

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760  
Phone: 636-537-4000 • Fax 636-537-4798 • [www.chesterfield.mo.us](http://www.chesterfield.mo.us)

### Planning Commission Staff Report

**Meeting Date:** January 22, 2024

**From:** Isaak Simmers, Planner

**Location:** 16464 Burkhardt Place

**Description:** **West County YMCA (KAI Design):** An Amended Site Development Plan, Landscape Plan, and Amended Architectural Elevations for an existing YMCA facility located on a 5.6-acre tract of land located west of W. Chesterfield Pkwy, south of Burkhardt Pl, and north of Veteran's Place Dr.

#### **PROPOSAL SUMMARY**

KAI Design, on behalf of the West County YMCA, has submitted an Amended Site Development Plan, Landscape Plan, and Lighting Plan for a proposed demolition and expansion of the existing Chesterfield Family YMCA. The work will take place on the north façade of the building along Burkhardt Place and will include a minor amount of site work.

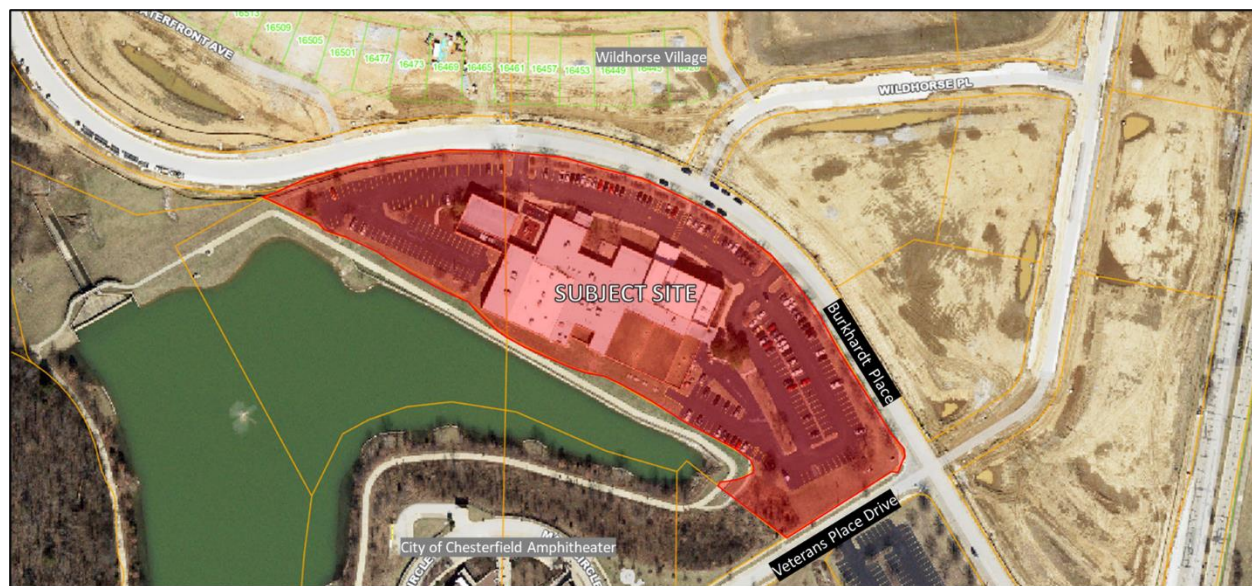


Figure 1: Subject Site

**HISTORY OF SUBJECT SITE**

PC 95-1987: Sachs Properties, INC requested a Conditional Use Permit “CUP” to allow a Recreation Center in a “R-6A” Residence District;

1992 CUP Amend: Sachs Properties, INC (West County YMCA) requested an amendment of the CUP in an “R-6A” Residence District to allow a 6,600 SF Addition;

PZ 33-1998: A request for a change in zoning from “R-6A” Residence District with a CUP to a “PC” Planned Commercial District;

2000 ASDP: A request for a 1 story building extension and accompanying parking;

PZ 01-2009: An ordinance repealing Ordinance 1496 and replacing it with new Ordinance 2520 to allow changes to the building and parking setbacks;

2012 ASDP: Monument Sign addition;

2021 ASDP: A request to renovate existing east and west site entrances, and add an entrance to the west elevation.

**ZONING & LAND USE**

The Subject Site is currently zoned “PC” Planned Commercial under governing [Ordinance 2520](#) and the land is designated as “City Center (Urban Transition)” in the Comprehensive Plan.

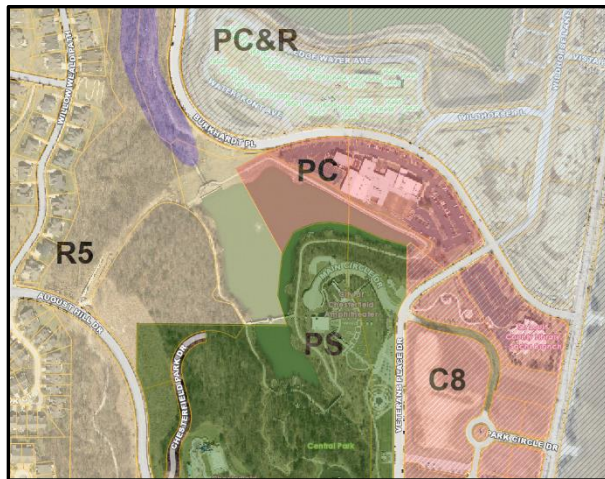


Figure 2: Zoning Map



Figure 3: Land Use Map

Direction	Zoning	Land Use
North	"PC&R" Planned Commercial & Residence District	Wildhorse Village
South	"PS / C8" Park and Scenic & Planned Commercial District	Central Park / St. Louis County Library - Sachs Branch
East	"PC&R" Planned Commercial & Residence District	Wildhorse Village
West	"R5" Residence District	Central Park Condominium Subdivision

Figure 4: Zoning and Land Use Table

### **COMPREHENSIVE PLAN**

The City of Chesterfield provides a character description of this area: “City Center (Urban Transition)” These areas offer residents the opportunity to live, work, shop and play within the larger City Center area. This Character Area includes a mixture of housing types and residential densities, integrated with a number of goods and services, especially in the downtown core. Buildings typically stand multiple stories often with residential units above storefronts or other pedestrian activity. Parking is satisfied using on-street parking, structures parking, or shared rear-lot parking strategies. An interconnected network of walkable streets connects the neighborhood to the downtown core. City Center (Urban Transition) areas have the following Development Policies:

- City Center should serve as the physical and visual focus for the City and include both residential and commercial development with parks, municipal services, and preservation of historic structures and areas, with cultural, entertainment and pedestrian amenities for its residents;
- The thoroughfare character should be urban and very walkable;
- Buildings to be constructed closer to the roadways to promote the pedestrian experience;
- Incorporate a comprehensive network of open space throughout to accommodate small parks, gathering places and community gardens; preserve tree stands; and help reduce stormwater runoff;
- The Urban Transition and Downtown land areas should have a pedestrian connection to unite the two urban areas of the City Center;
- Public art should be incorporated into new construction and re-development projects throughout the City Center.

### **STAFF ANALYSIS**

#### **A. Circulation System, Parking and Access**

Access is obtained by two curb cuts along Burkhardt Place and there are no proposed modifications. Per the UDC, the development is required 245 parking spaces. There are 241 existing parking spaces on site and the applicant has proposed an additional four spaces through modifications to their parking area. The modifications to the parking area include the removal of two parking aisles to ensure open space requirements are met (See figure 4). The area that was previously a single-loaded parking and drop-off lane will be modified to become a double-loaded parking area which will include twenty-five (25) regular spaces and nine (9) ADA spaces at the front entrance (See Figure 5).

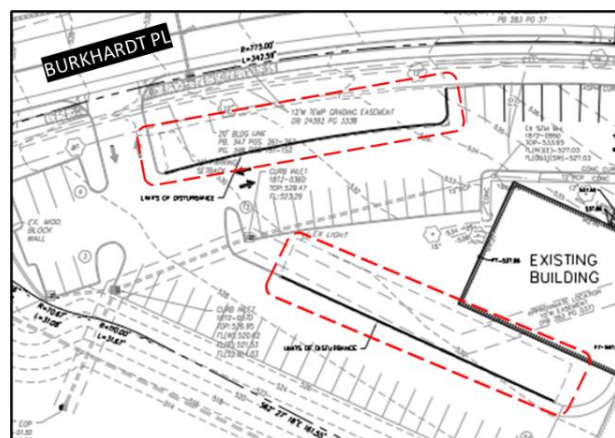


Figure 4: Proposed removal of parking

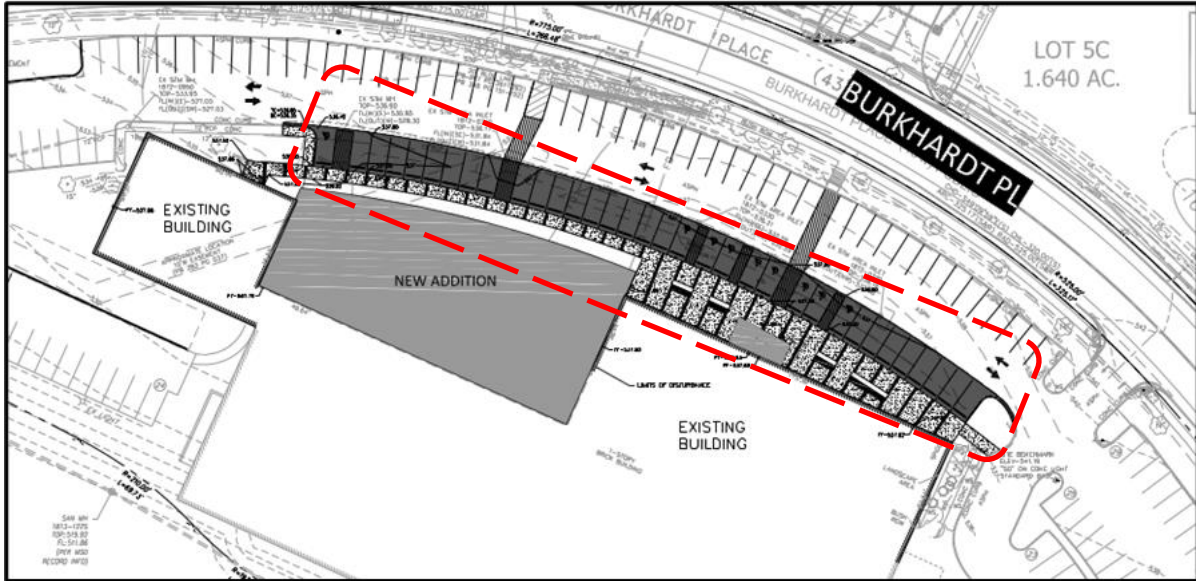


Figure 5: Proposed double-loaded parking area

### B. Landscape Design & Open Space

The applicant has provided a Tree Preservation Plan (TPP), Tree Stand Delineation (TSD), and Landscape Plan for review. The openspace requirement for this development is 35% and the proposed plan provides 35.6%. The existing landscaping will be maintained where it does not interfere with construction. The trees and landscaping along the length of the renovated parking area will be removed and relocated elsewhere on site. The applicant has proposed four landscaped “seat walls” flanking the new front entrance and proposed the removal of two parking aisles to accommodate more permeable green space (See Figure 4). The landscape plan includes five trees to be planted along the street and three trees along the northwest face of the building. The curb cuts along Burkhardt Place will be landscaped with perennial and shrub beds.

### C. Screening

The new building addition’s roof will extend slightly above the existing roofline and the applicant has proposed a gray metal screen for the rooftop mechanical equipment (See Figure 6). The rooftop screening will match the pre-finished metal fascia and belt line installed along the renovated glass façade as shown in the next section (See Figure 7).

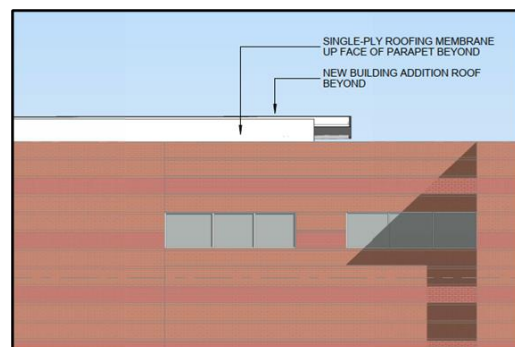


Figure 6: Partial south elevation (REAR VIEW)

**D. Materials and Design**

The renovated front façade will include an insulated glass storefront glazing system with pre-finished metal fascia and belt line (See Figure 7). Horizontal composite panels will be installed over existing brick veneer to add visual interest and a pre-finished metal plank ceiling soffit will be installed under the renovated canopies. The renovated new member entrance canopy will open to plaza pavement with paver inlay and include concrete seat wall planting structures.

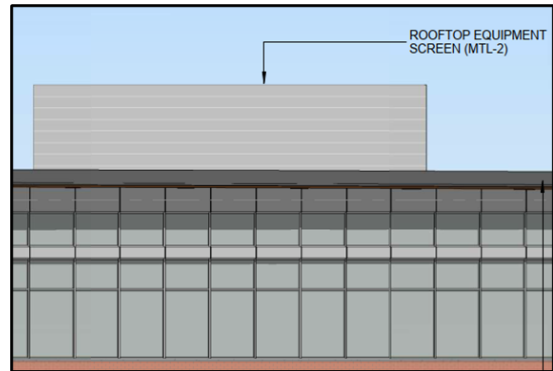


Figure 7: Partial north elevation; proposed mechanical equipment screening and curved glass façade

**E. Lighting**

The applicant has provided a photometric plan and has proposed three types of fixtures; seven Radean Bollard fixtures, three Gardco EcoForm Gen-2 parking lot lamps, and twelve Halo Commercial cut-off lensed downlights. The applicant has provided fixture cutsheets with the submittal and the Lighting Plan was found to comply with the Lighting Standards of [Section 405.04.030](#) of the Unified Development Code (UDC).

**ARCHITECTURAL REVIEW BOARD**

This project was reviewed by Architectural Review Board (ARB) on November 9, 2023 and the Board made a recommendation to approve, as presented.

**RENDERING(S)**



(Next page)



**DEPARTMENT INPUT**

Staff has reviewed this proposed development and found it to be in compliance with the City's Unified Development Code and site-specific ordinance. All outstanding comments have been addressed at this time and Staff recommends approval of the Amended Site Development Plan, Landscape Plan, and Lighting Plan for West County YMCA.

**MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

1. "I move to approve (or deny) the Amended Site Development Plan, Landscape Plan, and Lighting Plan for West County YMCA, as presented."
2. "I move to approve the Amended Site Development Plan, Landscape Plan, and Lighting Plan for West County YMCA with the following conditions..." (Conditions may be added, eliminated, altered or modified).



# Chesterfield Family YMCA

RENOVATION & EXPANSION

16464 BURKHARDT PL  
CHESTERFIELD, MO 63017



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Chesterfield Family YMCA  
PACKAGE 2 - PARTIAL DEMOLITION AND EXPANSION  
16464 BURKHARDT PL  
CHESTERFIELD, MO 63017  
ASDP REVIEW SUBMISSION

ISSUE MARK	DATE	DESCRIPTION

ISSUE DATE: 01/03/2024  
PROJECT NO: 15-23004-00  
DRAWN BY: SC  
CHECKED BY:

ORIGINAL SHEET SIZE IS 30" x 42"  
SHEET TITLE: COVER PAGE

SHEET NO: 2G0-00  
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**DEMOLITION NOTES:**

1. AREAS SURROUNDING THIS SITE WILL CONTAIN BOTH PEDESTRIAN AND VEHICLE TRAFFIC. ALL NECESSARY CARE SHALL BE TAKEN BY THE CONTRACTOR TO ENSURE THE SAFETY OF THE GENERAL PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND MAINTAINING SAFE AND EFFICIENT PROJECT LIMITS. THE CONTRACTOR SHALL FOLLOW ALL FEDERAL, STATE, AND LOCAL GUIDELINES WITH REGARDS TO CONSTRUCTION SAFETY THROUGHOUT THE ENTIRE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY BREACHES OF SAFETY OR DESTRUCTION OF PROPERTY RELATED TO THE CONSTRUCTION OF THIS PROJECT.
2. UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION BEFORE EXCAVATION OR TRENCHING TO AVOID DAMAGE THERETO.
3. ANY PAVEMENT INDICATED TO BE REMOVED SHALL BE REMOVED COMPLETELY. THIS INCLUDES ANY AND ALL GRANULAR BASE ENCOUNTERED.
4. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF ACCORDING TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS NOT TO DAMAGE ANY EXISTING SITE FEATURES TO REMAIN. IF ANY DAMAGE OCCURS, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY. THE CONTRACTOR SHALL REPAIR ALL DAMAGED ITEMS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
6. CONTRACTOR SHALL SAWCUT PAVEMENT AT LOCATIONS SHOWN, OR REMOVE ENTIRELY TO NEAREST AVAILABLE JOINT.
7. UNDERGROUND UTILITIES INDICATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, NOT ABANDONED IN PLACE.
8. PRIOR TO REMOVAL OF EXISTING UTILITIES, CONTRACTOR SHALL VERIFY THE UTILITY HAS BEEN DE-ENERGIZED. COORDINATE REMOVALS WITH ASSOCIATED RESPECTIVE UTILITY COMPANIES.
9. ANY EXISTING SITE FEATURES ENCOUNTERED WITHIN THE PROJECT AREA, BUT NOT SPECIFICALLY CALLED OUT ON THE PLANS, SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR FURTHER DIRECTION.
10. USE OF EXPLOSIVES AND/OR BURNING ON SITE IS NOT PERMITTED.

**SITE PLAN NOTES:**

1. ALL RADII AND OTHER DIMENSIONS FOR PAVEMENT AND WALK ARE TO THE EDGE OF PAVEMENT, EDGE OF WALK AND/OR BACK OF CURB.
2. CIVIL DRAWINGS SHALL NOT BE USED TO LOCATE OR CONSTRUCT BUILDING FOOTINGS, FOUNDATIONS, OR ANY OTHER STRUCTURE(S) ASSOCIATED WITH THE BUILDING(S). FOR LOCATION AND CONSTRUCTION OF BUILDING FOOTINGS, FOUNDATIONS, ETC., REFER TO THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
3. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK OR FACING MATERIAL, WHERE APPLICABLE.
4. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE. REFER TO RECORDED PLATS AND SURVEYS FOR ADDITIONAL PROPERTY INFORMATION.
5. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS & LAYOUT.
6. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO THEIR PHASE OF WORK. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATIONS FOR EACH UTILITY BEFORE WORK IS STARTED. THE CONTRACTOR SHALL NOTIFY IN WRITING THE OWNER OR THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN THE FIELD BEFORE WORK IS STARTED OR RESUMED.
7. ALL SIDEWALK, CURB AND GUTTER, STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMPS, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
8. FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
9. PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY THE ENGINEER OF ANY UNACCEPTABLE AREAS.
10. EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT.
11. SIDEWALK EXPANSION JOINTS ARE TO BE PLACED AT ALL WALK INTERSECTIONS AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES AND CONTROL JOINTS ARE TO BE EQUALLY SPACED BETWEEN EXPANSION JOINTS AND PERPENDICULAR TO SIDEWALKS AT 4' INTERVALS OR LESS WITH AN EXPANSION JOINT EVERY 20' OR LESS. BROOM FINISH WITH 1/8" PER FOOT SLOPE FOR DRAINAGE.
12. CONCRETE PAVEMENT MARKING LINES SHALL BE 4" WIDE PAINTED WHITE WITH TWO (2) COATS OF SHERWIN WILLIAMS "HOTLINE" FAST DRYING TRAFFIC MARKING PAINT. HANDICAP PARKING & HANDICAP SYMBOLS SHALL BE PAINTED COLOR & SIZE AS REQUIRED BY GOVERNING ACCESSIBILITY CODE.
13. UNLESS OTHERWISE SHOWN, PERMANENT SIGNS SHALL BE MOUNTED ON A SINGLE U-CHANNEL DRIVE POST DRIVEN 42 INCHES BELOW GRADE. THE BOTTOM EDGE OF THE SIGN SHALL BE 6 FEET ABOVE THE NEAREST PAVEMENT EDGE ELEVATION.
14. ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SODDED/SEEDED AREAS SHALL HAVE A MINIMUM OF 4" TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS TO BE PLANTED.
15. RESURFACE OR RECONSTRUCT AT LEAST TO ORIGINAL CONDITIONS ALL AREAS WHERE TRAFFIC BY CONTRACTORS, SUBCONTRACTORS, OR SUPPLIERS HAVE DAMAGED EXISTING PAVEMENT, LAWN, OR OTHER IMPROVEMENTS DURING CONSTRUCTION, AFTER CONSTRUCTION WORK IS COMPLETE.
16. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
17. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
18. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
19. PARKING LOT GRADING SHALL NOT EXCEED 5% MAX. CROSS SLOPE.
20. BASE OF PARKING LOT LIGHT POLES SHALL REMAIN UNPAINTED AND RUBBED SMOOTH. BASE SHALL BE 22" TALL FROM FINISHED GRADE.
21. SITE SHALL COMPLY WITH ALL ADA ACCESSIBLE REGULATIONS.
22. SIDEWALKS ALONG ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1:20.
23. SITE LIGHTING SHALL BE INSTALLED SO AS NOT TO CAST LIGHT DIRECTLY ON PUBLIC RIGHT-OF-WAY OR ADJOINING PROPERTY. ALL EXTERIOR LIGHTING MUST BE IESNA RATED CUT-OFF OR FULL CUT-OFF FOR USE ON THE SITE.
24. UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION BEFORE EXCAVATION OR TRENCHING TO AVOID DAMAGE THERETO.
25. ANY UTILITY CONNECTIONS SHALL BE COMPLETED TO THE APPROPRIATE STANDARDS OF EACH RESPECTIVE UTILITY COMPANY.

