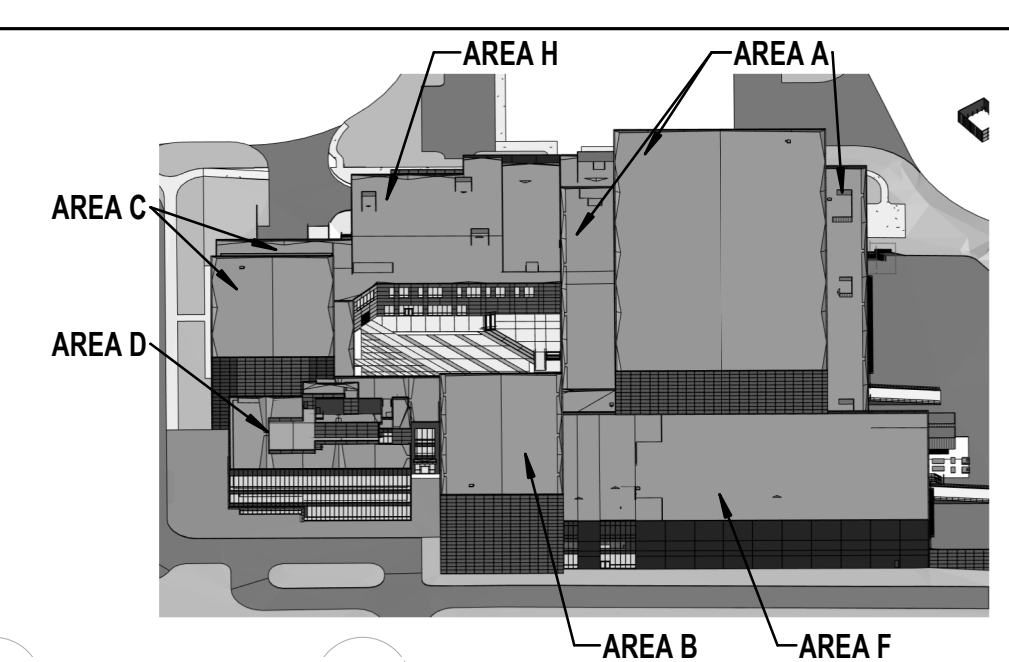
### REVISIONS:

#	DESCRIPTION	DATE
1	SHELL Rev 1	06.05.2022
2	SHELL Rev 2	09.08.2022
3	SHELL Rev 3	11.11.2022
4	SHELL Rev 4	11.11.2022
5	SHELL Rev 5	11.11.2022
6	SHELL Rev 6	11.11.2022
7	SHELL Rev 7	11.11.2022
8	SHELL Rev 8	11.11.2022
9	SHELL Rev 9	11.11.2022
10	SHELL Rev 10	11.11.2022
11	SHELL Rev 11	11.11.2022
12	SHELL Rev 12	11.11.2022
13	SHELL Rev 13	11.11.2022
14	SHELL Rev 14	11.11.2022
15	SHELL Rev 15	11.11.2022
16	SHELL Rev 16	11.11.2022
17	SHELL Rev 17	11.11.2022

SHEET NUMBER  
**C-A3.1**  
AREA C ROOF PLAN

REVISION 11





**ROOF PLAN GENERAL NOTES**

1. TPO ROOFS SHALL BE 60 MIL, MECHANICALLY FASTENED, WHITE TPO MEMBRANE OVER POLYISO RIGID INSULATION (R-25 MIN).
2. FLASH MECHANICAL EQUIPMENT AND PENETRATIONS ON THE ROOF ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
3. ALL ROOF HATCHES SHALL BE 2'-6" x 3'-0".
4. UNDERSIDE OF METAL ROOF DECK SHALL BE PAINTED WHITE PRIMER.
5. FLASHING AND COUNTER FLASHING FOR ROOF TOP UNITS SHALL BE COMPLETED IN ACCORDANCE WITH SMACNA.
6. 10'-0" MINIMUM DISTANCE ANY VENT TO AIR INTAKE.
7. FOR TYPICAL MECHANICAL CURBS SEE DETAIL 2 / A3.10
8. FOR TYPICAL PIPE PENETRATIONS SEE DETAILS 3 / A3.10 AND 4 / A3.10
9. PROVIDE ROOF WALKWAY MATS AROUND ALL ROOF TOP EQUIPMENT.
10. USE OF PITCH POCKETS WITH POURABLE SEALER FOR FLASHING OF ROOF PENETRATIONS ARE NOT PERMITTED.
11. ROOF PENETRATIONS FOR PIPE AND/OR CONDUIT SHALL BE FLASHED INDIVIDUALLY OR SHALL BE COVERED WITH AN INSULATED SHEET METAL CURB FLASHING ASSEMBLY, DESIGNED IN ACCORDANCE WITH SMACNA RECOMMENDATIONS - SPACE PIPE/CONDUIT PENETRATIONS NOT LESS THAN 12" AWAY FROM PARAPET WALLS, ROOF CURBS AND ADJACENT PIPE/CONDUIT PENETRATIONS.
12. PIPE OR CONDUIT INSTALLED ABOVE THE ROOF SURFACE SHALL BE SUPPORTED BY PREFABRICATED PIPE SUPPORTS DESIGNED SPECIFICALLY FOR THAT PURPOSE. PROVIDE PROTECTION MAT BENEATH PIPE/CONDUIT SUPPORTS IN ACCORDANCE WITH ROOFING MANUFACTURER'S REQUIREMENTS.

**GMA**  
ARCHITECTS  
900 N. Rock Hill Rd.  
St. Louis, MO 63119  
P: 314.822.5191  
F: 314.963.0714  
www.gma-architects.com

**ARCO**  
CONSTRUCTION  
THE DESIGN/BUILD PEOPLE  
900 N. Rock Hill Rd.  
St. Louis, MO 63119  
P: 314.963.0715  
F: 314.963.7114  
www.arcoconstruction.com

CIVIL:  
STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.  
207 CHESTERFIELD BUSINESS PKWY  
CHESTERFIELD, MO 63005  
636-530-1100

