



690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Meeting Date: January 22nd, 2024

From: Alyssa Ahner, Planner

Location: 17017 N. Outer 40 Road

Description: The District (ASDP): An Amended Site Development Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations located on a 48.15-acre tract of land located north of N. Outer 40 Road and east of Boone's Crossing.

PROPOSAL SUMMARY

Stock & Associates, on behalf of TSG Chesterfield Lifestyle, LLC, has submitted an Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for a proposed parking addition in place of "Building L" and a portion of "Building M".



Figure 1: Subject Site

HISTORY OF SUBJECT SITE

Pre-1988: Subject site zoned "NU" Non-Urban.

2011: Subject site rezoned from "NU" Non-Urban to "PC" Planned Commercial under governing Ordinance 2682.

2012: A Site Development Plan for a 472,282 sq ft outlet mall, formerly known as 'Chesterfield Outlets', was approved.

2019: The current governing Ordinance 3049 was approved. An Amended Site Development Plan (ASDP) for Phase 1 of 'The District' was approved subsequently.

2020: An ASDP was approved to remove an office and parking garage component of the development.

2021: An ASDP was approved for the realignment of the westernmost entrance.

2022: Two submittals for ASDP's were reviewed and approved. One, for the removal of "Building J" to create an open-air entertainment area referred to as "The Hub". Two, for the removal of "Building L" and a portion of "Building M" to create a mixed-use restaurant/recreation facility referred to as "The Real Dill". "The Hub" was constructed and is open to the public. The construction plans for "The Real Dill" have been withdrawn and are no longer under review by the City.

STAFF ANALYSIS

a. Circulation System, Parking, & Access

The applicant is proposing demolishing "Building L" and a portion of "Building M" for a parking lot expansion (see *Figure 2*). This redevelopment would remove roughly 10,000 square feet of retail space and add 216 parking spaces just west of "Main Event" or "Building N". There are no changes proposed to the existing circulation system and access points.



Figure 2: Buildings affected by parking expansion

The parking for "The District" is calculated using the "Retail Center" parking standards. The only stand-alone use that is calculated separately from the remainder of "The District" is the "theater" use. The minimum parking required for the development, accounting for the loss in building square footage in this redesign, is 2,028 spaces. The maximum allowed would be a total of 3,034 spaces. The addition of the 216 parking spaces would increase the total to 2,652.

b. Landscape Design & Screening

The openspace requirement for this development is 30%. The proposed parking expansion brings the site to 31%. In regards to landscaping, "The District" is adjacent to the Monarch-Chesterfield Levee and there are limitations as to what may be planted within the seepage berm i.e., there aren't any trees proposed for this project. The applicant is proposing a mixture of smaller plantings within the new parking islands and abutting the modified store fronts. A new trash enclosure is proposed at the

northeast corner of the modified "Building M". It will be 8' tall and be screened by a mixture of plantings. This is located "interior" to the development.

c. Lighting

There are seven (7) new light poles proposed within the parking expansion. These fixtures will match the existing light poles and have been found to be code compliant.

d. Elevations

The demolition of "Building L" and a portion of "Building M" requires modifications to the existing building elevations. The areas of the buildings that will be "cut-off" are to be refinished to match the existing look of the development. The most visible change will be the elimination of the tower component on "Building M" that fronts N. Outer 40 Road. *Figure 3* below depicts the amended south elevation for "Building M".