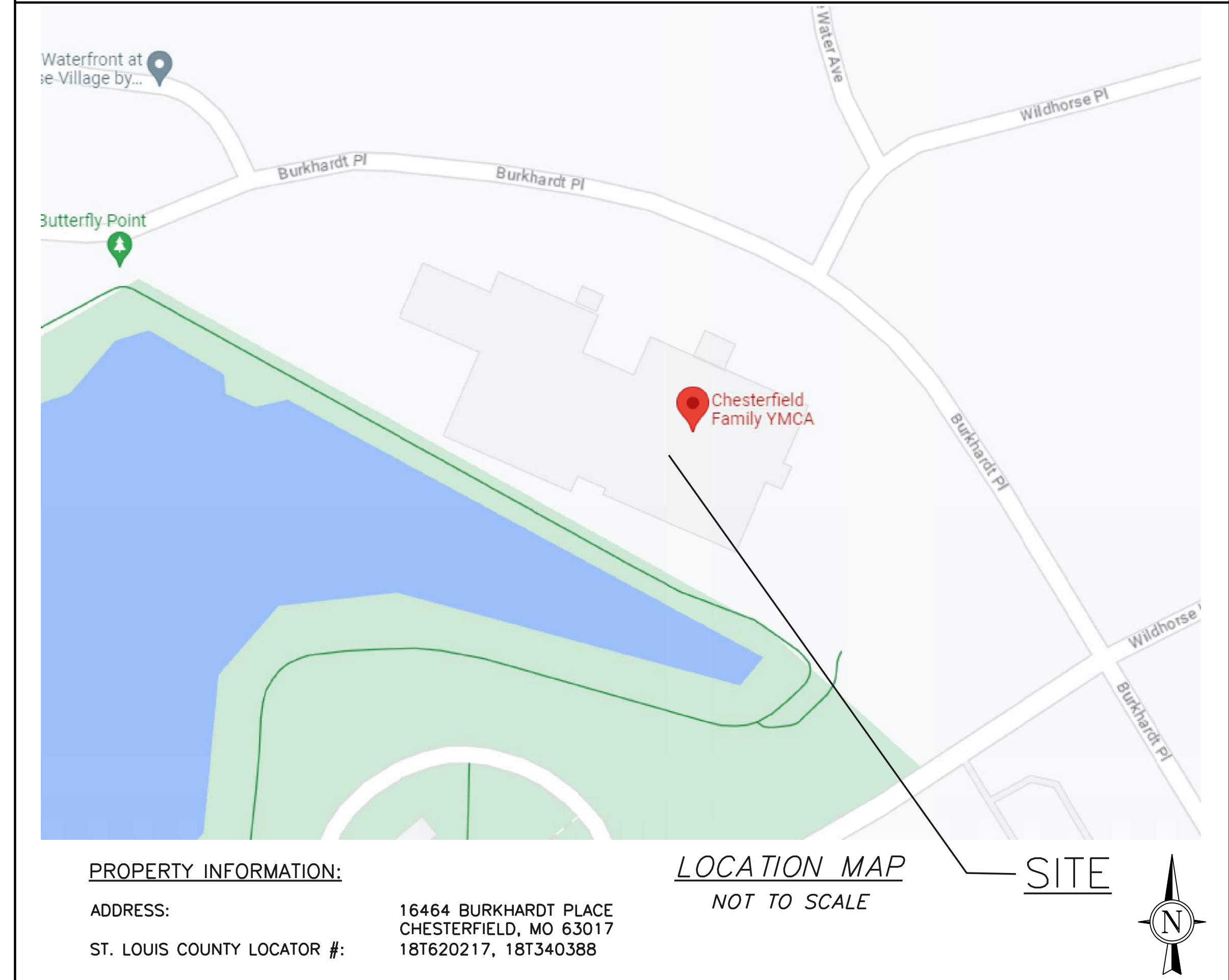
**UTILITY NOTES:**

1. LOCATE EXISTING UNDERGROUND UTILITIES AND SEWERS IN AREAS OF WORK PRIOR TO STARTING OPERATIONS. WHEN UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF PROTECTION DURING OPERATIONS. SHOULD UNKNOWN UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY FOR FURTHER DIRECTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NECESSARY CONSTRUCTION, INSPECTIONS, ETC. WITH ALL UTILITY COMPANIES/JURISDICTIONS INVOLVED WITH THIS PROJECT. THE CONTRACTOR SHALL ALSO PAY ANY FEES ASSOCIATED WITH PERMITS, INSPECTIONS, AND ANY OTHER CONSTRUCTION-RELATED ACTIVITIES.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' BETWEEN ANY WATER LINE AND ANY SANITARY SEWER LINE. AT CROSSINGS, A MINIMUM OF 18" IS REQUIRED BETWEEN WATER AND SANITARY LINES. DIMENSIONS INDICATED ARE OUTSIDE OF PIPE TO OUTSIDE PIPE MINIMUMS.
4. CONTRACTOR SHALL PROVIDE TEMPORARY COVERS FOR ANY EXCAVATIONS LEFT UNATTENDED FOR ANY PERIOD OF TIME.
5. SIZE OF UTILITY TRENCH EXCAVATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL ADJUST SIZE OF TRENCH EXCAVATIONS AS REQUIRED ON A CASE BY CASE BASIS TO PROPERLY CONSTRUCT UTILITY SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING TRENCH EXCAVATIONS AS REQUIRED ACCORDING TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
6. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH APPLICABLE OSHA REGULATIONS.
7. ALL SEWER LINE CONSTRUCTION SHALL BE COMPLETED TO METROPOLITAN ST. LOUIS SEWER DISTRICT (MSD) STANDARDS.
8. ALL WATER LINE CONSTRUCTION SHALL BE COMPLETED TO MISSOURI AMERICAN WATER (MOAW) STANDARDS.
9. ALL NATURAL GAS CONSTRUCTION SHALL BE COMPLETED TO SPIRE ENERGY STANDARDS.
10. ALL ELECTRIC/POWER LINE CONSTRUCTION SHALL BE COMPLETED TO AMEREN STANDARDS.
11. ALL FIBEROPTIC/TELECOM CONSTRUCTION SHALL BE COMPLETED TO THE APPROPRIATE STANDARDS OF EACH RESPECTIVE FIBEROPTIC/TELECOM COMPANY.

**EROSION CONTROL NOTES:**

1. CONTRACTOR SHALL USE SEDIMENT AND EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PUT IN PLACE BEFORE ANY DEMOLITION OR CONSTRUCTION IS SET TO BEGIN. EROSION CONTROL SHALL NOT BE REMOVED UNTIL ADEQUATE VEGETATIVE COVER HAS BEEN ESTABLISHED.
2. ALL DISTURBED AREAS SHALL BE RESTORED AS SOON AS PRACTICAL.
3. ROADS TO BE INSPECTED DAILY FOR SEDIMENT AND MUD FROM CONSTRUCTION ACTIVITIES. ANY SEDIMENT OR MUD FOUND DURING DAILY INSPECTION SHALL BE REMOVED FROM STREET ON THE SAME DAY DISCOVERED. ALL CLEANING/WASHING OF STREETS SHALL BE COMPLETED TO CITY OF CHESTERFIELD AND MISSOURI DEPARTMENT OF NATURAL RESOURCE (MDNR) STANDARDS.
4. CITY OF CHESTERFIELD THE RIGHT TO REQUIRE ADDITIONAL SILTATION DEVICES AS IT DEEMS NECESSARY. CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING ADDITIONAL SILTATION DEVICES AS REQUESTED TO THE SATISFACTION OF THE CITY OF KIRKWOOD AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR SHALL PROVIDE INLET PROTECTION FOR ANY INLETS RECEIVING RUNOFF FROM PROJECT DISTURBED AREAS.
6. WHEN DEWATERING EXCAVATIONS, THE CONTRACTOR SHALL NOT DISCHARGE MUDDY WATER.

**LOCATION MAP**



PROPERTY INFORMATION:

ADDRESS: 16464 BURKHARDT PLACE  
CHESTERFIELD, MO 63017  
ST. LOUIS COUNTY LOCATOR #: 18T620217, 18T340388

LOCATION MAP  
NOT TO SCALE

SITE

**CIVIL ABBREVIATIONS**

AC	ACRES	OHE	OVERHEAD ELECTRIC
ASPH	ASPHALT	ORD	ORDINANCE
BC	BACK OF CURB	PB	PLAT BOOK
BIT	BITUMINOUS	PC	POINT OF CURVATURE
BK	BOOK	PCA	PORTLAND CONCRETE ASSOCIATION
BLDG	BUILDING	PCC	PORTLAND CEMENT CONCRETE
BM	BENCHMARK	PCH	PIPE CULVERT HEADWALLS
BW	BOTTOM OF WALL	PG	PAGE
(C)	CALCULATED	PI	POINT OF INTERSECTION
CL	CENTERLINE	PIV	POST INDICATOR VALVE
CLF	CHAIN LINK FENCE	PL	PROPERTY LINE
CI	CURB INLET	PP	POWER POLE
CJ	CONSTRUCTION JOINT	PROP	PROPOSED
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEANOUT	PT	POINT OF TANGENT
CONC	CONCRETE	PVC	POINT OF VERTICAL CURVE
CPR	COPPER PIPE	PVT	POLYVINYL CHLORIDE PIPE
CS	COMBINED SEWER	PVI	POINT OF VERTICAL INTERSECTION
CT	COOLING TOWER	PVMT	PAVEMENT
DB	DEED BOOK	PVT	POINT OF VERTICAL TANGENT
DI	DUCTILE IRON PIPE	R, RAD	RADIUS
DIA	DIAMETER	(R)	PER RECORD DOCUMENT
DIM	DIMENSION	RCP	REINFORCED CONCRETE PIPE
DND	DO NOT DISTURB	RD	ROADWAY
DS	DOWNSPOUT	ROW	RIGHT OF WAY
DW	DOMESTIC WATER	RR TIE	RAILROAD TIE WALL
E	EAST	RTE	ROUTE
E MH	ELECTRIC MANHOLE	S	SOUTH
ELEC	ELECTRIC	SBM	SITE BENCHMARK
ELEV	ELEVATION	SF	SQUARE FEET
EOP	EDGE OF PAVEMENT	SP	SPACES
EX, EXIST	EXISTING	SPEC	SPECIFICATION
EJ	EXPANSION JOINT	SS, SA	SANITARY SEWER
ET	ELECTRIC TRANSFORMER	ST	STORM SEWER
FF	FINISH FLOOR	STA	STATION
FH	FIRE HYDRANT	STL	STEEL PIPE
FL	FLOW LINE	TBA	TO BE ABANDONED
FO	FIBER OPTIC	TBA&F	TO BE ABANDONED AND FILLED
FP	FIRE PROTECTION	TBR	TO BE REMOVED
FW	FIRE WATER	TBR&R	TO BE REMOVED AND REPLACED
G	NATURAL GAS	TBR&S	TO BE REMOVED AND SALVAGED
GM	GAS METER	TC	TOP OF CURB
GV	GAS VALVE	TELE	TELEPHONE
HORIZ	HORIZONTAL	TI	TOP OF INLET
ID	INSIDE DIAMETER	TRANS	TRANSFORMER
INV	INVERT	TW	TOP OF WALL
L	LENGTH	TYP	TYPICAL
(M)	MEASURED IN FIELD	UG	UNDERGROUND
MAX	MAXIMUM	UGE	UNDERGROUND ELECTRIC
MEP	MECHANICAL/ELECTRICAL/PLUMBING	UGT	UNDERGROUND TELEPHONE
MH	MANHOLE	UIP	USE IN PLACE
MIN	MINIMUM	VAC	VACATED
MISC	MISCELLANEOUS	VCP	VITRIFIED CLAY PIPE
MON	MONUMENT	VERT	VERTICAL
N	NORTH	W	WEST
NIC	NOT IN CONTRACT	W/	WITH
NO	NUMBER	W MH	WATER MANHOLE
NTS	NOT TO SCALE	WC	WALL CORNER
OC	OUT CENTER	WM	WATER METER
OD	OUTSIDE DIAMETER	WV	WATER VALVE
OH	OVERHEAD	WWF	WELDED WIRE FABRIC
		UNO	UNLESS NOTED OTHERWISE

**GRADING NOTES:**

1. INTERIM STORM WATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
2. NO SLOPES SHALL EXCEED 1V:3H.
3. PROPOSED ELEVATIONS SHOWN ON PLAN ARE FINISH GRADE ELEVATIONS.
4. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS DURING COMPACTION OF BACKFILL MATERIALS OVER THE TOP OF STRUCTURES OR PIPES IN ORDER TO PREVENT DAMAGE TO THE WATERPROOFING MEMBRANES, JOINTS, SEALS, AND STRUCTURES THEMSELVES.
5. CLEARING TECHNIQUES THAT RETAIN VEGETATION TO THE MAXIMUM EXTENT PRACTICAL SHALL BE USED, AND THE TIME PERIOD FOR DISTURBED AREAS TO BE WITHOUT VEGETATIVE COVER SHALL BE MINIMIZED TO THE EXTENT PRACTICAL.
6. WHEN ANY GRADING OCCURS PRIOR TO FINAL GRADING, THE SITE SHALL AT ALL TIMES BE MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.



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Chesterfield Family YMCA  
PACKAGE 2 - PARTIAL DEMOLITION AND EXPANSION  
16464 BURKHARDT PL  
CHESTERFIELD, MO 63017

ASDP REVIEW SUBMISSION



01/03/2024

ISSUE:	MARK:	DATE:	DESCRIPTION:
ISSUE DATE:		01/03/2024	
PROJECT NO.:		15-23004-00	
DRAWN BY:		ACZ	
CHECKED BY:		JEF	

ORIGINAL SHEET SIZE IS 30" x 42"

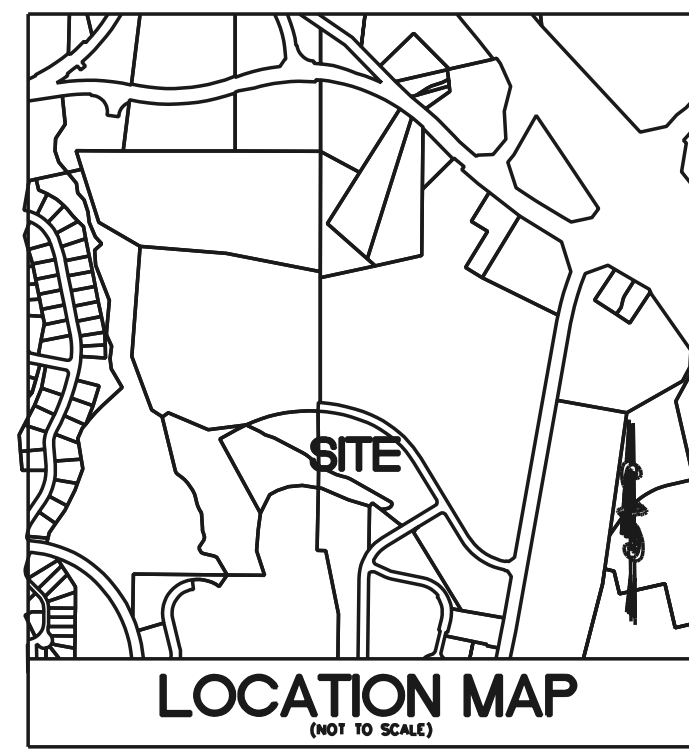
SHEET TITLE

**CIVIL GENERAL INFORMATION**

SHEET NO.

2C-000

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**OPEN SPACE:**

EXISTING	
PARKING AND DRIVES	96,062 SQ FT
BUILDINGS	58,581 SQ FT
TOTAL	154,643 SQ FT
GREEN SPACE AND SIDEWALKS	89,921 SQ FT
ENTIRE PROPERTY	244,564 SQ FT
GREEN SPACE PERCENTAGE	36.77 PERCENT

PROVIDED	
PARKING AND DRIVES	93,316 SQ FT
BUILDINGS	64,044 SQ FT
TOTAL	157,360 SQ FT
GREEN SPACE AND SIDEWALKS	87,204 SQ FT
ENTIRE PROPERTY	244,564 SQ FT
GREEN SPACE PERCENTAGE	35.66 PERCENT

REQUIRED > 35.00 PERCENT

# FOURTH AMENDED SITE DEVELOPMENT PLAN

A TRACT OF LAND IN U.S. SURVEY 415 AND 2002, T. 45 N. R. 4 E. CITY OF CHESTERFIELD, ST. LOUIS COUNTY MO.

**PERTINENT DATA**

OWNER	=	YOUNG MEN'S CHRISTIAN ASSOCIATION
ZONING	=	PC - ORD. #2520
SITE ACREAGE	=	5.615±
LOCATOR NO.	=	181620217
FIRE DISTRICT	=	CHESTERFIELD FIRE PROTECTION DISTRICT
SCHOOL DISTRICT	=	PARKWAY
SEWER DISTRICT	=	M.S.D.
WATER SHED	=	BONHOMME CREEK
WATER SERVICE	=	MISSOURI AMERICAN WATER COMPANY
GAS SERVICE	=	SPIRE GAS COMPANY
ELECTRIC SERVICE	=	AMEREN

**ST. LOUIS COUNTY BENCHMARK**  
 BENCHMARK 12048  
 NAD83 Elev = 557.81  
 5"± on top of curb at end of roadway along the north curb line of the westerly extension of Burkhardt Place on the east side of Chesterfield Village Parkway; 0.2 mile north of Lydia Hill Drive.

### PARKING DATA

EXISTING	241 P.S.
PROPOSED SPACES PROVIDED	44 P.S.
PROVIDED PARKING	245 P.S. TOTAL
REQUIRED PARKING (3.3 SPACES PER 1,000 S.F.) (73,985 S.F. / 1,000 X 3.3 SPACES)	245 P.S. TOTAL
PROVIDED ADA ACCESSIBLE PARKING	11 P.S. TOTAL

### SHEET INDEX

2C-000	CIVIL GENERAL INFORMATION
2C-001	FOURTH AMENDED SITE DEVELOPMENT PLAN
2C-002	DETAILS
2L-100	TREE STAND DELINEATION
2L-101	TREE STAND DELINEATION
2L-200	TREE PRESERVATION PLAN
2L-201	TREE PRESERVATION PLAN
2L-300	LANDSCAPE PLAN
2L-301	LANDSCAPE PLAN

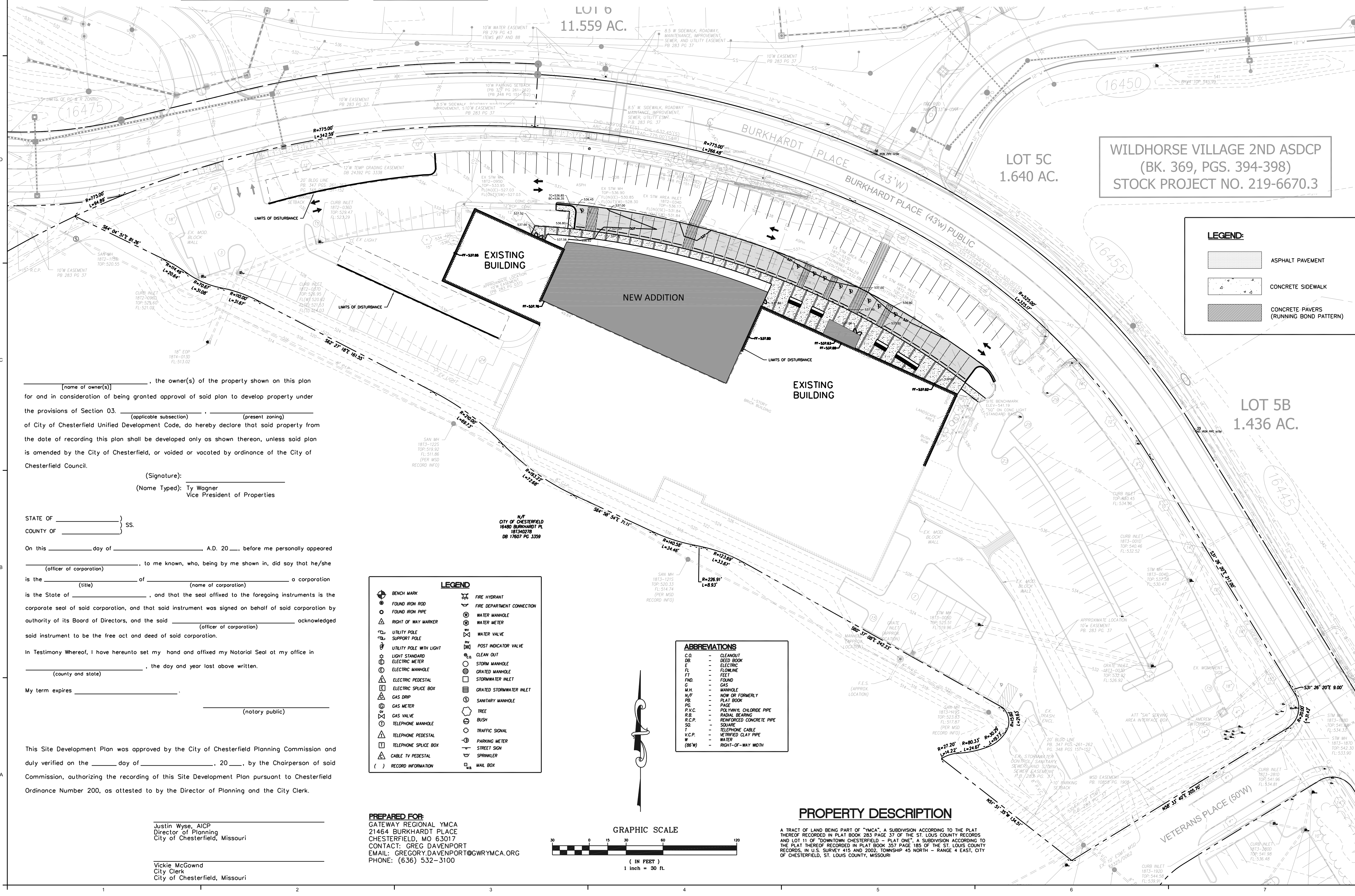
**KAI**  
 2060 Craigshire Road  
 Saint Louis, MO 63146  
 T. 314.241.8188  
 F. 314.241.0125  
 www.kai-db.com  
 TPE Registration No. F-010

**SSC**

**Larson Engineering**

**PLANNING DESIGN STUDIO**

**CDI COMMUNITIES**



**WILDHORSE VILLAGE 2ND ASDCP**  
 (BK. 369, PGS. 394-398)  
 STOCK PROJECT NO. 219-6670.3

**LEGEND:**

	ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVERS (RUNNING BOND PATTERN)

I, the owner(s) of the property shown on this plan for and in consideration of being granted approval of said plan to develop property under the provisions of Section 03. \_\_\_\_\_ (applicable subsection) \_\_\_\_\_ (present zoning) of City of Chesterfield Unified Development Code, do hereby declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or voided or vacated by ordinance of the City of Chesterfield Council.

