

VII.D.

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Planning Commission Staff Report

Meeting Date: January 22nd, 2024

From: Alyssa Ahner, Planner

Location: 17017 N. Outer 40 Road

Description: <u>The District (ASDP)</u>: An Amended Site Development Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations located on a 48.15-acre tract of land located north of N. Outer 40 Road and east of Boone's Crossing.

PROPOSAL SUMMARY

Stock & Associates, on behalf of TSG Chesterfield Lifestyle, LLC, has submitted an Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for a proposed parking addition in place of "Building L" and a portion of "Building M".



Figure 1: Subject Site

HISTORY OF SUBJECT SITE

Pre-1988: Subject site zoned "NU" Non-Urban.

- 2011: Subject site rezoned from "NU" Non-Urban to "PC" Planned Commercial under governing Ordinance 2682.
- 2012: A Site Development Plan for a 472,282 sq ft outlet mall, formerly known as 'Chesterfield Outlets', was approved.
- 2019: The current governing Ordinance 3049 was approved. An Amended Site Development Plan (ASDP) for Phase 1 of 'The District' was approved subsequently.
- 2020: An ASDP was approved to remove an office and parking garage component of the development.
- 2021: An ASDP was approved for the realignment of the westernmost entrance.
- 2022: Two submittals for ASDP's were reviewed and approved. One, for the removal of "Building J" to create an open-air entertainment area referred to as "The Hub". Two, for the removal of "Building L" and a portion of "Building M" to create a mixed-use restaurant/recreation facility referred to as "The Real Dill". "The Hub" was constructed and is open to the public. The construction plans for "The Real Dill" have been withdrawn and are no longer under review by the City.

STAFF ANALYSIS

a. Circulation System, Parking, & Access

The applicant is proposing demolishing "Building L" and a portion of "Building M" for a parking lot expansion (see *Figure 2*). This redevelopment would remove roughly 10,000 square feet of retail space and add 216 parking spaces just west of "Main Event" or "Building N". There are no changes proposed to the existing circulation system and access points.

The parking for "The District" is calculated using the "Retail Center" parking standards. The only stand-alone use that is calculated separately from the remainder of "The District" is the



Figure 2: Buildings affected by parking expansion

"theater" use. The minimum parking required for the development, accounting for the loss in building square footage in this redesign, is 2,028 spaces. The maximum allowed would be a total of 3,034 spaces. The addition of the 216 parking spaces would increase the total to 2,652.

b. Landscape Design & Screening

The openspace requirement for this development is 30%. The proposed parking expansion brings the site to 31%. In regards to landscaping, "The District" is adjacent to the Monarch-Chesterfield Levee and there are limitations as to what may be planted within the seepage berm i.e., there aren't any trees proposed for this project. The applicant is proposing a mixture of smaller plantings within the new parking islands and abutting the modified store fronts. A new trash enclosure is proposed at the

northeast corner of the modified "Building M". It will be 8' tall and be screened by a mixture of plantings. This is located "interior" to the development.

c. Lighting

There are seven (7) new light poles proposed within the parking expansion. These fixtures will match the existing light poles and have been found to be code compliant.

d. Elevations

The demolition of "Building L" and a portion of "Building M" requires modifications to the existing building elevations. The areas of the buildings that will be "cut-off" are to be refinished to match the existing look of the development. The most visible change will be the elimination of the tower component on "Building M" that fronts N. Outer 40 Road. *Figure 3* below depicts the amended south elevation for "Building M".

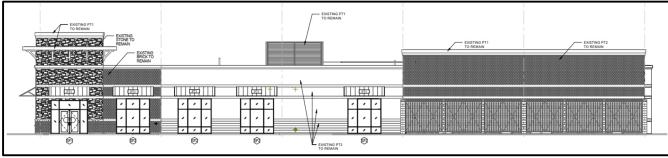


Figure 3: Modified south elevation of "Building M"

STAFF RECOMMENDATION

Staff has reviewed the Amended Site Development Plan, Landscape Plan, Lighting Plan, and Amended Architectural Elevations and found that it meets the requirements to be presented to the Planning Commission for review. Staff recommends action.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for The District (ASDP), as presented.
- 2) "I move to approve the Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for The District (ASDP) to the Planning Commission with a recommendation for approval with the following conditions..."

(Conditions may be added, eliminated, altered or modified)

Attachments:

1. Applicant's Planning Commission Packet

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CHESTERFIELD ORDINANCE NO. 3049					
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(SIGNATURE):					
(NAME TYPED):	MICHAEL H. STAENBERG				
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PREPARED FOR TSG CHESTERFIELD LIFESTYLE, LLC 2127 INNERBELT BUSINESS CENTER DR.

SUITE 200, ST. LOUIS, MO 63114

PHONE: (314) 513–1500

DISCLAIMER:

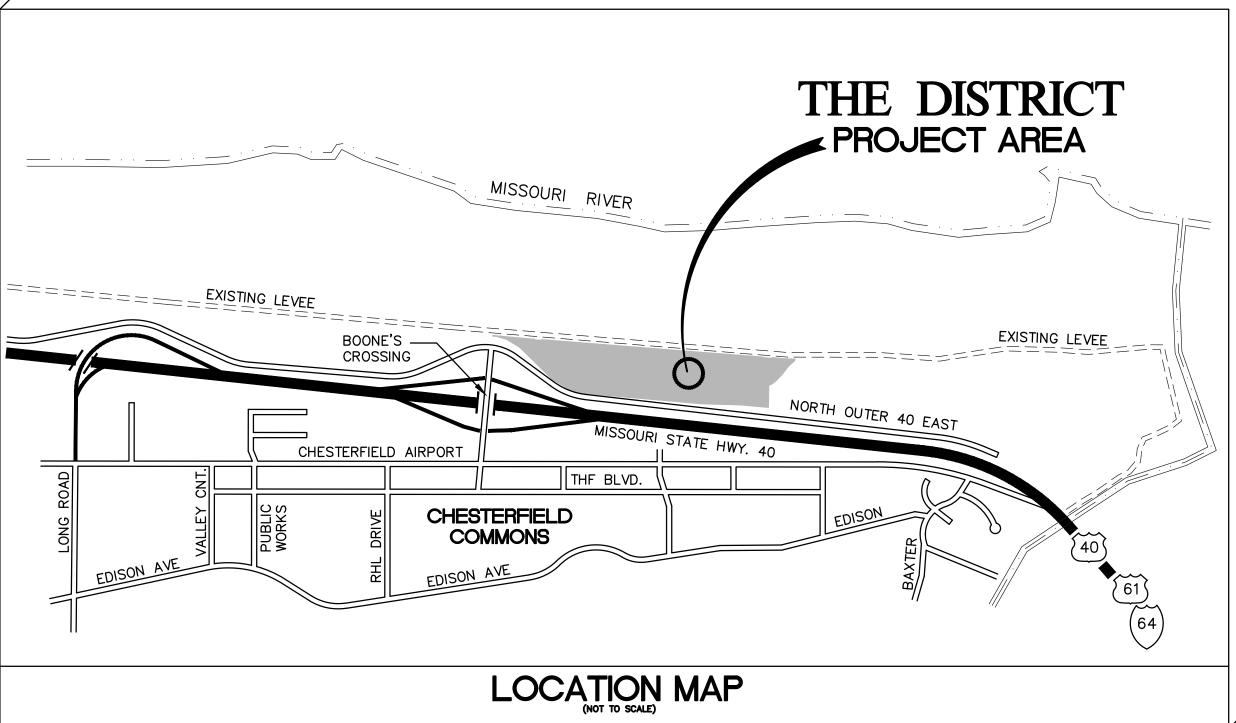
STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

THE DISTRICT 8TH AMENDED SITE DEVELOPMENT PLAN

A TRACT OF LAND BEING ADJUSTED LOT 1 AND 2 OF THE "BOUNDARY ADJUSTMENT PLAT OF PART OF LOTS 6, AND 7 OF HERMAN FICKE ESTATE SUBDIVISION, PART OF ADJUSTED TRACT B OF THE BOUNDARY ADJUSTMENT PLAT AS RECORDED IN PLAT BOOK 354, PAGES 5 AND 6 AND PART OF ADJUSTED LOT 1 OF HAYNES BOUNDARY ADJUSTMENT PLAT AS RECORDED IN THAT BOOK 357. PAGES 3 AND 4" ACCORDING TO THE BOUNDARY ADJUSTMENT PLAT THEREOF RECORDED IN PLAT BOOK 360 PAGE 137, LOCATED IN U.S. SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD ST. LOUIS COUNTY, MISSOURI

TOTAL TRACT = $48.151 \text{ AC.} \pm$

PARKING ADDITION THE DISTRICT



TE INFORMATION

- = 48.151 ACRES ±
- = "PC" PLANNED COMMERCIAL (ORD. #3049) = CHESTERFIELD, MISSOURI
- = 63005
- = 17017 N. OUTER 40 RD.
- = TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD c/o CHESTERFIELD LIFESTYLE, LLC

PB.

PG.

N/F

MID

PDE

PRWE

PSDE

PTSE

TSCL

RMUE

FND.

ARV

PVC

RCP

VCP

TS

CET FBD

SQ.

(#'w)

(REC)

- IAP = PAGE 36, GRID P-24= METROPOLITAN ST. LOUIS SEWER DISTRICT
- = CAULKS CREEK, MISSOURI RIVER
- EL = FIRM 29189C0165K, EFFECTIVE FEB. 4, 2015 = MONARCH FIRE PROTECTION DISTRICT 13725 OLIVE BLVD.
- CHESTERFIELD, MO 63017 = MISSOURI AMERICAN WATER COMPANY

ABBREVIATIONS

PTIC CABLE
C AD ELECTRIC ROUND ELECTRIC RY ONE
TO GRADE TO GRADE BY OTHERS ABANDONED REMOVED REMOVED AND REPLACED REMOVED AND RELOCATED REMOVED, RELOCATED OR CED BY OTHERS PLACE
G G G ON IE OF CURB F CURB VALL OF CURB WALL I OF CURB WALL I OF WALL I OF WALL I OF WALL I OF WALL I OF WALL I OF WALL I OF W

- DEED BOOK
- PLAT BOOK – PAGE
- RIGHT OF WAY WIDTH - RECORDED INFORMATION
- FEET - NOW OR FORMERLY
- MAJOR LAND DISTURBANCE – PERMANENT DRAINAGE EASEMENT
- PERMANENT RETAINING WALL EASEMENT - PERMANENT SIGHT DISTANCE EASEMENT PERMANENT TRAFFIC SIGNAL EASEMENT
- PRIMUSSE PERMANENT ROADWAY IMPROVEMENT, MAINTENANCE, UTILITY, SEWER,
 - SIDEWALK EASEMENT - TEMPORARY SLOPE AND CONSTRUCTION LICENSE
 - ROADWAY MAINTENANCE AND UTILITY EASEMENT
 - FOUND – SQUARE
 - AREA INLET - CURB INLE
 - CLEANOUT - GRATE INLE
 - MANHOLE - ROOF DRAIN – YARD DRAIN
 - LIGHT STANDARD - DOWN SPOUT
 - AIR RELIEF VALVE - HIGH DENSITY POLYETHYLENE PIPE
- HDPE - POLYVINYL CHLORIDE PIPE PLAS – PLASTIC PIPE
 - REINFORCED CONCRETE PIPE - VITRIFIED CLAY PIPE
 - TAILSTAKE - CRASHWORTHY END TERMINAL

– FLAT BOTTOM DITCH

ST. LOUIS COUNTY BENCHMARK

#12—166 ELEV.=458.86

"STANDARD ALUMINUM DISK" STAMPED SL–32. 1990. DISK I SET IN BETWEEN THE HWY I-64 NORTH OUTER ROAD AND THE WEST BOUND HWY. I-64; 19' SOUTH OF THE CENTERLINE OF THE NORTH BOUND LANE HWY. I-64. APPROXIMATELY 0.5 MILES EAST OF THE INTERSECTION OF BOONES CROSSING ROAD AND NORTH OUTER ROAD. (SL-32 WAS RESET FROM UNDERGROUND POSITION. THIS IS A NEW ELEVATION SET IN JULY 2002.) AS SHOWN HEREON

GENERAL NOTES

- 1. BOUNDARY AND TOPOGRAPHIC SURVEY BY STOCK & ASSOCIATES CONSULTING ENGINEERS, INC. 2. ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED.
- IF ACTUAL LOCATIONS VARY PER CONTRACTOR INVESTIGATION, ADJUSTMENTS OR PLAN MODIFICATIONS MAY BE REQUIRED.
- 3. NO GRADE SHALL EXCEED 3:1 SLOPE.
- 4. GRADING AND STORM WATER PER M.S.D., MODOT, ST. LOUIS COUNTY, THE CITY OF CHESTERFIELD AND THE MONARCH CHESTERFIELD LEVEE DISTRICT.
- 5. STORM WATER SHALL BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- NO STEPS ALLOWED AT ACCESSIBLE ENTRANCE DOORS.
- 7. ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
- 8. APPROVAL OF SIGN LOCATIONS DOES NOT CONSTITUTE APPROVAL. SIGN APPROVAL WILL BE THROUGH A SEPARATE SIGN PACKAGE APPLICATION.
- ACCESS TO THIS DEVELOPMENT FROM NORTH OUTER 40 SHALL BE VIA 4 ENTRANCES LOCATED ALONG THE NORTHERN EDGE OF NORTH OUTER 40 DRIVE TO PROVIDE REQUIRED SIGHT DISTANCE AND CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC. IN ADDITION, THE REQUIREMENTS OF THE CITY OF CHESTERFIELD MUST BE MFT
- 10. ALL ACCESS TO ST. LOUIS COUNTY ROADS FOR THE DEVELOPMENT SHALL MEET MINIMUM ST. LOUIS
- COUNTY AND THE CITY OF CHESTERFIELD SIGHT DISTANCE REQUIREMENTS. 11. ALL PERMANENT SIGHT DISTANCE EASEMENTS (P.S.D.E.) HAVE BEEN DESIGNED ACCORDING TO ST. LOUIS COUNTY STANDARDS (STANDARD DRAWING 40.25-1)
 - DESIGN SPEED = 45 MPH "W" = 2 LANES
 - "X" & "Z" = 530 FEET (TYPICAL)
- 12. THERE IS NO PROPOSED WORK IN ST. LOUIS COUNTY RIGHT-OF-WAY FOR THIS PROJECT.
- 13. ALL SIDEWALKS ARE TO BE CONSTRUCTED PER MoDOT, ST. LOUIS COUNTY, CITY OF CHESTERFIELD AND/OR A.D.A. STANDARDS AND SHALL HAVE A MAXIMUM 2.0% CROSS SLOPE.
- 14. ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY AND CHESTERFIELD STANDARDS.
- 15. NOTE PER FIRE MARSHALL: THE FIRE PROTECTION WATER SUPPLY SYSTEM WILL BE REVIEWED FOR FINAL APPROVAL WHEN THE INSTALLING CONTRACTOR SUBMITS PLANS, SPECIFICATIONS AND CALCULATIONS FOR PERMITS TO INSTALL THE SYSTEM. THE FIRE HYDRANT LOCATIONS AND PIPING LAYOUT SHOWN ON THIS PLAN IS ACCEPTABLE AND APPROVED FOR THE PURPOSE OF THIS SITE DEVELOPMENT PLAN REVIEW.
- 16. ALL ON SITE TRAFFIC CONTROL DEVICES SHOULD COMPLY WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 17. ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS.

SHEET INDEX

C3

- TITLE SHEET GENERAL NOTES

- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN C.6
- SECTION / SKY EXPOSURE PLAN C7-C8 -
- L1-L3 SITE PLANTING PLAN SITE LIGHTING - PHOTOMETRIC E100
- PARTIAL SITE PLAN AND DETAILS
- BUILDING 'G' EAST ELEVATION - BUILDING 'M' NEW FLOOR PLAN A102
- A200 BUILDING 'M' EXTERIOR ELEVATIONS

8TH AMENDED SITE DEVELOPMENT PLAN NOTES

- 1. APPROVED SITE DEVELOPMENT PLAN RECORDED IN PB. 360, PGS. 89-106 ON APRIL 3, 2012
- 2. APPROVED AMENDED SITE DEVELOPMENT PLAN RECORDED IN PB. 360, PGS. 341-348 ON OCTOBER 30, 2012 APPROVED 2ND AMENDED SITE DEVELOPMENT PLAN RECORDED IN PB. 361, PGS. 231-242 ON JULY 19, 2013
- 4. APPROVED 3RD AMENDED SITE DEVELOPMENT PLAN RECORDED IN PB. 367, PGS. 444-474 ON OCTOBER 25, 2019
- APPROVED 4TH AMENDED SITE DEVELOPMENT PLAN RECORDED IN PB. 368, PGS. 264-283 ON JUNE 12, 2020
- APPROVED 5TH AMENDED SITE DEVELOPMENT PLAN RECORDED IN PB. 369, PGS. 31-44 ON FEBRUARY 10, 2021
- 7. APPROVED 6TH AMENDED SITE DEVELOPMENT PLAN RECORDED IN PB. 370, PGS. 270-280 ON JULY 6, 2022

GENERAL SITE NOTES

- PRESENT ZONING: "PC" (PLANNED COMMERCIAL) CITY OF CHESTERFIELD ORDINANCE NO. 3049 SUBJECT PROPERTY LIES WITHIN FLOOD ZONE SHADED X (AREAS WITH REDUCED FLOOD RISK DUE TO LEVEE) ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP 29189C0165K WITH AN EFFECTIVE DATE OF 02/04/2015.
- BASIS OF BEARING ADOPTED FROM PB. 360, PGS. 137-138.
- TOTAL BUILDING FLOOR AREA SHALL NOT EXCEED 500,000 SQUARE FEET.
- THERE IS A MAXIMUM F.A.R. OF 0.55 AS REQUIRED BY THE PC DISTRICT REGULATIONS. THE MAXIMUM HEIGHT OF THE BUILDING. EXCLUSIVE OF ROOFTOP MECHANICAL EQUIPMENT AND
- SCREENING SHALL NOT EXCEED 45 FEET; HOWEVER, ARCHITECTURAL FEATURES, INCLUDING BUT NO LIMITED TO TOWERS, THAT DO NOT ADD ANY USABLE FLOOR AREA MAY BE A MAXIMUM OF 60 FEET IN HEIGHT

THE MAXIMUM HEIGHT OF THE PAVILION AND THE INDOOR THEATRE TO BE CONSTRUCTED ON THE PROPERTY, INCLUDING ROOFTOP MECHANICAL EQUIPMENT, ARCHITECTURAL FEATURES AND SCREENING SHALL NOT EXCEED 60 FEET

- THERE IS A MINIMUM OPEN SPACE OF 35% AS REQUIRED BY THE PC DISTRICT REGULATIONS TRASH ENCLOSURES WILL ONLY BE LOCATED ON THE NORTH SIDE OF THE DEVELOPMENT UNLESS OTHERWISE APPROVED BY THE CITY OF CHESTERFIELD. ENCLOSURES APPROVED ON THE SOUTH SIDE
- SHOULD INCLUDE SOLID SCREENING TO ENSURE THE DUMPSTERS ARE NOT VISIBLE FROM SIGHT TRANSFORMERS ON THE SOUTH SIDE OF THE BUILDING WILL BE COMPLETELY CONTAINED WITHIN THE SCREENED WALLS ADJACENT TO THE RETAIL DEVELOPMENT.
- TRANSFORMERS ON THE NORTH SIDE OF THE PROPERTY SHALL BE SCREENED FROM VIEW FROM THE NORTH OUTER 40 ROAD BY A SCREENING MATERIAL WHICH MATCHES THE EXISTING BUILDING OR LANDSCAPING IN ACCORDANCE TO THE CITY OF CHESTERFIELD UNIFIED DEVELOPMENT CODE.
- 10. ROOF DRAINS, GUTTERS AND DOWNSPOUTS ON THE SOUTH SIDE OF THE DEVELOPMENT WILL BE INTERNAL.
- 11. ALL WALL MOUNTED UTILITIES WILL BE PAINTED TO MATCH THE BUILDING AND THEY WILL BE INSTALLED BELOW THE HEIGHT OF THE SCREEN WALL. ANY PIPING, CONDUIT, ETC., THAT NEEDS TO BE MOUNTED ABOVE THE SCREENING OR THAT NEEDS TO BE CONTINUED UP TO THE ROOF LINE, IS TO BE INTEGRATED INTO THE EXTERIOR FACADE.
- 12. ROOFTOP MECHANICAL EQUIPMENT WILL BE SCREENED FROM ALL DIRECTIONS.
- 13. SITE DRAINS TO MASTER DRAINAGE CHANNEL @ S.E. CORNER OF PROPERTY.
- 14. ALL PROPOSED MSD WATER QUALITY POROUS PAVEMENT BMPS WILL BE CONTAINED WITHIN A MAINTENANCE AGREEMENT WITH MSD. THE ACTUAL LOCATION AND SIZES OF THE FINAL MAINTENANCE BMPS WILL BE DETERMINED AND RECORDED PRIOR TO MSD CONSTRUCTION APPROVAL.
- SETBACKS (PER ORDINANCE 3049) 15. STRUCTURE SETBACKS
- NO BUILDING, STRUCTURE, OTHER THAN: FREESTANDING PROJECT IDENTIFICATION SIGNS, LIGHT STANDARDS OR FLAG POLES WILL BE LOCATED WITHIN THE FOLLOWING SETBACKS: 75 FEET FROM THE SOUTHERN BOUNDARY OF THE PC DISTRICT. 25 FEET FROM THE NORTH, EAST AND WEST BOUNDARIES OF THE PC DISTRICT.
- 16. PARKING SETBACKS
- NO PARKING STALL, LOADING SPACE, INTERNAL DRIVEWAY, OR ROADWAY, EXCEPT POINT OF INGRESS OR EGRESS, WILL BE LOCATED WITHIN THE FOLLOWING SETBACKS: 30 FEET FROM THE NORTH, SOUTH AND WEST BOUNDARIES OF THE PC DISTRICT. 0 FEET FROM THE EASTERN BOUNDARY OF THE PC DISTRICT.