STRUCTURAL:  
MCKAY ENGINEERING  
1145 OLIVE CROWN RD #500  
ST. LOUIS, MO 63141  
314-997-7310

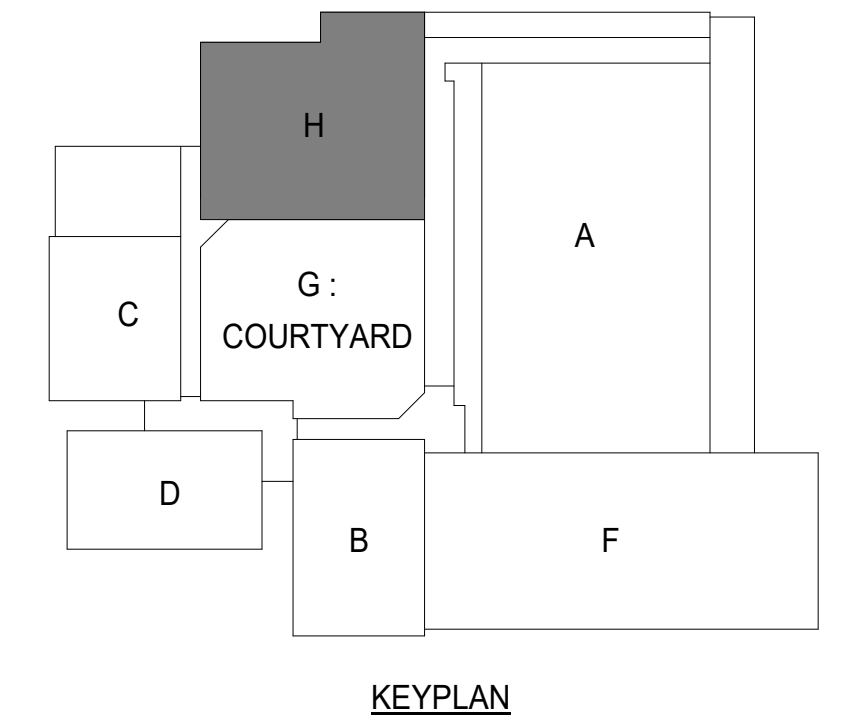
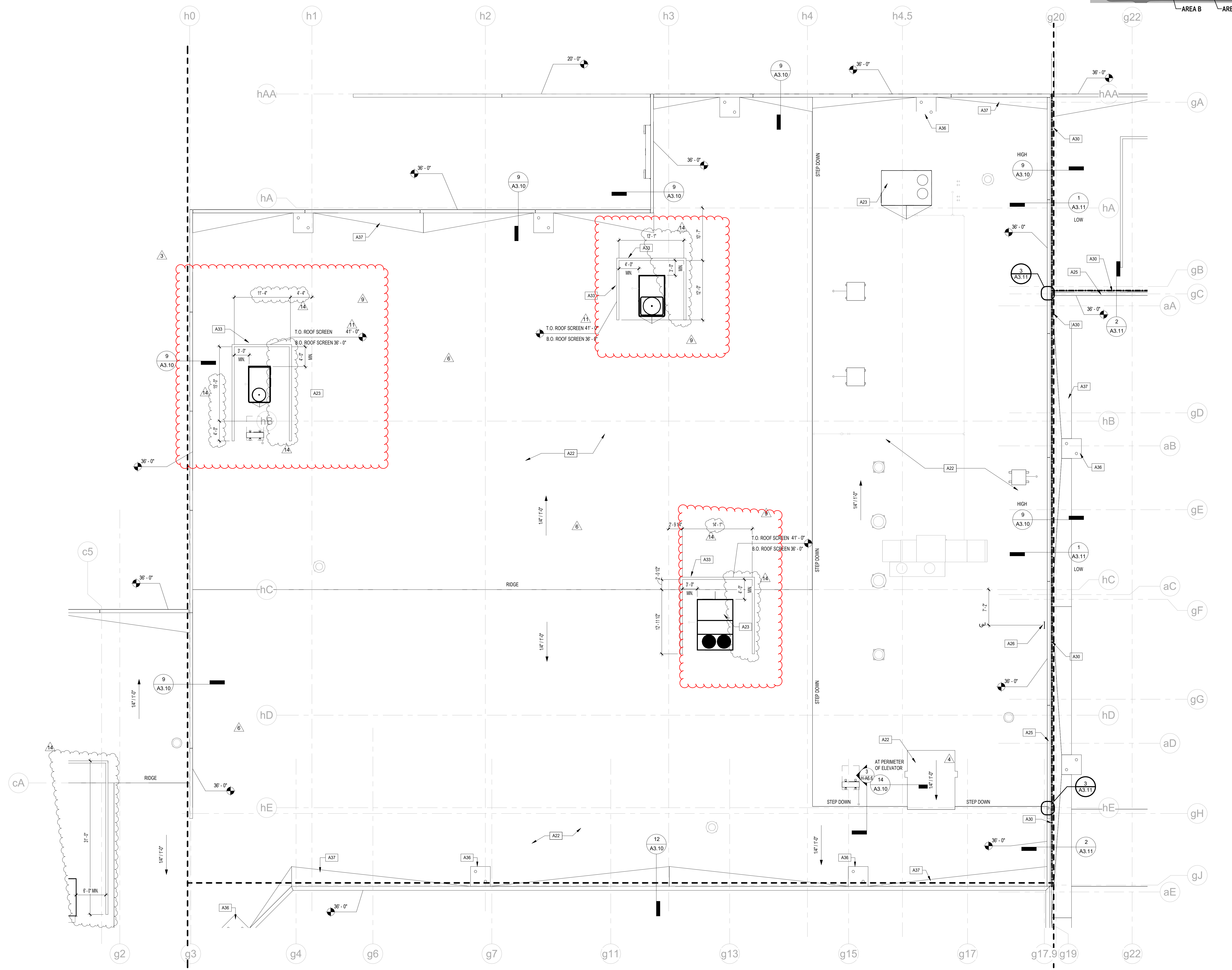
MECHANICAL:  
CHARLES E. JARRELL  
CONTRACTING CO.  
4206 RIDER TRAIL, N  
EARTH CITY, MO  
314-291-6100

ELECTRICAL:  
GEO ENGINEERING  
3001 BENT AVE.  
ST. LOUIS, MO 63116  
314-772-5400  
MISSOURI CERTIFICATE OF AUTHORITY #000866

PLUMBING:  
D.J. LANGRISH PLUMBING CO.  
306 ST. LOUIS AVE.  
VALLEY PARK, MO 63088  
636-225-9992

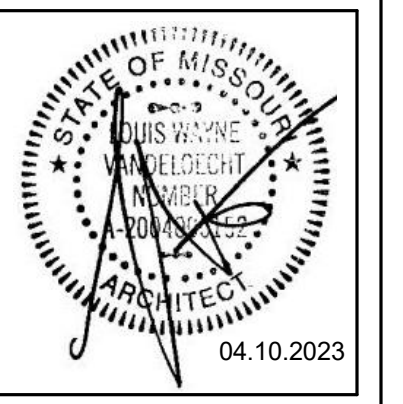
**KEY NOTES**

A22	TPO ROOF MEMBRANE OVER MIN. R25 RIGID INSULATION AND SLOPED ROOF STRUCTURE.
A23	ROOFTOP EQUIPMENT. SEE MECHANICAL DRAWINGS.
A25	WALL PENETRATING ROOF AT CHANGE IN ROOF SLOPE.
A26	ROOF LADDER OVER PARAPET. SEE 17/A3.10
A30	EXPANSION JOINT - SEE STRUCTURAL
A33	ROOF SCREEN. SEE 11 / A3.11
A36	ROOF DRAIN AND OVERFLOW DRAIN (TYPICAL). SEE 5 / A3.11
A37	ROOF CROCKET (TYPICAL). TAPERED INSULATION AS REQUIRED.



**1 AREA H ROOF PLAN**  
1/8" = 1'-0"

PROJECT  
**GATEWAY STUDIOS - Main Building**  
900 SPIRIT OF ST. LOUIS BLVD  
CHESTERFIELD, MO 63005



JOB NO: SJ2324  
PA: LLW / ARR  
PERMIT: 07.21.2021

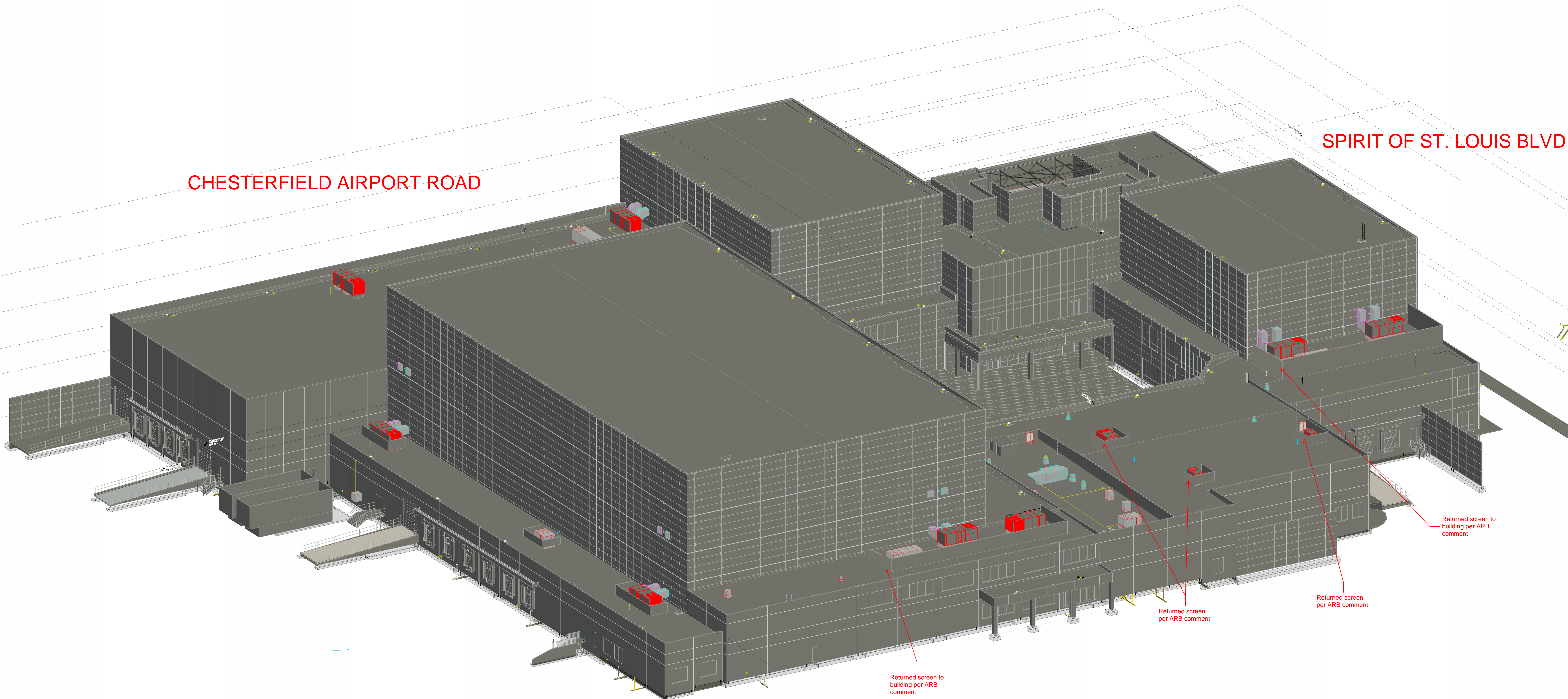
**REVISIONS:**

#	DESCRIPTION	DATE
1	SHELL Rev 1	06.05.2022
2	SHELL Rev 2	09.08.2022
3	SHELL Rev 3	11.11.2022
4	SHELL Rev 4	04.10.2023
5	SHELL Rev 5	08.11.2023
6	SHELL Rev 6	08.11.2023
7	SHELL Rev 7	08.11.2023
8	SHELL Rev 8	08.11.2023
9	SHELL Rev 9	08.11.2023
10	SHELL Rev 10	08.11.2023
11	SHELL Rev 11	08.11.2023
12	SHELL Rev 12	08.11.2023
13	SHELL Rev 13	08.11.2023
14	SHELL Rev 14	08.11.2023