(Signature): \_\_\_\_\_  
 (Name Typed): Ty Wagner  
 Vice President of Properties

STATE OF \_\_\_\_\_ SS.  
 COUNTY OF \_\_\_\_\_

On this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_\_\_, before me personally appeared \_\_\_\_\_ (officer of corporation) to me known, who, being by me shown in, did say that he/she is the \_\_\_\_\_ (title) of \_\_\_\_\_ (name of corporation) a corporation is the State of \_\_\_\_\_, and that the seal affixed to the foregoing instruments is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said \_\_\_\_\_ (officer of corporation) acknowledged said instrument to be the free act and deed of said corporation.

In Testimony Whereof, I have hereunto set my hand and affixed my Notarial Seal at my office in \_\_\_\_\_ (county and state) \_\_\_\_\_, the day and year last above written.  
 My term expires \_\_\_\_\_ (notary public)

This Site Development Plan was approved by the City of Chesterfield Planning Commission and duly verified on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by the Chairperson of said Commission, authorizing the recording of this Site Development Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning and the City Clerk.

Justin Wyse, AICP  
 Director of Planning  
 City of Chesterfield, Missouri

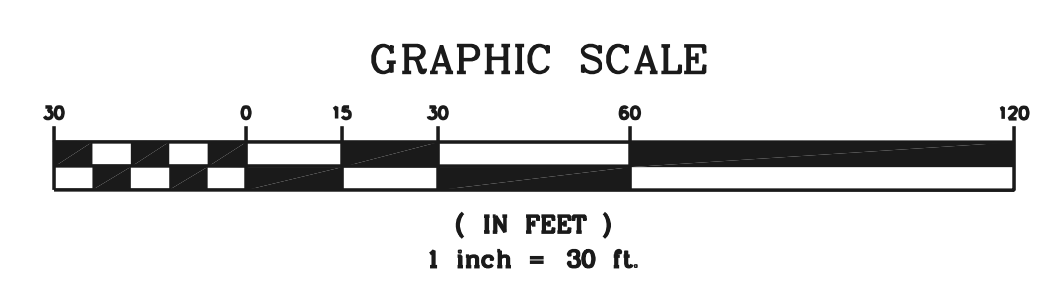
Vickie McGownd  
 City Clerk  
 City of Chesterfield, Missouri

**LEGEND**

	BENCH MARK		FIRE HYDRANT
	FOUND IRON ROD		FIRE DEPARTMENT CONNECTION
	FOUND IRON PIPE		WATER MANHOLE
	RIGHT OF WAY MARKER		WATER METER
	UTILITY POLE		WATER VALVE
	SUPPORT POLE		POST INDICATOR VALVE
	UTILITY POLE WITH LIGHT		CLEAN OUT
	LIGHT STANDARD		STORM MANHOLE
	ELECTRIC METER		GRATED MANHOLE
	ELECTRIC MANHOLE		STORMWATER INLET
	ELECTRIC PEDESTAL		GRATED STORMWATER INLET
	ELECTRIC SPLICE BOX		SANITARY MANHOLE
	GAS DRIP		TREE
	GAS METER		BUSH
	GAS VALVE		TRAFFIC SIGNAL
	TELEPHONE MANHOLE		PARKING METER
	TELEPHONE PEDESTAL		STREET SIGN
	TELEPHONE SPLICE BOX		SPRINKLER
	CABLE TV PEDESTAL		MAIL BOX
	RECORD INFORMATION		

**ABBREVIATIONS**

C.O.	=	CLEANOUT
DR	=	DEED BOOK
E	=	ELECTRIC
FL	=	FLOWLINE
FT	=	FEET
FND.	=	FOUND
G	=	GAS
M.H.	=	MANHOLE
N.O.F.	=	NOW OR FORMERLY
PL	=	PLAT BOOK
P.C.	=	PIPE
P.V.C.	=	POLYVINYL CHLORIDE PIPE
R.B.	=	RADIAL BEARING
R.C.P.	=	REINFORCED CONCRETE PIPE
SQ.	=	SQUARE
T	=	TELEPHONE
W.C.P.	=	WATER
W	=	WATER
(86'W)	=	RIGHT-OF-WAY WIDTH

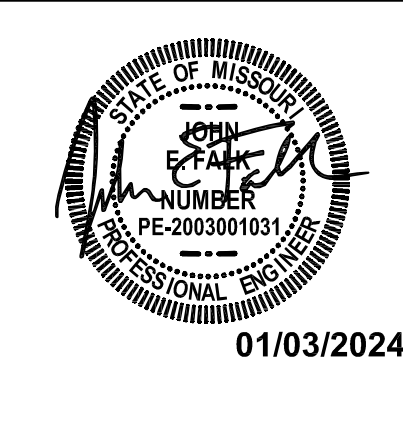


### PROPERTY DESCRIPTION

A TRACT OF LAND BEING PART OF "YMCA", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 283 PAGE 37 OF THE ST. LOUIS COUNTY RECORDS AND LOT 11 OF "DOWNTOWN CHESTERFIELD - PLAT ONE", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 357 PAGE 185 OF THE ST. LOUIS COUNTY RECORDS, IN U.S. SURVEY 415 AND 2002, TOWNSHIP 45 NORTH - RANGE 4 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

**PREPARED FOR:**  
 GATEWAY REGIONAL YMCA  
 21464 BURKHARDT PLACE  
 CHESTERFIELD, MO 63017  
 CONTACT: GREG DAVENPORT  
 EMAIL: GREGORY.DAVENPORT@CWRYMCA.ORG  
 PHONE: (636) 532-3100

**PROJECT FOR:** Enter Name  
**YMCA Chesterfield Renovation and Expansion**  
 16464 BURKHARDT PL  
 CHESTERFIELD, MO 63017



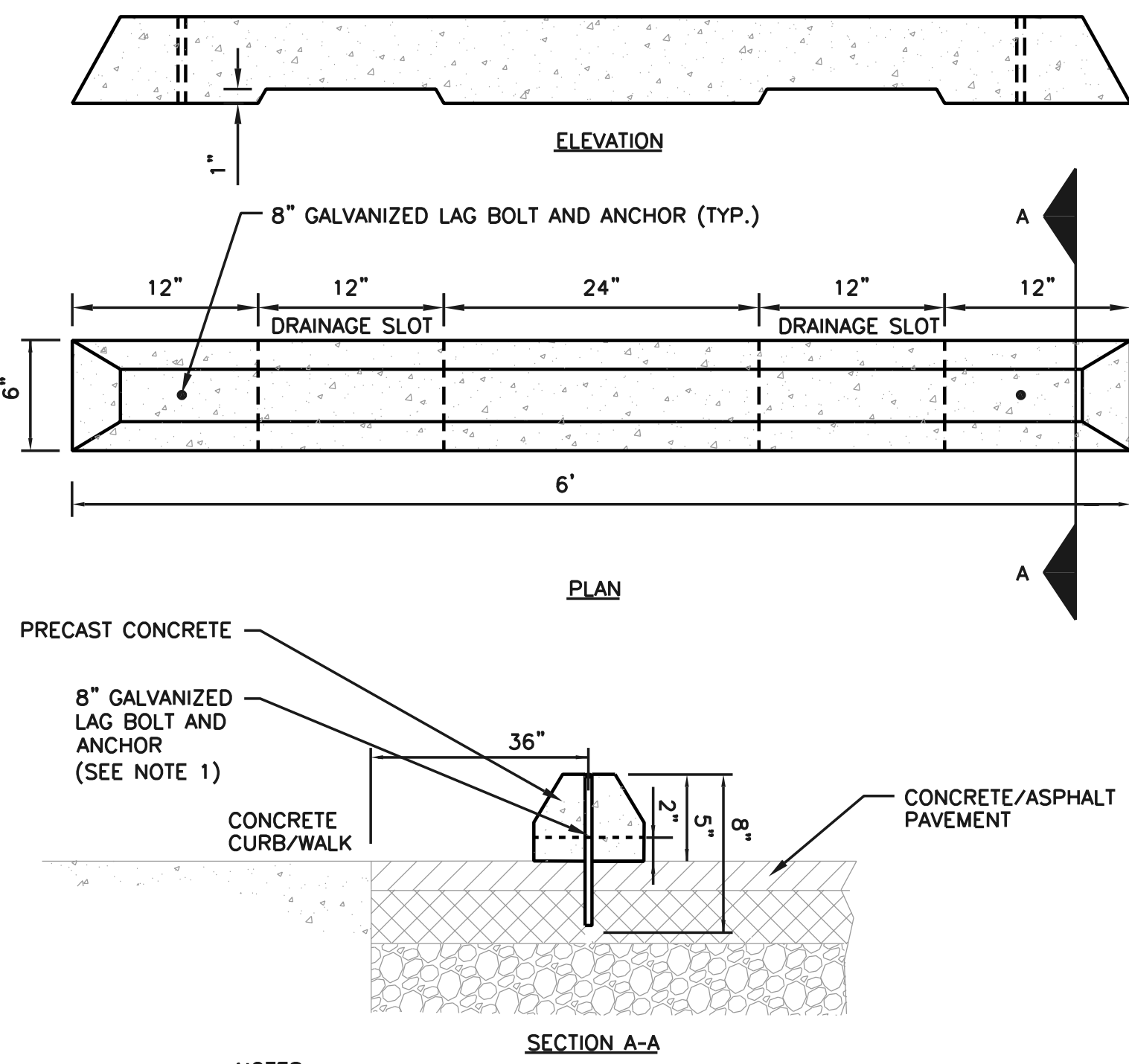
**ISSUE:**

MARK	DATE	DESCRIPTION

ISSUE DATE: 01/03/2024  
 PROJECT NO.: 15-23004-00  
 DRAWN BY: ACZ  
 CHECKED BY: JEF

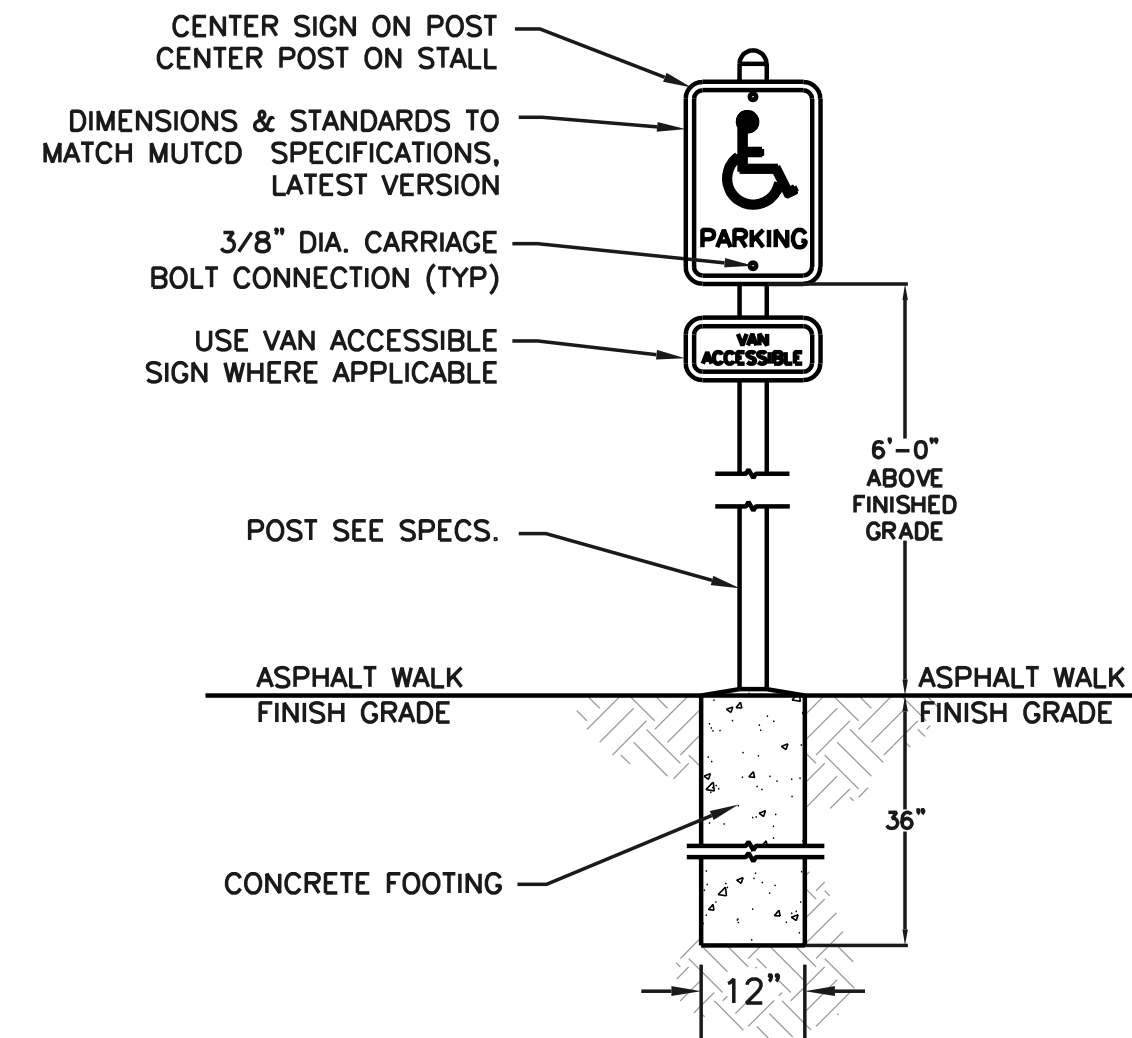
ORIGINAL SHEET SIZE IS 30" x 42"  
**SHEET TITLE:**  
**FOURTH AMENDED SITE DEVELOPMENT PLAN**

SHEET NO.  
**2C-001**



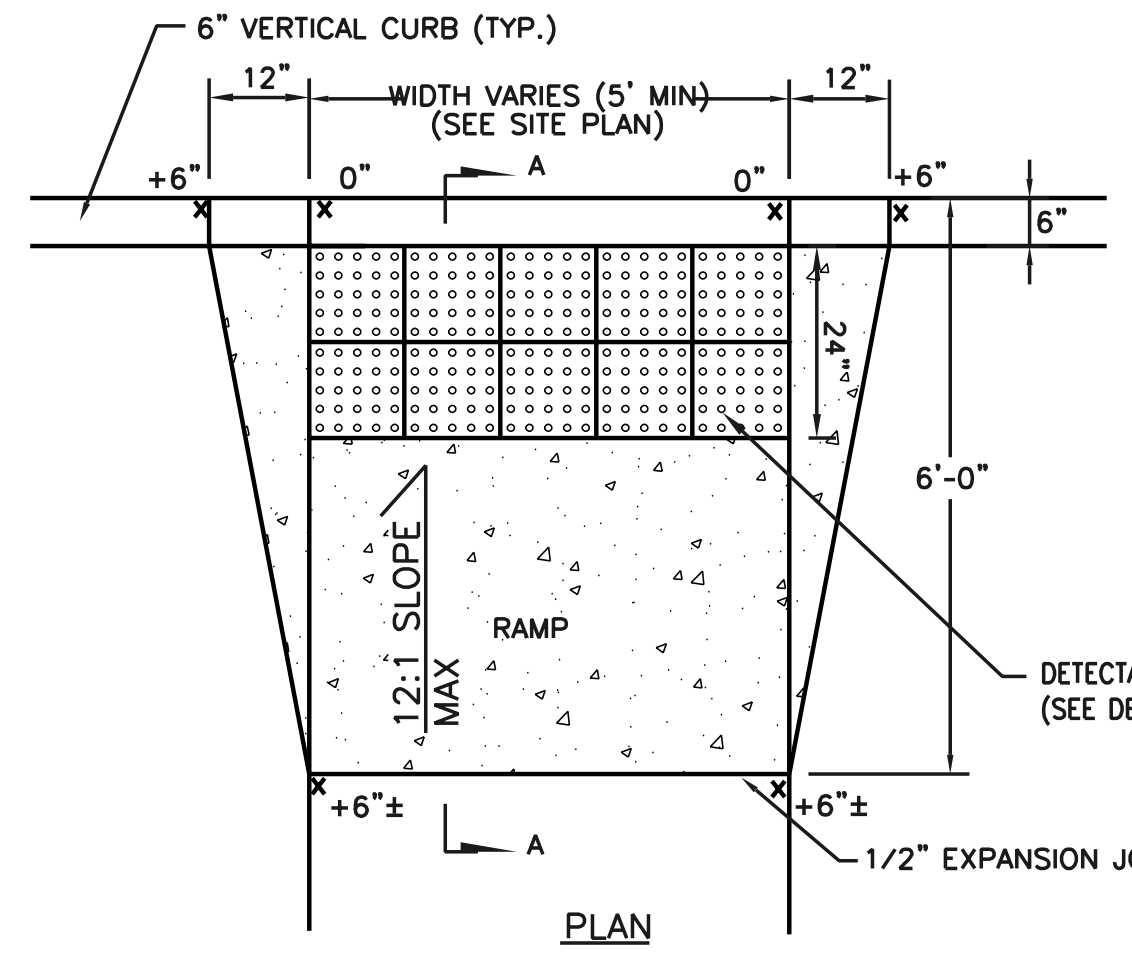
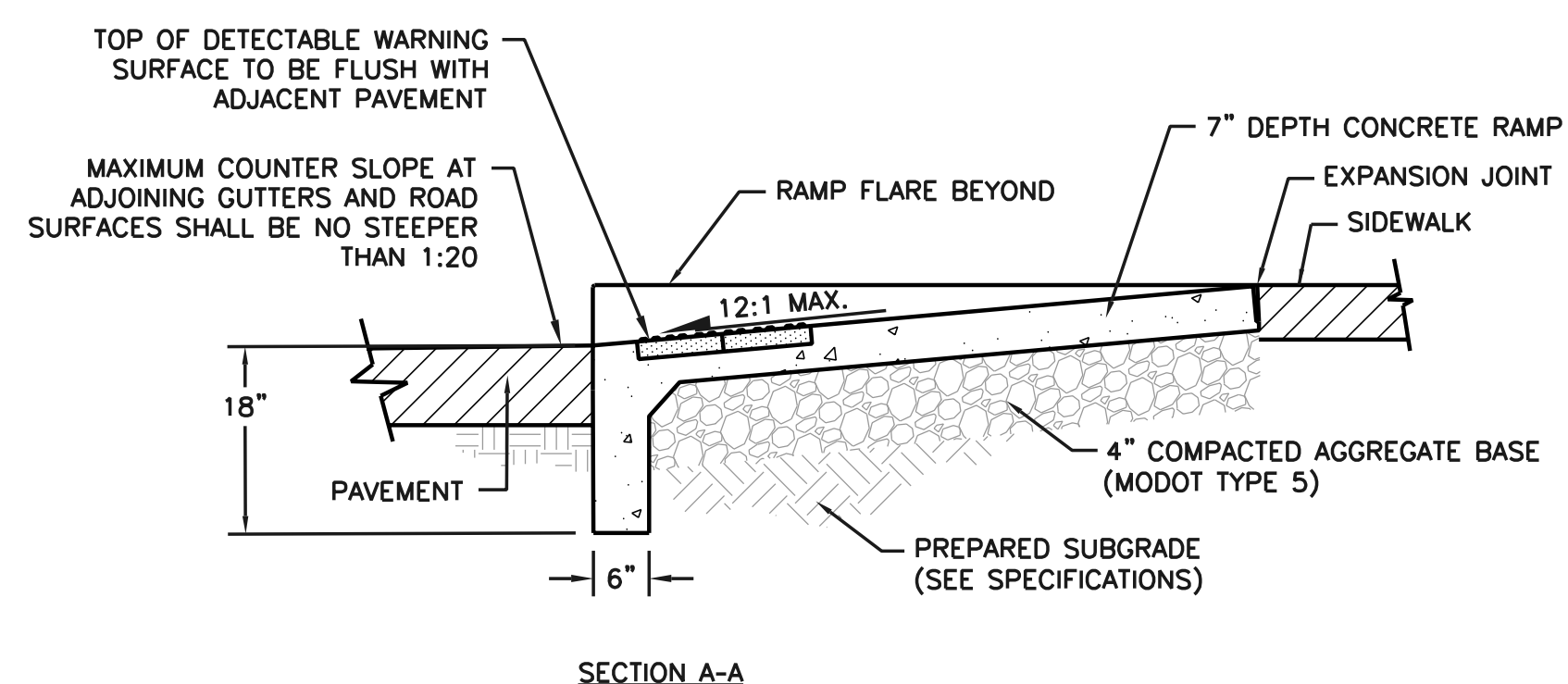
NOTES:  
1. INSTALL LAG BOLT AND ANCHOR SLEEVE INTO EXISTING AND/OR NEW PAVEMENT.