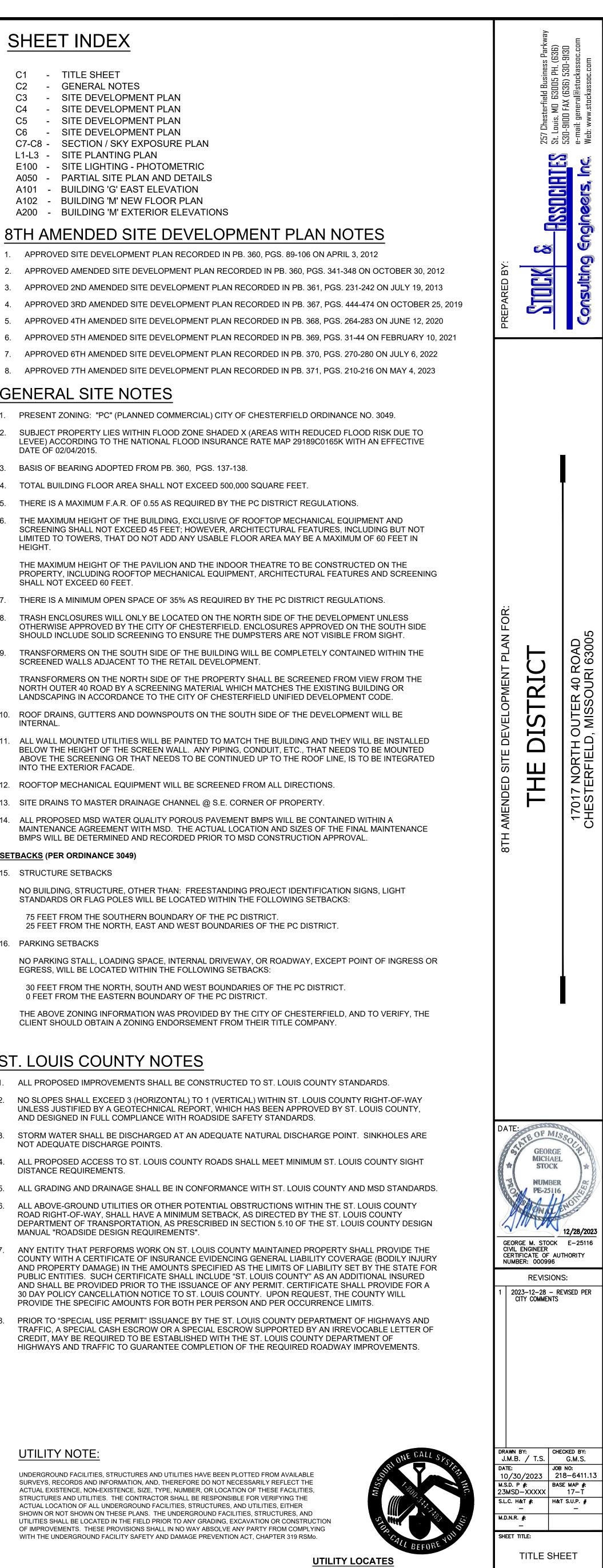
THE ABOVE ZONING INFORMATION WAS PROVIDED BY THE CITY OF CHESTERFIELD, AND TO VERIFY, THE CLIENT SHOULD OBTAIN A ZONING ENDORSEMENT FROM THEIR TITLE COMPANY.

ST. LOUIS COUNTY NOTES

- 1. ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL) WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY UNLESS JUSTIFIED BY A GEOTECHNICAL REPORT, WHICH HAS BEEN APPROVED BY ST. LOUIS COUNTY,
- AND DESIGNED IN FULL COMPLIANCE WITH ROADSIDE SAFETY STANDARDS. 3. STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- 4. ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS SHALL MEET MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.
- 5. ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS.
- ALL ABOVE-GROUND UTILITIES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY ROAD RIGHT-OF-WAY, SHALL HAVE A MINIMUM SETBACK, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF TRANSPORTATION, AS PRESCRIBED IN SECTION 5.10 OF THE ST. LOUIS COUNTY DESIGN MANUAL "ROADSIDE DESIGN REQUIREMENTS".
- ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE "ST. LOUIS COUNTY" AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
- PRIOR TO "SPECIAL USE PERMIT" ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC. A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MAY BE REQUIRED TO BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.

UTILITY NOTE:

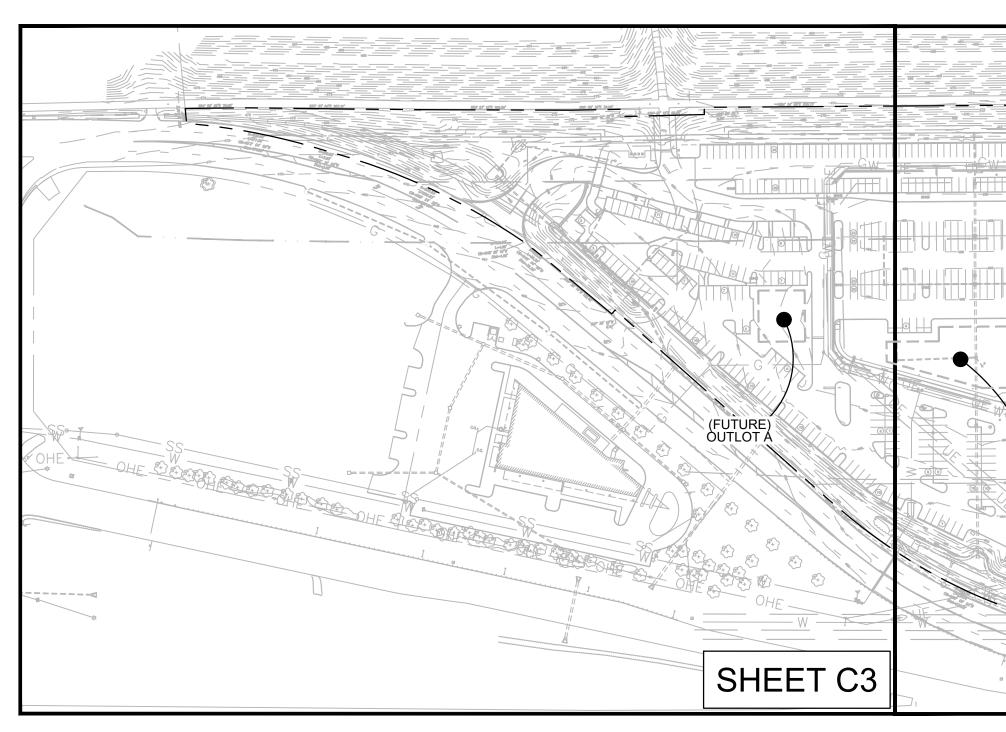
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND, THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.



UTILITY LOCATES MISSOURI ONE-CALL: 811 OR

1-800-344-7483

C1



PROPERTY DESCRIPTION

A TRACT OF LAND BEING ADJUSTED LOT 1 OF THE BOUNDARY ADJUSTMENT PLAT OF LOT 4 AND 5 OF THE JAMES LONG'S ESTATE AND PART OF LOTS 1 AND 2 OF THE SUBDIVISION OF LUDWELL BACON'S ESTATE, AND LOTS 6, 7, 8 AND 9 OF HERMAN FICKE ESTATE SUBDIVISION AND A TRACT OF LAND AS CONVEYED TO TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD, LLC BY INSTRUMENT RECORDED IN BOOK 20516, PAGE 2999 OF THE ST. LOUIS COUNTY RECORDS, LOCATED IN U.S. SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE FIFTH PRINCIPAL MERIDIAN CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI., BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF ABOVE SAID ADJUSTED LOT 1, SOUTH 01 DEGREE 38 MINUTES 15 SECONDS WEST. 32.40 FEET TO THE SOUTHEAST CORNER OF ABOVE SAID TAUBMAN TRACT. SAID POINT BEING LOCATED ON THE NORTH RIGHT-OF-WAY LINE OF NORTH OUTER 40 ROAD VARIABLE WIDTH; THENCE ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING COURSES AND DISTANCES: NORTH 84 DEGREES 18 MINUTES 34 SECONDS WEST, 260.09 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 5,020.50 FEET; ALONG SAID CURVE WITH AN ARC LENGTH OF 117.62 FEET AND A CHORD WHICH BEARS, NORTH 84 DEGREES 58 MINUTES 50 SECONDS (4) WEST, 117.62 FEET; NORTH 85 DEGREES 39 MINUTES 06 SECONDS WEST, 509.93 FEET TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 5,005.00 FEET; ALONG SAID CURVE WITH AN ARC LENGTH OF 130.86 FEET AND A CHORD WHICH BEARS, NORTH 84 DEGREES 54 MINUTES 10 SECONDS WEST. 130.85 FEET: NORTH 84 DEGREES 09 MINUTES 13 SECONDS WEST. 1.030.57 FEET: NORTH 05 DEGREES 50 MINUTES 47 SECONDS EAST, 12.00 FEET; NORTH 84 DEGREES 09 MINUTES 13 SECONDS WEST, 389.67 FEET TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 668.00 FEET AND ALONG SAID CURVE WITH AN ARC LENGTH OF 123.52 FEET AND A CHORD WHICH BEARS, NORTH 78 DEGREES 51 MINUTES 23 SECONDS WEST, 123.34 FEET TO THE SOUTHWESTERN CORNER OF ABOVE SAID ADJUSTED LOT 1, SAID POINT ALSO BEING LOCATED ON THE NORTHEASTERN RIGHT-OF-WAY LINE OF SAID NORTH OUTER 40 ROAD; THENCE CONTINUING IN A NORTHWESTERLY DIRECTION, ALONG SAID RIGHT-OF-WAY LINE AND THE WESTERN LINE OF SAID ADJUSTED LOT 1, THE FOLLOWING (8) COURSES AND DISTANCES: ALONG SAID CURVE, WITH AN ARC LENGTH 339.14 FEET AND A CHORD WHICH BEARS NORTH 59 DEGREES 00 MINUTES 53 SECONDS WEST, 335.51 FEET; NORTH 44 DEGREES 28 MINUTES 14 SECONDS WEST, 31.47 FEET; NORTH 42 DEGREES 33 MINUTES 41 SECONDS WEST, 359.33 FEET; SOUTH 47 DEGREES 26 MINUTES 19 SECONDS WEST, 6.47 FEET; NORTH 44 DEGREES 28 MINUTES 14 SECONDS WEST, 102.46 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 812.50 FEET; ALONG SAID CURVE WITH AN ARC LENGTH OF 36.26 FEET AND A CHORD WHICH BEARS, NORTH 45 DEGREES 44 MINUTES 56 SECONDS WEST, 36.25 FEET TO A POINT OF COMPOUND CURVATURE TO THE LEFT HAVING A RADIUS OF 100.00 FEET; ALONG SAID CURVE WITH AN ARC LENGTH OF 4.92 FEET AND A CHORD WHICH BEARS NORTH 48 DEGREES 26 MINUTES 15 SECONDS WEST,4.92 FEET TO A POINT OF COMPOUND CURVATURE TO THE LEFT HAVING A RADIUS OF 805.52 FEET; ALONG SAID CURVE WITH AN ARC LENGTH OF 268.82 FEET AND A CHORD WHICH BEARS NORTH 59 DEGREES 24 MINUTES 30 SECONDS WEST, 267.57 FEET TO A POINT OF REVERSE CURVATURE TO THE RIGHT HAVING A RADIUS OF 100.00 FEET; ALONG SAID CURVE WITH AN ARC LENGTH OF 3.90 FEET AND A CHORD WHICH BEARS. NORTH 67 DEGREES 51 MINUTES 02 SECONDS WEST. 3.90 FEET TO A POINT OF REVERSE CURVATURE TO THE LEFT HAVING A RADIUS OF 800.50 FEET AND ALONG SAID CURVE WITH AN ARC LENGTH OF 177.04 FEET AND A CHORD WHICH BEARS, NORTH 73 DEGREES 04 MINUTES 06 SECONDS WEST, 176.68 FEET TO ITS INTERSECTION WITH THE WEST LINE SAID ADJUSTED LOT 1; THENCE ALONG SAID WEST LINE, NORTH 00 DEGREES 21 MINUTES 46 SECONDS EAST, 18.67 FEET TO THE NORTHWEST CORNER THEREOF; THENCE ALONG THE NORTHERN LINES OF SAID ADJUSTED LOT 1 THE FOLLOWING COURSES AND DISTANCES: SOUTH 84 DEGREES 50 MINUTES 26 SECONDS EAST, 75.65 FEET; SOUTH 83 DEGREES 33 MINUTES 04 SECONDS EAST, 203.31 FEET; SOUTH 83 DEGREES 57 MINUTES 15 SECONDS EAST, 199.86 FEET; SOUTH 85 DEGREES 08 MINUTES 30 SECONDS EAST, 70.09 FEET; SOUTH 04 DEGREES 51 MINUTES 30 SECONDS WEST, 9.00 FEET; SOUTH 85 (14) DEGREES 32 MINUTES 19 SECONDS EAST, 99.85 FEET; NORTH 05 DEGREES 25 MINUTES 52 SECONDS EAST, 9.00 FEET; SOUTH 84 DEGREES 34 MINUTES 08 SECONDS EAST, 230.73 FEET; SOUTH 84 DEGREES 33 MINUTES 54 SECONDS EAST, 799.19 FEET; SOUTH 84 DEGREES 35 MINUTES 06 SECONDS EAST, 699.37 FEET; SOUTH 84 DEGREES 39 MINUTES 13 SECONDS EAST, 1,101.32 FEET; SOUTH 84 DEGREES 23 MINUTES 27 SECONDS EAST, 81.27 FEET; SOUTH 05 DEGREES 36 MINUTES 33 SECONDS WEST, 6.80 FEET; SOUTH 84 DEGREES 38 MINUTES 09 SECONDS EAST, 119.38 FEET; NORTH 05 DEGREES 17 MINUTES 33 SECONDS EAST, 8.00 FEET; SOUTH 84 DEGREES 42 MINUTES 27 SECONDS EAST. 95.20 FEET: SOUTH 84 DEGREES 22 MINUTES 35 SECONDS EAST. 98.38 FEET: SOUTH 87 DEGREES 39 MINUTES 27 SECONDS EAST, 96.96 FEET AND NORTH 85 DEGREES 20 MINUTES 22 SECONDS EAST, 14.76 FEET TO THE NORTHEASTERN CORNER OF SAID ADJUSTED LOT 1; THENCE ALONG THE EASTERN AND SOUTHEASTERN LINES OF SAID ADJUSTED LOT 1, THE FOLLOWING COURSES AND DISTANCES: SOUTH 07 DEGREES 30 MINUTES 12 SECONDS WEST, 22.65 FEET; SOUTH 50 DEGREES 31 MINUTES 21 SECONDS WEST, 99.71 FEET; SOUTH 38 DEGREES 40 MINUTES 37 SECONDS WEST, 130.29 FEET; SOUTH 43 DEGREES 35 MINUTES 48 SECONDS WEST, 119.08 FEET; SOUTH 52 DEGREES 55 MINUTES 22 SECONDS WEST, 83.69 FEET; SOUTH 66 DEGREES 52 MINUTES 23 SECONDS WEST, 42.59 FEET AND SOUTH 01 DEGREE 38 MINUTES 15 SECONDS WEST, 288.83 FEET TO THE POINT OF BEGINNING. CONTAINING 2,152,505 SQUARE FEET OR 49.415 ACRES, MORE OR LESS, ACCORDING TO CALCULATIONS PERFORMED BY STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.

PROPERTY NOTES

(1)

(3)

NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 10131STL, WITH AN EFFECTIVE FEBRUARY 27, 2018, AT 8:00 A.M. FOR RESEARCH OF EASEMENTS AND ENCUMBRANCES. RESEARCH WAS PERFORMED BY STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. TITLE TO THE ESTATE OR INTEREST IN THE LAND DESCRIBED OR REFERRED TO IN THE A COMMITMENT AND COVERED THEREIN IS FEE SIMPLE AS TO PARCEL 1 AND 1A, AND EASE

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. USED EXCLUSIVELY OLD REPL

- PARCEL 2, AND TITLE THERETO IS AT THE EFFECTIVE DATE THEREOF VESTED IN: TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD LLC, A DELAWARE LIMITED LIABILITY COMPANY
- TITLE COMMITMENT NO. 10131STL WITH SCHEDULE B-SECTION 2 EXCEPTIONS:
- SUBJECT TO TERMS AND PROVISIONS OF THE AGREEMENT FOR RIGHT OF WAY RECORDE 1902 IN BOOK 130 PAGE 624, AFFECTS PARCEL 1. "NOT SHOWN" NOT PLOTTABLE INTENTIONALLY DELETED (5)
- SUBJECT TO EASEMENT GRANTED TO UNION ELECTRIC COMPANY, BY THE INSTRUMENT F (6) IN BOOK 6584 PAGE 1096, AFFECTS PARCEL 1. "SHOWN"
- SUBJECT TO EASEMENT GRANTED TO ST. LOUIS COUNTY WATER COMPANY, BY THE INST (7) RECORDED IN BOOK 8571 PAGE 1601, AFFECTS PARCEL 1. "SHOWN"
- SUBJECT TO EASEMENT GRANTED TO ST. LOUIS COUNTY WATER COMPANY, BY THE INST RECORDED IN BOOK 8636 PAGE 38, AFFECTS PARCEL 1. "SHOWN" SUBJECT TO EASEMENT GRANTED TO WAYNE D. HAYNES AND RUTHANN E. HAYNES, HUS (9)
- WIFE, FOR INGRESS AND EGRESS FOR ROADWAY AND UTILITY PURPOSES, BY THE INSTR RECORDED IN BOOK 9054 PAGE 2047 AND FIRST AMENDMENT TO EASEMENT AGREEMENT IN BOOK 20091 PAGE 1350, AFFECTS PARCEL 1. "SHOWN"
- SUBJECT TO EASEMENT GRANTED TO CARL R. TISONE, FOR A STRM. WATER SYSTEM, BY (10) INSTRUMENT RECORDED IN BOOK 10179 PAGE 1829, AFFECTS PARCELS 1 AND 2. "SHOWN
- SUBJECT TO EASEMENT GRANTED TO PUBLIC WATER SUPPLY DISTRICT NO. 2 OF ST. CHA (11) COUNTY, MISSOURI BY INSTRUMENT RECORDED IN BOOK 11998 PAGE 2136, AFFECTS PAF "SHOWN
- SUBJECT TO EASEMENT GRANTED TO THE CITY OF CHESTERFIELD, FOR A HIKING, BIKING (12) WALKING TRAIL, BY THE INSTRUMENT RECORDED IN BOOK 17132 PAGE 396, AFFECTS PAF "SHOWN"
- SUBJECT TO EASEMENT GRANTED TO WAYNE D. HAYNES AND RUTHANN E. HAYNES, HUS (13) WIFE, FOR INGRESS AND EGRESS, BY THE INSTRUMENT RECORDED IN BOOK 17434 PAGE AFFECTS PARCELS 1 AND 2. "SHOWN"
- SUBJECT TO TERMS AND PROVISIONS OF THE CHESTERFIELD OUTLETS SITE DEVELOPME ACCORDING TO THE PLAN THEREOF RECORDED IN PLAT BOOK 360 PAGE 89, AFFECTS PA "NOT SHOWN" NOT SURVEY RELATED.
- (15) SUBJECT TO RIGHTS IN FAVOR OF THE MONARCH-CHESTERFIELD LEVEE DISTRICT AS SH THE SURVEY DATED 1947, AND AS SHOWN ON THE BOUNDARY ADJUSTMENT PLAT RECOF PLAT BOOK 360 PAGE 137, AFFECTS PARCEL 2. "SHOWN" (RELEASED BY DEED BOOK 2009" 1210)
- SUBJECT TO RIGHTS OF INGRESS AND EGRESS IN FAVOR OF THE MONARCH- CHESTERFI (16) DISTRICT FOR ACCESS TO AND FROM ADJUSTED LOT 2 OF THE BOUNDARY ADJUSTMENT RECORDED IN PLAT BOOK 360 PAGE 137 AND THE LAND IDENTIFIED ON THE SAID BOUNDA ADJUSTMENT PLAT AS LOCATOR NUMBER 16T110013, AFFECTS PARCELS 1 AND 2.
- SUBJECT TO PERMANENT LEVEE EASEMENT DEED GRANTED TO MONARCH- CHESTERFIE (17) DISTRICT, BY THE INSTRUMENT RECORDED IN BOOK 20091 PAGE 1240, AFFECTS PARCEL
- (18) SUBJECT TO ACCESS EASEMENT DEED GRANTED TO MONARCH-CHESTERFIELD LEVEE D THE INSTRUMENT RECORDED IN BOOK 20091 PAGE 1221, AFFECTS PARCEL 1. "SHOWN" SUBJECT TO DECLARATION OF COVENANTS AND PROTECTIVE RESTRICTIONS (46'-96') BY (19)
- BETWEEN TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD LLC AND THE MONARCH-CHE LEVEE DISTRICT, BY THE INSTRUMENT RECORDED IN BOOK 20091 PAGE 1257, AFFECTS PA PROTECTED EXCAVATION AREA "SHOWN"
- (20) SUBJECT TO DECLARATION OF COVENANTS AND PROTECTIVE RESTRICTIONS (96'-478') BY BETWEEN TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD LLC AND 20. THE MONARCH-CHESTERFIELD LEVEE DISTRICT, BY THE INSTRUMENT RECORDED IN BOOK 200 1276, AFFECTS PARCEL 1. PROTECTED EXCAVATION AREA "SHOWN"

ON JANUARY 30, 2019.