SHEET NUMBER  
**H-A3.1**  
AREA H ROOF PLAN

REVISION 11





CHESTERFIELD AIRPORT ROAD

SPIRIT OF ST. LOUIS BLVD.

Returned screen to building per ARB comment

Returned screen per ARB comment

Returned screen per ARB comment

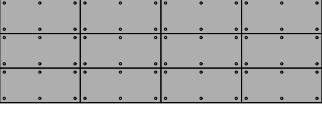




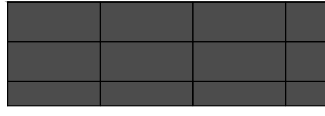
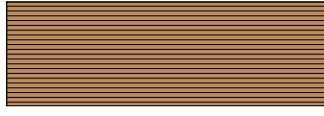

Returned screen to building per ARB comment

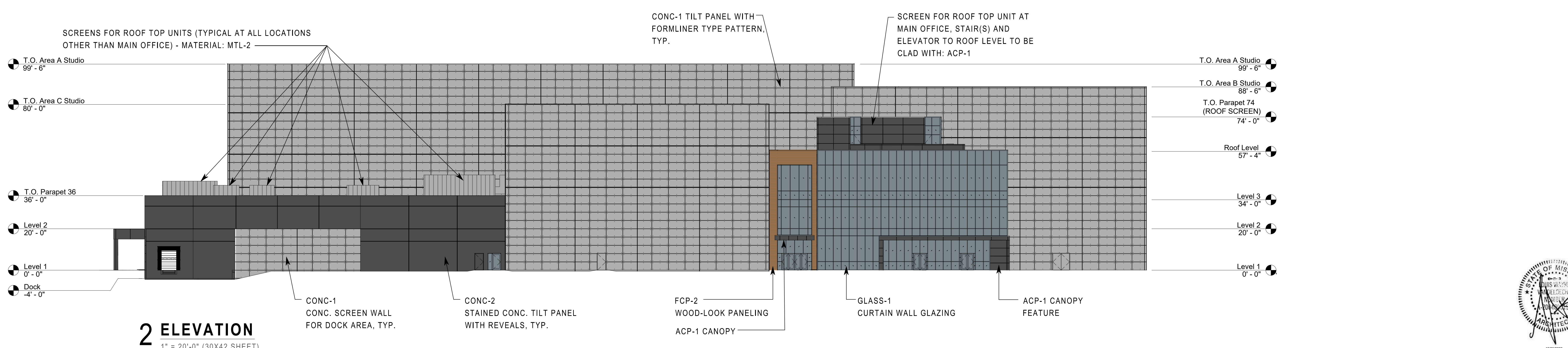
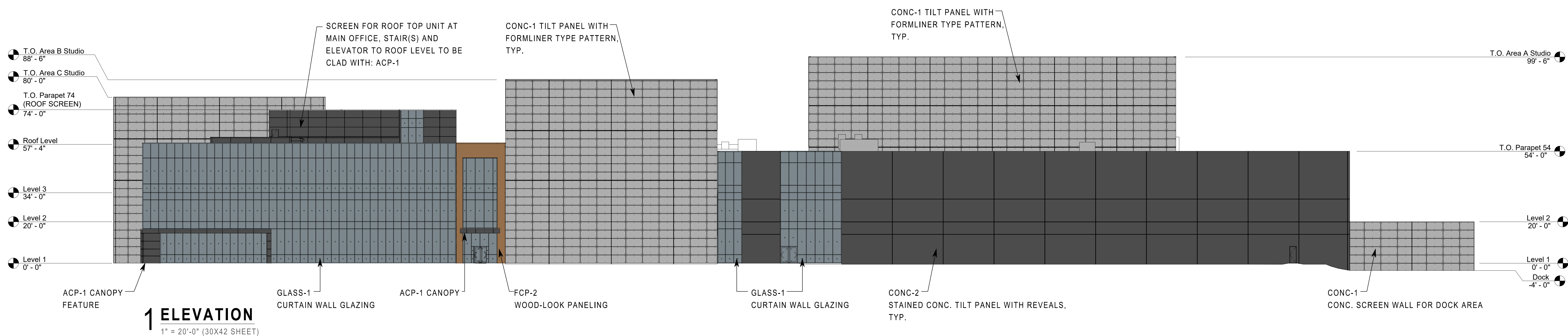
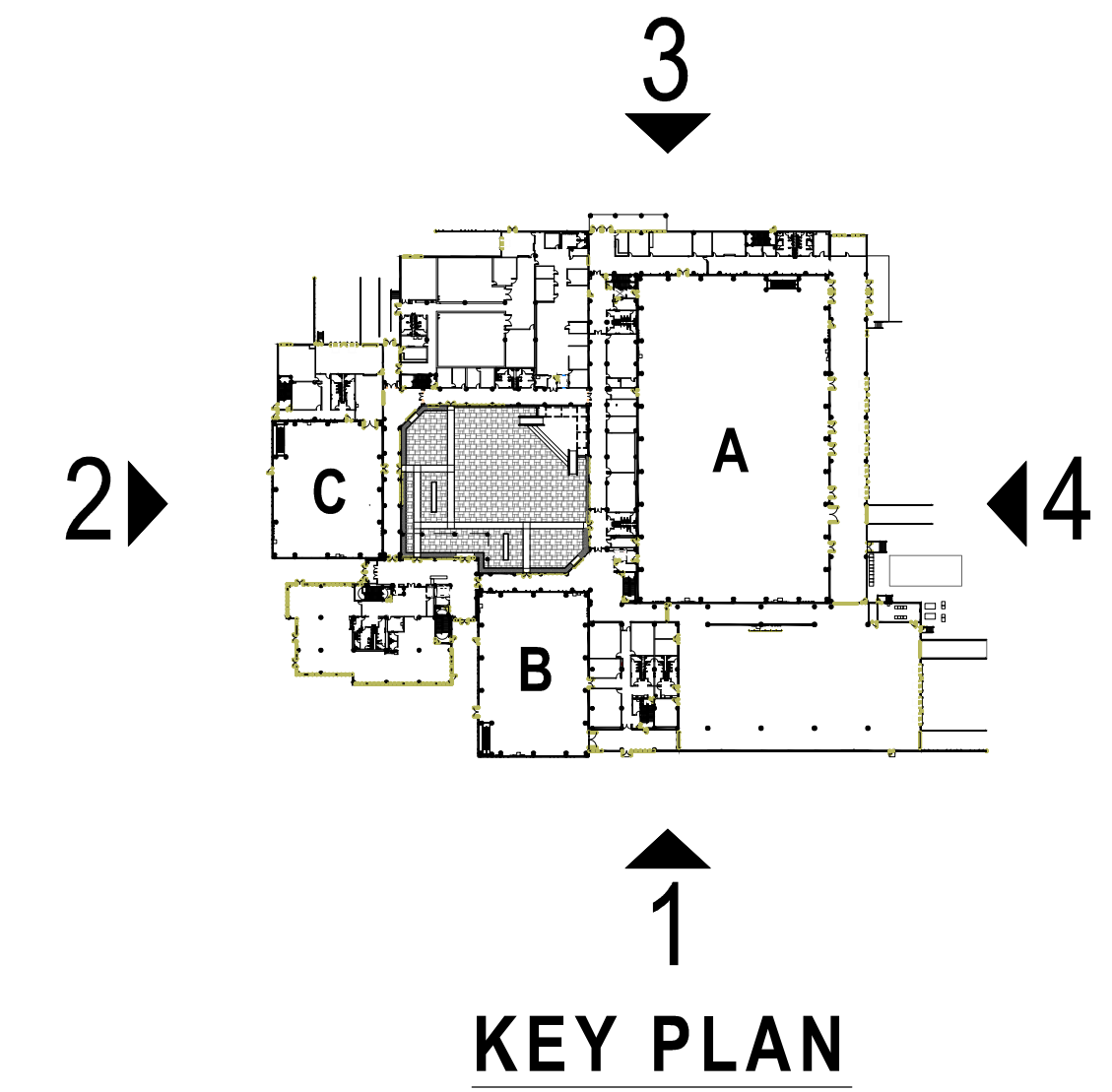
ALL ROOFTOP UNITS ARE RED SO THEY CAN BE EASILY SEEN. THIS PLAN IS TO SHOW WHERE UNITS ARE IN RELATION TO THE BUILDING THEY SERVE