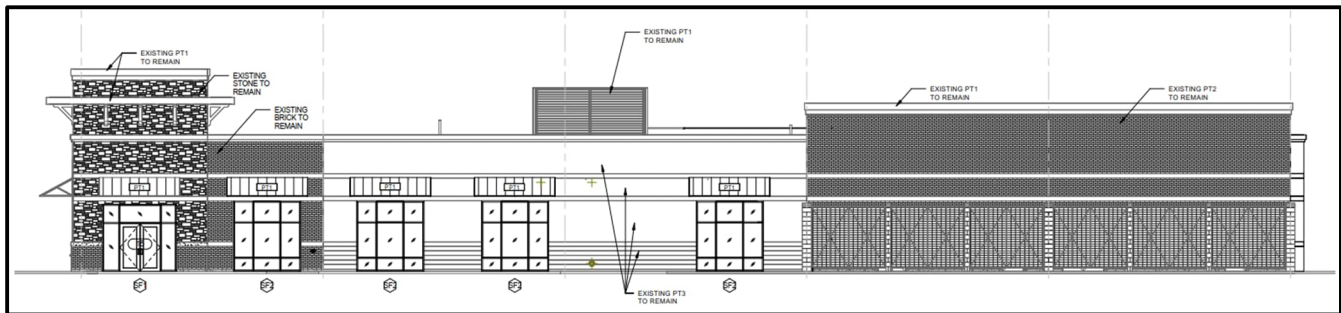


Figure 3: Modified south elevation of "Building M"

STAFF RECOMMENDATION

Staff has reviewed the Amended Site Development Plan, Landscape Plan, Lighting Plan, and Amended Architectural Elevations and found that it meets the requirements to be presented to the Planning Commission for review. Staff recommends action.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for The District (ASDP), as presented.
- 2) "I move to approve the Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for The District (ASDP) to the Planning Commission with a recommendation for approval with the following conditions..."

(Conditions may be added, eliminated, altered or modified)

Attachments:

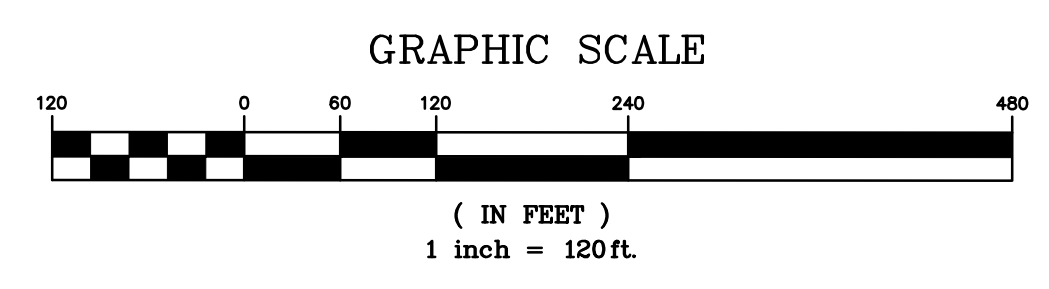
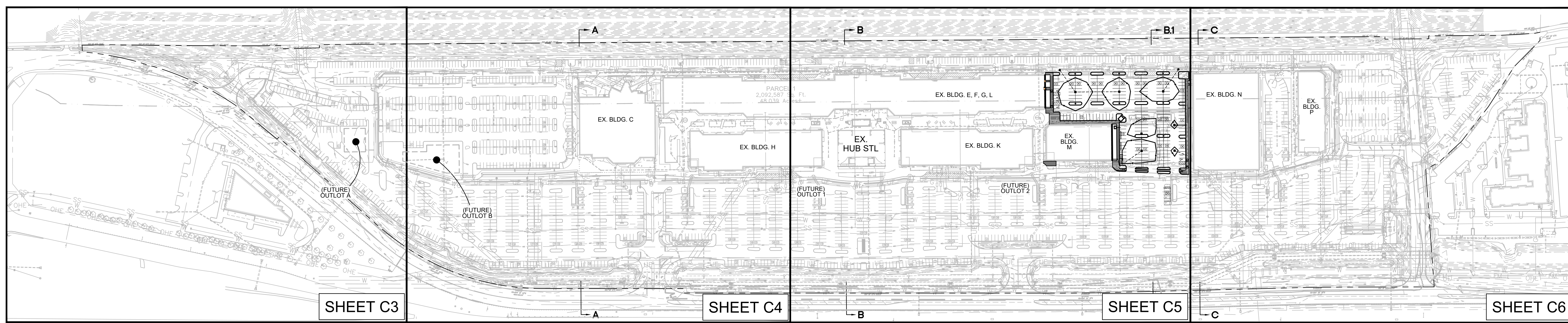
1. Applicant's Planning Commission Packet