	PARCEL 2,092,587 S 48.039 Ac	1 q. Ft. es±	EX. BLDG. E, F, G, L
EX. BLDG. C	EX. BLDG. H	EX.	EX. BLDG. K
		HUB STL	
		(FUTURE) OUTLOT 1	
	SHEET C4		

PROPERTY NOTES (continued)

BLIC 'E DATE OF . NO FURTHER C.	(21)	SUBJECT TO ACCESS AND PARKING EASEMENT AGREEMENT GRANTED TO THE CITY OF CHESTERFIELD, MISSOURI, BY THE INSTRUMENT RECORDED IN BOOK 20091 21. PAGE 1293, AFFECTS PARCEL 1. "SHOWN"
ABOVE EMENT AS TO	(22)	SUBJECT TO CHESTERFIELD VALLEY STRM. WATER EASEMENT GRANTED TO THE CITY OF CHESTERFIELD, MISSOURI, BY THE INSTRUMENT RECORDED IN BOOK 20091 PAGE 1332, AFFECTS PARCEL 1. "SHOWN"
	(23)	SUBJECT TO CULVERT MAINTENANCE AGREEMENT GRANTED TO THE CITY OF CHESTERFIELD, MISSOURI, BY THE INSTRUMENT RECORDED IN BOOK 20091 PAGE 1341, AFFECTS PARCEL 1. BLANKET INGRESS/EGRESS FOR INSPECTION/REPAIR OF CULVERT
DED MAY 6,	(24)	SUBJECT TO TERMS AND PROVISIONS OF THE TRANSPORTATION DEVELOPMENT AGREEMENT EVIDENCED BY THE MEMORANDUM OF TRANSPORTATION DEVELOPMENT AGREEMENT RECORDED ON JULY 25, 2012 IN BOOK 20091 PAGE 1372, AFFECTS PARCEL 1. "NOT SHOWN" NOT SURVEY RELATED.
RECORDED	(25)	SUBJECT TO RIGHT OF WAY OF THE EXISTING LEVEE OVER THAT PART OF THE SUBJECT LAND EMBRACED THEREIN, AFFECTS PARCELS 1 AND 2.
	(26)	SUBJECT TO COVENANTS AND CONDITIONS, AND TERMS AND PROVISIONS OF THE PARKING EASEMENT AGREEMENT EXECUTED BY AND BETWEEN MONARCH CHESTERFIELD LEVEE DISTRICT, A MISSOURI LEVEE DISTRICT, GRANTOR AND TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD LLC, A DELAWARE LIMITED LIABILITY COMPANY, GRANTEE, DATED AS OF JULY 25, 2012 RECORDED JULY 27, 2012 IN BOOK 20091 PAGE 1358 AND RE-RECORDED AUGUST 3, 2012 IN BOOK 20100 PAGE 2935, AFFECTS PARCEL 2. "SHOWN"
SBAND AND RUMENT IT RECORDED	(27)	SUBJECT TO EASEMENT TO PUBLIC WATER SUPPLY DISTRICT NO. 2 OF ST. CHARLES COUNTY, MISSOURI AS CREATED BY INSTRUMENT RECORDED IN BOOK 11446 PAGE 391, AFFECTS PARCEL 2. "SHOWN"
Y THE N"	(28)	SUBJECT TO MAINTENANCE AGREEMENT BY AND BETWEEN WAYNE D. HAYNES AND RUTHANN E. HAYNES AND CARL R. TISONE ACCORDING TO INSTRUMENT RECORDED IN BOOK 10179 PAGE 1832, AFFECTS PARCEL 2. EASEMENT AREAS "SHOWN"
IARLES ARCEL 2.	(29)	SUBJECT TO RIGHTS OF UTILITIES FOR UTILITY FACILITIES WITHIN THE SUBJECT LAND, IF ANY, AS RESERVED BY THE QUIT CLAIM DEED RECORDED MARCH 13, 2013 IN BOOK 20411 PAGE 766, AFFECTS PARCEL 2.
G, AND A ARCEL 2.	(30)	SUBJECT TO RESERVATION OF THE RIGHTS OF DIRECT ACCESS TO INTERSTATE 64 AS RESERVED BY THE QUIT CLAIM DEED RECORDED MARCH 13, 2013 IN BOOK 20411 PAGE 766, AFFECTS PARCEL 2.
SBAND AND E 242,	(31)	SUBJECT TO RIGHT OF WAY RESERVED BY ST. LOUIS COUNTY, MISSOURI, FOR A PERMANENT ROADWAY IMPROVEMENT MAINTENANCE UTILITY EASEMENT BY THE QUIT CLAIM DEED RECORDED MARCH 15, 2013 IN BOOK 20415 PAGE 305, AFFECTS PARCEL 2. "SHOWN"
IENT PLAN, ARCEL 1	(32)	SUBJECT TO RIGHTS OF UTILITIES FOR UTILITY FACILITIES WITHIN THE SUBJECT LAND, IF ANY, AS RESERVED IN THE QUIT CLAIM DEED RECORDED MARCH 15, 2013 IN 32. BOOK 20415 PAGE 305, AFFECTS PARCEL 2. RIGHT OF WAY TRANSFER AND PRIMUE "SHOWN"
HOWN ON DRDED IN	(33)	SUBJECT TO TERMS AND PROVISIONS OF THE MAINTENANCE AGREEMENT WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT RECORDED IN BOOK 20117 PAGE 33. 2292, INCLUDING A PROVISION FOR SEWER ASSESSMENTS. SEWER ASSESSMENTS, IF ANY. "SHOWN"
91, PAGE	(34)	SEWER ASSESSMENTS "NOT SHOWN" NOT SURVEY RELATED.
FIELD LEVEE T PLAT	(35)	SUBJECT TO EASEMENT GRANTED TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT, BY THE INSTRUMENT RECORDED IN BOOK 20117 PAGE 2305. "SHOWN"
ARY	(36)	EASEMENT GRANTED TO MISSOURI AMERICAN WATER COMPANY, BY THE INSTRUMENT RECORDED IN BOOK 20280 PAGE 1769. "SHOWN"
ELD LEVEE _ 1. "SHOWN"	(37)	SUBJECT TO EASEMENT GRANTED TO UNION ELECTRIC COMPANY, BY THE INSTRUMENT RECORDED IN BOOK 20333 PAGE 1584. "SHOWN"
DISTRICT, BY	(38)	SUBJECT TO EASEMENT GRANTED TO UNION ELECTRIC COMPANY, BY THE INSTRUMENT RECORDED IN BOOK 20333 PAGE 1589. "SHOWN"
Y AND IESTERFIELD PARCEL 1.	(39)	SUBJECT TO EASEMENT GRANTED TO MISSOURI AMERICAN WATER COMPANY, BY THE INSTRUMENT RECORDED IN BOOK 20518 PAGE 2751. "SHOWN"
3Y AND	(40)	SUBJECT TO TERMS AND PROVISIONS OF THE AMENDED SITE DEVELOPMENT PLAN, ACCORDING TO THE PLAN THEREOF RECORDED IN PLAT BOOK 360 PAGE 341. "NOT SHOWN" NOT SURVEY RELATED
0091 PAGE	(41)	SUBJECT TO TERMS AND PROVISIONS OF THE 2ND AMENDED SITE DEVELOPMENT PLAN, ACCORDING TO THE PLAN THEREOF RECORDED IN PLAT BOOK 361 PAGE 231. "NOT SHOWN" NOT SURVEY

SUBJECT TO TERMS AND PROVISIONS OF THE LEASE EXECUTED BY AND BETWEEN TAUBMAN (42) PRESTIGE OUTLETS OF CHESTERFIELD LLC, A DELAWARE LIMITED LIABILITY COMPANY, LANDLORD AND RALPH LAUREN RETAIL, INC., A DELAWARE CORPORATION, TENANT, OF AN UNDISCLOSED DATE, FOR A TERM OF TEN YEARS, INCLUDING FOUR SUCCESSIVE FIVE YEAR OPTIONS TO EXTEND THE TERM. NOTICE OF THE LEASE IS GIVEN BY THE MEMORANDUM OF LEASE RECORDED APRIL 3, 2014 IN BOOK 20947 PAGE 0935. "NOT SHOWN" NOT SURVEY RELATED.

RELATED

STRUCTURE USAGE SUMMARY (UPDATED 7TH ASDP)

 Structrual Designation	Status	Gross Structure Area (G.L.A.)	Building Use	Gross Leasable Area G.L.A.)	TO (G.F.A.)	TAL (G.L.A.)	Retail Usage (G.L.A.)	Recreational Usage (G.L.A.)	Restaurant Usage (G.L.A.)	Theater Usage (G.L.A.)	
	EXISTING		Recreation	48,559 sq. ft.	48,559	48,559		48,559			
 P	EXISTING	<u>16,700_sqft.</u>	Retail	16,269 sq. ft.	16,700	16,269	16,269	L			
E,F,G,L	REVISED	 102,927 sq. ft.	Retail	<u>91,427 sq.</u> ft.	102,927	102,887	<u>91,387</u>				
			Restaurant	11,500 sq. ft.			<u> </u>	<u> </u>	11,500		
H I	EXISTING	36,200 sq. ft.	Retail	19,476_sqft.	36.200	75 000	6 200 75 822	19,476	 	_ +	
		50,200 sq. it. 	Restaurant	16,346 sq. ft.		35,822 — — — —	 	 	1 <u>6,346</u>		
к	EXISTING	36,230 sq. ft.	Retail	<u>23,806 sq. ft.</u>	36,230	0 35,818	2 <u>3,806</u>				
			<u>Restaurant</u>	12,012 sq. ft.			<u> </u>	<u> </u>	12,012		
M	REPLACED	27,108_sqft	Recreation	27,108 sq. ft.	27,479	27,479		27,479			
DUTLOT_#A	BTS	4,000_sqft	Restaurant	4,000 sq. ft.	4,000	 <u>4,000</u>	 	 +	<u>4,000</u>		
	BTS	8,500_sqft	Restaurant	8,500 sq. ft.	8,500	8,500 _	 	 			
	EXISTING	<u>52,063_sqft</u>	Theater		52,063		· 			52,063	
				Total:	_ 332,658_	2 <u>79,33</u> 4	 150,9 <u>38</u>		52, <u>358</u>	52,063	
tal Site Area	a: <u>2,097,445</u>	sq. ft.	P	ı roposed F.A.R.:	15.86 %	Perce	ntage of Re	staurant Use:	15.74 %		

Total Site Area: <u>2,097,445 sq.</u>ft.j (1) Per City of Chesterfield Unified Development Code, Section 31-10-01, the Gross Floor Area excludes loading or parking areas.

STRUCTURE USAGE SUMMARY (8TH ASDP) REPRESENTS AREAS WITH PORTION OF BUILDING "I" & "M" REMOVED

Structrual Designation	Status	Gross Structure Area (G.L.A.)	Building Use	Gross Leasable Area (G.L.A.)	TO ⁻ (G.F.A.)	TOTAL (G.F.A.) (G.L.A.)		Recreational Usage (G.L.A.)	Restaurant Usage (G.L.A.)	Theater Usage (G.L.A.)
N	EXISTING	48,559 sq. ft.	Recreation	48,559 sq. ft.	48,559	48,559	(G.L.A.) _	48,559	_	
Р	EXISTING	16,700 sq. ft.	Retail	16,269 sq. ft.	16,700	16,269	16,269	-	_	_
			Retail	91,433 sq. ft.	t.		91,393	_	_	-
E,F,G,L	REVISED	102,933 sq. ft.	Restaurant	11,500 sq. ft.	102,933	102,893	-	_	11,500	-
			Retail	19,476 sq. ft.			19,476	-	-	-
н	EXISTING	36,200 sq. ft.	Restaurant	16,346 sq. ft.	36,200	35,822	I	_	16,346	-
		70.070 ()	Retail	23,806 sq. ft.	<u>sq. ft.</u>	75.040	23,806	_	-	_
к	EXISTING	36,230 sq. ft.	Restaurant	12,012 sq. ft.	36,230	35,818	_	-	12,012	-
м	REVISED	17,274 sq. ft.	Retail	17,005 sq. ft.	17,274	17,005	17,005	-	-	-
OUTLOT #A	BTS	4,000 sq. ft.	Restaurant	4,000 sq. ft.	4,000	4,000	_	_	4,000	_
OUTLOT #B	BTS	8,500 sq. ft.	Restaurant	8,500 sq. ft.	8,500	8,500	_	_	8,500	-
с	EXISTING	52,063 sq. ft.	Theater	3,000 seats	52,063	_	_	_	-	52,063
				Total:	322,459	268,866	167,952	48,559	52,358	52,06
otal Site Area	: 2,097,445	sq. ft.	Pi	roposed F.A.R.:	15.37 %	Perce	ntage of Res	staurant Use:	16.24 %	

(1) Per City of Chesterfield Unified Development Code, Section 31—10—01, the Gross Floor Area excludes loading or parking areas

GEOTECHNICAL ENGINEER'S STATEMENT

MIDWEST TESTING AND THE UNDERSIGNED ENGINEER HAVE NOT PREPARED THE PLAN ON THIS SHEET. THE SEAL OF THE UNDERSIGNED PROFESSIONAL ENGINEER HAS BEEN AFFIXED AT THE REQUEST OF THE CITY OF CHESTERFIELD AND IS A PROFESSIONAL OPINION TO INDICATE THAT THE UNDERSIGNED HAS REVIEWED THE PLANS AND THAT IN HIS OPINION THE GRADING AND IMPROVEMENTS RELATIVE TO THE SLOPE CONSTRUCTION AS SHOWN ON THE PLANS, AS WELL AS FOUNDATIONS, ARE COMPATIBLE WITH THE SOIL AND GEOLOGIC CONDITIONS AT THE SITE AS DESCRIBED IN THE GEOTECHNICAL REPORT FOR THE DEVELOPMENT, TITLED "GEOTECHNICAL EXPLORATION - MT JOB NO. 14851 - THE DISTRICT - CHESTERFIELD, MISSOURI AND DATED AUGUST 14, 2019.

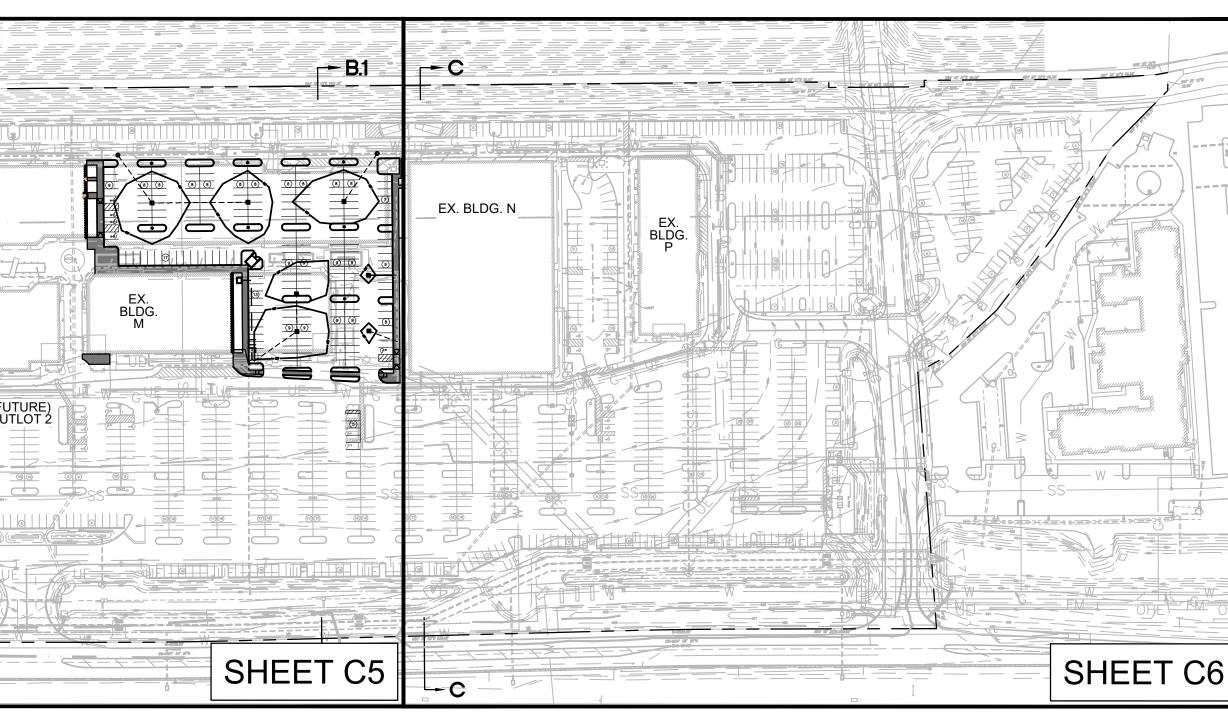
MIDWEST TESTING AND THE UNDERSIGNED ASSUME NO RESPONSIBILITY FOR SERVICES BY OTHERS, PURSUANT TO RSMO 327.411

CONSTRUCTION MEANS AND METHODS FOR IMPLEMENTATION OF THE GRADING PLAN SHALL BE LEFT TO THE DEVELOPER/CONTRACTOR. OBSERVATIONS OF THE DEVELOPER/CONTRACTOR'S COMPLIANCE WITH THE APPLICABLE SPECIFICATIONS SHALL BE IDENTIFIED AND VERIFIED IN WRITING

MIDWEST TESTING Samily. Daugefel

DAN BARCZYKOWSKI, P.E. MISSOURI PE NO. E-25861





GRAPHIC SCALE

(IN FEET)

1 inch = 120 ft.

PROPOSED SITE DEVELOPMENT INFORMATION

- 1. OVERALL LOT AREA = $48.151 \text{ acres } \pm (2,097,445 \text{ s.f.})$
- 2. PROPOSED BUILDING FOOTPRINTS = 322,459 s.f. G.F.A. [268,866 s.f. G.L.A.] [52,063 s.f. Theater]

4. OPEN SPACE CALCULATIONS

TOTAL OPEN SPACE

OVERALL AREA

- GROSS FLOOR AREA (G.F.A.) [GROSS LEASABLE AREA (G.L.A.)] 3. FLOOR AREA RATIO (F.A.R.)
 - = 322,459 s.f. G.F.A. / 2,097,445 S.F. SITE = 15.37 %
 - (ORDINANCE #3049 MAX FLOOR AREA = 500,000 s.f.)
 - = 2,097,445 s.f. (48.151 acres ±) = 100%TOTAL BUILDING AREA = 322,459 s.f. (7.403 acres ±) = 15.37%
 - TOTAL PAVED PARKING AREA = 1,104,459 s.f. (25.355 acres ±) = 52.66%
 - = 670,527 s.f. (15.393 acres ±) = 31.97%

NOTE: 30% OPEN SPACE IS REQUIRED FOR THIS DEVELOPMENT BY CITY OF CHESTERFIELD ORDINANCE 3049, SECTION B.3.A. THE EXISTING STORM WATER IMPROVEMENTS COMPLY WITH THIS REQUIREMENT.