# GATEWAY STUDIOS - MAIN BUILDING | CHESTERFIELD, MO

GMA JOB NUMBER: SJ2324 DATE: 12.27.2023 - FOR AMENDED ARCHITECTURAL ELEVATION REVIEW ONLY





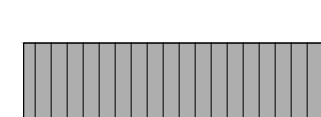
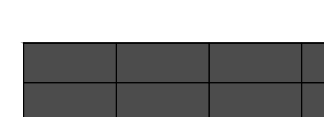


EXTERIOR FINISH SCHEDULE			
 <p><b>CONC-1</b> CONCRETE TILT PANEL COLOR: EXPOSED CONC. W/ FORMLINER PATTERN</p> <p>NOTES: COPING: PRE-FINISHED METAL COPING TO MATCH CONCRETE COLOR.</p> <p>HM DOORS: CUSTOM PAINT TO MATCH CONCRETE COLOR.</p>	 <p><b>CONC-2</b> CONCRETE TILT PANEL WITH STAIN STAIN COLOR: TO MATCH ONYX BY SOLOMAN READY MIX COLORS</p> <p>NOTES: COPING: PRE-FINISHED METAL COPING TO MATCH CONCRETE COLOR.</p> <p>HM DOORS: CUSTOM PAINT TO MATCH CONCRETE COLOR.</p>	 <p><b>MTL-1</b> PREFABRICATED METAL CANOPY AT DOCKS MANU: FIRESTONE COLOR: MATTE BLACK</p>	<p><b>GLASS-1</b> CURTAINWALL / STOREFRONT FINISHES:</p> <p>FRAMES:  FRAME FINISH: BLACK ANODIZED</p> <p>NOTE: CAULKING TO MATCH FRAME COLOR.</p>
 <p><b>MTL-2</b> PRE-FINISHED METAL SCREENS FOR RTUS [AT LOCATIONS OTHER THAN THE MAIN OFFICE] PRE-FINISHED METAL TO MATCH LIGHT CONCRETE TILT-UP PANELS, MARQUEE-LOK FLAT PANEL - ASH GRAY</p>	 <p><b>ACP-1</b> ALUMINUM COMPOSITE METAL PANELING MANU: ALUCOBOND COLOR: DUSTY CHARCOAL</p>	 <p><b>FCP-1</b> WOOD-LOOK FIBER CEMENT PANELING MANU: NICHHA COLOR: VINTAGEWOOD, CEDAR</p> <p>NOTE: COPING TO MATCH ALUCOBOND, DUSTY CHARCOAL</p>	<p><b>GLAZING:</b>  1" INSUL. CURTAIN WALL GLAZING, THERMALLY BROKEN MANUFACTURER: VIRACON VRE 19-46 (SPANDREL VRE-19-46 TO MATCH)</p>

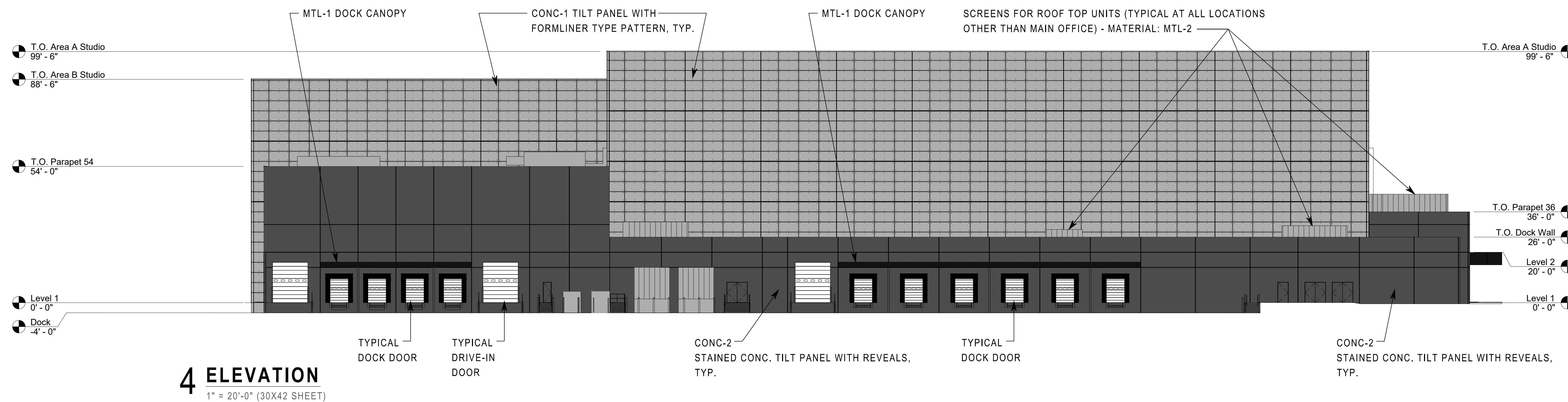
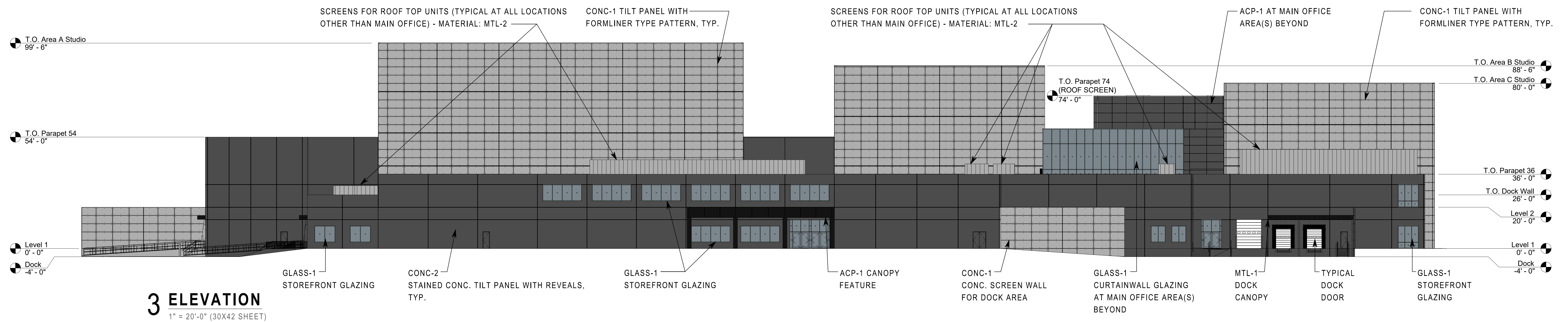
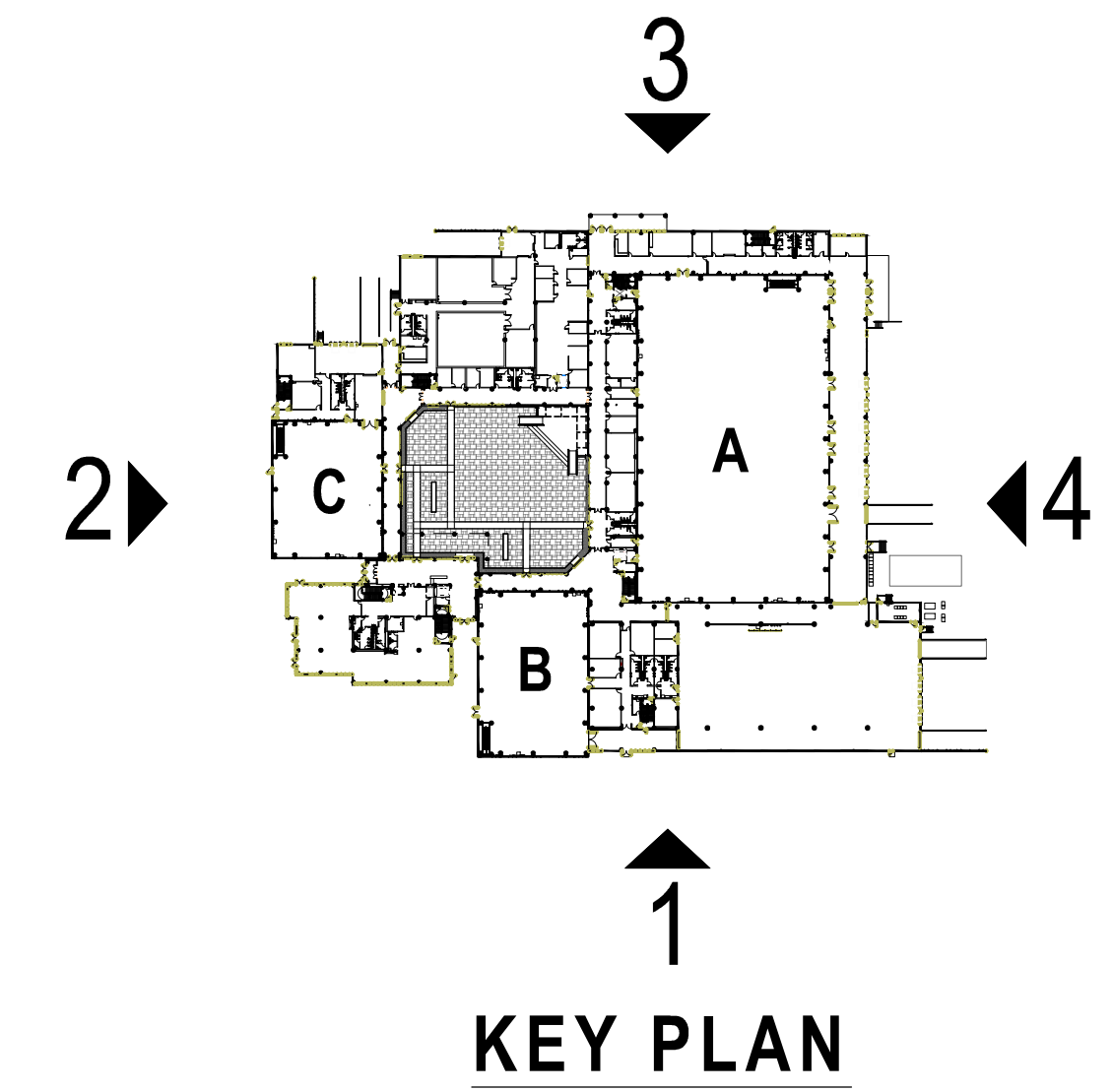