**A** WHEEL STOP (PRECAST CONCRETE)  
NOT TO SCALE

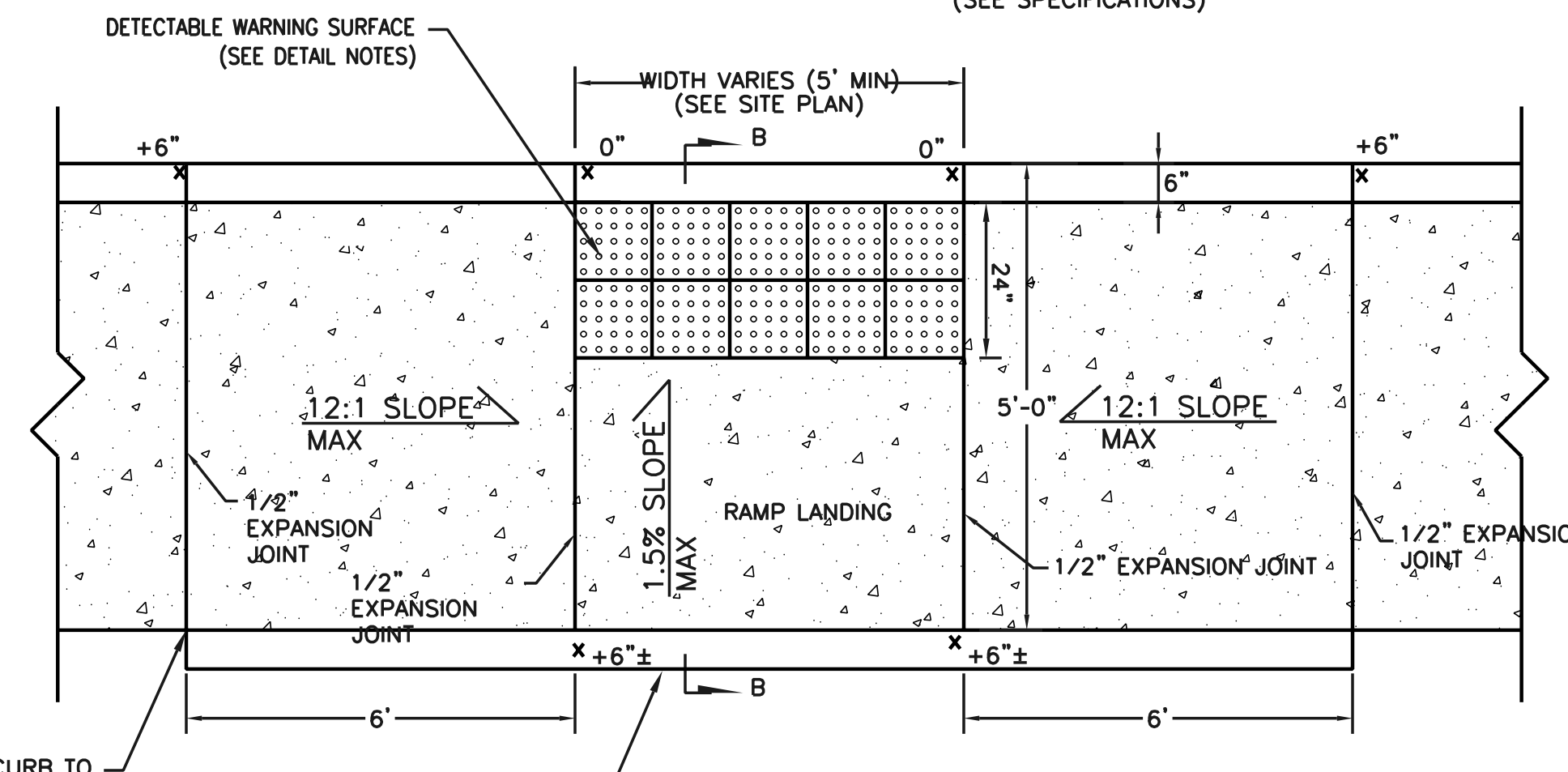
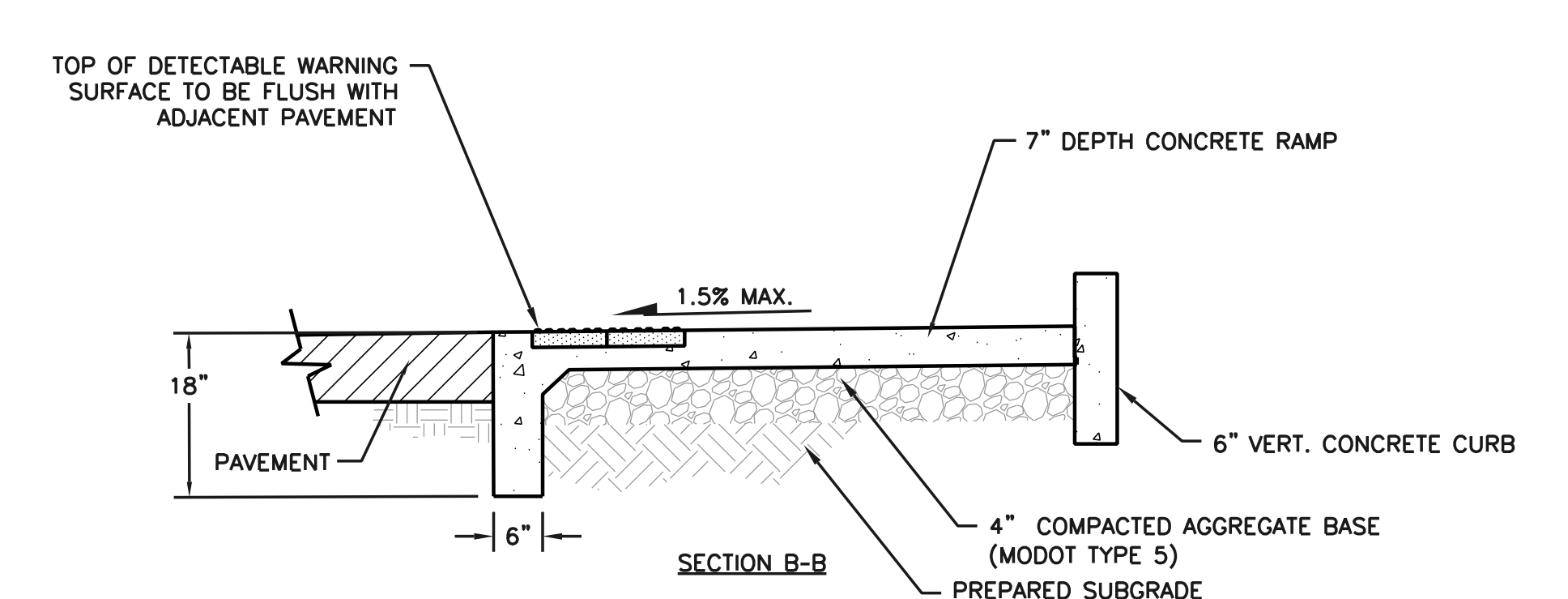


NOTE:  
1. SIGNAGE AND ITS APPURTENANCES SHALL CONFORM TO MISSOURI DEPARTMENT OF TRANSPORTATION (MODOT) STANDARD SPECIFICATIONS SECTION 903 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD 2000), MOST CURRENT VERSION.  
2. MOUNT POSTS 4' FROM EDGE OF ROAD AND 2' FROM EDGE OF ROAD AT SIDEWALK LOCATIONS.

**B** ACCESSIBLE PARKING STALL SIGN  
NOT TO SCALE

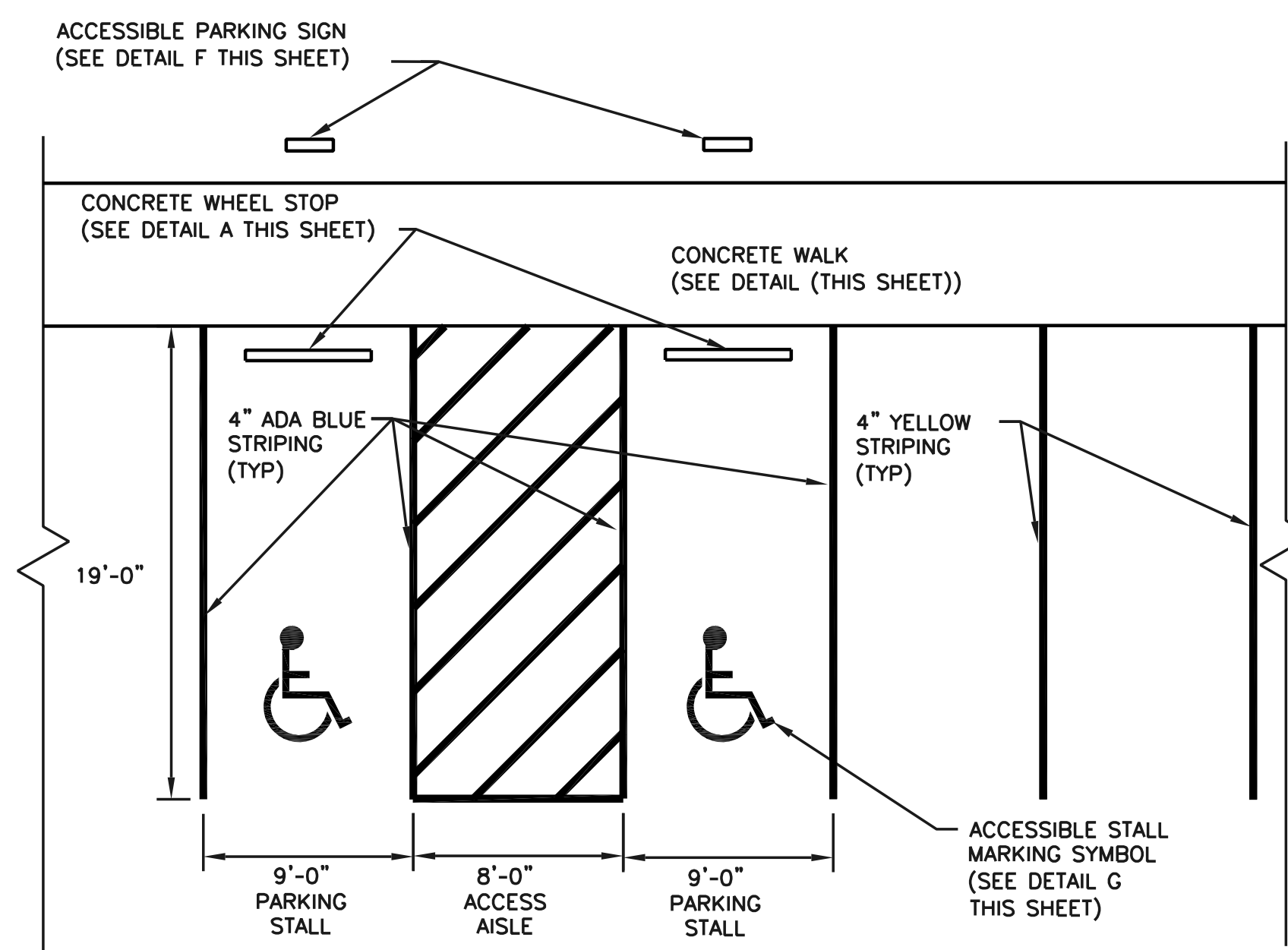


**DETAIL 1**



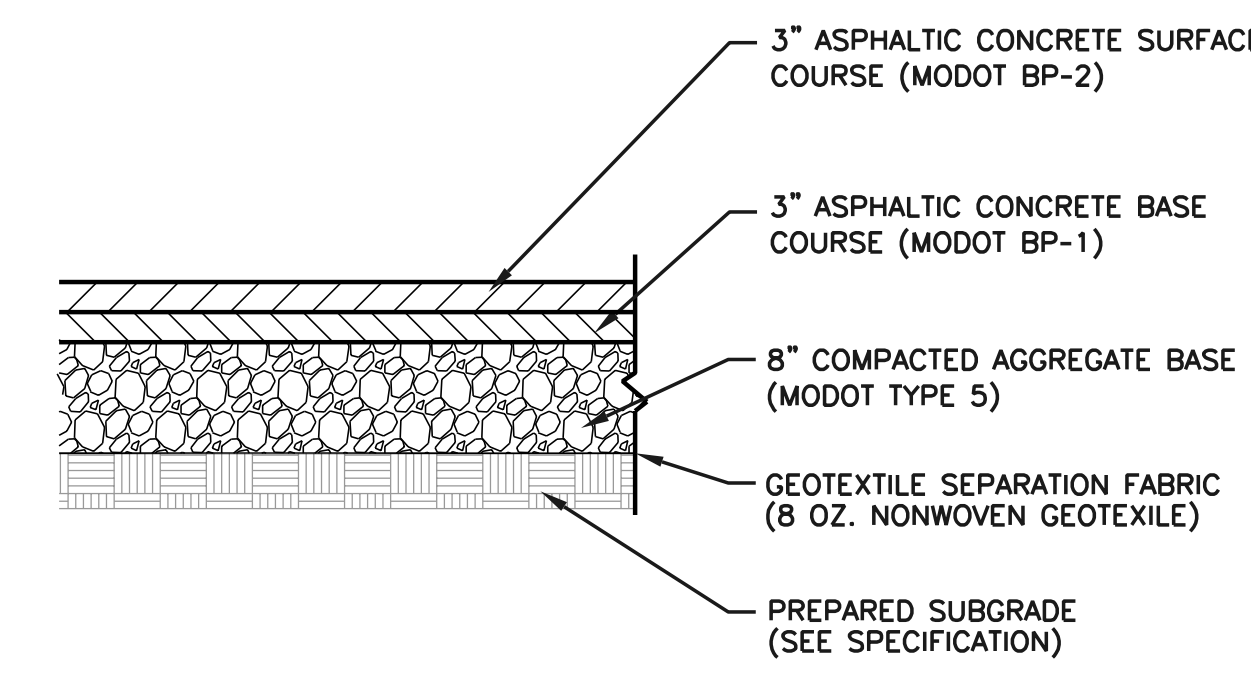
**DETAIL 2**

**C** ACCESSIBLE CURB RAMP  
NOT TO SCALE



NOTES:  
1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND FOLLOWING ALL STANDARDS OF 2010 FEDERAL ACCESSIBILITY CODE FOR PAVEMENT SYMBOLS AND STRIPING.

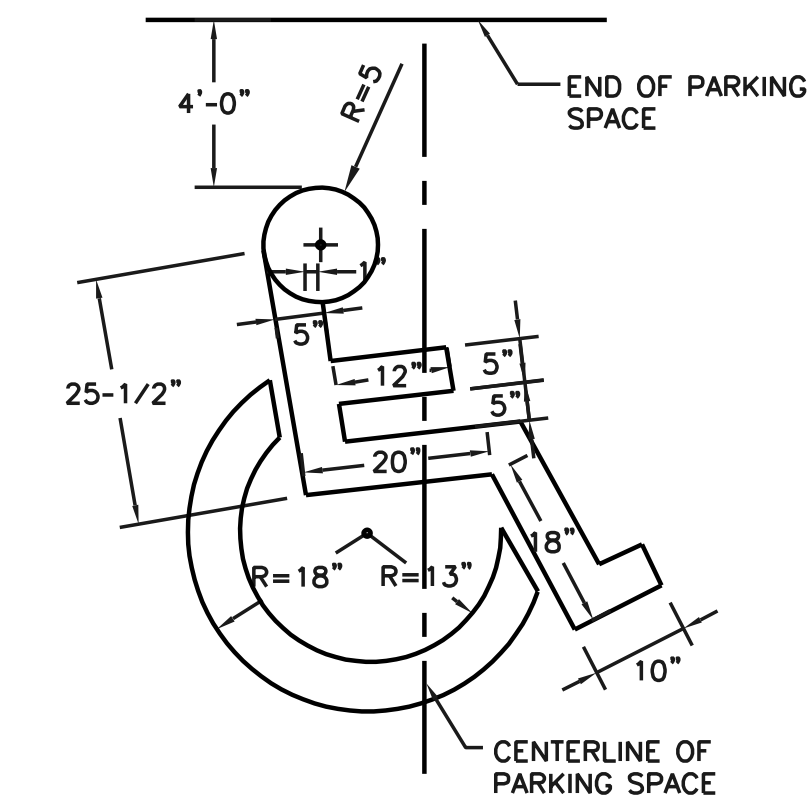
**D** ACCESSIBLE PARKING STALL DETAIL  
NOT TO SCALE



**E** ASPHALT PAVEMENT  
NOT TO SCALE

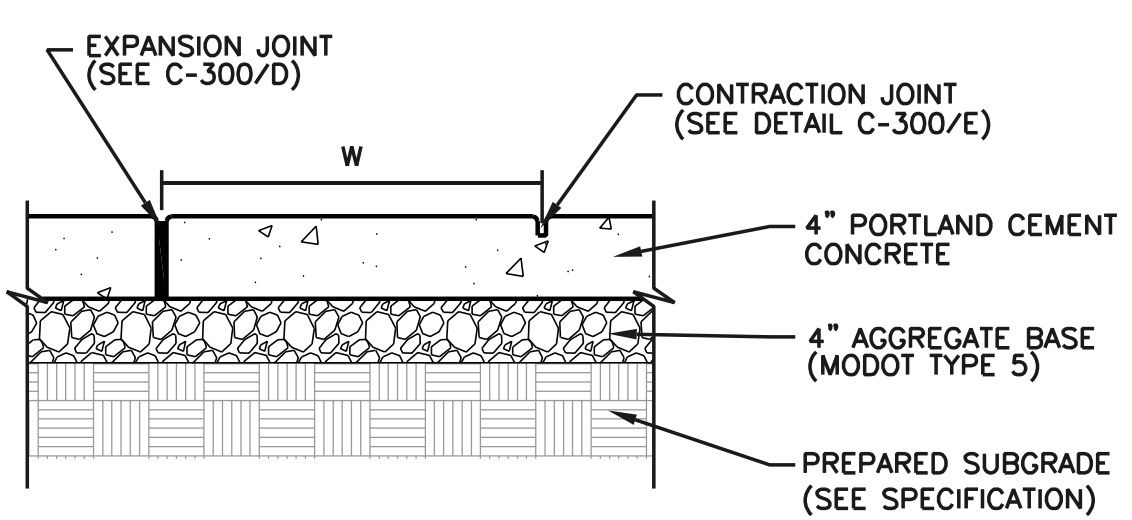
NOTES:  
1. SYMBOLS AND MARKINGS SHALL COMPLY WITH THE MANUAL ON 'TYPICAL ALPHABETS AND PAVEMENT MARKINGS' FROM FHWA AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

**F** PAVEMENT MARKING - ARROW  
NOT TO SCALE



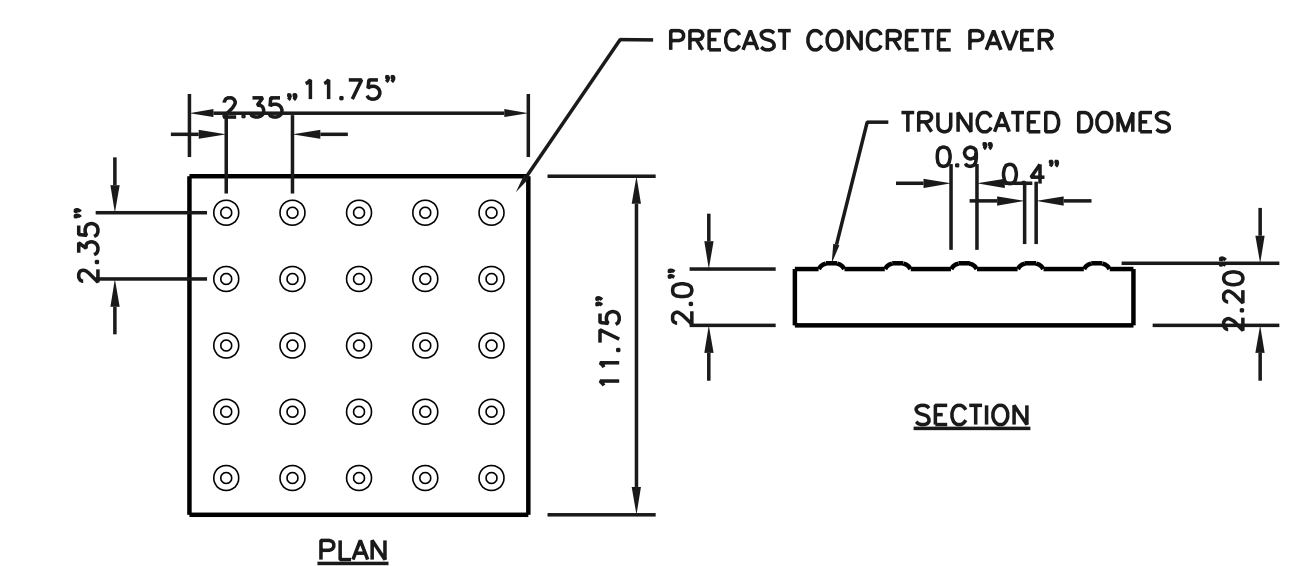
NOTES:  
1. FOLLOW ALL STANDARDS OF THE 2010 ACCESSIBILITY CODE FOR PAVEMENT SYMBOLS AND STRIPING.