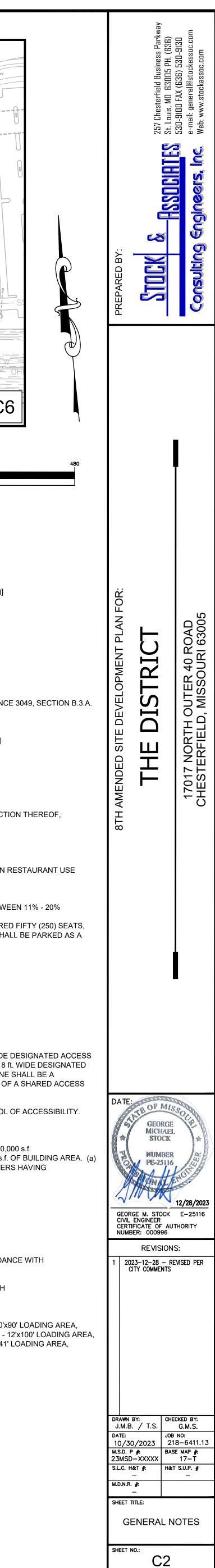
- 5. PARKING CALCULATIONS <u>REQUIRED PARKING</u> = 4.75 SPACES PER 1,000 s.f. OF LEASABLE FLOOR AREA (RETAIL CENTER) (a*) 1.00 SPACES PER 4 SEATS (THEATER, INDOOR) (b)
 - = (268,866 s.f. AT 4.75 / 1,000) + (3,000 SEATS AT 1.00 / 4) = 1,278 + 750 = 2,028 SPACES REQUIRED
 - ACCESSIBLE PARKING = ACCESSIBLE PARKING PROVIDED PER CODE:
 - 501 1,000 SPACES: 2% OF TOTAL 1,001 AND OVER SPACES: 20 PLUS ONE ONE FOR EACH 100 OR FRACTION THEREOF,
 - OVER 1,000 SPACES.
 - $= (20 + 1 \times (278 / 100)) + (750 \times 2\%)$ = 23 + 15 = 38 ACCESSIBLE SPACES REQUIRED
- NOTE: (a) PER SECTION 31-04-04.D.12.a: RETAIL CENTER, WITH PERCENTAGE OF GROSS FLOOR AREA* IN RESTAURANT USE 0% - 10% WITH A CENTER SIZE OF 100,001 s.f. - 400,000 s.f. * GROSS FLOOR AREA MODIFIED TO LEASABLE FLOOR AREA
 - NOTE: PARKING REQUIREMENT INCREASES TO 4.75/1000 BASED UPON RESTAURANT USE BETWEEN 11% 20%
- SUBSECTION (1). FOR RETAIL CENTERS THAT INCLUDE A THEATER USE WITH MORE THAN TWO HUNDRED FIFTY (250) SEATS, (b) THE MINIMUM PARKING REQUIREMENT FOR THE THEATER PORTION OF THE DEVELOPMENT SHALL BE PARKED AS A STAND-ALONE USE.
 - PARKING PROVIDED = 2,652 SPACES (INCLUDES 44 ACCESSIBLE SPACES) [+624 SURPLUS SPACES (+30.77%)]
 - MAXIMUM ALLOWABLE = RETAIL CENTER USE MAXIMUM ALLOWABLE = 120% = 1,278 SPACES REQUIRED * 1.2 = 1,534 SPACES = THEATER USE MAXIMUM ALLOWABLE = 1 SPACE PER 2 SEATS
 - = 3,000 SEATS * 1 SPACE / 2 SEATS = 1,500 SPACES = TOTAL MAXIMUM ALLOWABLE SPACES = 3,034 SPACES
- NOTE: (c) ACCESSIBLE CAR PARKING SPACES SHALL BE AT LEAST 9 ft. WIDE WITH AN ADJACENT 5 ft. WIDE DESIGNATED ACCESS AISLE. VAN-ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 9 ft. WIDE WITH AN ADJACENT 8 ft. WIDE DESIGNATED ACCESS AISLE. FOR EVERY 4 OR FRACTION OF 4 ACCESSIBLE PARKING SPACES, AT LEAST ONE SHALL BE A VAN-ACCESSIBLE PARKING SPACE. 2 ACCESSIBLE SPACES MAY BE PROVIDED ON EACH SIDE OF A SHARED ACCESS AISLE.
- (d) ACCESSIBLE PARKING SPACES SHALL BE IDENTIFIED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNAGE SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.
- 6. LOADING CALCULATIONS <u>REQUIRED LOADING</u> = FIVE (5) 10' x 40' LOADING SPACES FOR RETAIL CENTERS HAVING 150,001-200,000 s.f. PLUS ONE (1) ADDITIONAL 10' x 40' SPACE FOR EACH ADDITIONAL 100,000 s.f. OF BUILDING AREA. (a) TWO (2) 10' x 25' AND ONE (1) 10' x 40' LOADING SPACES FOR INDOOR THEATERS HAVING
- 25,001-100,000 s.f. OF BUILDING AREA (b) = RETAIL CENTER: 268,866 s.f. LEASABLE FLOOR AREA REQUIRES:
 - 6 10' x 40' LOADING SPACES INDOOR THEATER: 52,063 s.f. LEASABLE FLOOR AREA REQUIRES: 2 - 10' x 25' AND 1 - 10' x 40' LOADING SPACES
- = TOTAL: 2 10' x 25' AND 7 10' x 40'
- NOTE: (a) PER SECTION 31-04-04.D.12.c: RETAIL CENTERS SHALL PROVIDE LOADING SPACES IN ACCORDANCE WITH SECTION 31-04-04(E), TABLE A.
- (b) PER SECTION 31-04-04.D.9: INDOOR THEATER AS A STAND ALONE USE SHALL BE IN ACCORDANCE WITH SECTION 31-04-04(E), TABLE B.
- PROVIDED LOADING = RETAIL CENTER: 4 12'x60' BUS PARKING, 1 10'x70' LOADING AREA, 1 10'x90' LOADING AREA,
 - 1 10'x165' LOADING AREA, 1 10'x180' LOADING AREA, 3 12'x100' LOADING AREA, THEATER: 2 - 9'x25' CAR PARKING, 3 - 12'x50' BUS PARKING, 1 - 10'x41' LOADING AREA, 3 - 10'x75' LOADING AREA, 1 - 13'x255' DROP OFF

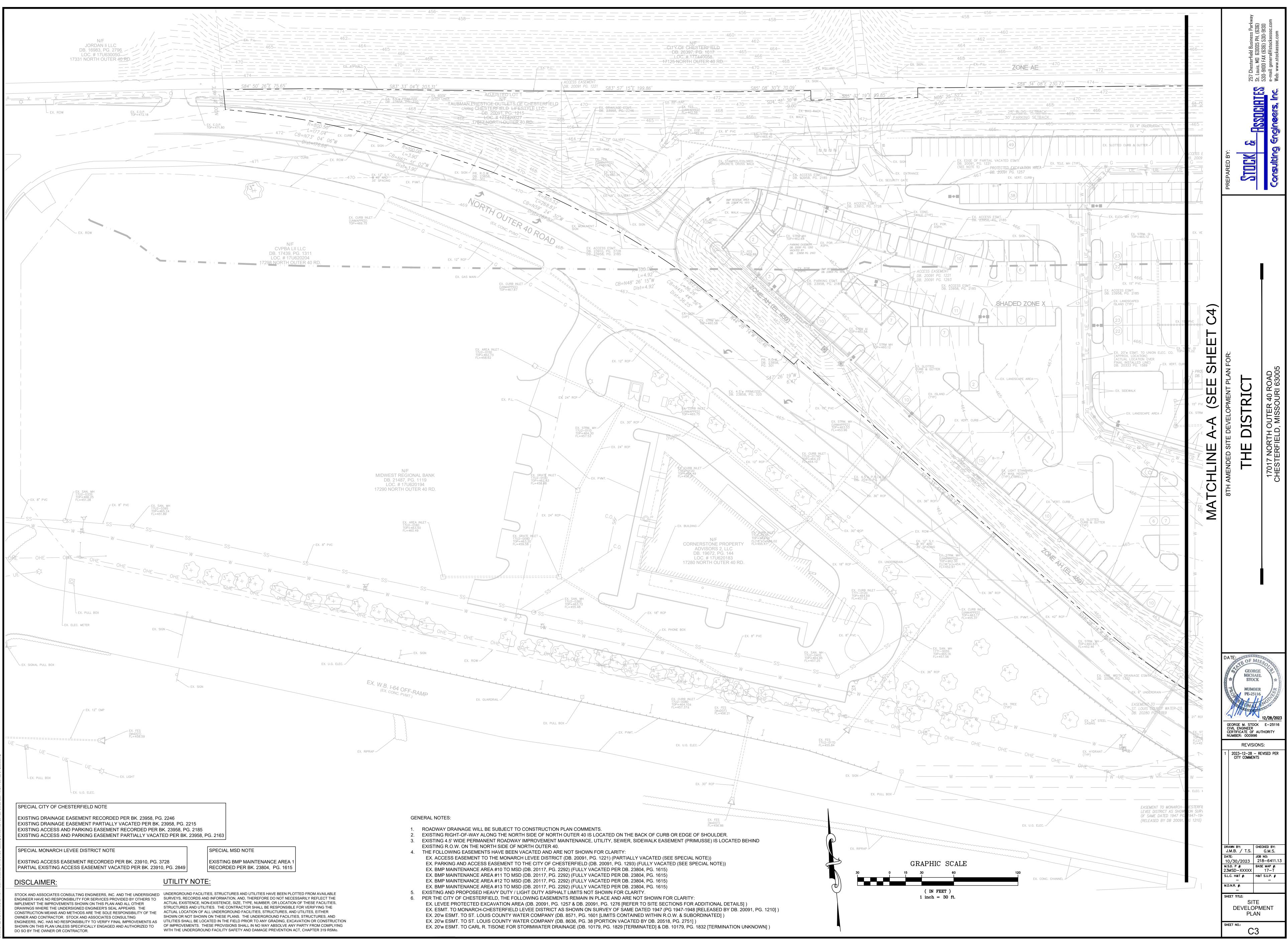
SURVEYORS CERTIFICATION

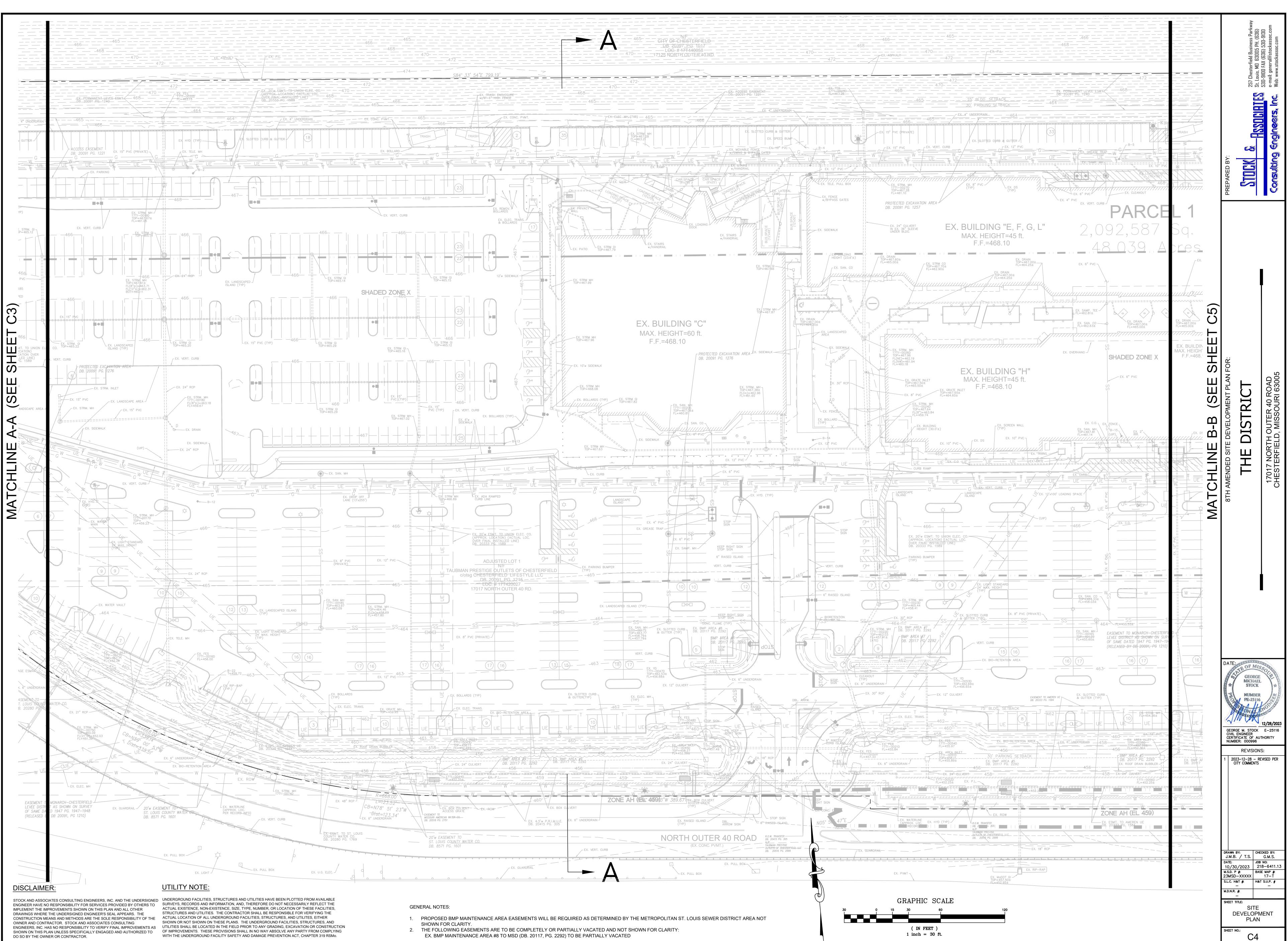
THIS IS TO CERTIFY THAT STOCK & ASSOCIATES CONSULTING ENGINEERS, INC., HAVE, DURING JANUARY, 2022 BY ORDER AND FOR THE USE OF STAENBERG GROUP EXECUTED A PARTIAL TOPOGRAPHIC SURVEY OF PART OF ADJUSTED LOT 1. AND THAT THE RESULTS OF SAID TOPOGRAPHIC SURVEY ARE SHOWN HEREON. WE FURTHER CERTIFY THAT THE ABOVE PLAT WAS PREPARED FROM AN ACTUAL FIELD SURVEY, AND SAID SURVEY DOES NOT REPRESENT A PROPERTY BOUNDARY SURVEY.

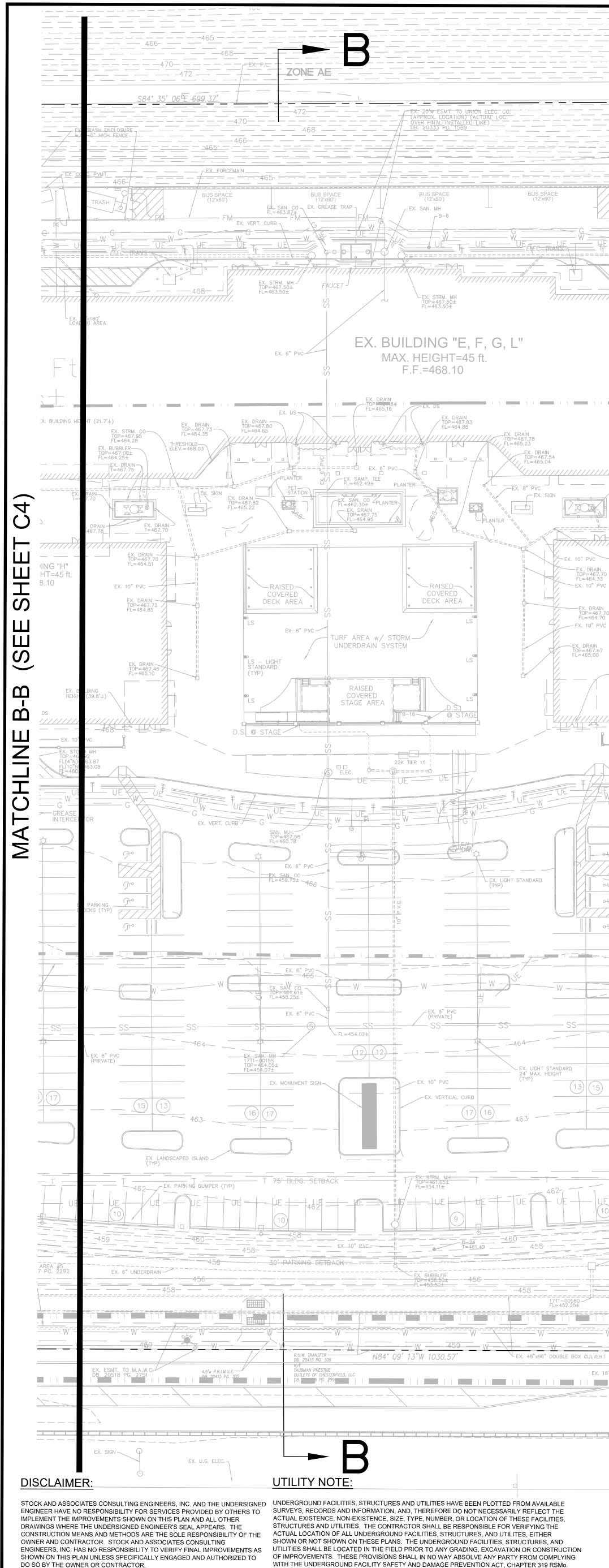
STOCK & ASSOCIATES CONSULTING ENGINEERS, INC. LC NO. 222

No 2008-0007









DO SO BY THE OWNER OR CONTRACTOR.

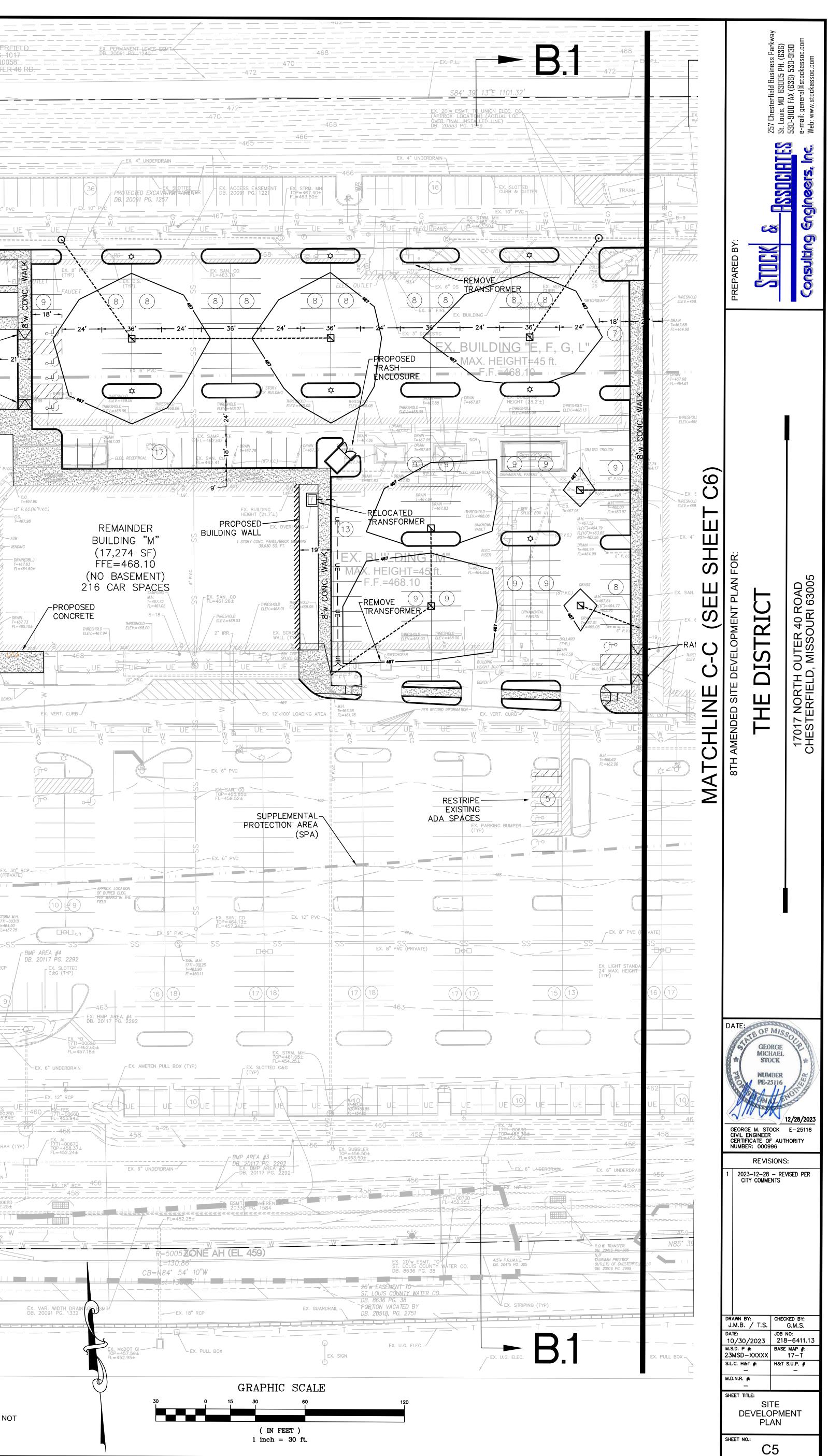
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		4 4 	+72470			EX: FES
		4 [*] UNDERDRAIN	<u>465</u> <u>464</u> <u>464</u> <u>- 464</u>	<u>23 BLDG. SETBACK</u> <u>30' PARKING SETBA</u> CK <u>464</u>		
	ЕХ. 10" РVС	26	EX SLOTTED CURB & GUTTER EX. 15" PVC -	EX. VERT. CURE	EX. 15" PVC EX. 15" PVC EX. 15" PVC FLE	STRM. MH 1-0034D =467.40 461.13
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	EX. 10'x165' LOADING AREA		SU PROTI	IPPLEMENTAL - ECTION AREA (SPA)	EX. 24" CULV IN EX. 36" SL UNDER BLDG. (PRIVATE)	
	EX. 6" PVC ->					RAMP
			///////////////////////////////////////		THRESHOL ELEV.=460 EX. BUILDING	
- EX. DRAIN TOP=467.00± FL=464.25±	EX. DRAIN TOP=467.00± FL=465.00±	EX. SAMP. TEE FL=482.78±		EX. DRAIN TOP=467.00± FL=464.25±	DRAIN T=467.67	
		EX. SAN. CO FL=462.58±			DRAIN T=467.79	$\begin{array}{c c} Driving \\ \hline Driving \\ \hline T = 467.68 \\ \hline ORNAMENTAL \\ PAVERS \\ \hline T = 467.97 \\ \hline T = 47.97 \\ \hline T =$
EX. STRM. CO FL=464.33	PVC		10" PVC	EX. BUILDING		25 67.98
)	EX. OVERHANG	()	BUILDING	DB. 20091 F	EXCAVATION AREA	
		IVIA	X. HEIGHT=4 F.F.=468.10	OIL.	EX. BUILDIN (8"	P.V.C.)
– EX. BUILDING HEIGHT (39.9'±)	- EX. 2" IRR	() () () () () () () () () () () () () (TRM. CO			
EX. 10" DS 468- EX. 10" PVC	C ^{22K} TIEI	EX. 10"		WTT - EX. SCREEN WALL (TYP)		
			EX. TRANS.	EX. 10" PVC	-468 <u>VE</u> <u>UE</u> <u>UE</u> <u>EX. 10" PVC</u> <u>Tr</u>	
$\frac{1}{G} = \frac{UE}{UE} = \frac{UE}{UE}$ $\frac{W}{G} = \frac{W}{G}$ $EX. 12' \times 100' \text{ LOADING SPACE}$			TUE W	UE I UE G	JE UE 'II -	
EX. PARKING BLOCKS (TYP)	GREASE INTERCEPTO SS			466		
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	STED LOT 1 N/F UTLETS OF CHESTERFIELD	EX. SAN. CO III FL=458.84±				
C/otsg CHESTERF DB. 2009 しのC. #	IELD LIFESTYLE LLC 91, PG. 1215 17T420027 H OUTER 40 RD.		EX. 20'w ESM (APPROX. LO OVER FINAL DB 20333 P	MT. TO UNION ELEC. CO. INSTALLED LINE) G. 1589		
	W			10 10		
	EX. SAN. CO TOP=464.33± FL=457.34±			- SS - SS-	VC (PRIVATE)	
		FL=452.35±	LEVEL OF S	– — 464— MENT TO MONARCH-CHESTERF E DISTRICT AS SHOWN ON SUF AMEX DEATEDDIRDAMANG. 1947-EX EASED BY DB 20091, PG 1210	RVEY   9480nument sign -	EX. 36" R (PRIVATE)
		EX. BMP AREA #6 DB. 2017 PG. 2292	9			
		EX. 12" PVC	EX. YD 1711-0061D TOP=462.47±	BMP AREA #6 UB. 20117 PG. 2292	EX. STRM. MH 1/TT1-0030D TOP=463.90± FL=456.82±	
EX. TRANS. (TYP)	EX. BOLLARD (TYP)	EX. STRM. MH TOP=462.00± FL=454.26±	TOP=462.47± FL=436.64± 		FL=456.82± EX. 36" RCP 462	
			UE			
EX. AI 17 <del>11 0057D</del> - TOP=458:07± - FL=452.51±	458456 456456	EX. BUBBLER TOP=456.50± FL=453.50±	EX. FES 17T1-0062D FL=456.00± EX. AI 17T1-0059D 	EX. FES 17T1-0063D FL=457.21±	467 EX. 18" RCP	EX. RIP-
EX. 18" RCP		458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458458			×60 EX. CONC. ENTR.	EX. 6" UNDERDRAI
→ → → → → → → → → → → → → → → → → → →			— W — — — — — — — — — — — — — — — — — —	TYP)	- W	
DR 20518 PC 2751	VAR. WIDTH DRAINAGE ESMT. 20091 PG. 1332					EX. HYD (TYP)
	TER 40 ROAD			EX. VERT. CURB		
EX. MoDOT GI TOP=457.46± FL=452.95±	- EX. U.G. ELEC.			EX. ELEC. PULL BOX	EX. U.G. ELEC.	
GENERAL						1