# GATEWAY STUDIOS - MAIN BUILDING | CHESTERFIELD, MO

GMA JOB NUMBER: SJ2324 DATE: 12.27.2023 - FOR AMENDED ARCHITECTURAL ELEVATION REVIEW ONLY

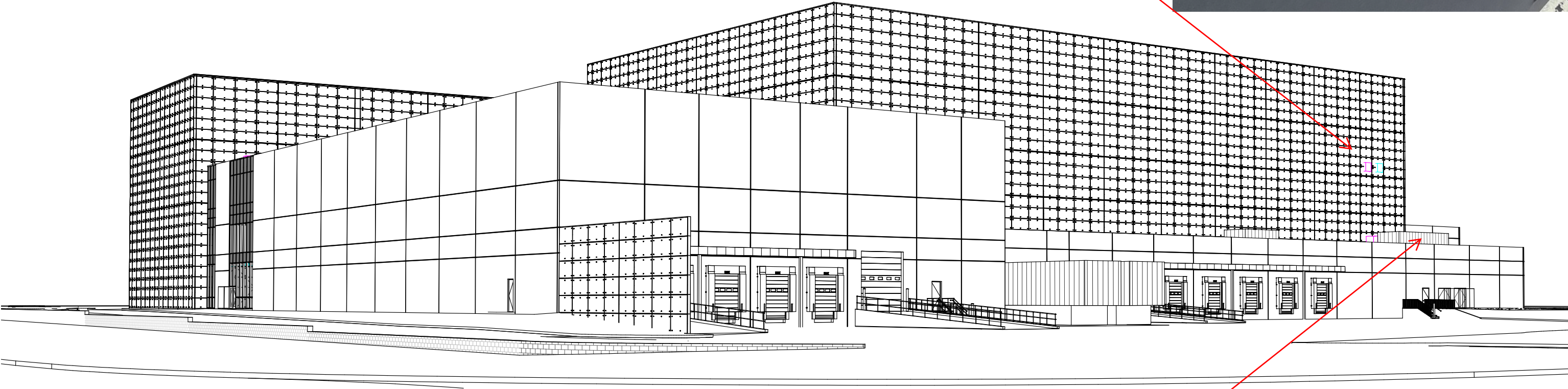
EXTERIOR FINISH SCHEDULE			
 <p><b>CONC-1</b> CONCRETE TILT PANEL COLOR: EXPOSED CONC. W/ FORMLINER PATTERN</p> <p>NOTES: COPING: PRE-FINISHED METAL COPING TO MATCH CONCRETE COLOR.</p> <p>HM DOORS: CUSTOM PAINT TO MATCH CONCRETE COLOR.</p>	 <p><b>CONC-2</b> CONCRETE TILT PANEL WITH STAIN STAIN COLOR: TO MATCH ONYX BY SOLOMAN READY MIX COLORS</p> <p>NOTES: COPING: PRE-FINISHED METAL COPING TO MATCH CONCRETE COLOR.</p> <p>HM DOORS: CUSTOM PAINT TO MATCH CONCRETE COLOR.</p>	 <p><b>MTL-1</b> PREFABRICATED METAL CANOPY AT DOCKS MANU: FIRESTONE COLOR: MATTE BLACK</p>	<p><b>GLASS-1</b> CURTAINWALL / STOREFRONT FINISHES:</p> <p>FRAMES:  FRAME FINISH: BLACK ANODIZED</p> <p>NOTE: CAULKING TO MATCH FRAME COLOR.</p>
 <p><b>MTL-2</b> PRE-FINISHED METAL SCREENS FOR RTUS [AT LOCATIONS OTHER THAN THE MAIN OFFICE] PRE-FINISHED METAL TO MATCH LIGHT CONCRETE TILT-UP PANELS, MARQUEE-LOK FLAT PANEL - ASH GRAY</p>	 <p><b>ACP-1</b> ALUMINUM COMPOSITE METAL PANELING MANU: ALUCOBOND COLOR: DUSTY CHARCOAL</p>	 <p><b>FCP-1</b> WOOD-LOOK FIBER CEMENT PANELING MANU: NICHIIHA COLOR: VINTAGEWOOD, CEDAR</p> <p>NOTE: COPING TO MATCH ALUCOBOND, DUSTY CHARCOAL</p>	<p><b>GLAZING:</b>  1" INSUL. CURTAIN WALL GLAZING, THERMALLY BROKEN MANUFACTURER: VIRACON VRE 19-46 (SPANDREL VRE-19-46 TO MATCH)</p>



BLACK (ONYX) STAIN

ALL ROOFTOP UNITS ARE RED SO THEY CAN BE EASILY SEEN. IF YOU DO NOT SEE RED, NO ROOFTOP EQUIPMENT CAN BE SEEN IN THIS VEIEW.

EXPOSED DUCTWORK WILL ENTER THE BUILDING DOWN LOW AT ROOFTOP UNIT HEIGHT. EXISTING HOLE WILL BE PATCHED TO MATCH CONC.