PREPARED BY:

8TH AMENDED SITE DEVELOPMENT PLAN FOR:

THE DISTRICT

17017 NORTH OUTER 40 ROAD
CHESTERFIELD, MISSOURI 63005



PROPERTY DESCRIPTION

A TRACT OF LAND BEING ADJUSTED LOT 1 OF THE BOUNDARY ADJUSTMENT PLAT OF LOT 4 AND 5 OF THE JAMES LONG'S ESTATE AND PART OF LOTS 1 AND 2 OF THE SUBDIVISION OF LUDWELL BACON'S ESTATE, AND LOTS 6, 7, 8 AND 9 OF HERMAN HICKS ESTATE SUBDIVISION AND A TRACT OF LAND AS CONVEYED TO TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD BY INSTRUMENT RECORDED IN BOOK 26516, PAGE 2999 OF THE ST. LOUIS COUNTY RECORDS, LOCATED IN U.S. SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE FIFTH PRINCIPAL MERIDIAN CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF ABOVE SAID ADJUSTED LOT 1, SOUTH 01 DEGREE 38 MINUTES 15 SECONDS WEST, 32.40 FEET TO THE SOUTHEAST CORNER OF ABOVE SAID TAUBMAN TRACT, SAID POINT BEING LOCATED ON THE NORTH RIGHT-OF-WAY LINE OF NORTH OUTER 40 ROAD, VARIABLE WIDTH, THENCE ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING COURSES AND DISTANCES: NORTH 84 DEGREES 18 MINUTES 34 SECONDS WEST, 260.00 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 5,020.50 FEET, ALONG SAID CURVE WITH AN ARC LENGTH OF 117.62 FEET AND A CHORD WHICH BEARS, NORTH 84 DEGREES 58 MINUTES 50 SECONDS WEST, 117.62 FEET; NORTH 85 DEGREES 59 MINUTES 06 SECONDS WEST, 509.93 FEET TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 5,020.00 FEET; ALONG SAID CURVE WITH AN ARC LENGTH OF 130.89 FEET AND A CHORD WHICH BEARS, NORTH 84 DEGREES 54 MINUTES 10 SECONDS WEST, 130.89 FEET; NORTH 84 DEGREES 09 MINUTES 13 SECONDS WEST, 1,030.57 FEET; NORTH 05 DEGREES 59 MINUTES 47 SECONDS EAST, 12.00 FEET; NORTH 84 DEGREES 09 MINUTES 13 SECONDS WEST, 389.67 FEET TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 668.00 FEET AND ALONG SAID CURVE WITH AN ARC LENGTH OF 123.32 FEET AND A CHORD WHICH BEARS, NORTH 78 DEGREES 51 MINUTES 23 SECONDS WEST, 123.34 FEET TO THE SOUTHWEST CORNER OF ABOVE SAID ADJUSTED LOT 1, SAID POINT ALSO BEING LOCATED ON THE NORTHEASTERN RIGHT-OF-WAY LINE OF SAID NORTH OUTER 40 ROAD, THENCE CONTINUING IN A NORTHWESTERLY DIRECTION ALONG SAID RIGHT-OF-WAY LINE AND THE WESTERN LINE OF SAID ADJUSTED LOT 1, THE FOLLOWING COURSES AND DISTANCES: ALONG SAID CURVE, WITH AN ARC LENGTH 139.14 FEET AND A CHORD WHICH BEARS NORTH 59 DEGREES 03 MINUTES 33 SECONDS WEST, 335.51 FEET; NORTH 44 DEGREES 28 MINUTES 14 SECONDS WEST, 31.47 FEET; NORTH 42 DEGREES 53 MINUTES 41 SECONDS WEST, 359.33 FEET; SOUTH 47 DEGREES 26 MINUTES 19 SECONDS WEST, 6.47 FEET; NORTH 44 DEGREES 28 MINUTES 14 SECONDS WEST, 102.46 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 812.50 FEET; ALONG SAID CURVE WITH AN ARC LENGTH OF 36.28 FEET AND A CHORD WHICH BEARS, NORTH 45 DEGREES 44 MINUTES 58 SECONDS WEST, 36.28 FEET TO A POINT OF COMPOUND CURVATURE TO THE