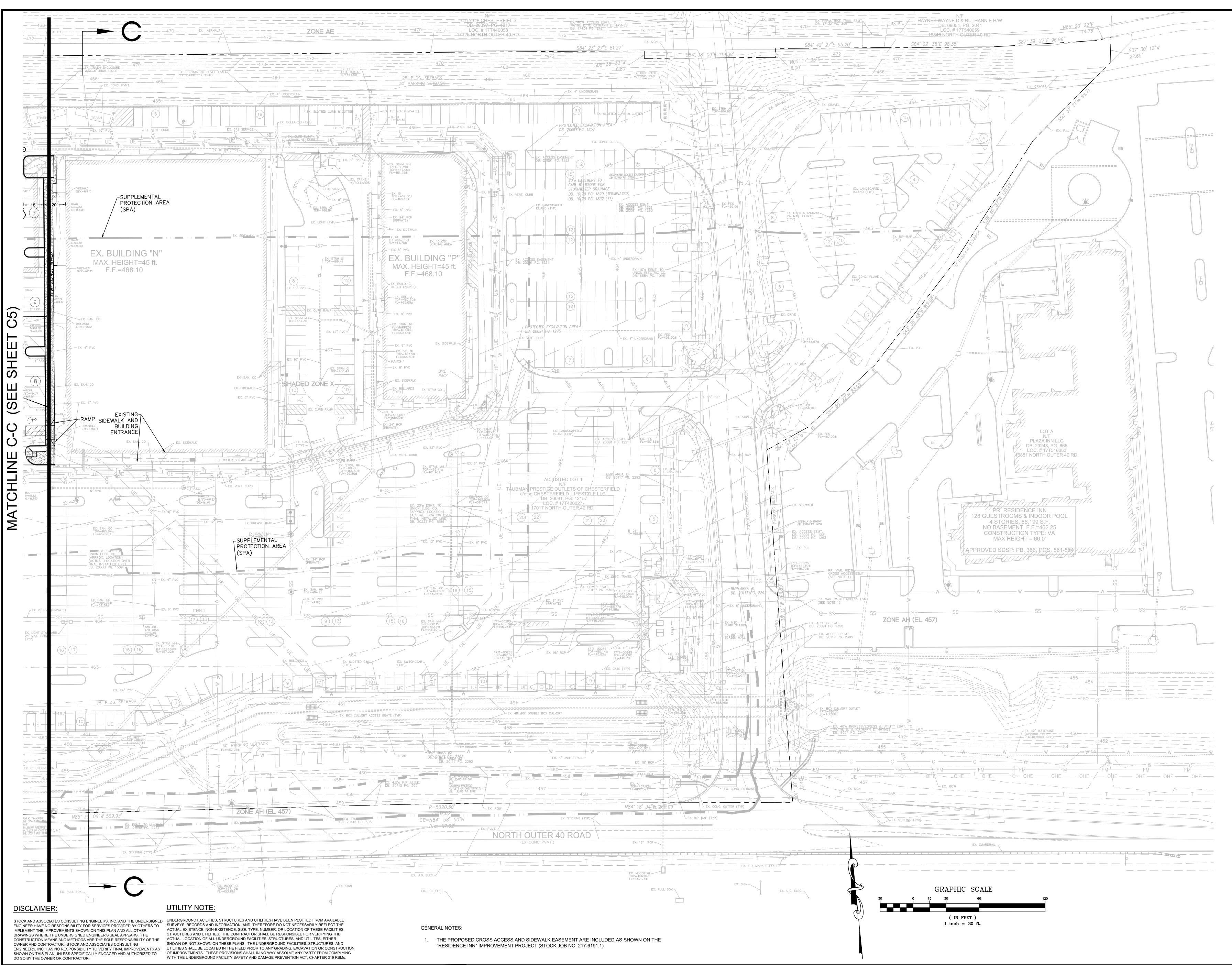
GENERAL NOTES:

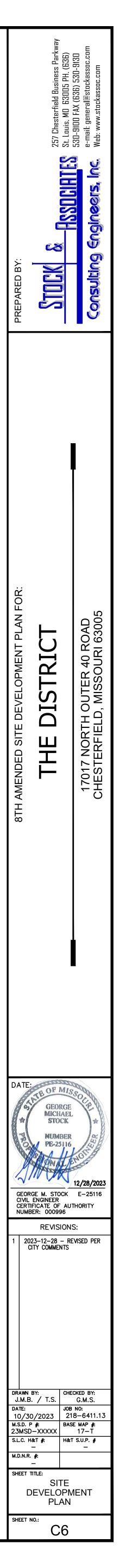
1. PROPOSED BMP MAINTENANCE AREA EASEMENTS WILL BE REQUIRED AS DETERMINED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AREA NOT SHOWN FOR CLARITY.

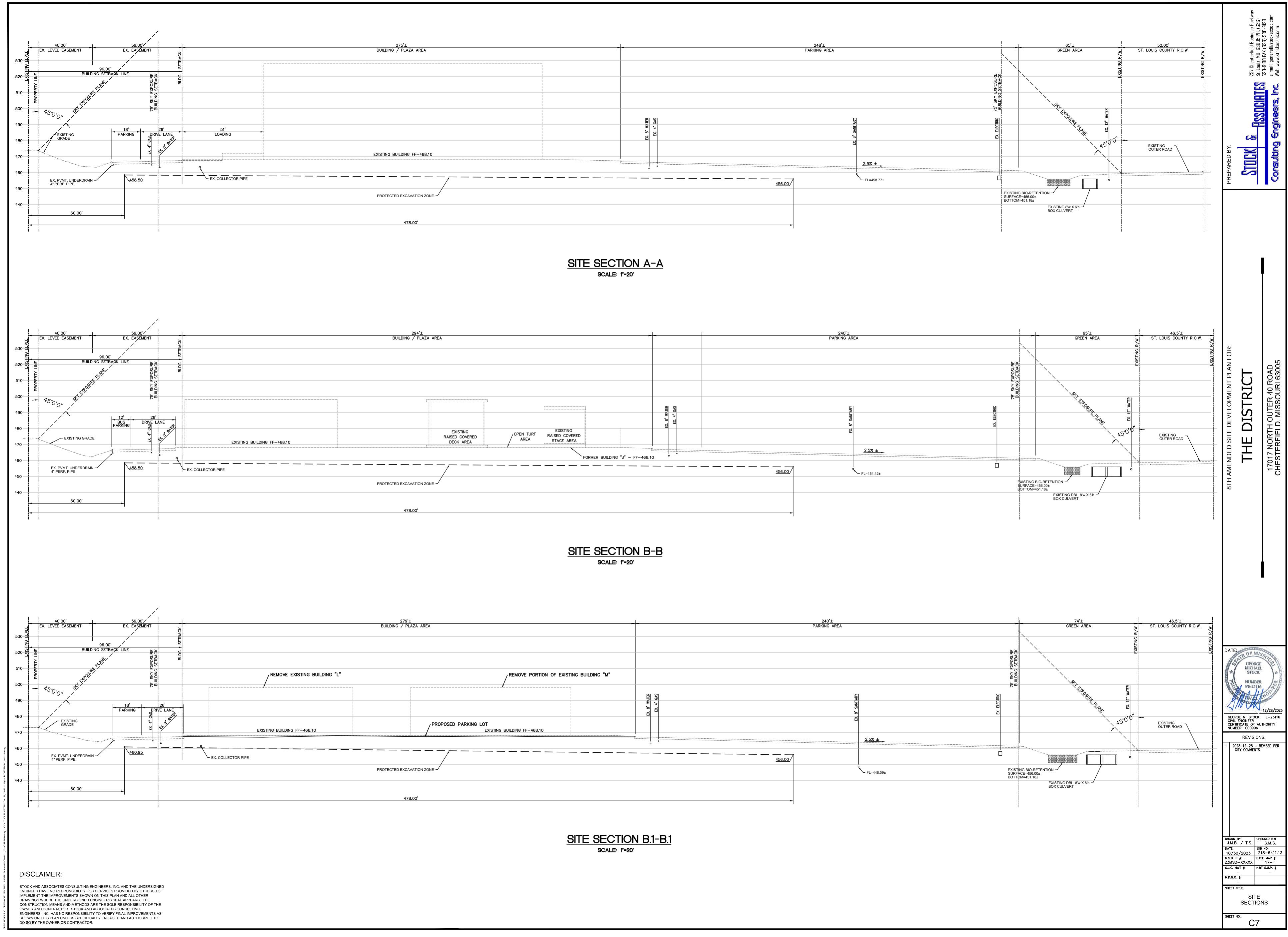
2. THE FOLLOWING EASEMENTS ARE TO BE COMPLETELY OR PARTIALLY VACATED AND NOT SHOWN FOR CLARITY:

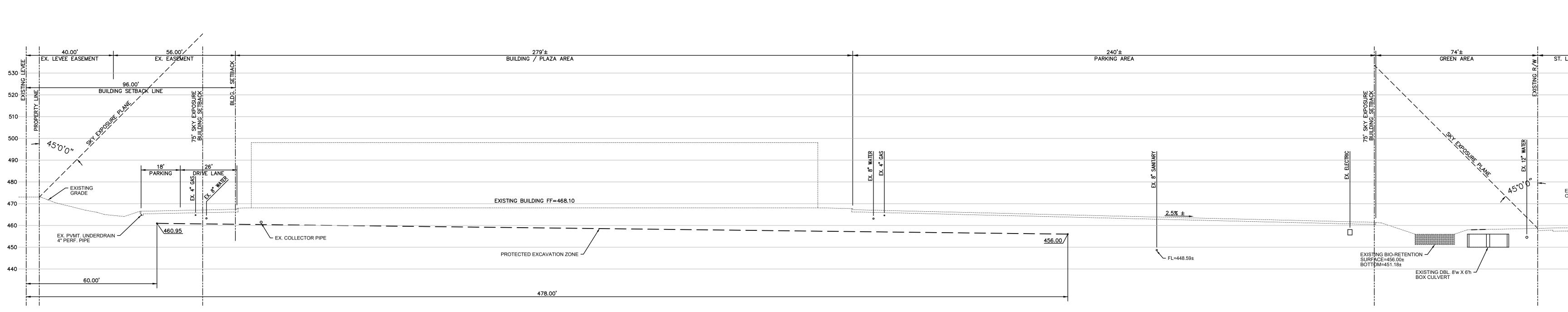
EX. BMP MAINTENANCE AREA #8 TO MSD (DB. 20117, PG. 2292) TO BE PARTIALLY VACATED







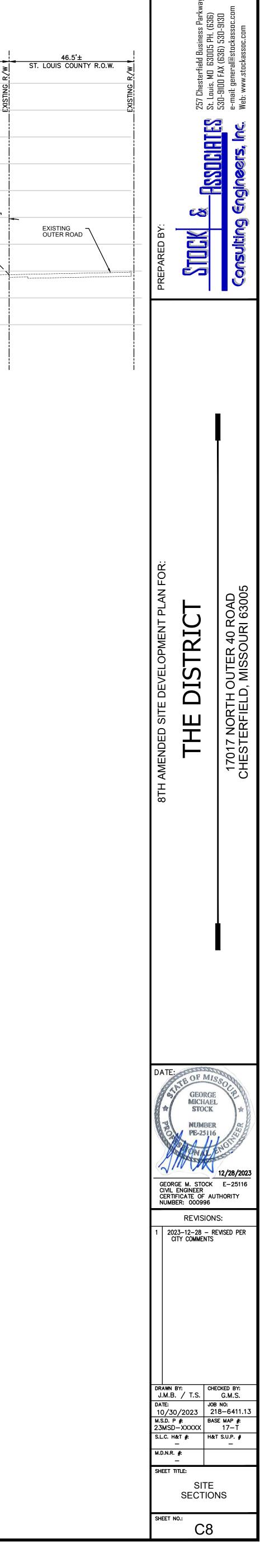


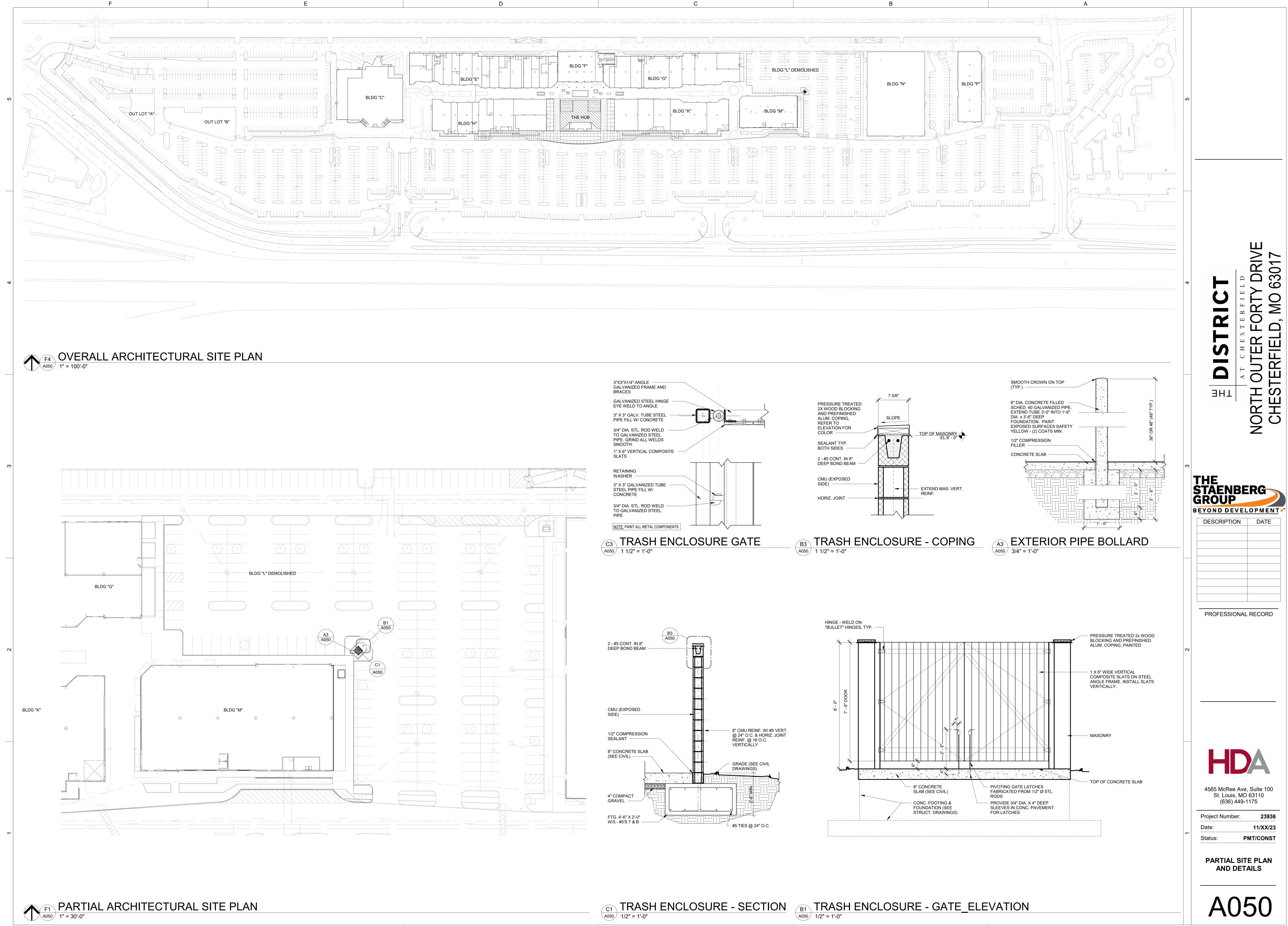


### DISCLAIMER:

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.