ROOF SCREEN MATERIAL HAS BEEN CHANGED TO A FLAT PANEL WITH VERTICAL JOINTS TO MATCH SIMILAR METAL PANELS ON THE BUILDING

SIGHT LINE - INT. OF CHESTERFIELD AIRPORT ROAD and EAST INTERIOR ROAD

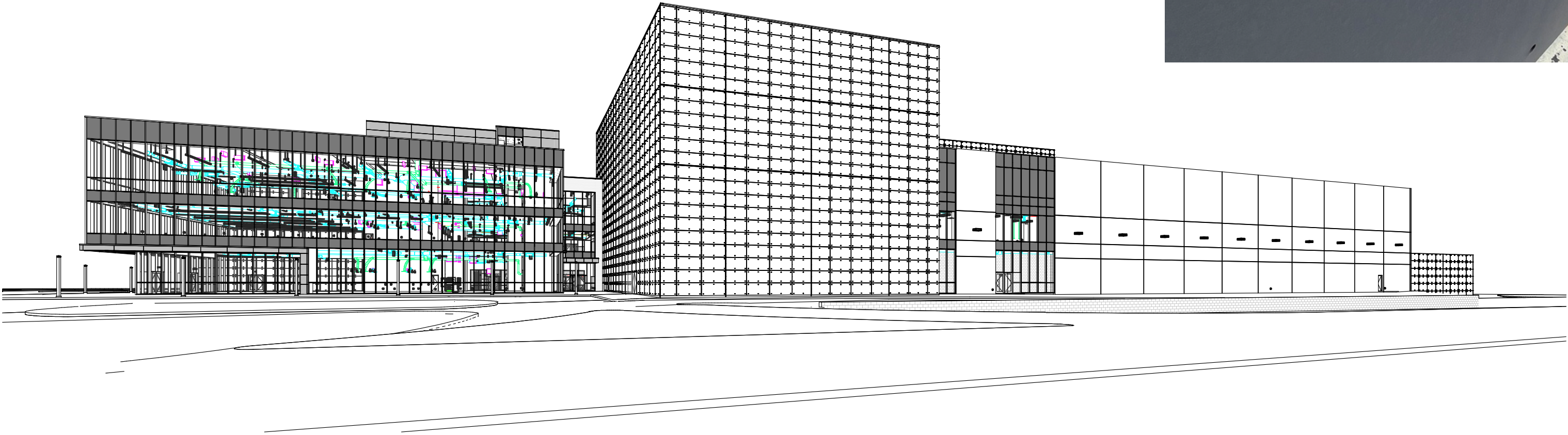
1 A5.05

ALL CONC. WALLS (EXCLUDING THE TALL STUDIO WALLS AND SCREEN WALLS WITH THE FORMLINER) TO BE STAINED BLACK (ONYX) AS DEFINED ON THE ORIGINAL COLOR ELEVATIONS. SEE ATTACHED INSET FOR A SAMPLE OF THIS STAIN.



BLACK (ONYX) STAIN

ALL ROOFTOP UNITS ARE RED SO THEY CAN BE EASILY SEEN. IF YOU DO NOT SEE RED, NO ROOFTOP EQUIPMENT CAN BE SEEN IN THIS VIEW.



SIGHT LINE - CHESTERFIELD AIRPORT ROAD  
ENTRANCE

2  
A5.05

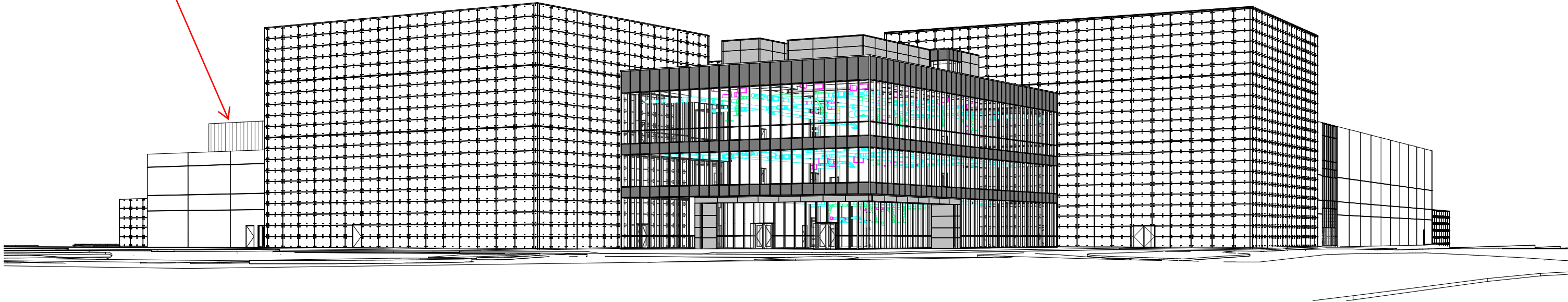
ALL CONC. WALLS (EXCLUDING THE TALL STUDIO WALLS AND SCREEN WALLS WITH THE FORMLINER) TO BE STAINED BLACK (ONYX) AS DEFINED ON THE ORIGINAL COLOR ELEVATIONS. SEE ATTACHED INSET FOR A SAMPLE OF THIS STAIN.

BLACK (ONYX) STAIN

ALL ROOFTOP UNITS ARE RED SO THEY CAN BE EASILY SEEN. IF YOU DO NOT SEE RED, NO ROOFTOP EQUIPMENT CAN BE SEEN IN THIS VIEW.



ROOF SCREEN MATERIAL HAS BEEN CHANGED TO A FLAT PANEL WITH VERTICAL JOINTS TO MATCH SIMILAR METAL PANELS ON THE BUILDING



SIGHT LINE - INT. OF SPIRIT and CHESTERFIELD AIRPORT ROADS

3  
A5.05

ALL CONC. WALLS (EXCLUDING THE TALL STUDIO WALLS AND SCREEN WALLS WITH THE FORMLINER) TO BE STAINED BLACK (ONYX) AS DEFINED ON THE ORIGINAL COLOR ELEVATIONS. SEE ATTACHED INSET FOR A SAMPLE OF THIS STAIN.

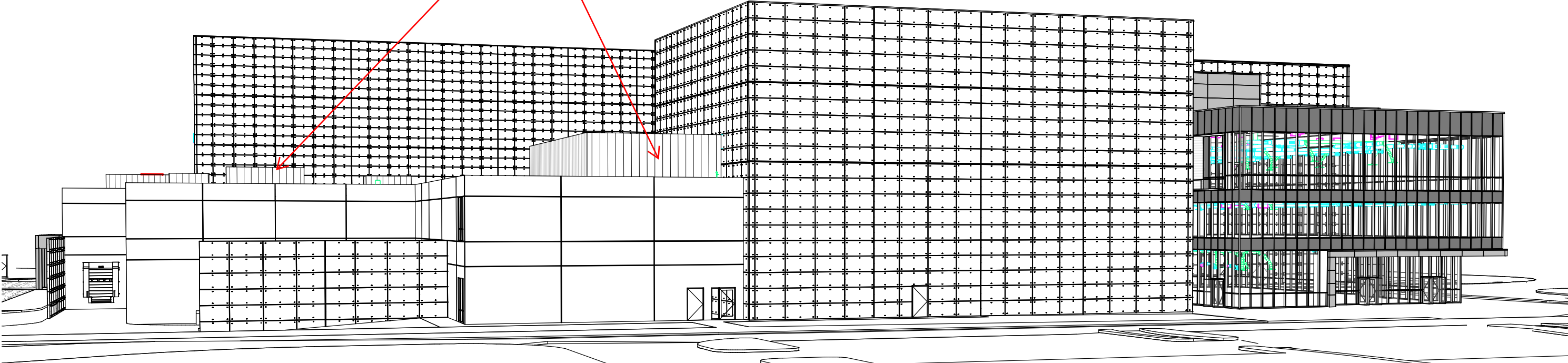


BLACK (ONYX) STAIN

ALL ROOFTOP UNITS ARE RED SO THEY CAN BE EASILY SEEN. IF YOU DO NOT SEE RED, NO ROOFTOP EQUIPMENT CAN BE SEEN IN THIS VEIEW.



ROOF SCREEN MATERIAL HAS BEEN CHANGED TO A FLAT PANEL WITH VERTICAL JOINTS TO MATCH SIMILAR METAL PANELS ON THE BUILDING



ALL CONC. WALLS (EXCLUDING THE TALL STUDIO WALLS AND SCREEN WALLS WITH THE FORMLINER) TO BE STAINED BLACK (ONYX) AS DEFINED ON THE ORIGINAL COLOR ELEVATIONS. SEE ATTACHED INSET FOR A SAMPLE OF THIS STAIN.