LEFT HAVING A RADIUS OF 100.00 FEET; ALONG SAID CURVE WITH AN ARC LENGTH OF 4.92 FEET TO A POINT OF COMPOUND CURVATURE TO THE LEFT HAVING A RADIUS OF 805.52 FEET; ALONG SAID CURVE WITH AN ARC LENGTH OF 268.66 FEET AND A CHORD WHICH BEARS NORTH 59 DEGREES 24 MINUTES 30 SECONDS WEST, 267.57 FEET TO A POINT OF REVERSE CURVATURE TO THE RIGHT HAVING A RADIUS OF 100.00 FEET; ALONG SAID CURVE WITH AN ARC LENGTH OF 3.90 FEET AND A CHORD WHICH BEARS, NORTH 67 DEGREES 51 MINUTES 02 SECONDS WEST, 3.90 FEET TO A POINT OF REVERSE CURVATURE TO THE LEFT HAVING A RADIUS OF 800.50 FEET AND ALONG SAID CURVE WITH AN ARC LENGTH OF 177.04 FEET AND A CHORD WHICH BEARS, NORTH 73 DEGREES 54 MINUTES 06 SECONDS WEST, 176.66 FEET TO ITS INTERSECTION WITH THE WEST LINE SAID ADJUSTED LOT 1, THENCE ALONG SAID WEST LINE, NORTH 0 DEGREES 21 MINUTES 46 SECONDS EAST, 18.67 FEET TO THE NORTHWEST CORNER THEREOF, THENCE ALONG THE NORTHERN LINES OF SAID ADJUSTED LOT 1 THE FOLLOWING COURSES AND DISTANCES: SOUTH 84 DEGREES 50 MINUTES 26 SECONDS EAST, 75.65 FEET; SOUTH 84 DEGREES 33 MINUTES 04 SECONDS EAST, 203.31 FEET; SOUTH 83 DEGREES 57 MINUTES 15 SECONDS EAST, 199.18 FEET; SOUTH 85 DEGREES 08 MINUTES 30 SECONDS EAST, 70.99 FEET; SOUTH 84 DEGREES 51 MINUTES 30 SECONDS WEST, 9.00 FEET; SOUTH 85 DEGREES 32 MINUTES 19 SECONDS EAST, 99.89 FEET; NORTH 05 DEGREES 25 MINUTES 52 SECONDS EAST, 9.00 FEET; SOUTH 84 DEGREES 34 MINUTES 08 SECONDS EAST, 200.73 FEET; SOUTH 84 DEGREES 33 MINUTES 54 SECONDS EAST, 799.19 FEET; SOUTH 84 DEGREES 35 MINUTES 06 SECONDS EAST, 699.37 FEET; SOUTH 84 DEGREES 38 MINUTES 13 SECONDS EAST, 1,101.32 FEET; SOUTH 84 DEGREES 23 MINUTES 27 SECONDS EAST, 81.27 FEET; SOUTH 05 DEGREES 36 MINUTES 33 SECONDS WEST, 6.80 FEET; SOUTH 84 DEGREES 38 MINUTES 09 SECONDS EAST, 119.38 FEET; NORTH 05 DEGREES 17 MINUTES 33 SECONDS EAST, 9.00 FEET; SOUTH 74 DEGREES 42 MINUTES 57 SECONDS EAST, 95.20 FEET; SOUTH 84 DEGREES 22 MINUTES 35 SECONDS EAST, 98.38 FEET; SOUTH 87 DEGREES 39 MINUTES 27 SECONDS EAST, 96.96 FEET AND NORTH 85 DEGREES 20 MINUTES 22 SECONDS EAST, 14.18 FEET TO THE NORTHEAST CORNER OF SAID ADJUSTED LOT 1, THENCE ALONG THE EASTERN AND SOUTHEASTERN LINES OF SAID ADJUSTED LOT 1, THE FOLLOWING COURSES AND DISTANCES: SOUTH 07 DEGREES 30 MINUTES 12 SECONDS WEST, 22.85 FEET; SOUTH 50 DEGREES 31 MINUTES 21 SECONDS WEST, 89.71 FEET; SOUTH 75 DEGREES 40 MINUTES 37 SECONDS WEST, 130.29 FEET; SOUTH 43 DEGREES 35 MINUTES 48 SECONDS WEST, 119.08 FEET; SOUTH 52 DEGREES 50 MINUTES 22 SECONDS WEST, 63.60 FEET; SOUTH 16 DEGREES 14 MINUTES 23 SECONDS WEST, 42.59 FEET AND SOUTH 01 DEGREE 38 MINUTES 15 SECONDS WEST, 268.66 FEET TO THE POINT OF BEGINNING, CONTAINING 2,152,505 SQUARE FEET OR 49.415 ACRES, MORE OR LESS, ACCORDING TO CALCULATIONS PERFORMED BY STOCK & ASSOCIATES CONSULTING ENGINEERS, INC. ON JANUARY 30, 2019.