**G** ACCESSIBLE STALL MARKING SYMBOL  
NOT TO SCALE

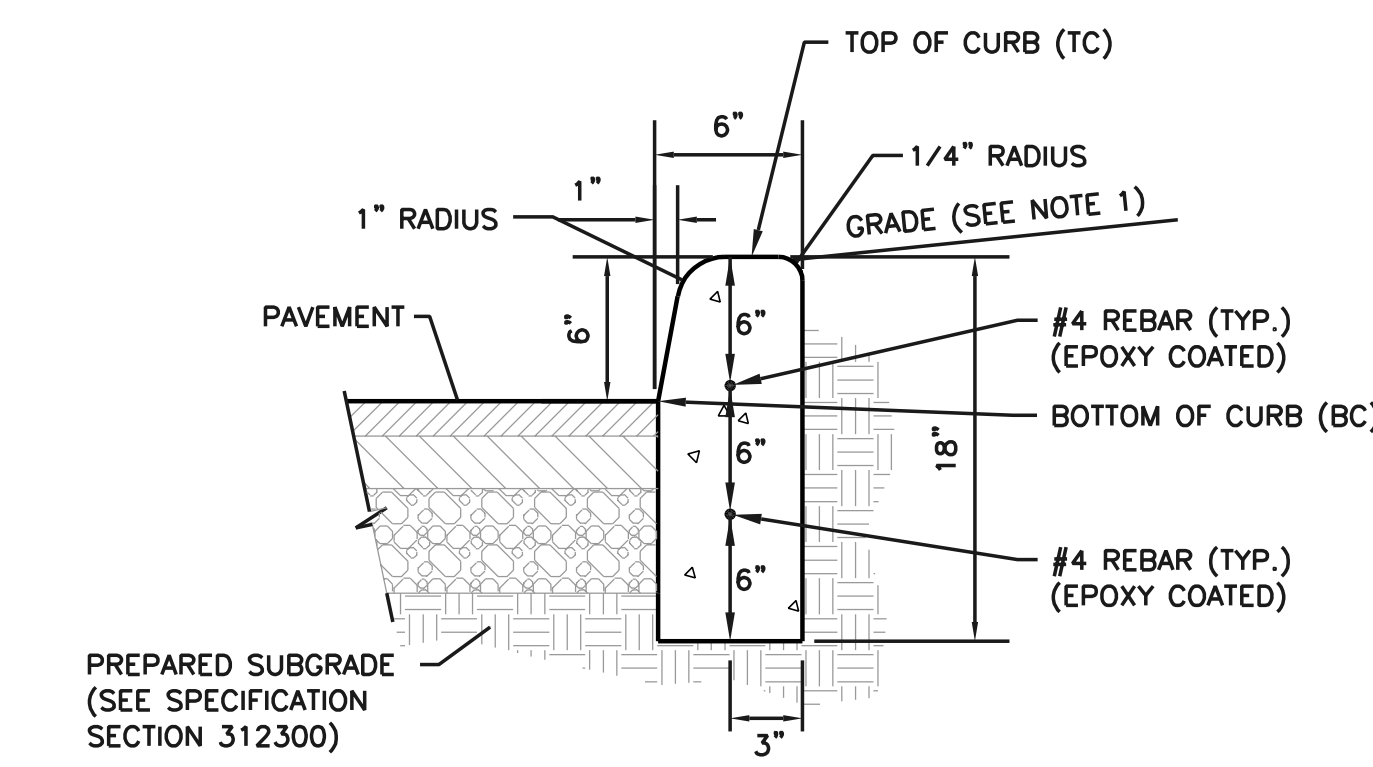


NOTES:  
1. W=WIDTH OF SIDEWALK; VARIES-SEE PLANS  
2. SPACE CONTRACTION JOINTS AT W WHERE APPLICABLE-SEE PLAN. PLACE EXPANSION JOINTS AT 5xw.  
3. EXPANSION JOINT SHALL BE PLACED THROUGH THE FULL DEPTH OF THE SIDEWALK.

**H** CONCRETE WALK  
NOT TO SCALE



**I** DETECTABLE WARNINGS - TRUNCATED DOMES  
NOT TO SCALE



**J** INTEGRAL CONCRETE VERTICAL CURB  
NOT TO SCALE

ISSUE:	MARK:	DATE:	DESCRIPTION:
ISSUE DATE:	01/03/2024		
PROJECT NO.:	15-23004-00		
DRAWN BY:	ACZ		
CHECKED BY:	JEF		

ORIGINAL SHEET SIZE IS 30" x 42"

SHEET TITLE

DETAILS

SHEET NO.  
**2C-002**

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 1807 EDISON AVE.  
 CHESTERFIELD, MO 63015  
 (314) 538-7770

**Larson Engineering**  
 LARSON ENGINEERING  
 1800 CRAIGSHIRE RD., STE. 300  
 ST. LOUIS, MO 63146  
 (314) 724-4170

**PLANNING DESIGN STUDIO**  
 PLANNING DESIGN STUDIO  
 2618 BURTON BLVD. STE. 200  
 ST. LOUIS, MO 63143  
 (314) 538-5208

**BUILDING STRONGER CDI COMMUNITIES**

CIVIL DESIGN, INC.  
 5220 OAKLAND AVE.  
 ST. LOUIS, MO 63111  
 (314) 990-4427

**Chesterfield Family YMCA**  
 PACKAGE 2 - PARTIAL DEMOLITION AND EXPANSION  
 16484 BURKHARDT PL  
 CHESTERFIELD, MO 63017  
 ASDP REVIEW SUBMISSION



ISSUE	MARK	DATE	DESCRIPTION

ISSUE DATE: 01/03/2024  
 PROJECT NO: 15-23004-00  
 DRAWN BY: SBT  
 CHECKED BY: LAF

ORIGINAL SHEET SIZE IS 30" x 42"  
 SHEET TITLE: **TREE STAND DELINEATION**

SHEET NO: **2L-100**  
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ID	Tree Name	DBH (Inches)	Canopy Diameter (Feet)	Condition Rating	Comment
1	Pin Oak	21	36	2	
2	Black Locust	6	18	4	Multistem
3	Ash	8	27	1	
4	Ash	12	16	1	
5	Ash	16	30	1	
6	Redbud	5	12	4	Multistem
7	Redbud	4	10	1	Wound @ Base
8	Willow	9	13	1	Wound @ Base
9	Willow	16	22	1	Split Crotch, Hazard Tree
10	Austrian Pine	14	26	4	
11	Austrian Pine	16	26	3	Bad Crotch
12	White Pine	11	21	3	Thin Crown, One Sided
13	Hawthorn	3	13	1	
14	Austrian Pine	14	22	2	
15	Austrian Pine	16	33	4	
16	Hawthorn	8	19	3	
17	Serviceberry	3	12	4	Multistem
18	Serviceberry	2	8	3	Multistem
19	Serviceberry	3	16	4	Multistem
20	Serviceberry	3	15	3	Multistem, Bacterial Wetwood
21	Hawthorn	3	12	1	
22	Serviceberry	2	5	1	Multistem
23	Riverbirch	13	31	3	Multistem
24	Riverbirch	11	32	3	Multistem
25	Crabapple	12	18	2	Girdling Roots
26	Hawthorn	6	16	2	
27	Ash	15	37	2	
28	Ash	12	32	2	
29	White Pine	11	25	2	
30	White Pine	9	18	2	
31	Red Maple	12	28	1	Girdling Roots, Half of Crown Missing

ID	Tree Name	DBH (Inches)	Canopy Diameter (Feet)	Condition Rating	Comment
32	Ash	12	31	2	
33	Crabapple	1	3	3	
34	Dogwood	1/4	1.5	3	
35	Black Gum	1	3	3	
36	White Pine	9	16	1	
37	Red Maple	12	26	3	
38	Red Maple	2	2	0	
39	Red Maple	12	21	3	
40	Ash	16	32	1	
41	Ash	16	37	1	
42	Red Maple	2	3	0	Wound @ Base
43	Red Maple	10	24	2	
44	Red Maple	10	26	2	
45	Red Maple	10	32	3	Leaning, Girdling Root, Wound
46	Silver Maple	8	18	3	Large Trunk Wound, Hazard Tree
47	Red Maple	2	3	0	
48	Ash	16	34	2	
49	Ash	14	30	1	
50	Red Maple	14	30	2	
51	Red Maple	10	30	1	
52	Red Maple	10	31	2	
53	Red Maple	14	30	3	Girdling Root
54	Red Maple	16	33	2	Girdling Root, Bad Crotch
55	Red Maple	14	32	3	
56	Ash	16	38	1	
57	Ash	18	50	2	
58	Mulberry	4	24	2	Multistem
59	Ash	16	42	1	
60	Zelkovia	7	22	3	
61	Little Leaf Linden	6	12	1	Trunk Wound

**KEY:**  
 EXISTING TREE  
 EXISTING WOODLAND

**TREE CONDITION RATING:**  
 EXCELLENT 4  
 GOOD 3  
 FAIR 2  
 POOR 1  
 DEAD 0

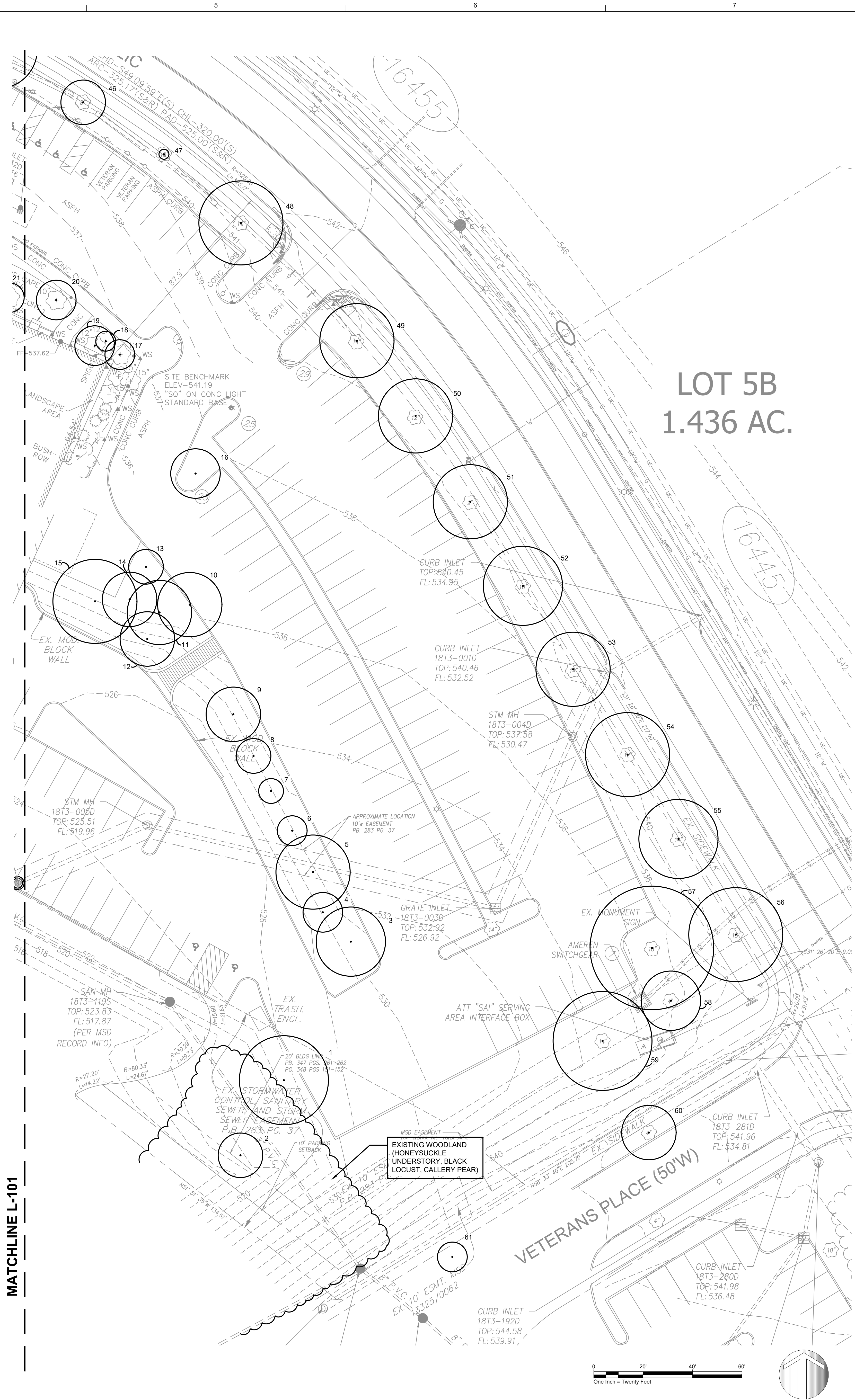
TREE STAND DELINEATION PREPARED UNDER THE DIRECTION OF:  
 L. ANDREW FRANKE  
 CERTIFIED ARBORIST (MW-0417A)

*L. Andrew Franke*

**TREE STAND DELINEATION NARRATIVE:**  
 THIS PROJECT SITE COMPRISES A TOTAL OF 5.6 ACRES AND HAS A TOTAL OF 34,347.2 S.F. OF TREE CANOPY WHICH EXCLUDES OFFSITE TREE CANOPY AREAS. THE TREE STAND DELINEATION MAP WAS COMPLETED BY FIELD INSPECTION.

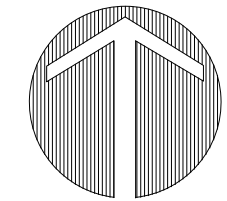
TOTAL SITE AREA	=	244,564 SF (5.6 ACRES)
WOODLAND TREE AREA	=	4,570 SF (0.1 ACRES)
INDIVIDUAL TREE AREA	=	29,797.2 SF (0.68 ACRES)
TOTAL EXISTING TREE CANOPY AREA	=	34,367.2 SF (0.79 ACRES)

MATCHLINE L-101

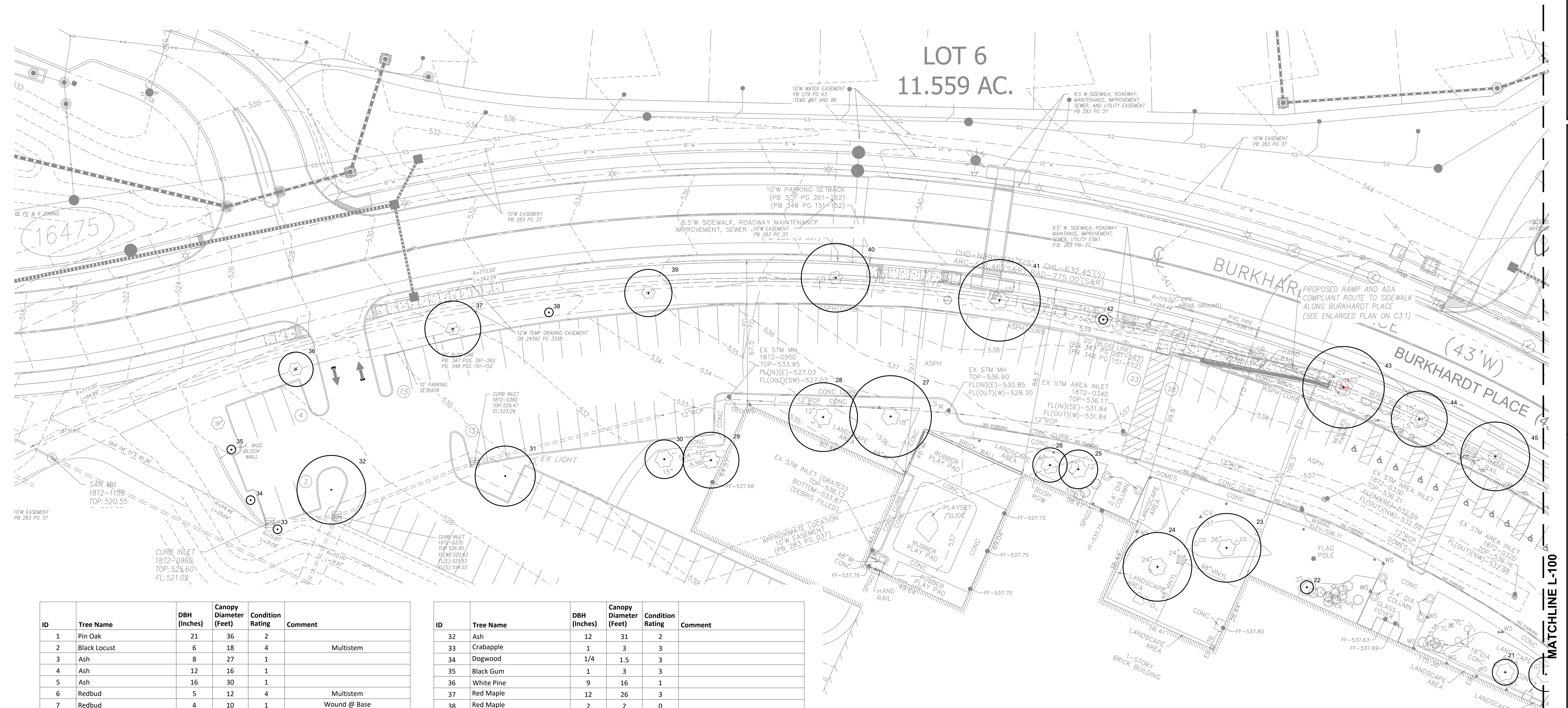


**LOT 5B**  
 1.436 AC.

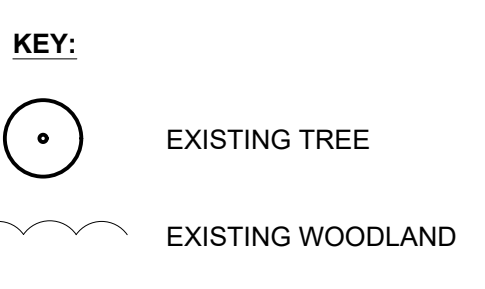
0 20' 40' 60'  
 One Inch = Twenty Feet



LOT 6  
11.559 AC.



ID	Tree Name	DBH (Inches)	Canopy Diameter (Feet)	Condition Rating	Comment
1	Pin Oak	21	36	2	
2	Black Locust	6	18	4	Multistem
3	Ash	8	27	1	
4	Ash	12	16	1	
5	Ash	16	30	1	
6	Redbud	5	12	4	Multistem
7	Redbud	4	10	1	Wound @ Base
8	Willow	9	13	1	Wound @ Base
9	Willow	16	22	1	Split Crotch, Hazard Tree
10	Austrian Pine	14	26	4	
11	Austrian Pine	16	26	3	Bad Crotch
12	White Pine	11	21	3	Thin Crown, One Sided
13	Hawthorn	3	13	1	
14	Austrian Pine	14	22	2	
15	Austrian Pine	16	33	4	
16	Hawthorn	8	19	3	
17	Serviceberry	3	12	4	Multistem
18	Serviceberry	2	8	3	Multistem
19	Serviceberry	3	16	4	Multistem
20	Serviceberry	3	15	3	Multistem, Bacterial Wetwood
21	Hawthorn	3	12	1	
22	Serviceberry	2	5	1	Multistem
23	Riverbirch	13	31	3	Multistem
24	Riverbirch	11	32	3	Multistem
25	Crabapple	12	18	2	Girdling Roots
26	Hawthorn	6	16	2	
27	Ash	15	37	2	
28	Ash	12	32	2	
29	White Pine	11	25	2	
30	White Pine	9	18	2	
31	Red Maple	12	28	1	Girdling Roots, Half of Crown Missing



ID	Tree Name	DBH (Inches)	Canopy Diameter (Feet)	Condition Rating	Comment
32	Ash	12	31	2	
33	Crabapple	1	3	3	
34	Dogwood	1/4	1.5	3	
35	Black Gum	1	3	3	
36	White Pine	9	16	1	
37	Red Maple	12	26	3	
38	Red Maple	2	2	0	
39	Red Maple	12	21	3	
40	Ash	16	32	1	
41	Ash	16	37	1	
42	Red Maple	2	3	0	
43	Red Maple	10	24	2	Wound @ Base
44	Red Maple	10	26	2	
45	Red Maple	10	32	3	
46	Silver Maple	8	18	3	
47	Red Maple	2	3	0	
48	Ash	16	34	2	
49	Ash	14	30	1	
50	Red Maple	14	30	2	Leaning, Girdling Root, Wound
51	Red Maple	10	30	1	Large Trunk Wound, Hazard Tree
52	Red Maple	10	31	2	
53	Red Maple	14	30	3	Girdling Root
54	Red Maple	16	33	2	Girdling Root, Bad Crotch
55	Red Maple	14	32	3	
56	Ash	16	38	1	
57	Ash	18	50	2	
58	Mulberry	4	24	2	Multistem
59	Ash	16	42	1	
60	Zelkovia	7	22	3	
61	Little Leaf Linden	6	12	1	Trunk Wound

**TREE CONDITION RATING:**

EXCELLENT	4
GOOD	3
FAIR	2
POOR	1
DEAD	0

**TREE STAND DELINEATION NARRATIVE**  
THIS PROJECT SITE COMPRISES A TOTAL OF 5.6 ACRES AND HAS A TOTAL OF 34,347.2 S.F. OF TREE CANOPY WHICH EXCLUDES OFFSITE TREE CANOPY AREAS. THE TREE STAND DELINEATION MAP WAS COMPLETED BY FIELD INSPECTION.