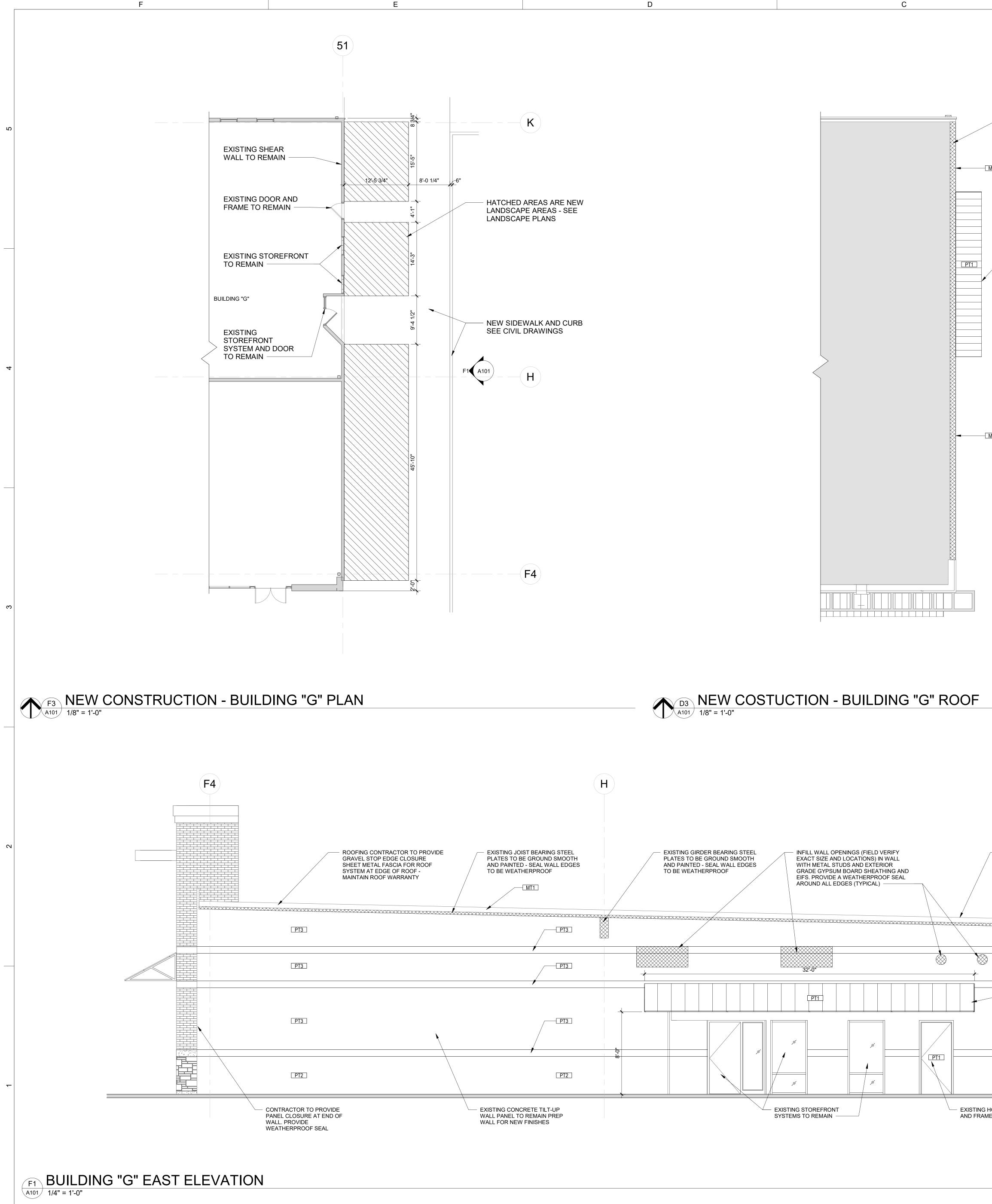


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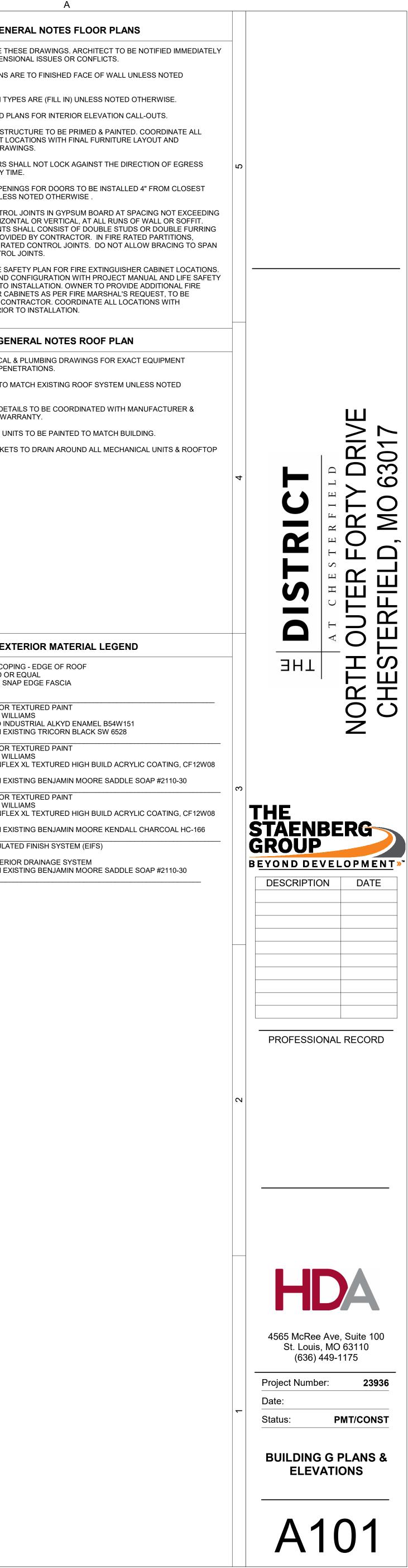
NEW ROOF SYSTEM TO MATCH EXISTING ROOF SYSTEM AND TO BE TIED INTO THE EXISTING ROOF - MAINTAIN EXISTING ROOF WARRANTY	<ul> <li>A. DO NOT SCALE THESE DRAWINGS. ARCHITECT TO BE NOTIFIED IMME WITH ANY DIMENSIONAL ISSUES OR CONFLICTS.</li> <li>B. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE.</li> <li>C. ALL PARTITION TYPES ARE (FILL IN) UNLESS NOTED OTHERWISE.</li> <li>D. SEE ENLARGED PLANS FOR INTERIOR ELEVATION CALL-OUTS.</li> <li>E. ALL EXPOSED STRUCTURE TO BE PRIMED &amp; PAINTED. COORDINATE <i>A</i> FLOOR OUTLET LOCATIONS WITH FINAL FURNITURE LAYOUT AND ELECTRICAL DRAWINGS.</li> <li>F. EGRESS DOORS SHALL NOT LOCK AGAINST THE DIRECTION OF EGRE TRAVEL AT ANY TIME.</li> <li>G. ALL ROUGH OPENINGS FOR DOORS TO BE INSTALLED 4" FROM CLOS PARTITION UNLESS NOTED OTHERWISE .</li> <li>H. PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT SPACING NOT EXC 30-0" OC, HORIZONTAL OR VERTICAL, AT ALL RUNS OF WALL OR SOF CONTROL JOINTS SHALL CONSIST OF DOUBLE STUDS OR DOUBLE FL CHANNELS PROVIDED BY CONTRACTOR. IN FIRE RATED PARTITIONS PROVIDE FIRE RATED CONTROL JOINTS. DO NOT ALLOW BRACING TO ACROSS CONTROL JOINTS.</li> <li>I. REFER TO LIFE SAFETY PLAN FOR FIRE EXTINGUISHER CABINET LOC VERIFY SIZE AND CONFIGURATION WITH PROVIDE CABINET LOC VERIFY SIZE AND CONFIGURATION WITH PROVIDE ADDITIONAL FI EXTINGUISHER CABINETS AS PER FIRE MARSHAL'S REQUEST, TO BE INSTALLED BY CONTRACTOR. COORDINATE ALL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.</li> </ul>
TI RELOCATED AWNING SYSTEM FROM DEMOLITION	GENERAL NOTES ROOF PLAN         A.       SEE MECHANICAL & PLUMBING DRAWINGS FOR EXACT EQUIPMENT LOCATIONS & PENETRATIONS.         B.       ALL ROOFING TO MATCH EXISTING ROOF SYSTEM UNLESS NOTED OTHERWISE.         C.       ALL ROOFING DETAILS TO BE COORDINATED WITH MANUFACTURER & VERIFIED FOR WARRANTY.         D.       ALL ROOF TOP UNITS TO BE PAINTED TO MATCH BUILDING.         E.       PROVIDE CRICKETS TO DRAIN AROUND ALL MECHANICAL UNITS & RO EQUIPMENT.
DF	EXTERIOR MATERIAL LEGEND         M11       SHEET METAL COPING - EDGE OF ROOF MFR: PAC-CLAD OR E-OLAL PRODUCT: PAC SNAP EDGE FASCIA COLOR: BLACK         P11       PAINT - EXTERIOR TEXTURED PAINT MFR: SHERWIN WILLIAMS PRODUCT: RONFLEX XL TEXTURED PAINT MFR: SHERWIN WILLIAMS PRODUCT: CONFLEX XL TEXTURED HIGH BUILD ACRYLIC COATING, CF SERIES COLOR: MATCH EXISTING BENJAMIN MOORE SADDLE SOAP #2110-30         P13       PAINT - EXTERIOR TEXTURED PAINT MFR: SHERWIN WILLIAMS PRODUCT: CONFLEX XL TEXTURED HIGH BUILD ACRYLIC COATING, CF SERIES COLOR: MATCH EXISTING BENJAMIN MOORE KENDALL CHARCOAL HC SENES COLOR: MATCH EXISTING BENJAMIN MOORE KENDALL CHARCOAL HC         EFS2       EXTERIOR TEXTURED FINISH SYSTEM (EIFS) MFR: DRVIT PRODUCT: EXTERIOR RANIAGE SYSTEM COLOR: MATCH EXISTING BENJAMIN MOORE SADDLE SOAP #2110-30
ROCFING CONTRACTOR TO PROVIDE GRAVEL STOP EDG ECLOSURE SYSTEM AT EDGE OF ROOF- MAINTAIN ROOF WARRANT PT3 TT3 TT3 TT3 TT3 TT3 TT3 T	

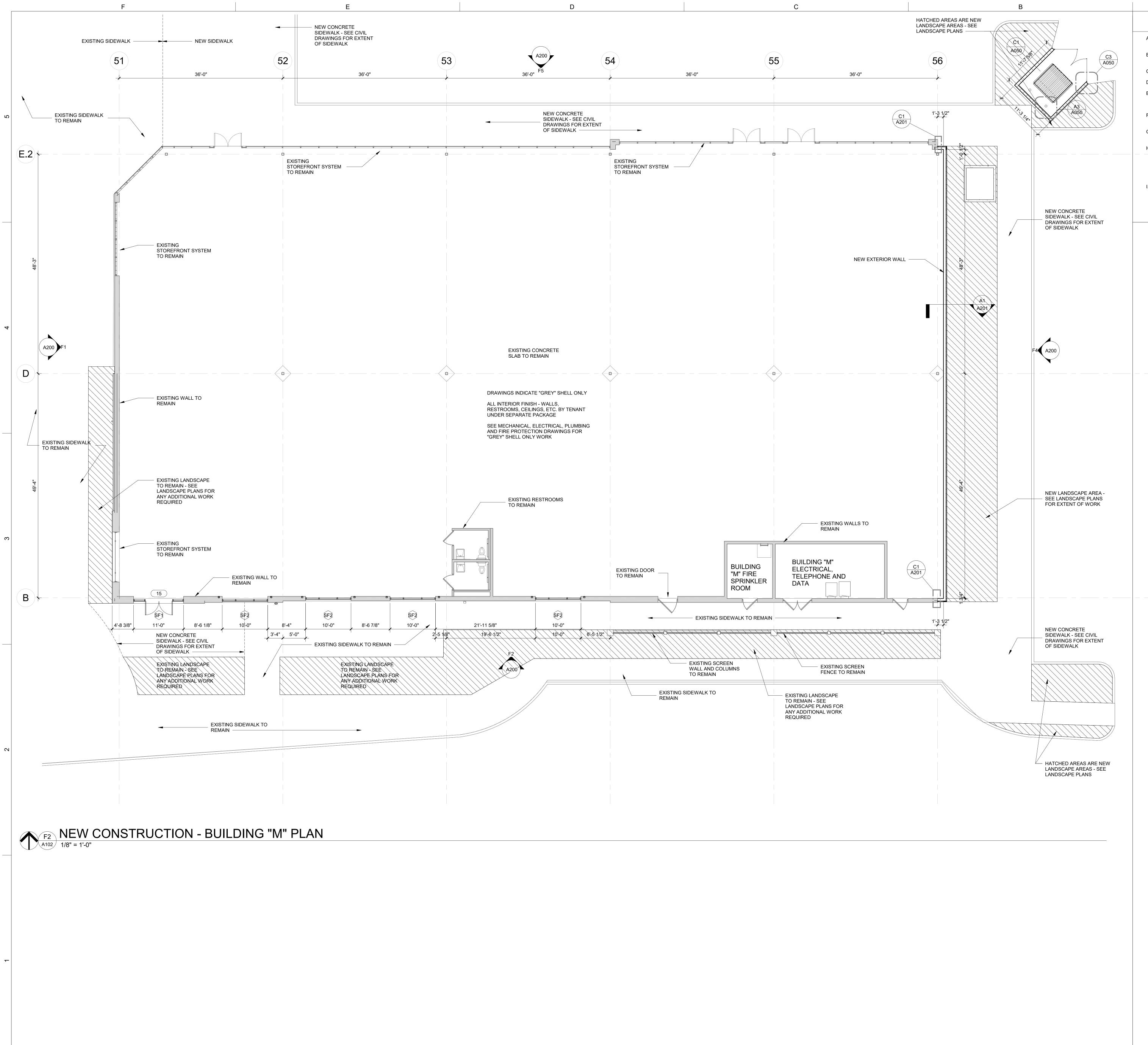
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	GENERAL NOTES FLOOR PLANS
	DO NOT SCALE THESE DRAWINGS. ARCHITECT TO BE NOTIFIED IMMEDI WITH ANY DIMENSIONAL ISSUES OR CONFLICTS.
	ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE.
	ALL PARTITION TYPES ARE (FILL IN) UNLESS NOTED OTHERWISE.
	SEE ENLARGED PLANS FOR INTERIOR ELEVATION CALL-OUTS.
	ALL EXPOSED STRUCTURE TO BE PRIMED & PAINTED. COORDINATE ALI FLOOR OUTLET LOCATIONS WITH FINAL FURNITURE LAYOUT AND ELECTRICAL DRAWINGS.
	EGRESS DOORS SHALL NOT LOCK AGAINST THE DIRECTION OF EGREST TRAVEL AT ANY TIME.
	ALL ROUGH OPENINGS FOR DOORS TO BE INSTALLED 4" FROM CLOSES PARTITION UNLESS NOTED OTHERWISE .
	PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT SPACING NOT EXCEPT 30'-0" OC, HORIZONTAL OR VERTICAL, AT ALL RUNS OF WALL OR SOFFIT CONTROL JOINTS SHALL CONSIST OF DOUBLE STUDS OR DOUBLE FUR CHANNELS PROVIDED BY CONTRACTOR. IN FIRE RATED PARTITIONS, PROVIDE FIRE RATED CONTROL JOINTS. DO NOT ALLOW BRACING TO S ACROSS CONTROL JOINTS.
	REFER TO LIFE SAFETY PLAN FOR FIRE EXTINGUISHER CABINET LOCAT VERIFY SIZE AND CONFIGURATION WITH PROJECT MANUAL AND LIFE SA SHEET PRIOR TO INSTALLATION. OWNER TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS AS PER FIRE MARSHAL'S REQUEST, TO BE INSTALLED BY CONTRACTOR. COORDINATE ALL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
	GENERAL NOTES ROOF PLAN
	SEE MECHANICAL & PLUMBING DRAWINGS FOR EXACT EQUIPMENT LOCATIONS & PENETRATIONS.
	ALL ROOFING TO MATCH EXISTING ROOF SYSTEM UNLESS NOTED OTHERWISE.
	ALL ROOFING DETAILS TO BE COORDINATED WITH MANUFACTURER & VERIFIED FOR WARRANTY.
	ALL ROOF TOP UNITS TO BE PAINTED TO MATCH BUILDING.
	PROVIDE CRICKETS TO DRAIN AROUND ALL MECHANICAL UNITS & ROO EQUIPMENT.
	EXTERIOR MATERIAL LEGEND
[1	SHEET METAL COPING - EDGE OF ROOF
•	MFR: PAC-CLAD OR EQUAL PRODUCT: PAC SNAP EDGE FASCIA COLOR: BLACK
1	PAINT - EXTERIOR TEXTURED PAINT MFR: SHERWIN WILLIAMS PRODUCT: PRO INDUSTRIAL ALKYD ENAMEL B54W151 COLOR: MATCH EXISTING TRICORN BLACK SW 6528
2	PAINT - EXTERIOR TEXTURED PAINT MFR: SHERWIN WILLIAMS PRODUCT: CONFLEX XL TEXTURED HIGH BUILD ACRYLIC COATING, CF12
	SERIES COLOR: MATCH EXISTING BENJAMIN MOORE SADDLE SOAP #2110-30

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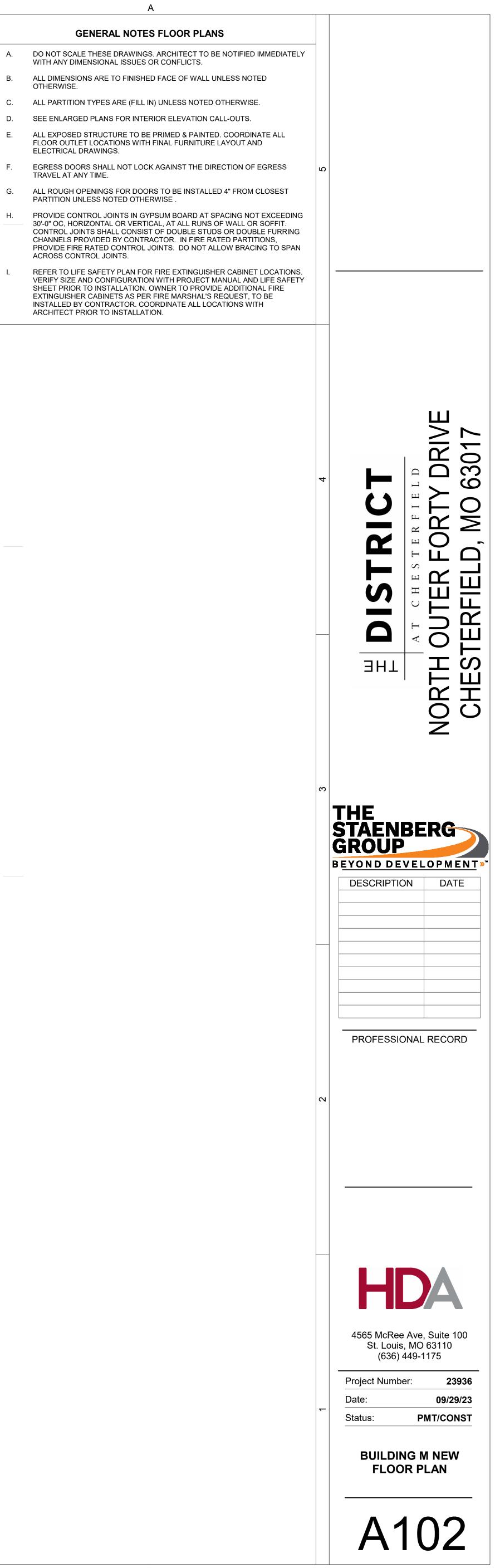
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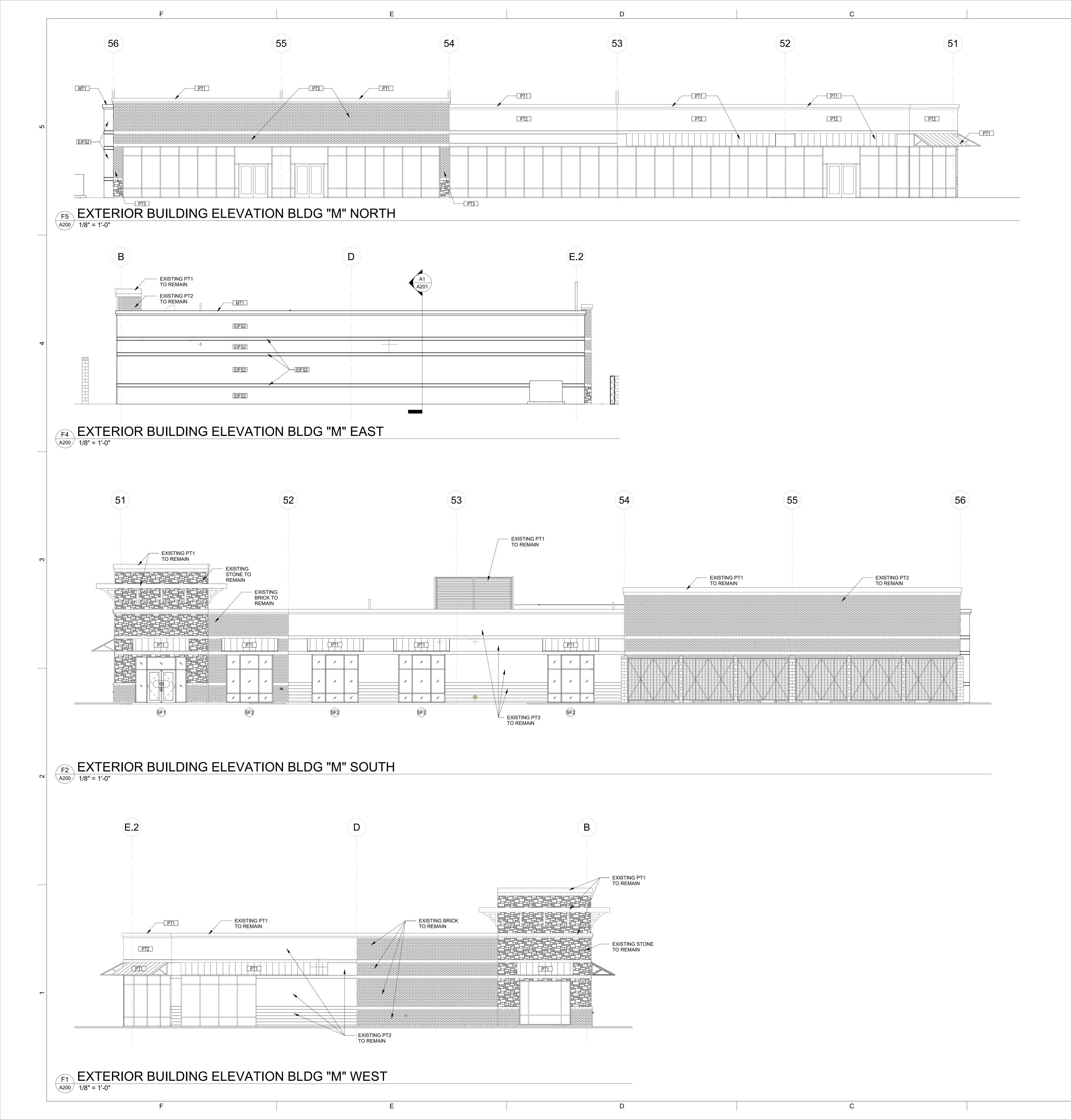
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- GENERAL NOTES FLOOR PLANS
- WITH ANY DIMENSIONAL ISSUES OR CONFLICTS.
- ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE.
- ALL PARTITION TYPES ARE (FILL IN) UNLESS NOTED OTHERWISE. C.
- SEE ENLARGED PLANS FOR INTERIOR ELEVATION CALL-OUTS.
- ALL EXPOSED STRUCTURE TO BE PRIMED & PAINTED. COORDINATE ALL FLOOR OUTLET LOCATIONS WITH FINAL FURNITURE LAYOUT AND
- ELECTRICAL DRAWINGS. EGRESS DOORS SHALL NOT LOCK AGAINST THE DIRECTION OF EGRESS
- TRAVEL AT ANY TIME. ALL ROUGH OPENINGS FOR DOORS TO BE INSTALLED 4" FROM CLOSEST PARTITION UNLESS NOTED OTHERWISE . G.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT SPACING NOT EXCEEDING
- 30'-0" OC, HORIZONTAL OR VERTICAL, AT ALL RUNS OF WALL OR SOFFIT. CONTROL JOINTS SHALL CONSIST OF DOUBLE STUDS OR DOUBLE FURRING CHANNELS PROVIDED BY CONTRACTOR. IN FIRE RATED PARTITIONS, PROVIDE FIRE RATED CONTROL JOINTS. DO NOT ALLOW BRACING TO SPAN ACROSS CONTROL JOINTS.
- REFER TO LIFE SAFETY PLAN FOR FIRE EXTINGUISHER CABINET LOCATIONS. VERIFY SIZE AND CONFIGURATION WITH PROJECT MANUAL AND LIFE SAFETY SHEET PRIOR TO INSTALLATION. OWNER TO PROVIDE ADDITIONAL FIRE EXTINGUISHER CABINETS AS PER FIRE MARSHAL'S REQUEST, TO BE

ARCHITECT PRIOR TO INSTALLATION.