PROPERTY NOTES

- (1) STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. USED EXCLUSIVELY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 10131STL, WITH AN EFFECTIVE DATE OF FEBRUARY 27, 2018, AT 8:00 A.M. FOR RESEARCH OF EASEMENTS AND ENCUMBRANCES. NO FURTHER RESEARCH WAS PERFORMED BY STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC.
- (2) TITLE TO THE ESTATE OR INTEREST IN THE LAND DESCRIBED OR REFERRED TO IN THE ABOVE COMMITMENT AND COVERED THEREIN IS FEE SIMPLE AS TO PARCEL 1 AND 1A, AND EASEMENT AS TO PARCEL 2, AND TITLE THERETO IS AT THE EFFECTIVE DATE THEREOF VESTED IN:
- (3) TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD LLC, A DELAWARE LIMITED LIABILITY COMPANY
- (4) TITLE COMMITMENT NO. 10131STL WITH SCHEDULE B-SECTION 1 EXCEPTIONS:
- (5) SUBJECT TO TERMS AND PROVISIONS OF THE AGREEMENT FOR RIGHT OF WAY RECORDED MAY 6, 1902 IN BOOK 130 PAGE 624, AFFECTS PARCEL 1, "NOT SHOWN" NOT PLOTTABLE
- (6) INTENTIONALLY DELETED
- (7) SUBJECT TO EASEMENT GRANTED TO UNION ELECTRIC COMPANY, BY THE INSTRUMENT RECORDED IN BOOK 6584 PAGE 1096, AFFECTS PARCEL 1, "SHOW"
- (8) SUBJECT TO EASEMENT GRANTED TO ST. LOUIS COUNTY WATER COMPANY, BY THE INSTRUMENT RECORDED IN BOOK 8671 PAGE 1601, AFFECTS PARCEL 1, "SHOW"
- (9) SUBJECT TO EASEMENT GRANTED TO ST. LOUIS COUNTY WATER COMPANY, BY THE INSTRUMENT RECORDED IN BOOK 8636 PAGE 38, AFFECTS PARCEL 1, "SHOW"
- (10) SUBJECT TO EASEMENT GRANTED TO WAYNE D. HAYNES AND RUTHANN E. HAYNES, HUSBAND AND WIFE, FOR INGRESS AND EGRESS FOR ROADWAY AND UTILITY PURPOSES, BY THE INSTRUMENT RECORDED IN BOOK 20091 PAGE 1350, AFFECTS PARCEL 1, "SHOW"
- (11) SUBJECT TO EASEMENT GRANTED TO CARL R. TISONE, FOR A STRM, WATER SYSTEM, BY THE INSTRUMENT RECORDED IN BOOK 10179 PAGE 1828, AFFECTS PARCELS 1 AND 2, "SHOW"
- (12) SUBJECT TO EASEMENT GRANTED TO PUBLIC WATER SUPPLY DISTRICT NO. 2 OF ST. CHARLES COUNTY, MISSOURI, BY INSTRUMENT RECORDED IN BOOK 11998 PAGE 2136, AFFECTS PARCEL 2, "SHOW"