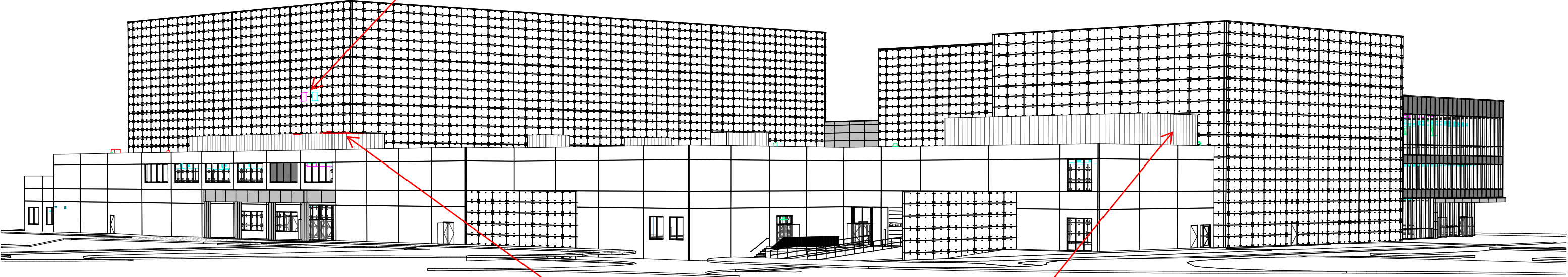
SIGHT LINE - INT. OF SPIRIT and NORTH INTERIOR ROAD

BLACK (ONYX) STAIN

ALL ROOFTOP UNITS ARE RED SO THEY CAN BE EASILY SEEN. IF YOU DO NOT SEE RED, NO ROOFTOP EQUIPMENT CAN BE SEEN IN THIS VIEW.



EXPOSED DUCTWORK WILL ENTER THE BUILDING DOWN LOW AT ROOFTOP UNIT HEIGHT. EXISTING HOLE WILL BE PATCHED TO MATCH CONC.



ROOF SCREEN MATERIAL HAS BEEN CHANGED TO A FLAT PANEL WITH VERTICAL JOINTS TO MATCH SIMILAR METAL PANELS ON THE BUILDING

SIGHT LINE - INT. OF SPIRIT and I-64 ENTRANCE

5  
A5.05

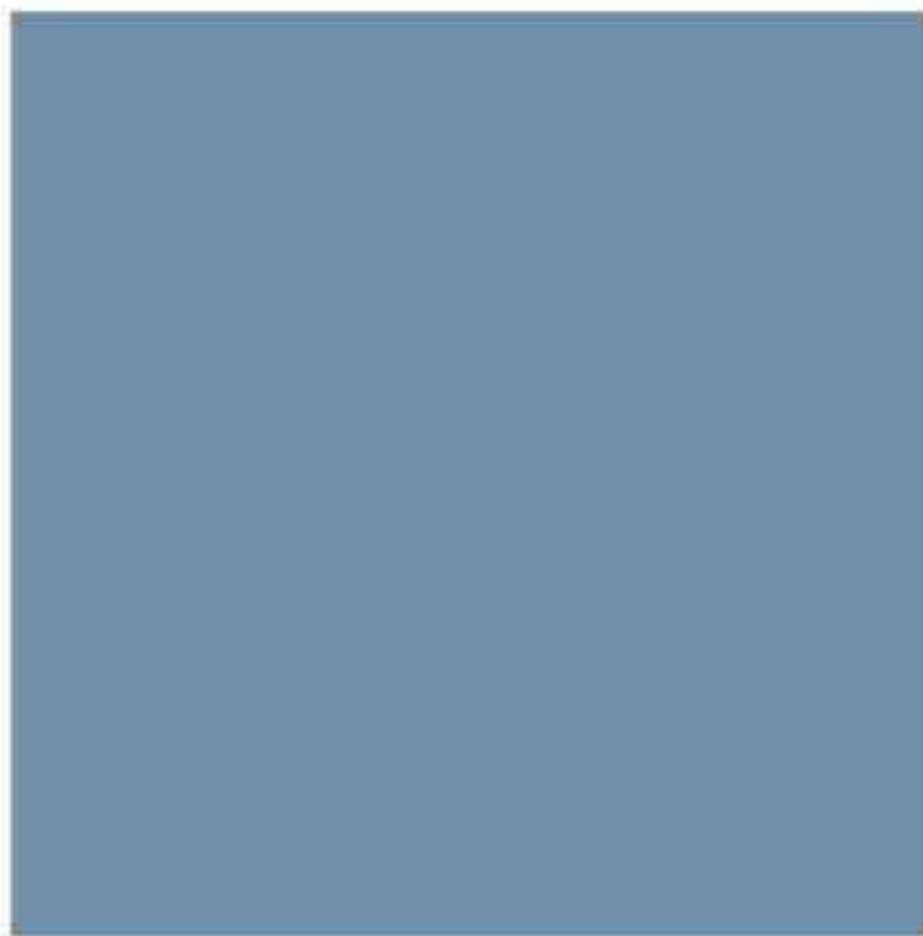
RAMP

ALL CONC. WALLS (EXCLUDING THE TALL STUDIO WALLS AND SCREEN WALLS WITH THE FORMLINER) TO BE STAINED BLACK (ONYX) AS DEFINED ON THE ORIGINAL COLOR ELEVATIONS. SEE ATTACHED INSET FOR A SAMPLE OF THIS STAIN.