INSTALLED BY CONTRACTOR. COORDINATE ALL LOCATIONS WITH



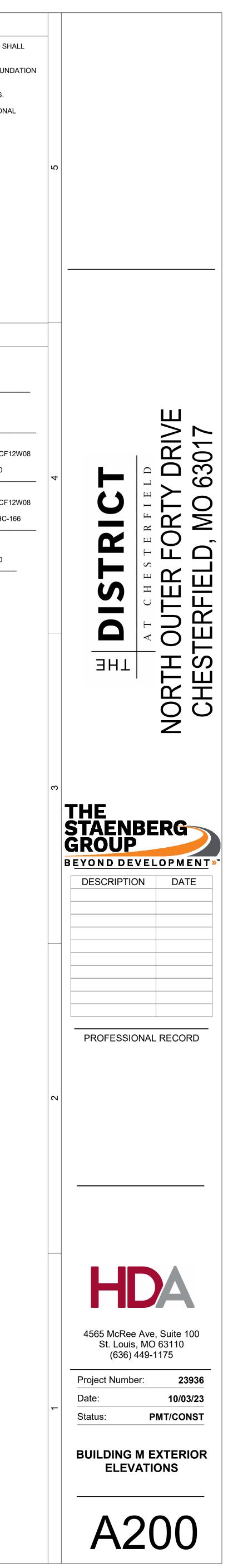


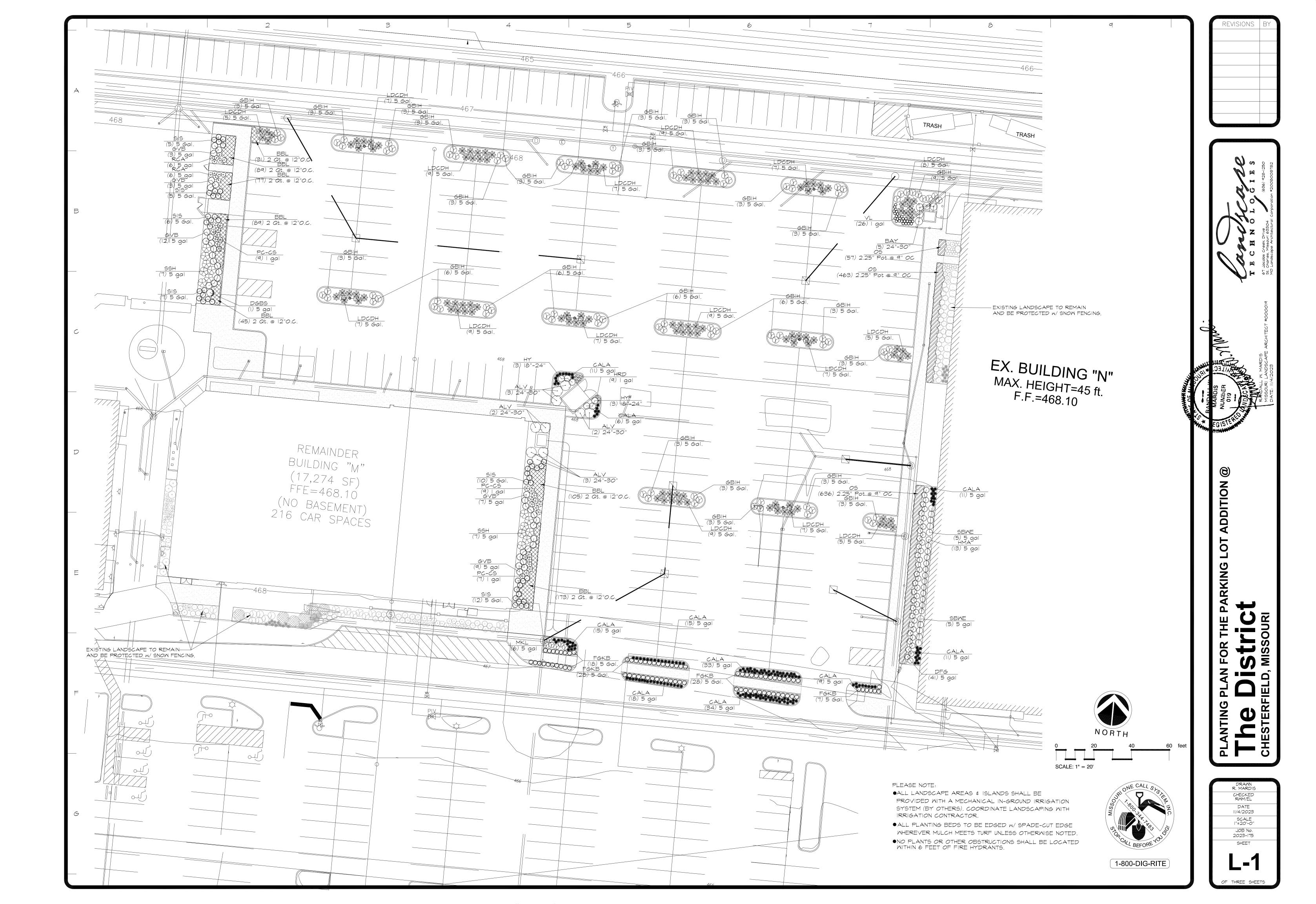
### A GENERAL NOTES ELEVATIONS

- GRADES SHOWN FOR REFERENCE ONLY. GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY ALL GRADES WITH CIVIL DOCUMENTS.
- VERIFY FINAL CIVIL GRADES AT BUILDING PRIOR TO CONCRETE FOUNDATION AND BRICK SHELF INSTALLATION.
- REFER TO SHEET Axxx FOR ENLARGED WINDOW TYPE ELEVATIONS.
- . REFER TO DOOR SCHEDULE AND FRAME ELEVATIONS FOR ADDITIONAL OPENINGS INFORMATION.

	EXTERIOR MATERIAL LEGEND
MT1	SHEET METAL COPING - EDGE OF ROOF MFR: PAC-CLAD OR EQUAL PRODUCT: PAC SNAP EDGE FASCIA COLOR: BLACK
PT1	PAINT - EXTERIOR TEXTURED PAINT MFR: SHERWIN WILLIAMS PRODUCT: PRO INDUSTRIAL ALKYD ENAMEL B54W151 COLOR: MATCH EXISTING TRICORN BLACK SW 6528
PT2	PAINT - EXTERIOR TEXTURED PAINT MFR: SHERWIN WILLIAMS PRODUCT: CONFLEX XL TEXTURED HIGH BUILD ACRYLIC COATING, CF SERIES COLOR: MATCH EXISTING BENJAMIN MOORE SADDLE SOAP #2110-30
PT3	PAINT - EXTERIOR TEXTURED PAINT MFR: SHERWIN WILLIAMS PRODUCT: CONFLEX XL TEXTURED HIGH BUILD ACRYLIC COATING, CF SERIES COLOR: MATCH EXISTING BENJAMIN MOORE KENDALL CHARCOAL HC
EIFS2	EXTERIOR INSULATED FINISH SYSTEM (EIFS) MFR: DRYVIT PRODUCT: EXTERIOR DRAINAGE SYSTEM COLOR: MATCH EXISTING BENJAMIN MOORE SADDLE SOAP #2110-30

B





3 SPADE EDGE OF PLANTING BED 3" SHREDDED HARDWOOD ╵╷┶┱┶┰┶┰ BARK MULCH PREPARED PLANTING BED SEE SHRUB PLANTING FOR DETAILS. EXISTING SUB-SOIL SPADE-CUT EDGE DETAIL N.T.S. PLANT SPACING AS PER PLAN  $\mathcal{O}$ 2" MULCH INSTALLED BEFORE PLANTING REMOVE SPENT FLOWERS PRIOR TO PLANTING PREPARE BED AS PER PLANTING DETAILS PREPARE BED AS PER PLANTING DETAILS PERENNIAL / ANNUAL PLANTING N.T.S. SET SHRUB ROOT BALL I" HIGHER THAN ADJACENT FINISH GRADE -3 INCHES MULCH IF SHRUB IS B & B, THEN ·|· 🥎 ||. REMOVE BURLAP & ROPE FROM TOP 1/3 OF BALL -BACKFILL MIX UNDISTURBED SUBSOIL PRUNE ANY BROKEN BRANCHES AFTER PLANTING. DAMAGED SHRUBS OR BROKEN / CRUMBLING ROOT BALLS WILL BE REJECTED. SHRUB PLANTING N.T.S.

GE	NERAL:	MAI
I.)	Base map information is accurate as of the date of drawing printed	I.)
2.)	in this package. It shall be the landscape contractor's responsibility to:	
	A.) Verify all existing and proposed features shown on the drawings prior to commencement of work.	2.)
	B.) Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect	З.)
	immediately for a decision. C.) Stake the locations of all proposed plant material and obtain	
	the approval of the owner's representative or landscape architect ten (10) days prior to installation.	
3.)	The contractor shall be in compliance with all codes applicable to this work.	SIG
4.)	Clean all planting beds of debris, rock, building material, etc. prior to adding / spreading topsoil or mulch.	I.)
5.)	All annual and/or perennial beds are to be roto-tilled at a depth of 12"	
	and amended with peat moss or organic material prior to planting. All grass and/or weeds shall be killed / removed from new planting beds of any kind.	2.)
6.)	Remove all debris and rock in parking lot islands shall be removed / disposed and new topsoil provided to a depth of 8" with a berm 4" higher than the	- 7
7)	adjacent curbing.	
1.)	All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation.	TOF
	Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall	1.)
8.)	at all times protect all materials and work against injury to public. The landscape contractor shall be responsible for any coordination	
	and sequencing with other site related work being performed by other contractors. Any damage to the existing improvements shall be the	
	responsibility of the contractor. It shall be the responsibility of the contractors to restore all areas of the site where disturbed by said	2.)
	contractor. Refer to additional drawings for further coordinatión of work to be done.	З.)
9.)	Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or	<i>U</i> .)
	shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of	
10.)	the above (Call utility location services in municipality). Plant material are to be planted in the same relationship to	
,	grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before	4.)
	planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.	
11.)	Plant material shall be typical in shape and form for species specified.	5.)
	Plants planted in groupings and masses shall also be matched. Container grown plant material shall not be root-bound and balled-and-burlapped	
	material shall have root balls as dictated by American Standard for Nursery Stock.	MIS
2.)	ltems shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to	1.)
	verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will	
10)	be accepted without written approval from the landscape architect.	2.)
	Provide single-stem trees unless otherwise noted in plant schedule. All plant material shall comply with the recommendations and requirements	
15)	of ANSI Z60.1 "American Standards for Nursery Stock". It shall be the contractor's responsibility to provide for inspection of	WAR
1.0.1	the plant material by the Landscape Architect (or Owners' Representative)	.) A
	prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted	ے د
16)	and shall be replaced at the landscape contractor's expense. All bids are to have unit prices listed. The Owner has the option to delete	1. 2.) A
0.7	any portion of the contract prior to signing the contract or beginning	V
٦.)	work. This will be a unit price contract; quotes shall be valid for 12 months. Should auger equipment be utilized in excavating any plant pits, vertical	t 3.) (
	sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.	4.) L
8.)	All excess topsoil, rocks, debris and/or tainted soils shall be removed	5.) L
	by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.	ć
19.)	Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.	6.) , ‡
20.	) All tags, nursery stakes, labels, etc. shall be removed by the landscape	TUF
21.)	contractor at completion of all landscape installation. Landscape contractor shall be in compliance with all federal, state and local	I.)
22	laws / regulations relating to insect infestation and/or plant diseases. ) All substitutions of plant material shall be submitted to landscape architect for	,
	approval.	
23.)	) Tree protection fencing is to be installed prior to any grading operations and inspected daily / maintained in place until completion of the project.	2.)
24.)	) No parking, storage of materials or any other construction activities are to	
PR	occur within tree protection areas. UNING:	З.)
	Lightly prune trees at time of planting. Prune only the crossover limbs,	
	intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal	4.)
יר	buds of branches that extend to the edge of the crown.	
	All pruning shall comply with ANSI A300 standards. SURANCE:	5.) I
	The landscape contractor shall submit certificates of insurance for	6.) ,
	workman's compensation and general liability.	ر ا ۲.)
MU		8.) f
1./	All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free	i 9.) s
2.)	of all foreign materials, including weeds, mold, deleterious materials, etc. No plastic sheeting or filter fabric shall be placed beneath shredded	F
	bark mulch beds. Mirafi fabric shall be used beneath all gravel mulch beds. Lap fabric 6" over adjacent coverages.	IRF
3.)	Edge all beds with spade-cut edge unless otherwise noted.	
		GENE
		I.) g
		`

4

8	c

# REVISIONS

### ITENANCE:

_andscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.

Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.

Natering of seeded or sodded lawns shall begin immediately and shall continue to be provided continuously for the following 72 hours. Regardless, the landscape contractor shall be resposible for all landscape maintenance until project turnover.

### IT TRIANGLES:

No landscape material or other obstructions shall be placed or be naintained within the sight distance area so as to impede the vision petween a height of thirty inches (30") and ten feet (10') above the adjacent streét or paving surfaces.

bight triangles at the intersection of a public street and a private access vay (except for single family residences) shall also be formed by measuring rom the point of intersection of the street frontage curbs and the entrance curb lines a distance of 35' and connecting the points so established to form the sight triangle area.

### SOIL:

Topsoil mix for all proposed landscape plant material (excluding turf areas) shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting détails. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.

- Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- Any foreign topsoil used shall be free of roots, stumps, weeds, prush, stones (larger than 1"), litter or any other extraneous or coxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the
- andscape contractor as part of this task. Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and
- before application of shredded bark mulch. Install siltation controls prior to commencement of any grading
- operations. Inspect and maintain all siltation fences on a weekly oasis until vegetation is established.

### MATERIAL:

Provide stakes and deadmen of sound, new hardwood, free of knotholes and defects per planting details. Remove stakes and guying from all trees one year after planting. Tree wrap tape shall be 4" minimum, designed to prevent borer

damage and winter freezing. Additionally, only 3-ply tying material shall be used.

### RANTY:

Il plant material (excluding ground cover, perennials and annuals) re to be warranted for a period of 12 months after complete installation all landscape material at 100% of the installed price. All plant material eemed unhealthy, unsightly or having undue amounts of dead branches by the ndscape architect shall be replaced under this warranty. ny plant material found to be defective shall be removed and replaced

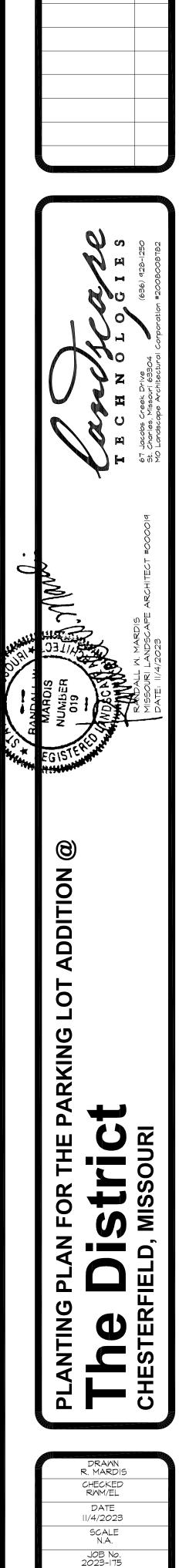
- thin 30 days of notification or in growth season determined to be best for nat plant. mly one replacement per tree or shrub shall be required at the end of the warranty
- eriod, unless loss is due to failure to comply with the warranty. andscape contractor shall not be liable due to acts of God or vandalism awn establishment period will be in effect once the lawn has been mowed three nes. Plant establishment period shall commence on the date of acceptance nd 100% completion.
- written quarantee shall be provided to the owner per conditions outlined in above.

- All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (18# per acre). Lawn areas shall be unconditionally warranted for a oeriod of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall oe replaced.
- beed and fertilization operations shall occur between May I and June 15th or between September 1 and October 15th unless directed by others in writing AND irrigation system is operating. Franular or pelleted fertilizer consisting of 50% water-insoluble low release nitrogen, phosphorous and potassium in a 12-12-12 composition.
- he turf contractor shall be responsible for protection of finished rade; restore and repair any erosion or water damage and obtain wners' approval prior to seeding or sod installation.
- andscape contractor shall offer an alternate price for sod lieu of seed. Sod shall be cut at a uniform thickness of 3/4". o broken pieces, irregular pieces or torn pieces will be accepted. ny points carrying concentrated water loads and all slopes of
- % or greater shall be sodded. Il sod shall be placed a maximum of 24 hours after harvesting. econdition existing lawn areas damaged by Contractor's operations cluding equipment/material storage and movement of vehicles.
- od Contractor to ensure sod is placed below sidewalk and all aved area elevations to allow for proper drainage.

# **RIGATION GUIDELINE SPECS:**

### RAL:

- ustem shall be designed for 30 gpm @ 80 PSI. Contractor to field érify actual conditions.
- 2.) Exact tap, backflow and controller location to be coordinated with owner or owner's representative.
- 3.) All control wiring to be 14 ga. Minimum 3 extra strands to be installed in each direction from the controller to the end of the mainline.
- 4.) All piping to be sleeved in SCH40 PVC when passing under hardscape. PVC Sleeve to be a minimum of twice the size of
- pipe(s) running through. 5.) Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the irrigation contractor's responsibility to determine or verify the existence of and exact location of the above (Call I-800-DIG-RITE).
- 6.) It shall be the irrigation contractor's responsibility to: A.) Verify all existing and proposed features shown on the
  - drawings prior to commencement of work. B.) Report all discrepancies found with regard to existing
  - conditions or proposed design to the landscape architect immediately for a decision.
- 7. All landscaped areas shall have installed an automatic, permanent irrigation system - designed to cover all landscape areas. Irrigation shall be design / build.