- (13) SUBJECT TO EASEMENT GRANTED TO THE CITY OF CHESTERFIELD, FOR A HIKING, BIKING, AND A WALKING TRAIL, BY THE INSTRUMENT RECORDED IN BOOK 17132 PAGE 396, AFFECTS PARCEL 2, "SHOW"
- (14) SUBJECT TO EASEMENT GRANTED TO WAYNE D. HAYNES AND RUTHANN E. HAYNES, HUSBAND AND WIFE, FOR INGRESS AND EGRESS, BY THE INSTRUMENT RECORDED IN BOOK 17434 PAGE 242, AFFECTS PARCELS 1 AND 2, "SHOW"
- (15) SUBJECT TO TERMS AND PROVISIONS OF THE CHESTERFIELD OUTLETS SITE DEVELOPMENT PLAN, ACCORDING TO THE PLAN THEREOF RECORDED IN PLAT BOOK 360 PAGE 89, AFFECTS PARCEL 1, "NOT SHOWN" NOT SURVEY RELATED.
- (16) SUBJECT TO RIGHTS IN FAVOR OF THE MONARCH-CHESTERFIELD LEVELLE DISTRICT AS SHOWN ON THE SURVEY DATED 1947, AND AS SHOWN ON THE BOUNDARY ADJUSTMENT PLAT RECORDED IN PLAT BOOK 360 PAGE 137, AFFECTS PARCEL 2, "SHOW" (RELEASED BY DEED BOOK 20091, PAGE 1210)
- (17) SUBJECT TO PERMANENT LEVELLE EASEMENT DEED GRANTED TO MONARCH-CHESTERFIELD LEVELLE DISTRICT, BY THE INSTRUMENT RECORDED IN BOOK 20091 PAGE 1221, AFFECTS PARCEL 1, "SHOW"
- (18) SUBJECT TO ACCESS EASEMENT DEED GRANTED TO MONARCH-CHESTERFIELD LEVELLE DISTRICT, BY THE INSTRUMENT RECORDED IN BOOK 20091 PAGE 1221, AFFECTS PARCEL 1, "SHOW"
- (19) SUBJECT TO DECLARATION OF COVENANTS AND PROTECTIVE RESTRICTIONS (481-96) BY AND BETWEEN TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD LLC AND THE MONARCH-CHESTERFIELD LEVELLE DISTRICT, BY THE INSTRUMENT RECORDED IN BOOK 20091 PAGE 1257, AFFECTS PARCEL 1, PROTECTED EXCAVATION AREA "SHOW"
- (20) SUBJECT TO DECLARATION OF COVENANTS AND PROTECTIVE RESTRICTIONS (98-478) BY AND BETWEEN TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD LLC AND 20, THE MONARCH-CHESTERFIELD LEVELLE DISTRICT, BY THE INSTRUMENT RECORDED IN BOOK 20091 PAGE 1276, AFFECTS PARCEL 1, PROTECTED EXCAVATION AREA "SHOW"