TOTAL SITE AREA	=	244,564 SF (5.6 ACRES)
WOODLAND TREE AREA	=	4,570 SF (0.1 ACRES)
INDIVIDUAL TREE AREA	=	29,797.2 SF (0.68 ACRES)
TOTAL EXISTING TREE CANOPY AREA	=	34,367.2 SF (0.79 ACRES)

TREE STAND DELINEATION PREPARED UNDER THE DIRECTION OF:  
L. ANDREW FRANK  
CERTIFIED ARBORIST (MW-04174)

*L. Andrew Frank*

**KAI**  
2060 Craigshire Road  
Saint Louis, MO 63146  
T. 314.241.8188  
F. 314.241.0125  
www.kai-db.com

**SSC**  
SSC ENGINEERING, INC.  
8207 EDISON AVE  
CHESTERFIELD, MO 63071  
(314) 588-7779

**Larson Engineering**  
LARSON ENGINEERING  
1800 CROAGER RD, STE 300  
ST LOUIS, MO 63143  
(314) 724-6171

**PLANNING DESIGN STUDIO**  
PLANNING DESIGN STUDIO  
2618 BURTON BLVD, STE 100  
ST LOUIS, MO 63104  
(314) 588-0531

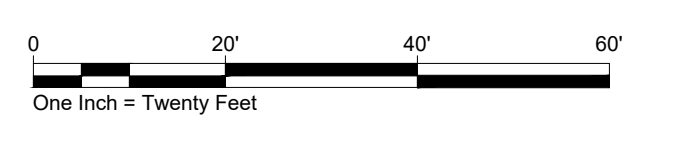
**BUILDING STRONGER**  
**CDI COMMUNITIES**  
CDI DESIGN, INC.  
5220 OAKLAND AVE  
ST LOUIS, MO 63111  
(314) 980-4277

Chesterfield Family YMCA  
PACKAGE 2 - PARTIAL DEMOLITION AND EXPANSION  
16464 BURKHARDT PL  
CHESTERFIELD, MO 63017  
ASDP REVIEW SUBMISSION



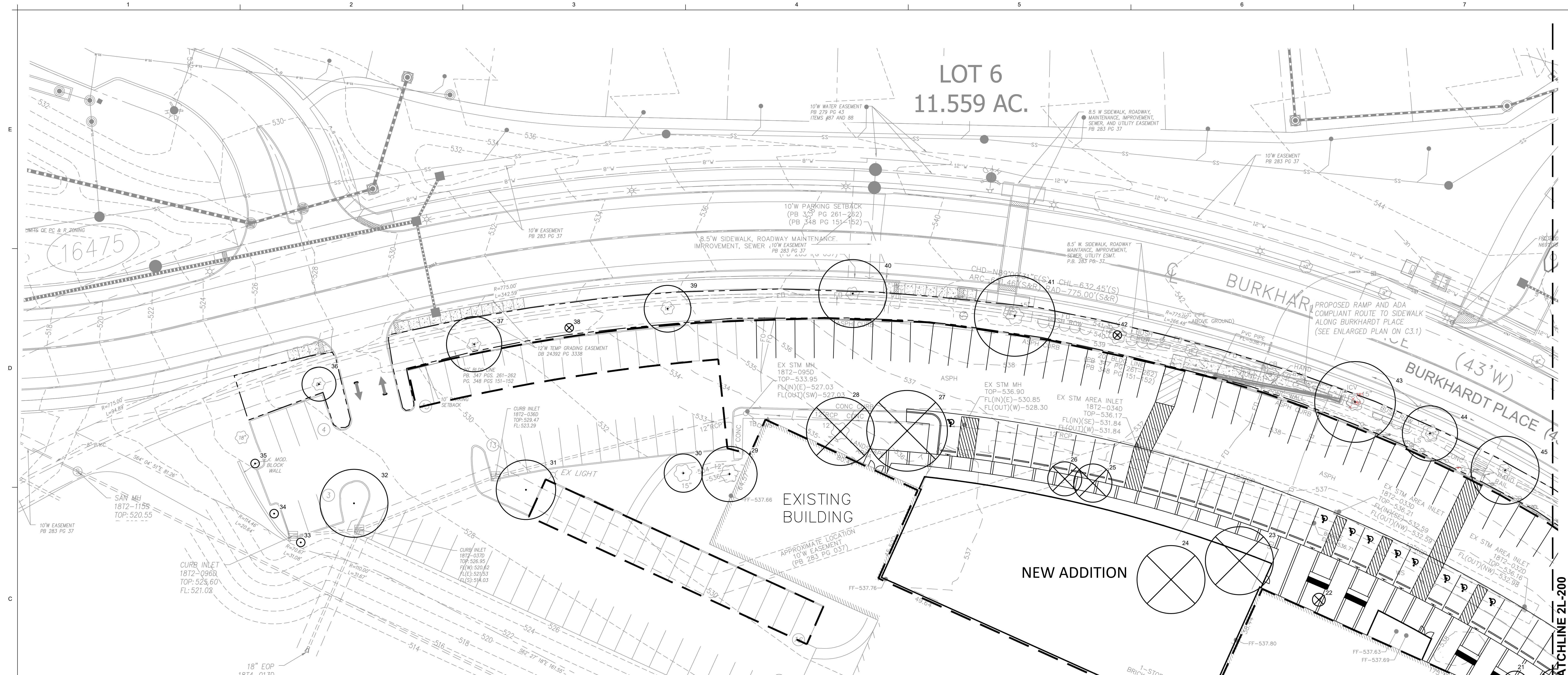
ISSUE:	MARK:	DATE:	DESCRIPTION:

ORIGINAL SHEET SIZE IS 30" x 42"  
SHEET TITLE  
**TREE STAND DELINEATION**  
SHEET NO.  
**2L-101**  
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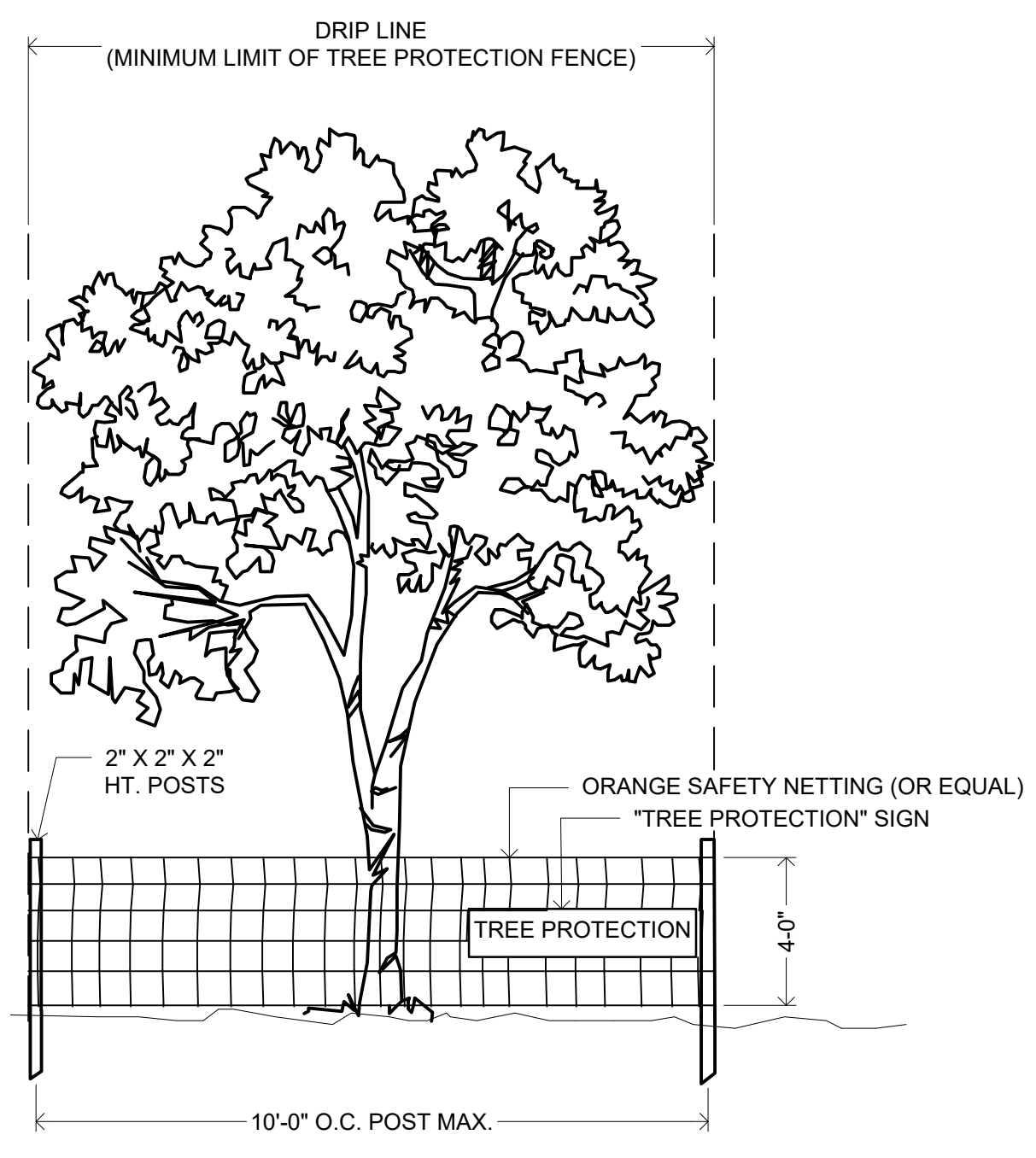


LOT 6  
11.559 AC.



ID	Tree Name	DBH (Inches)	Canopy Diameter (Feet)	Condition Rating	Comment
1	Pin Oak	21	36	2	
2	Black Locust	6	18	4	Multistem
3	Ash	8	27	1	
4	Ash	12	16	1	
5	Ash	16	30	1	
6	Redbud	5	12	4	Multistem
7	Redbud	4	10	1	Wound @ Base
8	Willow	9	13	1	Wound @ Base
9	Willow	16	22	1	Split Crotch, Hazard Tree
10	Austrian Pine	14	26	4	
11	Austrian Pine	16	26	3	Bad Crotch
12	White Pine	11	21	3	Thin Crown, One Sided
13	Hawthorn	3	13	1	
14	Austrian Pine	14	22	2	
15	Austrian Pine	16	33	4	
16	Hawthorn	8	19	3	
17	Serviceberry	3	12	4	Multistem
18	Serviceberry	2	8	3	Multistem
19	Serviceberry	3	16	4	Multistem
20	Serviceberry	3	15	3	Multistem, Bacterial Wetwood
21	Hawthorn	3	12	1	
22	Serviceberry	2	5	1	Multistem
23	Riverbirch	13	31	3	Multistem
24	Riverbirch	11	32	3	Multistem
25	Crabapple	12	18	2	Girdling Roots
26	Hawthorn	6	16	2	
27	Ash	15	37	2	
28	Ash	12	32	2	
29	White Pine	11	25	2	
30	White Pine	9	18	2	
31	Red Maple	12	28	1	Girdling Roots, Half of Crown Missing

ID	Tree Name	DBH (Inches)	Canopy Diameter (Feet)	Condition Rating	Comment
32	Ash	12	31	2	
33	Crabapple	1	3	3	
34	Dogwood	1/4	1.5	3	
35	Black Gum	1	3	3	
36	White Pine	9	16	1	
37	Red Maple	12	26	3	
38	Red Maple	2	2	0	
39	Red Maple	12	21	3	
40	Ash	16	32	1	
41	Ash	16	37	1	
42	Red Maple	2	3	0	
43	Red Maple	10	24	2	Wound @ Base
44	Red Maple	10	26	2	
45	Red Maple	10	32	3	
46	Silver Maple	8	18	3	
47	Red Maple	2	3	0	
48	Ash	16	34	2	
49	Ash	14	30	1	
50	Red Maple	14	30	2	Leaning, Girdling Root, Wound
51	Red Maple	10	30	1	Large Trunk Wound, Hazard Tree
52	Red Maple	10	31	2	
53	Red Maple	14	30	3	Girdling Root
54	Red Maple	16	33	2	Girdling Root, Bad Crotch
55	Red Maple	14	32	3	
56	Ash	16	38	1	
57	Ash	18	50	2	
58	Mulberry	4	24	2	Multistem
59	Ash	16	42	1	
60	Zelkovia	7	22	3	
61	Little Leaf Linden	6	12	1	Trunk Wound



**KEY:**

- EXISTING TREE TO PRESERVE
- ⊗ EXISTING TREE TO REMOVE
- LIMITS OF DISTURBANCE
- - - LANDSCAPE PLANTING ONLY (NO GRADING OR CONSTRUCTION DISTURBANCE)

- TREE PROTECTION NOTES:**
- PRE-CONSTRUCTION MEETING TO BE HELD ON-SITE TO INCLUDE A PRESENTATION OF TREE PROTECTION MEASURES TO OPERATORS, CONSTRUCTION SUPERVISORS, DEVELOPER'S REPRESENTATIVE, AND CITY ZONING INSPECTOR.
  - CLEARING LIMITS TO BE ROUGH STAKED IN ORDER TO FACILITATE LOCATION FOR INSTALLATION OF PROTECTION FENCING. NO EARLY MAINTENANCE SCHEDULE IS REQUIRED.
  - NO CLEARING OR GRADING SHALL BEGIN IN AREAS WHERE THE TREATMENT AND PRESERVATION MEASURES HAVE NOT BEEN COMPLETED, INCLUDING THE INSTALLATION OF TREE PROTECTION FENCING AS SHOWN ON THE PLAN, WHERE NECESSARY. CONTRACTOR MAY PERFORM MINOR TREE CLEARING PRIOR TO INSTALLING SILT FENCING AND TREE PROTECTION FENCING PROVIDED THEY MAINTAIN TREE PROTECTION AREA.
  - TREE PROTECTION FENCING SHALL BE 4-FOOT HIGH TEMPORARY PLASTIC CONSTRUCTION FENCE. NO EQUIPMENT TRAFFIC/PARKING, CONCRETE WASHOUT, MATERIAL STORAGE OR OTHER SUCH CONSTRUCTION ACTIVITY SHALL BE PERMITTED TO PENETRATE THE PROTECTION FENCING OR DISRUPT THE PROTECTED WOODLAND AREA EXCEPT FOR THE REMOVAL OF DEAD OR INVASIVE PLANT MATERIAL. ALL GROUND PLANE IN PLANTING AREAS SHALL BE MULCHED WITH HARDWOOD BARK MULCH. TREE PROTECTION SIGNAGE WILL BE PLACED ALONG THE PROTECTION FENCING.
  - TREE PROTECTION MEASURES TO BE MAINTAINED THROUGHOUT CONSTRUCTION SEQUENCE BY THE CONTRACTOR.

- TREE PROTECTION ACTION KEY SEQUENCE**
- SURVEY LIMIT OF DISTURBANCE
  - INSTALL TREE PROTECTION FENCING
  - POST TREE PROTECTION SIGNAGE ON FENCE (NO SIGNS WILL BE POSTED ON TREES)
  - MAINTAIN TREE PROTECTION AREA AS AN OFF-LIMITS ZONE.

TREE STAND DELINEATION PREPARED UNDER THE DIRECTION OF:  
L. ANDREW FRANKIE  
CERTIFIED ARBORIST (MW-0417A)

*L. Andrew Frankie*

**TREE STAND DELINEATION NARRATIVE**  
THIS PROJECT SITE COMPRISES A TOTAL OF 5.6 ACRES AND HAS A TOTAL OF 34,347.2 S.F. OF TREE CANOPY WHICH EXCLUDES OFFSITE TREE CANOPY AREAS. THE TREE STAND DELINEATION MAP WAS COMPLETED BY FIELD INSPECTION.

TOTAL SITE AREA	=	244,564 SF (5.6 ACRES)
WOODLAND TREE AREA	=	4,570 SF (0.1 ACRES)
INDIVIDUAL TREE AREA	=	29,797.2 SF (0.68 ACRES)
TOTAL EXISTING TREE CANOPY AREA	=	34,367.2 SF (0.79 ACRES)
TREE CANOPY COVERAGE PROPOSED FOR REMOVAL	=	4,582.8 SF (0.11 ACRES)
TREE CANOPY COVERAGE PROPOSED FOR PRESERVATION	=	29,784.4 SF (0.68 ACRES)

**KAI**  
2060 Craigshire Road  
Saint Louis, MO 63146  
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F. 314.241.0125  
www.kai-db.com

**SSC**  
SSC ENGINEERING, INC.  
1627 EDISON AVE.  
CHESTERFIELD, MO 63015  
(314) 538-7770

**Larson Engineering**  
LARSON ENGINEERING  
1800 CRAIGSHIRE RD., STE. 300  
ST. LOUIS, MO 63146  
(314) 754-4171

**PLANNING DESIGN STUDIO**  
PLANNING DESIGN STUDIO  
2818 BURTON BLVD., STE. 200  
ST. LOUIS, MO 63114  
(314) 538-0518

**BUILDING STRONGER CDI COMMUNITIES**  
CDI COMMUNITIES  
2714 BESSON, MO  
5200 OAKLAND AVE.  
ST. LOUIS, MO 63114  
(314) 980-4427

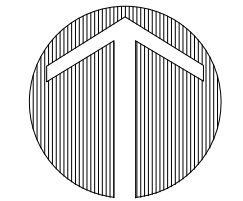
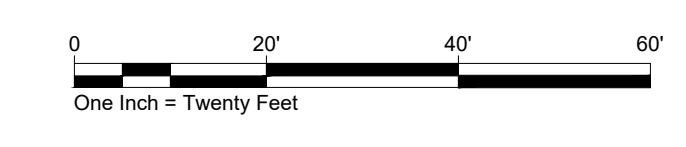
**Chesterfield Family YMCA**  
**PACKAGE 2 - PARTIAL DEMOLITION AND EXPANSION**  
16484 BURKHARDT PL  
CHESTERFIELD, MO 63017

ASDP REVIEW SUBMISSION

STATE OF MISSOURI  
LANDSCAPE ARCHITECT  
L. Andrew Frankie  
No. 12007/17336  
ISSUE DATE: 01/03/2024  
PROJECT NO: 15-23004-00  
DRAWN BY: SBT  
CHECKED BY: LAF

ISSUE	MARK	DATE	DESCRIPTION

ORIGINAL SHEET SIZE IS 30" x 42"  
**TREE PRESERVATION PLAN**  
SHEET NO: **2L-201**  
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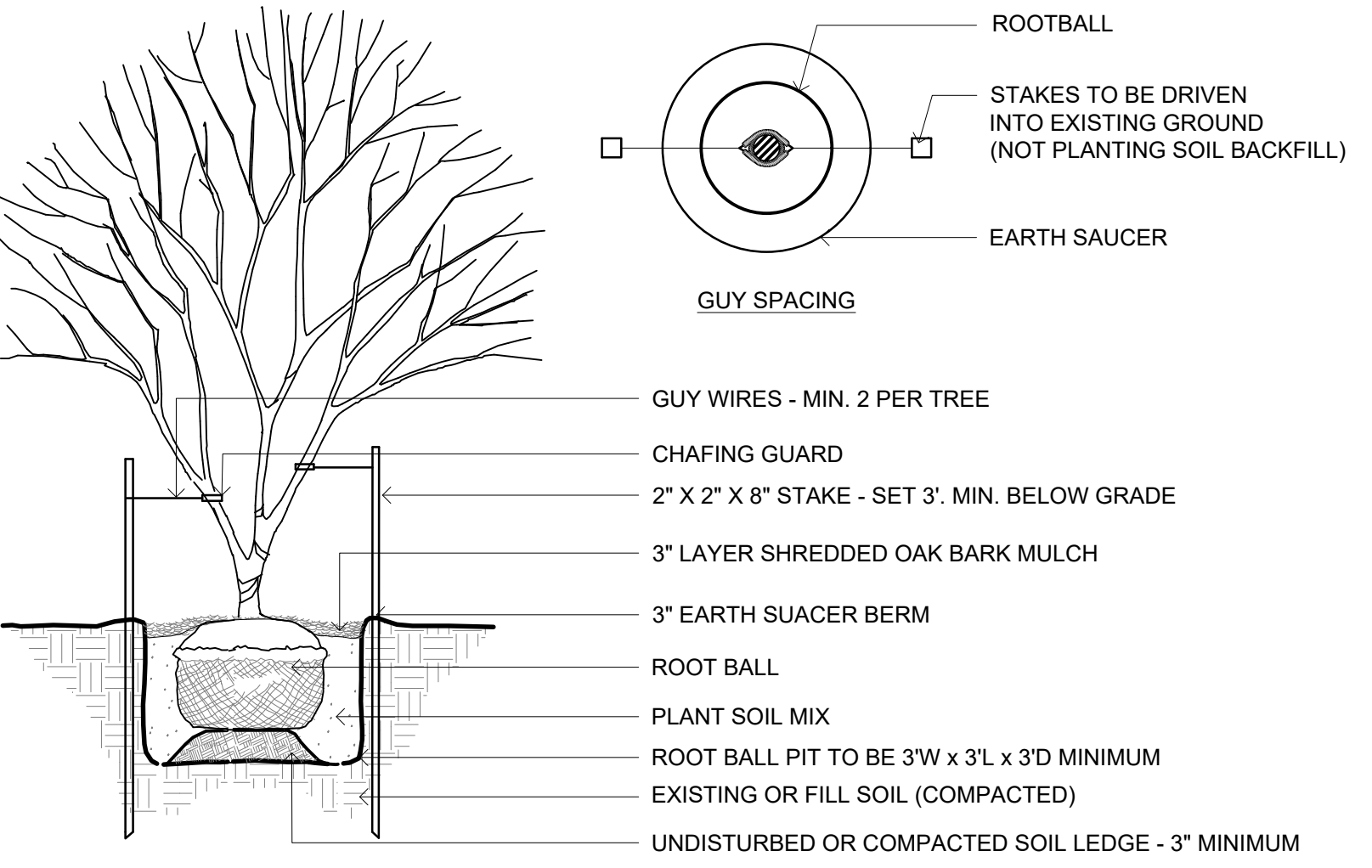