SHEET

OF THREE SHEETS

	PLANT SCHEDUL		
-	SHRUBS	QTY	COMMON / BO
-		$ \mathcal{O} $	ALLEGHANY LE
	DGBS		DWARF GLOBE
	FGKB	8	FRANKLIN'S GE
	GBIH	90	GEM BOX INKE
	GVB	34	GREEN VELVE
	HMA	13	HETZ MIDGET ,
	$\exists \uparrow \uparrow$	6	HICKS YEW / T
	LDCDH	=7	LET'S DANCE
	MKL	6	MISS KIM LILA
	BAY	5	NORTHERN BA
	RCA	12	ROSE CREEK ,
	515	45	SCENTLANDIA
-	SBNE	0	SONIC BLOOM
	SSH	4	STRAMBERRY
	GRASSES	QTY	COMMON / BO
	DFG	4	DWARF FOUNT
	CALA	63	FOERSTER'S R
	ANNUALS/PERENNIALS	QTY	COMMON / BO
-	PC-C5	25	CHEYENNE SPI
	HRD	Ø	HAPPY RETURN
		26	VARIEGATED !
	GROUND COVERS	QTY	COMMON / BO
		609	BIG BLUE LILY
		1,156	ORANGE STON
V		,	

2

G

CROP / SEDUM KAMTSCHATICUM

ANICAL NAME JRF / LIRIOPE MUSCARI 'BIG BLUE'

RIOPE / LIRIOPE MUSCARI 'VARIEGATA'

DAYLILY / HEMEROCALLIS HYBRID 'HAPPY RETURNS'

T CONEFLOWER / ECHINACEA PURPUREA 'CHEYENNE SPIRIT'

ANICAL NAME

ED GRASS / CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'

N GRASS / PENNISETUM ALOPECUROIDES 'HAMELN'

ANICAL NAME

UNDAE HYDRANGEA / HYDRANGEA PANICULATA 'STRAWBERRY SUNDAE'

EIGELA / WEIGELA FLORIDA 'SONIC BLOOM'

WEETSPIRE / ITEA VIRGINICA 'SMNIVDFC' TM

BELIA / ABELIA X GRANDIFLORA 'ROSE CREEK'

BERRY / MYRICA PENSYLVANICA

/ SYRINGA PATULA 'MISS KIM'

XUS MEDIA 'HICKSII' AN DO HYDRANGEA / HYDRANGEA MACROPHYLLA X SERRATA 'LET'S DAN

RBORVITAE / THUJA OCCIDENTALIS 'HETZ MIDGET'

BOXWOOD / BUXUS 'GREEN VELVET'

RRY HOLLY / ILEX GLABRA 'GEM BOX'

KOREAN BOXMOOD / BUXUS SINICA INSULARIS 'FRANKLIN'S GEM'

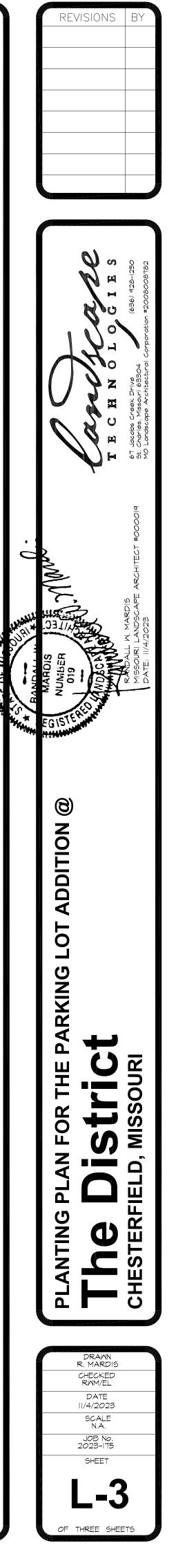
BLUE SPRUCE / PICEA PUNGENS 'GLOBOSA'

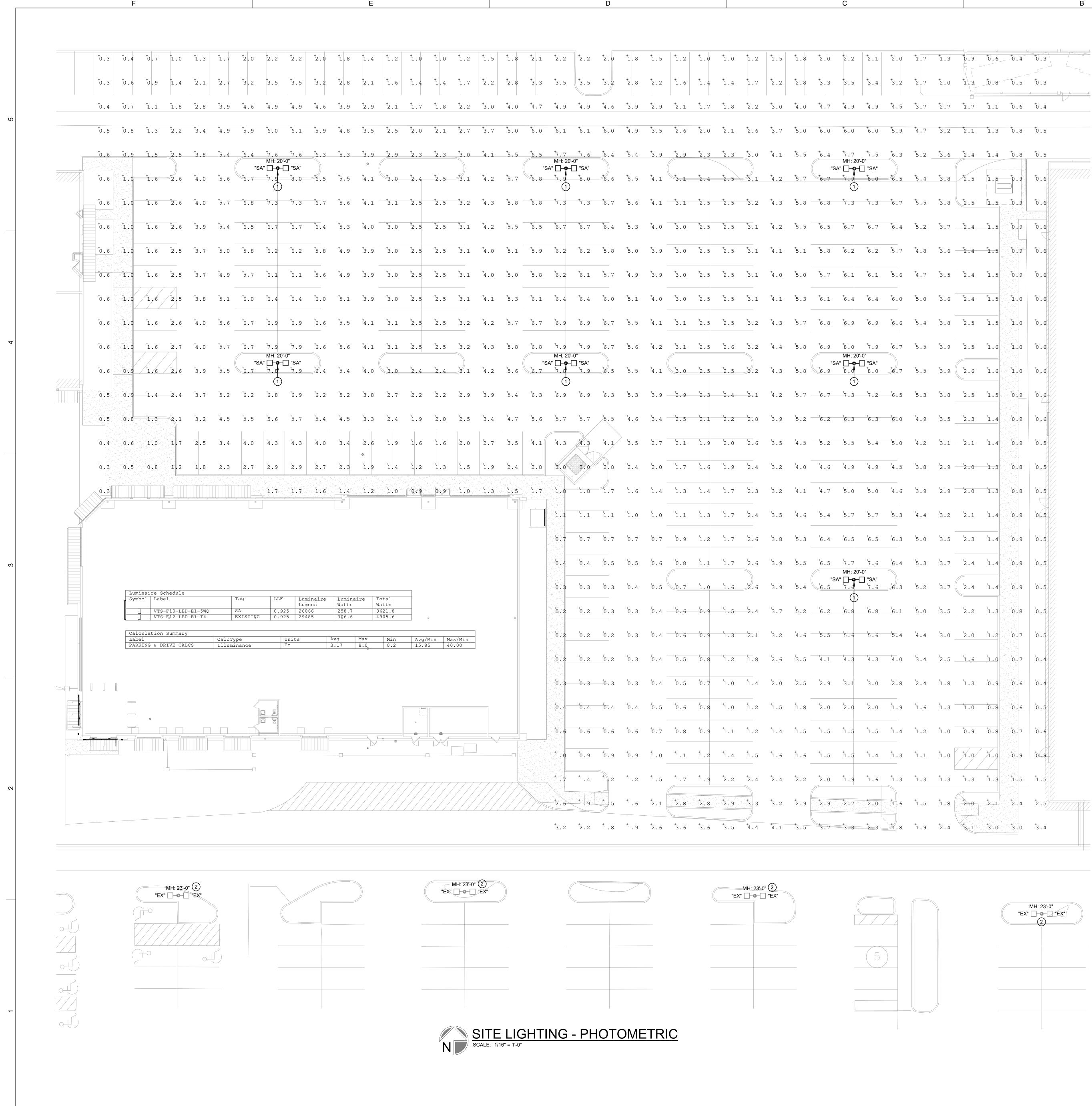
THERLEAF VIBURNUM / VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY'

ANICAL NAME

З

	SIZE	
	24"-30"	
	5 GAL	
	5 GAL.	
	5 GAL.	
	5 GAL	
	5 GAL	
	8"=24"	
NCE CAN DO'	5 GAL.	
	5 GAL	
	24"-30"	
	5 GAL	
	5 GAL.	
	5 GAL	
	5 GAL	
	SIZE	
	5 GAL	
	5 GAL	
	SIZE	
	I GAL	
	I GAL	
	I GAL	
	SIZE	
	2 QT. @ 12"0.C.	
	2.25" POT @ 9" OC	





1.2						⁺ 2.0												⁺ 2.0	
1.7	⁺ 2.2	+ 2.8	⁺ 3.3	⁺ 3.5	⁺ 3.5	⁺ 3.2	⁺ 2.8	2.2	⁺ 1.6	⁺ 1.4	+ 1.4	⁺ 1.7	⁺ 2.2	⁺ 2.8	⁺ 3.3	⁺ 3.5	⁺ 3.4	⁺ 3.2	⁺ 2.7
⁺ 2.2	⁺ 3.0	⁺ 4.0	⁺ 4.7	⁺ 4.9	⁺ 4.9	⁺ 4.6	⁺ 3.9	⁺ 2.9	⁺ 2.1	⁺ 1.7	⁺ 1.8	⁺ 2.2	⁺ 3.0	⁺ 4.0	⁺ 4.7	4.9	⁺ 4.9	⁺ 4.5	⁺ 3.7
⁺ 2.7	⁺ 3.7	⁺ 5.0	⁺ 6.0	⁺ 6.1	⁺ 6.1	⁺ 6.0	⁺ 4.9	⁺ 3.5	⁺ 2.6	⁺ 2.0	⁺ 2.1	⁺ 2.6	⁺ 3.7	⁺ 5.0	⁺ 6.0	⁺ 6.0	⁺ 6.0	⁺ 5.9	4.7
⁺ 3.0	4.1	⁺ 5.5	⁺ 6.5	⁺ 7 . 7 MH: 20'	⁺ 7.6	⁺ 6.4	⁺ 5.4	⁺ 3.9	⁺ 2.9	+2.3	⁺ 2.3	⁺ 3.0	+ 4.1	⁺ 5.5	⁺ 6.4	⁺ 7.7 MH: 20	⁺ 7.5	⁺ 6.3	⁺ 5.2
⁺ 3.0 +3.1	⁺ 4.2	⁺ 5.7	+ 6.8	SA" <b>- •</b> 7.9	[]"SA" 8.0	±6.6	⁺ 5.5	⁺ 4.1	+3.1	+2.4	+2.5	3.1	⁺ 4.2	⁺ 5.7	"S	A" <b>[] •</b> -7.9 (1)	"SA" 	⁺ 6.5	⁺ 5.4
⁺ 3.2																			
⁺ 3.1	⁺ 4.2	⁺ 5.5	⁺ 6.5	⁺ 6.7	⁺ 6.7	⁺ 6.4	⁺ 5.3	⁺ 4.0	⁺ 3.0	⁺ 2.5	⁺ 2.5	⁺ 3.1	⁺ 4.2	⁺ 5.5	⁺ 6.5	⁺ 6.7	⁺ 6.7	⁺ 6.4	⁺ 5.2
⁺ 3.1	⁺ 4.0	⁺ 5.1	⁺ 5.9	⁺ 6.2	⁺ 6.2	⁺ 5.8	⁺ 5.0	⁺ 3.9	⁺ 3.0	⁺ 2.5	⁺ 2.5	⁺ 3.1	⁺ 4.1	⁺ 5.1	⁺ 5.8	⁺ 6.2	⁺ 6.2	⁺ 5.7	⁺ 4.8
⁺ 3.1	⁺ 4.0	⁺ 5.0	⁺ 5.8	⁺ 6.2	⁺ 6.1	⁺ 5.7	⁺ 4.9	⁺ 3.9	⁺ 3.0	⁺ 2.5	⁺ 2.5	⁺ 3.1	⁺ 4.0	⁺ 5.0	⁺ 5.7	⁺ 6.1	⁺ 6.1	⁺ 5.6	⁺ 4.7
⁺ 3.1	⁺ 4.1	⁺ 5.3	⁺ 6.1	⁺ 6.4	⁺ 6.4	⁺ 6.0	⁺ 5.1	⁺ 4.0	⁺ 3.0	⁺ 2.5	⁺ 2.5	⁺ 3.1	⁺ 4.1	⁺ 5.3	⁺ 6.1	⁺ 6.4	⁺ 6.4	⁺ 6.0	⁺ 5.0
⁺ 3.2	⁺ 4.2	⁺ 5.7	⁺ 6.7	⁺ 6.9	⁺ 6.9	⁺ 6.7	⁺ 5.5	⁺ 4.1	⁺ 3.1	⁺ 2.5	⁺ 2.5	⁺ 3.2	⁺ 4.3	⁺ 5.7	⁺ 6.8	⁺ 6.9	⁺ 6.9	⁺ 6.6	⁺ 5.4
⁺ 3.2				MH: 20'	'-0"											MH: 20'	-0"		
	⁺ 4.2	⁺ 5.6	+6.7	SA" <b>- •</b> 7.8	□ "SA" ⁺ 7.9	+6.5	⁺ 5.5	⁺ 4.1	+3.0	⁺ 2.5	2.5	⁺ 3.2	⁺ 4.3	⁺ 5.8	"S. +6.9	A" <b>□ •</b>   *8.0 (1)	<b>"SA"</b> 8.0	+6.7	⁺ 5.5
⁺ 2.9	⁺ 3.9	⁺ 5.4	⁺ 6.3	+ 6.9	⁺ 6.9	⁺ 6.3	⁺ 5.3	⁺ 3.9	<u></u>	⁺ 2.3	⁺ 2.4		⁺ 4.2	⁺ 5.7	⁺ 6.7	÷7.3	⁺ 7.2		⁺ 5.3
⁺ 2.5	⁺ 3.4	4.7	⁺ 5.6	⁺ 5.7	⁺ 5.7	⁺ 5.5	⁺ 4.6	⁺ 3.4	⁺ 2.5	+ 2.1	⁺ 2.2	⁺ 2.8	⁺ 3.9	⁺ 5.2	⁺ 6.2	⁺ 6.3	⁺ 6.3		⁺ 4.9
⁺ 2.0	⁺ 2.7	⁺ 3.5	4.1	⁺ 4.3	⁺ 4.3	⁺ 4.1	⁺ 3.5	⁺ 2.7	2.1	1.9	⁺ 2.0	2.6	⁺ 3.5	⁺ 4.5	⁺ 5.2	⁺ 5.5	⁺ 5.4	⁺ 5.0	⁺ 4.2
1.5	1.9	+2.4	⁺ 2.8	+3.0	3.0	+2.8	⁺ 2.4	⁺ 2.0	⁺ 1.7	⁺ 1.6	⁺ 1.9	⁺ 2.4	⁺ 3.2	⁺ 4.0	⁺ 4.6	⁺ 4.9	⁺ 4.9	⁺ 4.5	⁺ 3.8
1.0	⁺ 1.3	1.5	+ <u>1</u> .7	+ . 8	1.8	1.7	⁺ 1.6	⁺ 1.4	⁺ 1.3	⁺ 1.4	⁺ 1.7	⁺ 2.3	⁺ 3.2	⁺ 4.1	⁺ 4.7	⁺ 5.0	⁺ 5.0	⁺ 4.6	⁺ 3.9
				+ + 1 • 1	⁺ 1.1	1.1	⁺ 1.0	⁺ 1.0	⁺ 1.1	⁺ 1.3	⁺ 1.7	⁺ 2.4	⁺ 3.5	⁺ 4.6	⁺ 5.4	⁺ 5.7	⁺ 5.7	⁺ 5.3	⁺ 4.4
				⁺ 0.7	⁺ 0.7	⁺ 0.7	⁺ 0.7	⁺ 0.7	⁺ 0.9	⁺ 1.2	⁺ 1.7	⁺ 2.6	⁺ 3.8	⁺ 5.3	⁺ 6.4	⁺ 6.5	⁺ 6.5	⁺ 6.3	⁺ 5.0
				+0.4	⁺ 0.4	⁺ 0.5	⁺ 0.5	⁺ 0.6	⁺ 0.8	⁺ 1.1	⁺ 1.7	⁺ 2.6	⁺ 3.9	⁺ 5.5		MH: 20'	-0"		⁺ 5.3
				+0.3	⁺ 0.3	⁺ 0.3	⁺ 0.4	⁺ 0.5	+0.7	1.0	1.6	2.6	⁺ 3.9	⁺ 5.4	-6.5	^" <b>∐-</b> ¶-1 ⁷ .6	"SA" [†] 7.6	÷ <b>6.</b> 3	⁺ 5.2
				⁺ 0 . 2	⁺ 0.2	⁺ 0.3	⁺ 0.3	⁺ 0.4	⁺ 0.6	+ 0.9	⁺ 1.5	<del>2.</del> 4	⁺ 3.7	⁺ 5.2	⁺ 6.2	⁺ 6.8	⁺ 6.8		⁺ 5.0
Max/Min 40.00				+0 • 2	⁺ 0.2	⁺ 0.2	⁺ 0.3	⁺ 0.4	⁺ 0.6	+0.9	⁺ 1.3	⁺ 2.1	⁺ 3.2	4.6	⁺ 5.5	⁺ 5.6	5.6	⁺ 5.4	⁺ 4.4
				⁺ 0.2	⁺ 0.2	⁺ 0.2	⁺ 0.3	⁺ 0.4	⁺ 0.5	⁺ 0.8	⁺ 1.2	⁺ 1.8	⁺ 2.6	⁺ 3.5	⁺ 4.1	4.3	4.3	⁺ 4.0	⁺ 3.4
				[†] 0.3—	+0.3	<del>1</del> 0.3	⁺ 0.3	⁺ 0.4	⁺ 0.5	⁺ 0.7	⁺ 1.0	⁺ 1.4	⁺ 2.0	⁺ 2.5	⁺ 2.9	⁺ 3.1	⁺ 3.0	⁺ 2.8	⁺ 2.4
				+0.4	+ 0.4	⁺ 4	⁺ 0.4	⁺ 0.5	⁺ 0.6	⁺ 0.8	⁺ 1.0	⁺ 1.2	⁺ 1.5	⁺ 1.8	⁺ 2.0	⁺ 2.0	⁺ 2.0	⁺ 1.9	⁺ 1.6
				+0.6	⁺ 0.6	⁺ 0.6	⁺ 0.6	⁺ 0.7	⁺ 0.8	+0.9	⁺ 1.1	⁺ 1.2	⁺ 1.4	⁺ 1.5	⁺ 1.5	⁺ 1.5	⁺ 1.5	⁺ 1.4	⁺ 1.2
				+1.0	⁺ 0.9	⁺ 0.9	⁺ 0.9	⁺ 1.0	1.1	⁺ 1.2	⁺ 1.4	⁺ 1.5	⁺ 1.6	⁺ 1.6	⁺ 1.5	⁺ 1.5	1.4	⁺ 1.3	⁺ 1.1
				1.7	+1.4	⁺ 1.2	⁺ 1.2	⁺ 1.5	⁺ 1.7	+1.9	⁺ 2.2	⁺ 2.4	⁺ 2.4	⁺ 2.2	⁺ 2.0	⁺ 1.9	⁺ 1.6	1.3	⁺ 1.3
				2.6	1.9	1.5	⁺ 1.6	⁺ 2.1	2.8	⁺ 28	⁺ 2.9	+3.3	⁺ 3.2	⁺ 2.9	2.9	⁺ 2.7	2.0	1 6	⁺ 1.5
				⁺ 3.2	⁺ 2.2	⁺ 1.8	⁺ 1.9	⁺ 2.6	⁺ 3.6	⁺ 3.6	⁺ 3.5	⁺ 4.4	4.1	[†] 3.5	3.7	+ 3.3	2.3	+1.8	⁺ 1.9

D

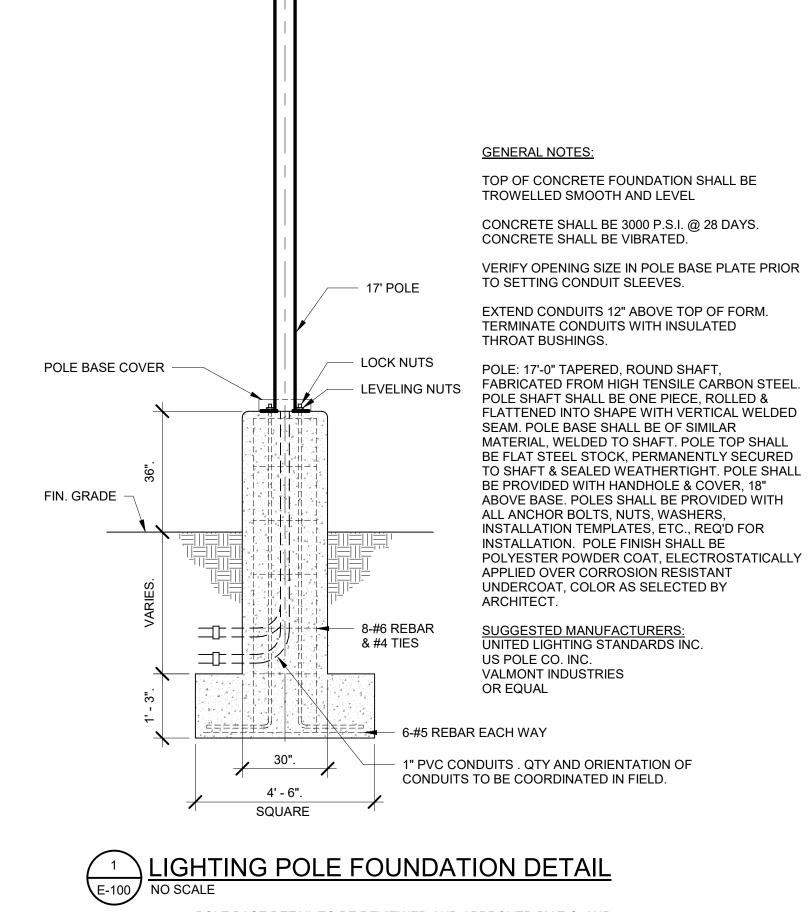
С

E

F



- SEE DETAIL 1 ON THIS SHEET FOR POLE BASE DETAIL
- EXISTING LIGHTING FIXTURE "EX" INCLUDED ON THIS SHEET FOR FOOTCANDLE CONTRIBUTION AT NEW PARKING AREA.



NOTE: POLE BASE DETAIL TO BE REVIEWED AND APPROVED BY E.C. AND OWNER. SHALLOW BASE WILL BE REQUIRED FOR ANY LIGHT BASE THAT WOULD ENCROACH INTO RESTRICTED PROTECTED EXCAVATION ZONE.

Α