PROPERTY NOTES (continued)

- (21) SUBJECT TO ACCESS AND PARKING EASEMENT AGREEMENT GRANTED TO THE CITY OF CHESTERFIELD, MISSOURI, BY THE INSTRUMENT RECORDED IN BOOK 20091 21, PAGE 1293, AFFECTS PARCEL 1, "SHOW"
- (22) SUBJECT TO CHESTERFIELD VALLEY STRM, WATER EASEMENT GRANTED TO THE CITY OF CHESTERFIELD, MISSOURI, BY THE INSTRUMENT RECORDED IN BOOK 20091 PAGE 1332, AFFECTS PARCEL 1, "SHOW"
- (23) SUBJECT TO CULVERT MAINTENANCE AGREEMENT GRANTED TO THE CITY OF CHESTERFIELD, MISSOURI, BY THE INSTRUMENT RECORDED IN BOOK 20091 PAGE 1341, AFFECTS PARCEL 1, "SHOW"
- (24) SUBJECT TO TERMS AND PROVISIONS OF THE TRANSPORTATION DEVELOPMENT AGREEMENT EVIDENCED BY THE MEMORANDUM OF TRANSPORTATION DEVELOPMENT AGREEMENT RECORDED ON JULY 25, 2012 IN BOOK 20091 PAGE 1372, AFFECTS PARCEL 1, "NOT SHOWN" NOT SURVEY RELATED.
- (25) SUBJECT TO RIGHT OF WAY OF THE EXISTING LEVELLE OVER THAT PART OF THE SUBJECT LAND EMBRACED THEREIN, AFFECTS PARCELS 1 AND 2.
- (26) SUBJECT TO COVENANTS AND CONDITIONS, AND TERMS AND PROVISIONS OF THE PARKING EASEMENT AGREEMENT EXECUTED BY AND BETWEEN MONARCH-CHESTERFIELD LEVELLE DISTRICT, A MISSOURI LEVELLE DISTRICT, GRANTOR AND TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD LLC, A DELAWARE LIMITED LIABILITY COMPANY, GRANTEE, DATED AS OF JULY 25, 2012 RECORDED JULY 27, 2012 IN BOOK 20091 PAGE 1358 AND RE-RECORDED AUGUST 3, 2012 IN BOOK 20100 PAGE 2035, AFFECTS PARCEL 2, "SHOW"
- (27) SUBJECT TO EASEMENT TO PUBLIC WATER SUPPLY DISTRICT NO. 2 OF ST. CHARLES COUNTY, MISSOURI AS CREATED BY INSTRUMENT RECORDED IN BOOK 11446 PAGE 391, AFFECTS PARCEL 2, "SHOW"
- (28) SUBJECT TO MAINTENANCE AGREEMENT BY AND BETWEEN WAYNE D. HAYNES AND RUTHANN E. HAYNES AND CARL R. TISONE ACCORDING TO INSTRUMENT RECORDED IN BOOK 10179 PAGE 1832, AFFECTS PARCEL 2, EASEMENT AREAS "SHOW"
- (29) SUBJECT TO RIGHTS OF UTILITIES FOR UTILITY FACILITIES WITHIN THE SUBJECT LAND, IF ANY, AS RESERVED BY THE QUIT CLAIM DEED RECORDED MARCH 13, 2013 IN BOOK 20411 PAGE 766, AFFECTS PARCEL 2.
- (30) SUBJECT TO RESERVATION OF THE RIGHTS OF DIRECT ACCESS TO INTERSTATE 64 AS RESERVED BY THE QUIT CLAIM DEED RECORDED MARCH 13, 2013 IN BOOK 20411 PAGE 766, AFFECTS PARCEL 2.
- (31) SUBJECT TO RIGHT OF WAY RESERVED BY ST. LOUIS COUNTY, MISSOURI, FOR A PERMANENT ROADWAY IMPROVEMENT MAINTENANCE UTILITY EASEMENT BY THE QUIT CLAIM DEED RECORDED MARCH 15, 2013 IN BOOK 20415 PAGE 305, AFFECTS PARCEL 2, "SHOW"