**LANDSCAPE PLAN NOTES:**

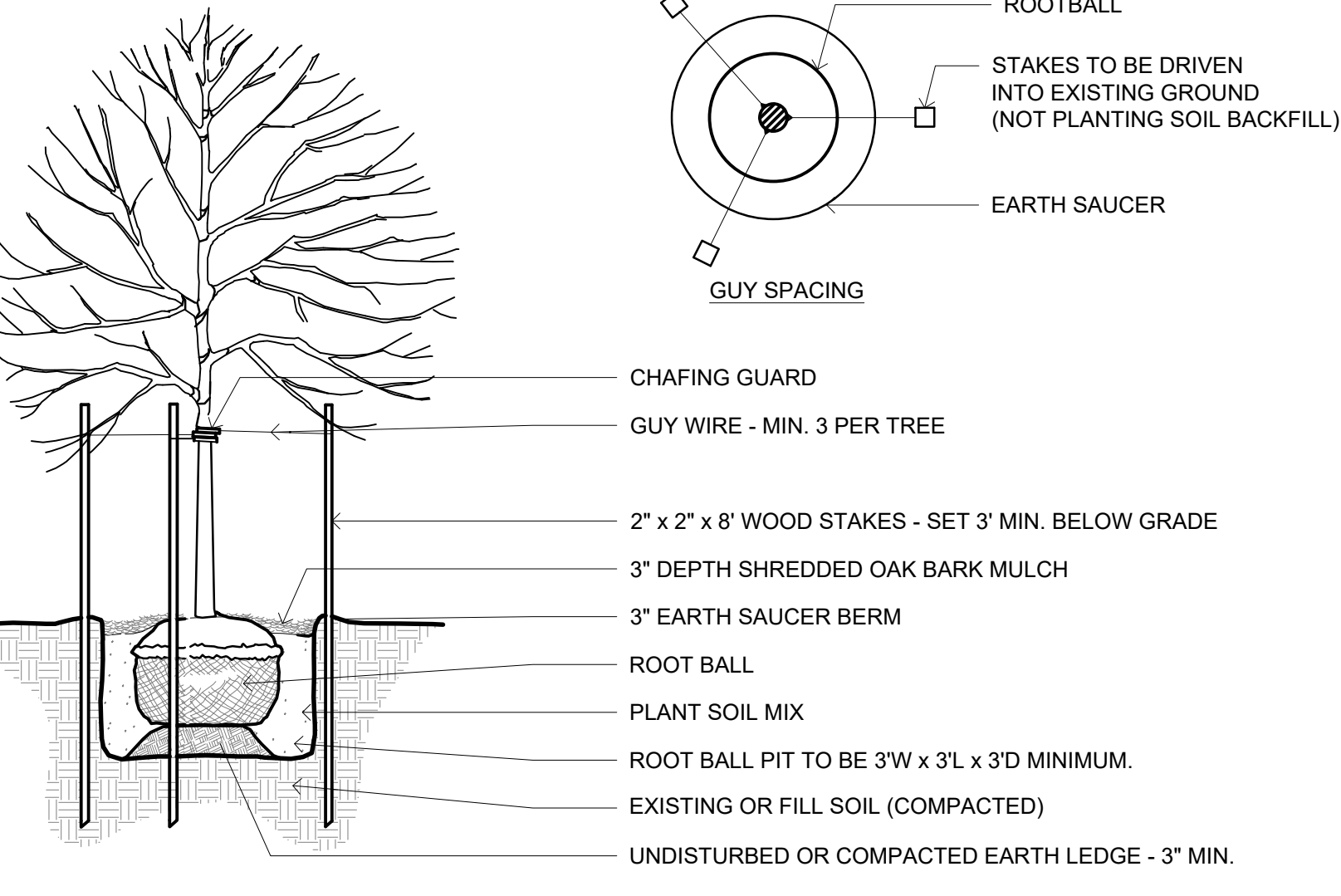
- UNLESS OTHERWISE NOTED, ALL NATURAL VEGETATION SHALL BE MAINTAINED WHERE IT DOES NOT INTERFERE WITH CONSTRUCTION. PROTECT EXISTING UTILITIES, STRUCTURES OR VEGETATION FROM DAMAGE. CONTRACTOR SHALL MAINTAIN AND SECURE THE PROJECT SITE TO PROTECT THE PUBLIC FROM INJURY DUE TO WORK AND RELATED MATERIAL.
- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS NOT PRESENTLY KNOWN OR SHOWN. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE AND VERIFY THE EXISTENCE OF AND EXACT LOCATION OF ALL UTILITIES.
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- ALL PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF 12 MONTHS AFTER ACCEPTANCE BY OWNER.
- CONTRACTOR SHALL STAKE AND BRACE TREES IMMEDIATELY FOLLOWING INSTALLATION ACCORDING TO PLANS, DETAILS, AND SPECIFICATIONS.
- ALL PLANTING BED EDGES SHALL BE SPADE CUT UNLESS OTHERWISE INDICATED.
- CONTRACTOR TO SOD ALL AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITIES.
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- ITEMS SHOWN ON THESE DRAWINGS TAKE PRECEDENCE OVER THE MATERIAL LIST. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO BIDDING AND IMPLEMENTATION OF THE PLAN. NO SUBSTITUTIONS OF TYPES OR SIZE OF PLANT MATERIAL WILL BE ACCEPTED WITHOUT WRITTEN APPROVAL BY OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL CONFORM TO UPPER RANGE LIMITS FOR CALIPER, HEIGHT AND ROOT BALL DIMENSIONS LISTED IN ANSI Z60.1-2014.

**PLANT KEY**

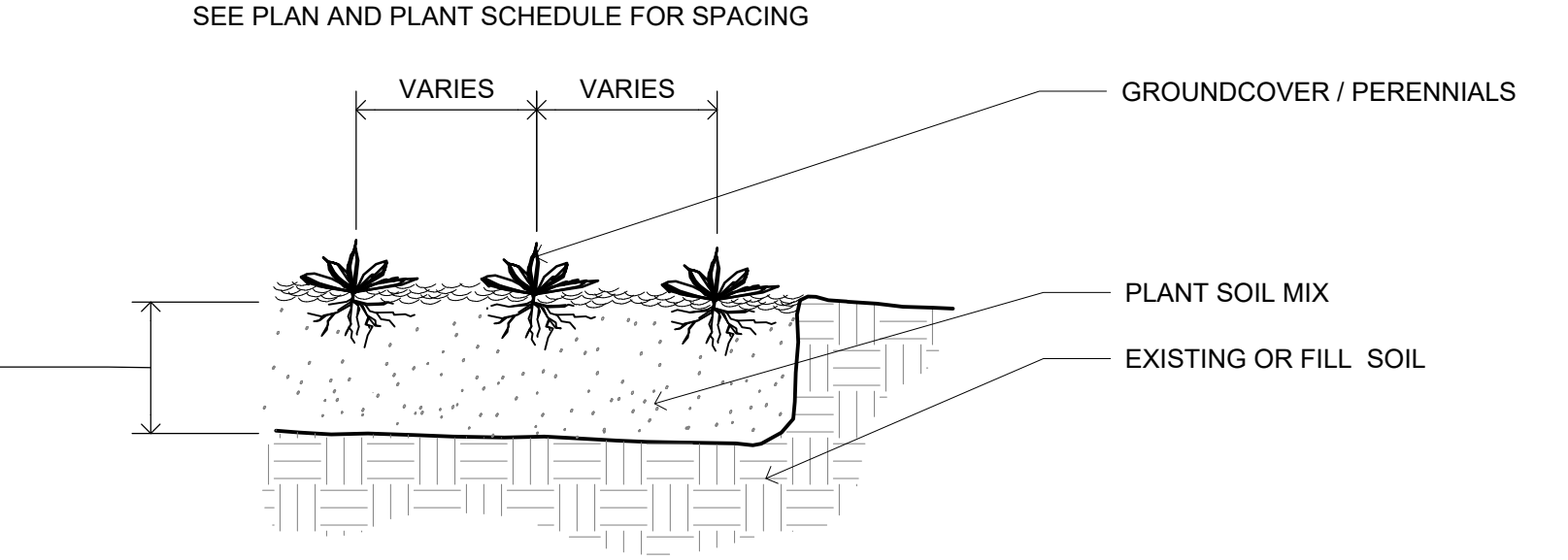
SYMBOL	CODE	COMMON NAME
<b>TREES</b>		
	OST VIR	American Hophornbeam
	ACE RBR	Red Maple
	NYS SYL	Tupelo
<b>FLOWERING TREES</b>		
	COR FLO	Flowering Dogwood
<b>SHRUBS</b>		
	Rhu gro	Gro-Low Fragrant Sumac
	Cea ame	New Jersey Tea
	Ile sha	Shamrock Inkberry Holly
	Hyd wil	Wild Hydrangea
<b>GROUND COVERS</b>		
	Tur sod	Tur sod
	Ely hys	Bottlebrush Grass
	Rud bla	Conifer
	Spo het	Prairie Dropseed
	Era spe	Purple Lovegrass



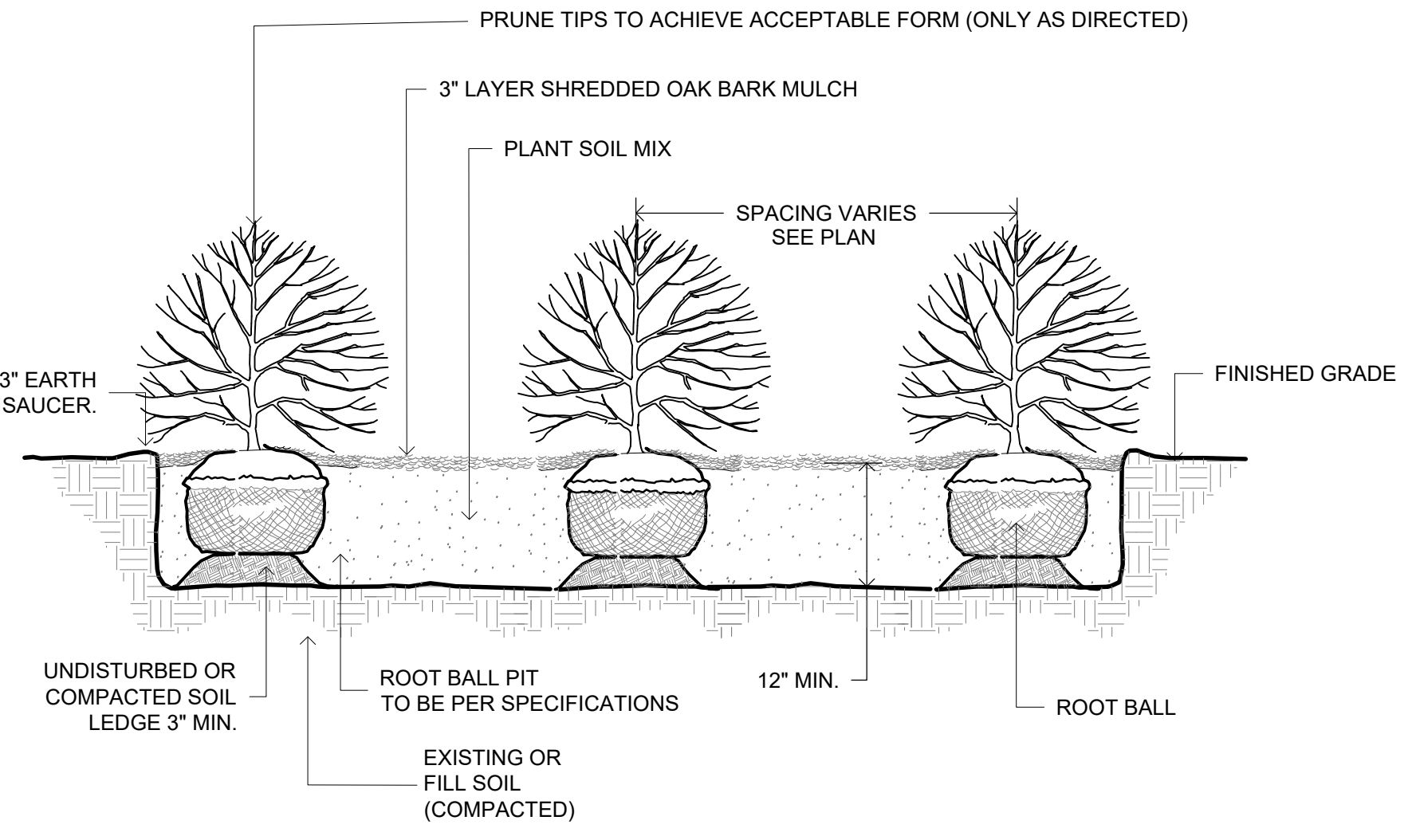
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NTS



**2 DECIDUOUS TREE PLANTING**  
NTS



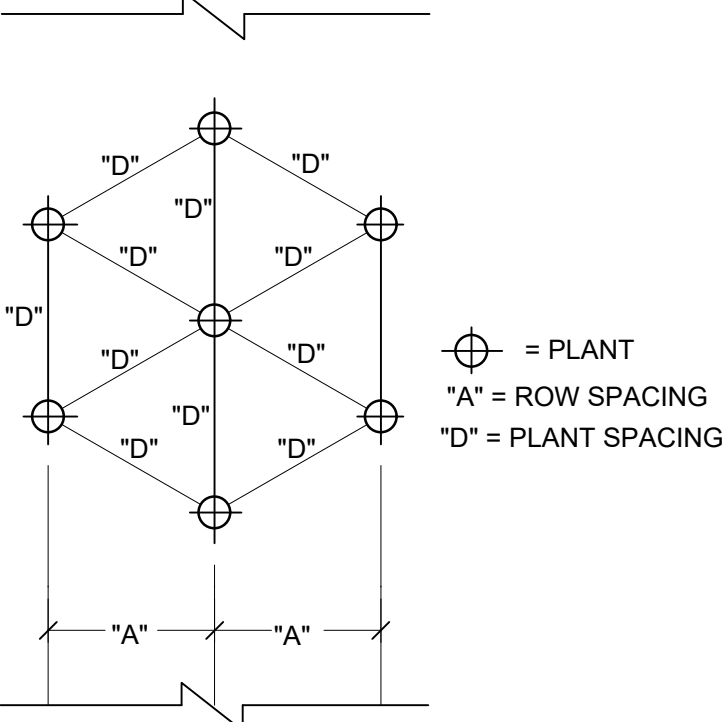
**3 GROUNDCOVER AND PERENNIAL PLANTING**  
NTS



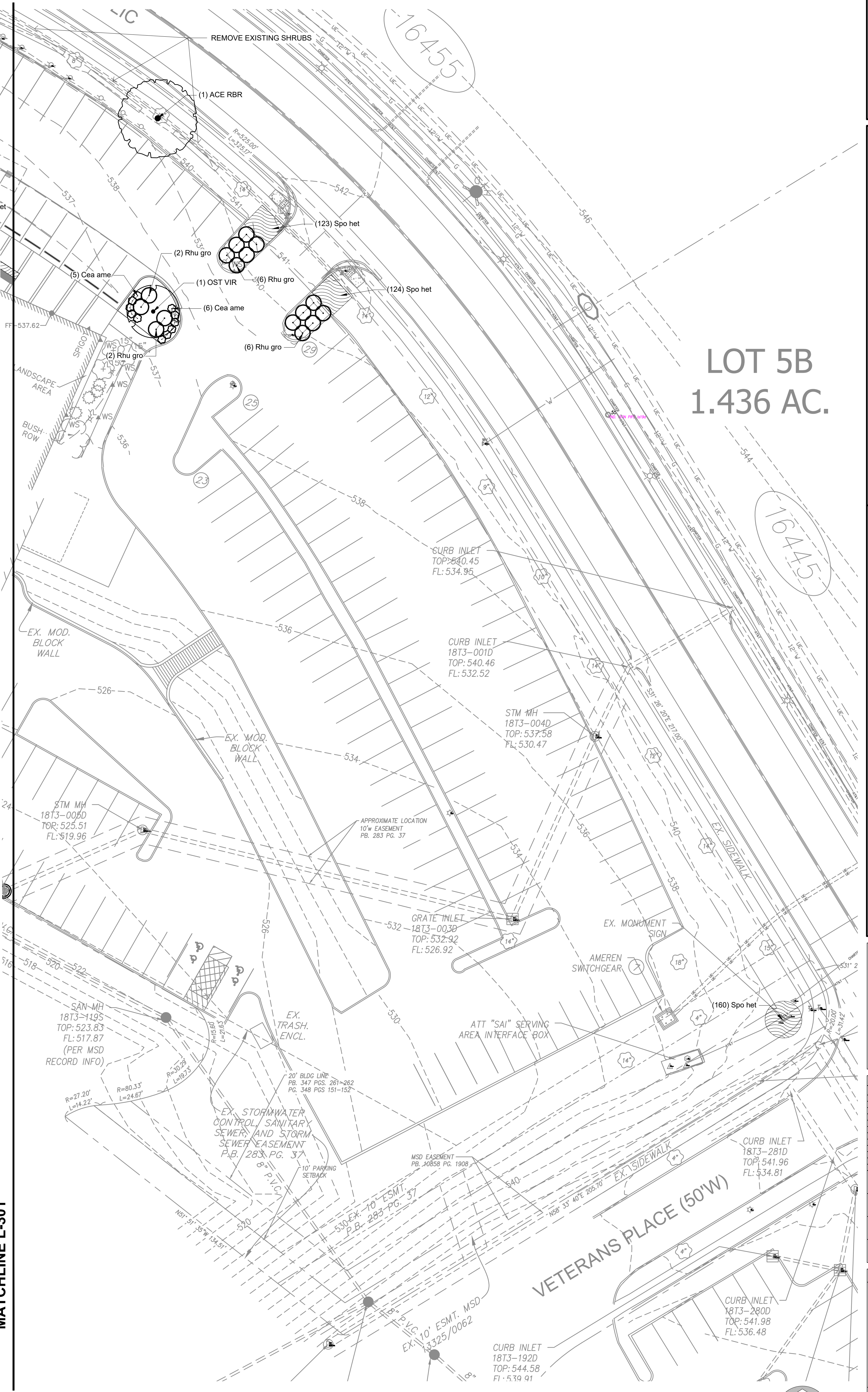
**3 SHRUB PLANTING**  
NTS

FOR USE WITH ALL PLANT TYPES SPACED EQUIDISTANTLY

SPACING "D"	ROW "A"	NO. OF PLANTS	AREA UNIT
10" O.C.	8.66"	1.66	1 sq. ft.
12" O.C.	10.4"	1.15	
15" O.C.	13.0"	7.38	10 sq. ft.
18" O.C.	15.6"	5.12	
24" O.C.	20.8"	2.9	
30" O.C.	26.0"	1.85	
36" O.C.	30.0"	1.28	
4" O.C.	4.33'	4.61	100 sq. ft.
6" O.C.	5.2'	3.2	
8" O.C.	6.93'	1.8	
10" O.C.	8.66'	1.16	



**5 PLANT SPACING CHART**  
NTS



**LOT 5B**  
1.436 AC.

2060 Craigshire Road  
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T. 314.241.8188  
F. 314.241.0125  
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CHESTERFIELD, MO 63015  
(314) 538-7700

Larson Engineering  
1900 CRAIGSHIRE RD. STE. 300  
ST. LOUIS, MO 63143  
(314) 724-4170

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2818 BILTON BLVD. #100  
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(314) 528-8258

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5220 OAKLAND AVE.  
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(314) 980-4477

**Chesterfield Family YMCA**  
PACKAGE 2 - PARTIAL DEMOLITION AND EXPANSION  
16484 BURKHARDT PL  
CHESTERFIELD, MO 63017

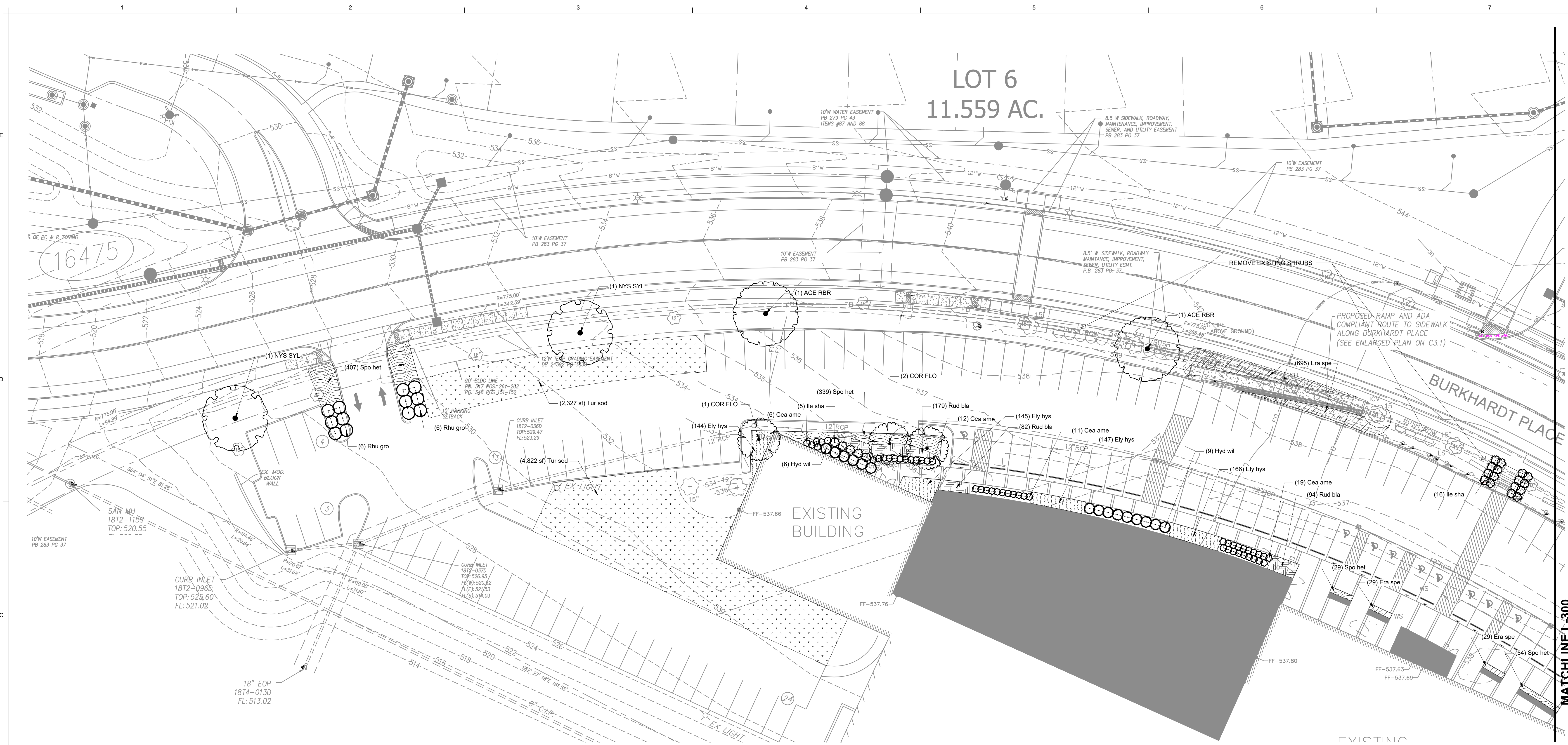
ASDP REVIEW SUBMISSION

STATE OF MISSOURI  
LANDSCAPE ARCHITECT  
No. 2007017338  
J. M. HARRIS

MARK	DATE	DESCRIPTION

ISSUE DATE: 01/03/2024  
PROJECT NO.: 15-23004-00  
DRAWN BY: SBT  
CHECKED BY: LAF  
ORIGINAL SHEET SIZE IS 30" x 42"  
SHEET TITLE: **LANDSCAPE PLAN**  
SHEET NO.: **2L-300**  
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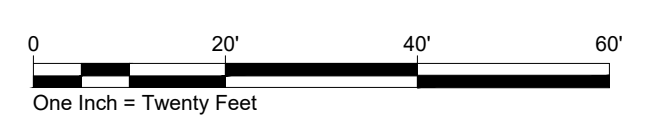