## Standard Paint Options



RAL 5024 Pastel Blue



RAL 6029 Mint Green



RAL 3001 Signal Red



New CAT Yellow



RAL 1015 Light Ivory



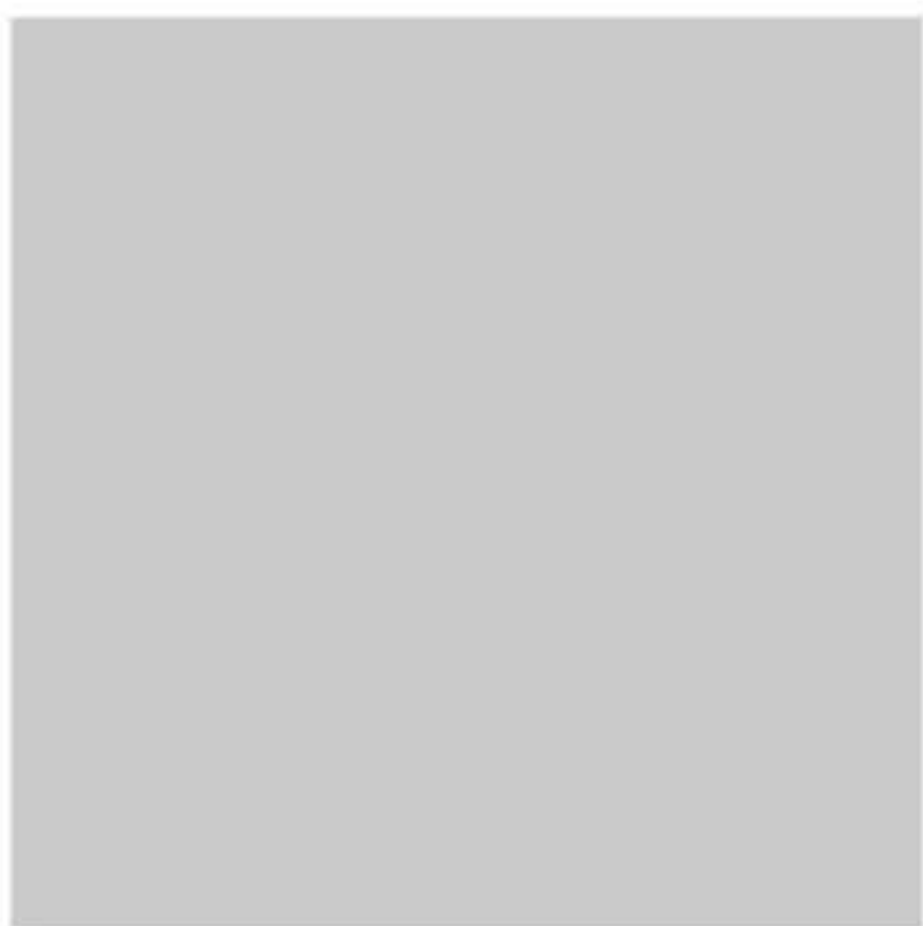
RAL 1019 Grey Beige



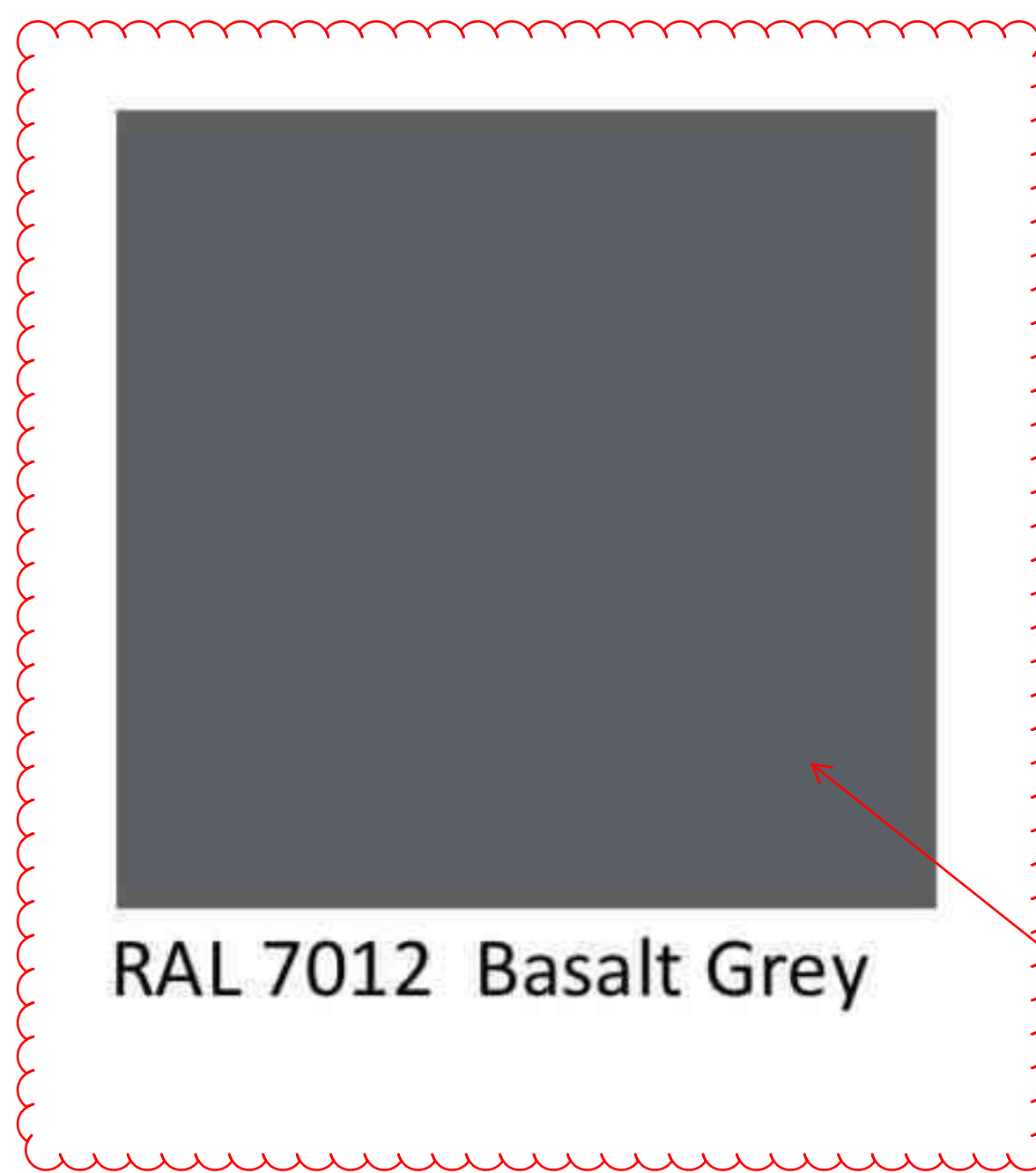
RAL 1001 Beige



RAL 8028 Terra Brown



RAL 7035 Light Grey



RAL 7012 Basalt Grey



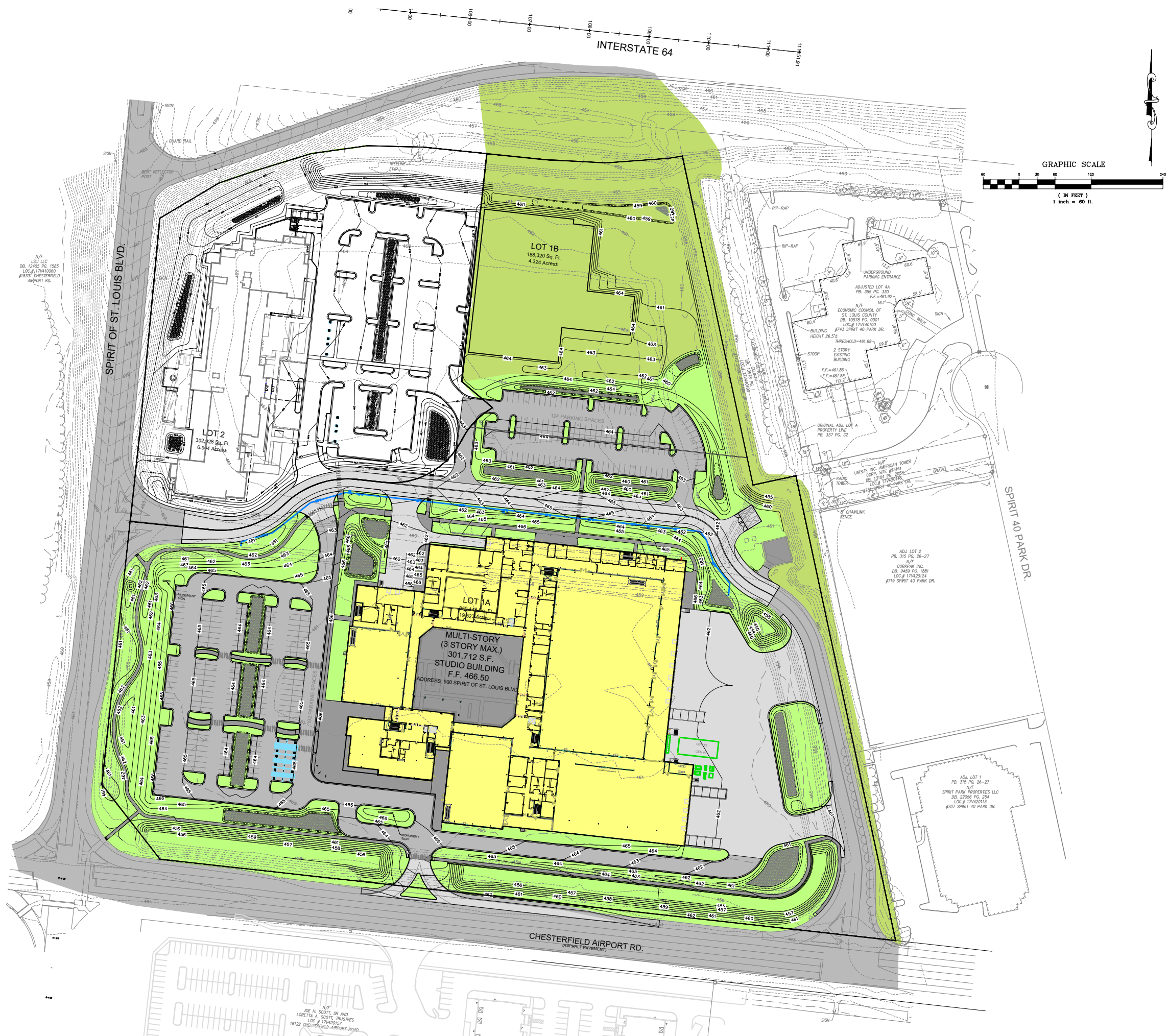
RAL 9003 Signal White



RAL 9016 Traffic White

**note:**  
HM man doors/frames to match  
1.20.2023 notes





PREPARED FOR:  
**GATEWAY STUDIOS, LLC**  
 JENKINS & KLING, P.C.  
 150 NORTH MERAMEC AVE., SUITE 400  
 CLAYTON, MO, 63105  
 ATTN: MR. STEPHEN L. KLING, JR., ESQ.

PREPARED BY:  
**STOCK & ASSOCIATES**  
 Consulting Engineers, Inc.  
 757 Elmwood Blvd., Chesterfield, Missouri 63005  
 ST. LOUIS OFFICE: 314-586-5000  
 ST. LOUIS OFFICE: 314-586-5000  
 ST. LOUIS OFFICE: 314-586-5000  
 e-mail: jgen@stockandassociates.com  
 Web: www.stockandassociates.com

AMENDED SITE DEVELOPMENT SECTION PLAN FOR:  
**GATEWAY STUDIOS AND HOTEL**  
 GATEWAY STUDIOS AND HOTEL  
 900 SPIRIT OF ST. LOUIS BLVD.  
 CHESTERFIELD, MISSOURI 63005

GEORGE M. STOCK 6-23116 CIVIL ENGINEER CERTIFICATE OF AUTHORITY NUMBER: 00096	
REVISIONS:	
DRAWN BY: J.E.F.	CHECKED BY: G.M.S.
DATE: 08/19/2023	JOB NO: 220-6874
M.S.D. P. #: 22880-00202	BASE MAP #: 1714
S.L.C. PART #: HT-6284	MAT SUP. #: 125-169-82
DRAWN BY: MORA-18437	
SHEET TITLE:	
SITE DEVELOPMENT PLAN	
SHEET NO.: 1.0	