**LANDSCAPE PLAN NOTES:**

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PLANT SCHEDULE					
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
<b>TREES</b>					
	ACE RBR	Acer rubrum / Red Maple	2.5' Cal.		3
	NYS SYL	Nyssa sylvatica / Tupelo	2.5' Cal.		2
	OST VIR	Ostrya virginiana / American Hophornbeam	2.5' Cal.		1
<b>FLOWERING TREES</b>					
	COR FLO	Cornus florida / Flowering Dogwood	2.5' Cal.		3
<b>SHRUBS</b>					
	Cea ame	Ceanothus americanus / New Jersey Tea	3 gal.	36" o.c.	59
	Hyd wil	Hydrangea arborescens / Wild Hydrangea	3 gal.	60" o.c.	15
	Ite sha	Ilex glabra / Shamrock / Shamrock Inkberry Holly	3 gal.	48" o.c.	21
	Rhu gro	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal.	72" o.c.	28
<b>GROUND COVERS</b>					
	Ely hys	Elymus hystrix / Bottlebrush Grass	Plug	12" o.c.	602
	Era spe	Eragrostis spectabilis / Purple Lovegrass	Plug	12" o.c.	753
	Rud bla	Rudbeckia fulgida / Coneflower	Plug	12" o.c.	355
	Spo het	Sporobolus heterolepis / Prairie Dropseed	Plug	12" o.c.	1,236
	Tur sod	Turf Sod	sod		7,269 sf



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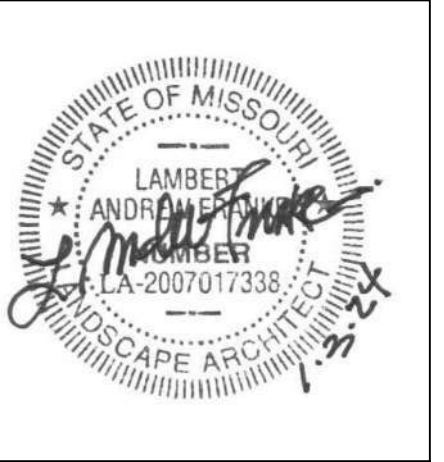
**SSC**  
 SSC ENGINEERING, INC.  
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**Larson Engineering**  
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**PLANNING DESIGN STUDIO**  
 PLANNING DESIGN STUDIO  
 2818 BILTON BLVD., STE. 100  
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**BUILDING STRONGER CDI COMMUNITIES**  
 CIVIL DESIGN, INC.  
 520 OAKLAND AVE.  
 ST. LOUIS, MO 63111  
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**Chesterfield Family YMCA**  
 PACKAGE 2 - PARTIAL DEMOLITION AND EXPANSION  
 16464 BURKHARDT PL  
 CHESTERFIELD, MO 63017  
 ASDP REVIEW SUBMISSION



ISSUE	MARK	DATE	DESCRIPTION
ISSUE DATE		01/03/2024	
PROJECT NO.		15-23004-00	
DRAWN BY		SBT	
CHECKED BY		LAF	

ORIGINAL SHEET SIZE IS 30" x 42"  
 SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NO.  
**2L-301**  
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**SSC**  
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**Larson Engineering**  
 LARSON ENGINEERING  
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 ST. LOUIS, MO 63143  
 (314) 751-4170

**PLANNING DESIGN STUDIO**  
 PLANNING DESIGN STUDIO  
 2818 BUTTON BLVD. STE. 1  
 ST. LOUIS, MO 63143  
 (314) 528-5258

**CDI COMMUNITIES**  
 BUILDING STRONGER COMMUNITIES  
 CIVIL DESIGN, INC.  
 520 DANLAND AVE.  
 ST. LOUIS, MO 63111  
 (314) 860-4427

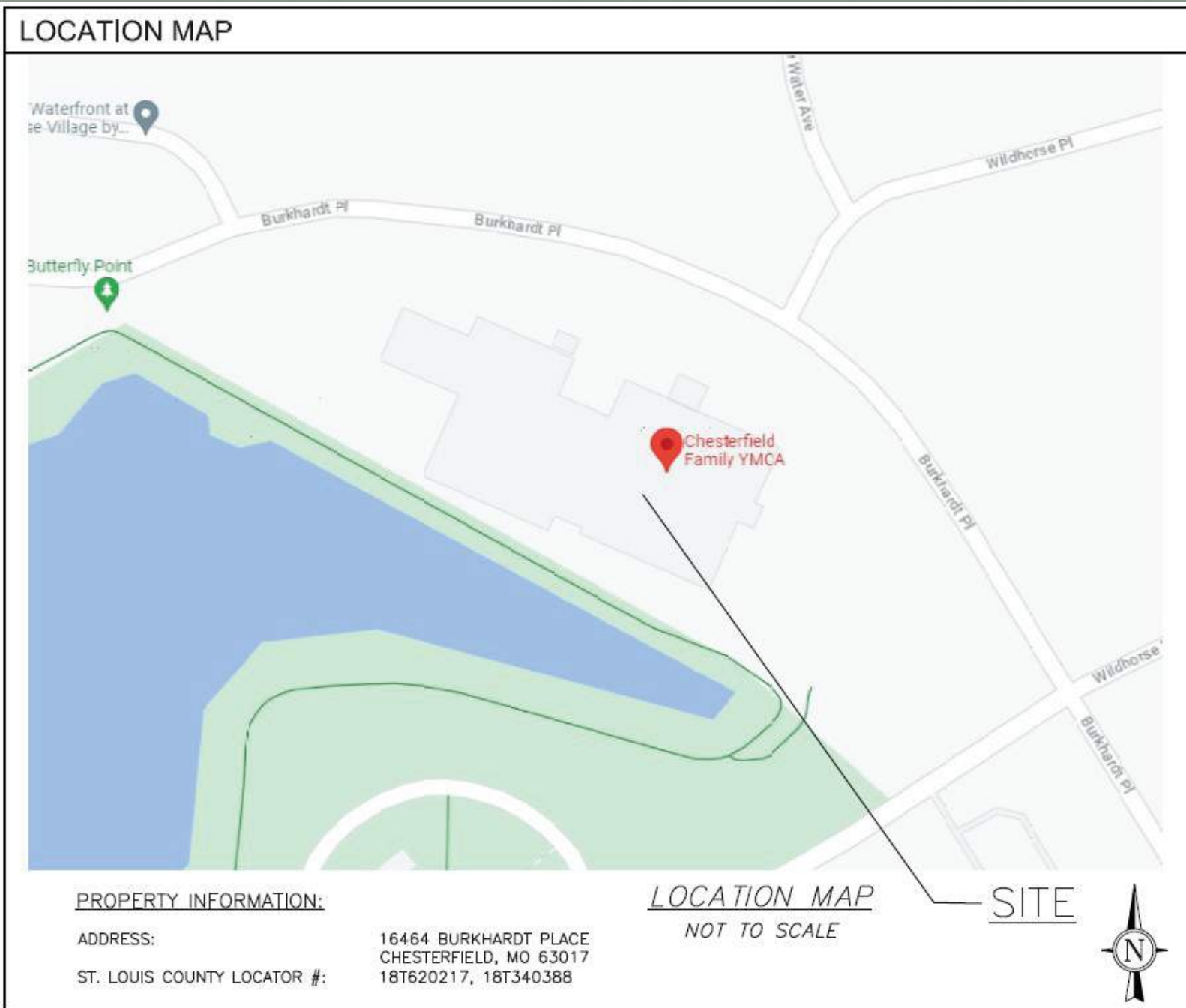
Chesterfield Family YMCA  
 PACKAGE 2 - PARTIAL DEMOLITION AND EXPANSION  
 16464 BURKHARDT PL  
 CHESTERFIELD, MO 63017  
 ASDP REVIEW SUBMISSION

ISSUE MARK	DATE	DESCRIPTION

ISSUE DATE: 01/03/2024  
 PROJECT NO: 15-23004-00  
 DRAWN BY: SBT  
 CHECKED BY: LAF

ORIGINAL SHEET SIZE IS 30" x 42"  
 SHEET TITLE:  
**SITE & LANDSCAPE PLAN**

SHEET NO.  
**2L-302**  
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# Site and Landscape Plan

Chesterfield Family YMCA



### RADEAN Bollard LED Site Luminaire

**Specifications**  
 Diameter: D = 8.25" (20.9cm)  
 Height: H = 41.5" Standard (105.41cm)  
 Weight (each): 205lb (92.7kg)

**Introduction**  
 The Radean LED Bollard is an award-winning, energy-saving, long-life solution designed to perform the way a bollard should. The Radean LED Bollard's rugged construction, durable finish and long-lasting LEDs will provide years of maintenance-free service.

**Ordering Information**

Series	Performance Package	Color temperature	Distribution	277V	DMG	Control options	Bollard top finishes
RADEAN	P1	27K	2700K	AS7	Asymmetric	SYM	SYM
	P2	30K	3000K	SM	Symmetric		
	P3	30K	3000K				
	P4	40K	4000K				
	P5	50K	5000K				

**EXAMPLE: RADB LED P4 30K SYM MVOLT BTS BCCDNATXD DBLXD**

Series	Performance Package	Color temperature	Distribution	277V	DMG	Control options	Bollard top finishes
RADEAN	P4	40K	4000K	SM	Symmetric	MVOLT	BTS
							BCCDNATXD
							DBLXD

**Shipping/Installation**

Series	Performance Package	Color temperature	Distribution	277V	DMG	Control options	Bollard top finishes
RADEAN	P1	27K	2700K	AS7	Asymmetric	SYM	SYM
	P2	30K	3000K	SM	Symmetric		
	P3	30K	3000K				
	P4	40K	4000K				
	P5	50K	5000K				

**BCFBLXD**

Series	Performance Package	Color temperature	Distribution	277V	DMG	Control options	Bollard top finishes
BCFBLXD	P1	27K	2700K	AS7	Asymmetric	SYM	SYM
	P2	30K	3000K	SM	Symmetric		
	P3	30K	3000K				
	P4	40K	4000K				
	P5	50K	5000K				

**DBLXD**

Series	Performance Package	Color temperature	Distribution	277V	DMG	Control options	Bollard top finishes
DBLXD	P1	27K	2700K	AS7	Asymmetric	SYM	SYM
	P2	30K	3000K	SM	Symmetric		
	P3	30K	3000K				
	P4	40K	4000K				
	P5	50K	5000K				

### GARDCO Site & Area EcoForm

by @ignify

EcoForm small area light

Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 27,800 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

**Ordering guide**

Profile	Number of LEDs	Beam Spread	LED Color / Generation	Mounting	Rotation	Height	Input
ECP-S	64L	90°	NW-G2	RAM	3	277	100V

**Example: ECF-S-64L-90°-NW-G2-AR-S-120-HIS-M5Y**

**Options**

Option	Description	Price
0P*	0-10V External dimming (for control by other)	
0PCC**	0-10V External dimming (for control by other)	
0PCC**	0-10V External dimming (for control by other)	
0PCC**	0-10V External dimming (for control by other)	
0PCC**	0-10V External dimming (for control by other)	

### HALO Commercial PR6 | PR6M

6-inch LED self-flanged, lensed downlight and wall wash

Typical Applications  
 Office • Healthcare • Hospitality • Institutional

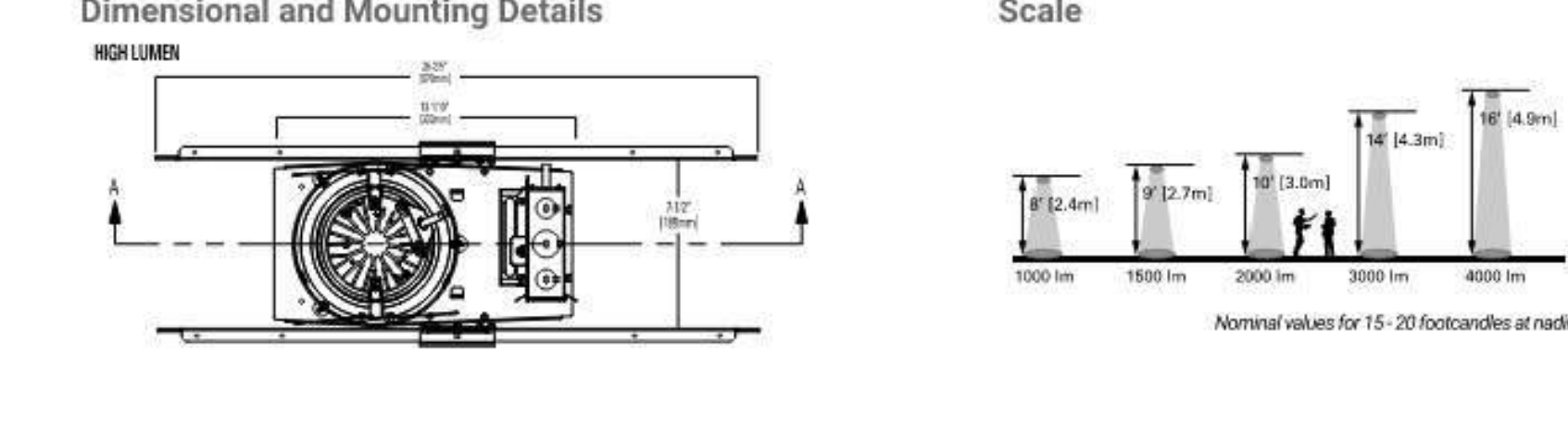
**Interactive Menu**

- Order Information page 2
- Product Specifications page 3
- Photometric Data page 4
- Energy & Performance Data page 6
- Connected Systems page 9
- Product Warranty

**Product Certification**

**Product Features**

- Selectable lumens 1000/1500/2000 and 2000/3000/4000
- Selectable color temperature 3000K/3500K/4000K
- Available in 80 CRI or 90 CRI
- Medium/Wide beam distribution lens
- Wall wash accessory kit
- Rapid Response emergency backup mounting frames - fast delivery option

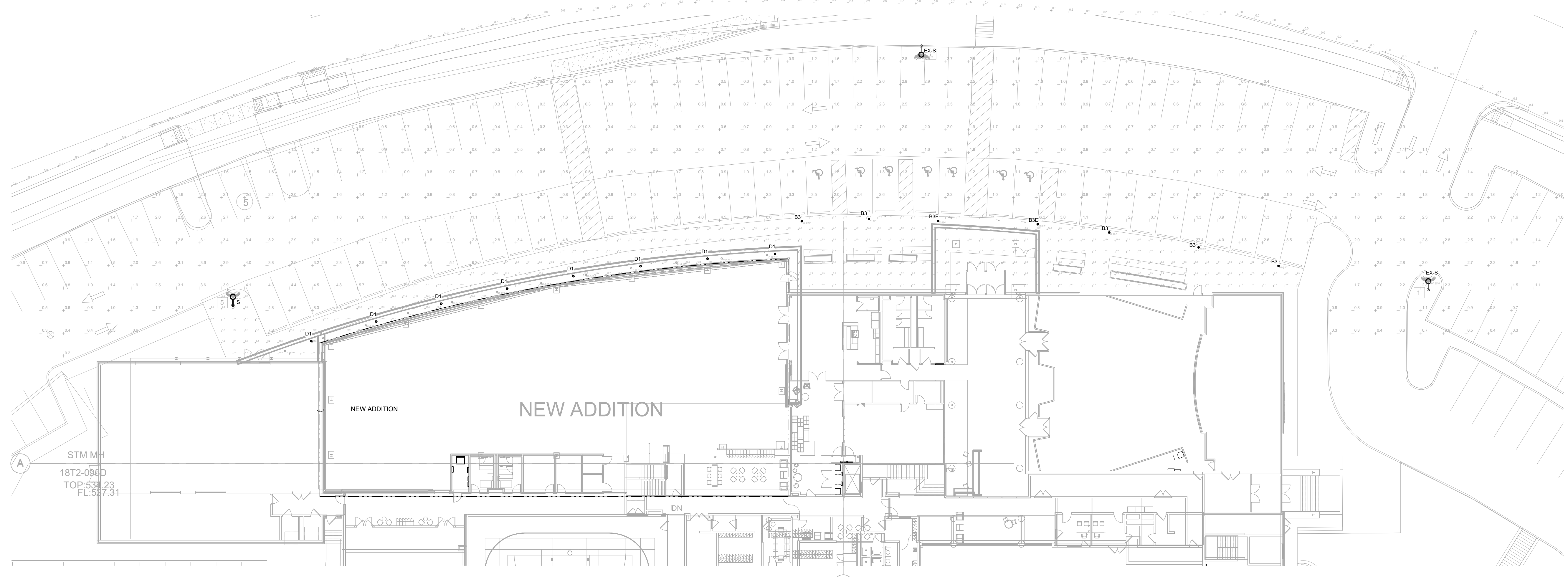


### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Prop Line	+	0.2 fc	0.9 fc	0.0 fc	N/A	N/A
Sidewalk	+	5.7 fc	49.9 fc	0.1 fc	499.0:1	57.0:1
Parking Lot	+	1.7 fc	36.2 fc	0.2 fc	181.0:1	8.5:1

**Schedule**

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number	Lamp Output	LLF	Input Power	Polar Plot
○	S		1	SIGNIFY GARDCO	ECF-S-64L-90°-NW-G2-3	EcoForm Area LED ECF - Small, 64 LED's, 4000K CCT, TYPE 3 OPTIC, No Shield	1	23328	1	177.8	
○	B3		7	Lithonia Lighting	RADB LED PS 40K SYM DBLXD	RADB LED PS 40K SYM DBLXD	1	2215	1	32.31	
○	EX-S		2	SIGNIFY GARDCO	ECF-S-48L-90°-NW-G2-3	EcoForm Area LED ECF - Small, 48 LED's, 4000K CCT, TYPE 3 OPTIC, No Shield	1	17626	1	135.1	
○	D1		12	COOPER LIGHTING SOLUTIONS - HALO COMMERCIAL (FORMERLY EATON)	PR6M24NDPFSHW 4000LM3500K	PR6 MEDIUM LENS WITH MATTE WHITE FINISH	1	4991	1	39	



ELECTRICAL PHOTOMETRIC SITE PLAN - RENO - PKG 2  
 SCALE: 1" = 20'-0"  
 NORTH

**KAI**

2060 Craigshire Road  
 Saint Louis, MO 63146  
 T. 314.241.8188  
 F. 314.241.0125  
 www.kai-db.com

**SSC**

SSC ENGINEERING, INC.  
 807 EDISON AVE  
 CHESTERFIELD, MO 63005  
 (314) 538-7770

**Larson Engineering**

LARSON ENGINEERING  
 1800 CRAIGSHIRE RD., STE. 300  
 ST. LOUIS, MO 63146  
 (314) 725-4170

**PLANNING DESIGN STUDIO**

PLANNING DESIGN STUDIO  
 2818 BURTON BLVD. STE. 1  
 ST. LOUIS, MO 63143  
 (314) 528-0208

**CDI COMMUNITIES**

CIVIL DESIGN, INC.  
 520 DANLAND AVE.  
 ST. LOUIS, MO 63111  
 (314) 860-4427

Chesterfield Family YMCA  
 PACKAGE 2 - PARTIAL DEMOLITION AND EXPANSION  
 16464 BURKHARDT PL  
 CHESTERFIELD, MO 63017

ASDP REVIEW SUBMISSION

STATE OF MISSOURI  
 JEFFREY A. HUETTENBERGER  
 PROFESSIONAL ENGINEER  
 NUMBER: PE00001855

11/01/23  
 Jeffrey A. Huettenger, Professional Engineer  
 MO LIC# PE-200118765 EXP-12/31/23

MARK	DATE	DESCRIPTION
	11/22/23	PERMIT REVIEW

ISSUE DATE: 01/03/2024  
 PROJECT NO: 15-23004-00  
 DRAWN BY: KWS  
 CHECKED BY: JAH

ORIGINAL SHEET SIZE IS 30" x 42"  
 SHEET TITLE: ELECTRICAL PHOTOMETRIC SITE PLAN

SHEET NO: 2E-003A  
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