- (32) SUBJECT TO RIGHTS OF UTILITIES FOR UTILITY FACILITIES WITHIN THE SUBJECT LAND, IF ANY, AS RESERVED IN THE QUIT CLAIM DEED RECORDED MARCH 15, 2013 IN 32, BOOK 20415 PAGE 305, AFFECTS PARCEL 2, RIGHT OF WAY TRANSFER AND PRIMUM "SHOW"
- (33) SUBJECT TO TERMS AND PROVISIONS OF THE MAINTENANCE AGREEMENT WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT RECORDED IN BOOK 20117 PAGE 33, 2292, INCLUDING A PROVISION FOR SEWER ASSESSMENTS, SEWER ASSESSMENTS, IF ANY, "SHOW"
- (34) SEWER ASSESSMENTS "NOT SHOWN" NOT SURVEY RELATED.
- (35) SUBJECT TO EASEMENT GRANTED TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT, BY THE INSTRUMENT RECORDED IN BOOK 20117 PAGE 2305, "SHOW"
- (36) EASEMENT GRANTED TO MISSOURI AMERICAN WATER COMPANY, BY THE INSTRUMENT RECORDED IN BOOK 20280 PAGE 1769, "SHOW"
- (37) SUBJECT TO EASEMENT GRANTED TO UNION ELECTRIC COMPANY, BY THE INSTRUMENT RECORDED IN BOOK 20333 PAGE 1584, "SHOW"
- (38) SUBJECT TO EASEMENT GRANTED TO UNION ELECTRIC COMPANY, BY THE INSTRUMENT RECORDED IN BOOK 20333 PAGE 1589, "SHOW"
- (39) SUBJECT TO EASEMENT GRANTED TO MISSOURI AMERICAN WATER COMPANY, BY THE INSTRUMENT RECORDED IN BOOK 20318 PAGE 2751, "SHOW"
- (40) SUBJECT TO TERMS AND PROVISIONS OF THE AMENDED SITE DEVELOPMENT PLAN, ACCORDING TO THE PLAN THEREOF RECORDED IN PLAT BOOK 360 PAGE 91, "NOT SHOWN" NOT SURVEY RELATED
- (41) SUBJECT TO TERMS AND PROVISIONS OF THE 8TH AMENDED SITE DEVELOPMENT PLAN, ACCORDING TO THE PLAN THEREOF RECORDED IN PLAT BOOK 361 PAGE 231, "NOT SHOWN" NOT SURVEY RELATED
- (42) SUBJECT TO TERMS AND PROVISIONS OF THE LEASE EXECUTED BY AND BETWEEN TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD LLC, A DELAWARE LIMITED LIABILITY COMPANY, LANDLORD AND RAUL LAUREN RETAIL, INC., A DELAWARE CORPORATION, TENANT, OF AN UNDISCLOSED DATE, FOR A TERM OF TEN YEARS, INCLUDING FOUR SUCCESSIVE FIVE YEAR OPTIONS TO EXTEND THE TERM, NOTICE OF THE LEASE IS GIVEN BY THE MEMORANDUM OF LEASE RECORDED APRIL 3, 2014 IN BOOK 20991 PAGE 0935, "NOT SHOWN" NOT SURVEY RELATED.

STRUCTURE USAGE SUMMARY (UPDATED 7TH ASDP)
REPRESENTS AREAS WITH BUILDING "E,F,G,L" MODIFIED AND BUILDING "M" REMOVED AND REPLACED

| Structural Designation | Status | Gross Structure Area (G.L.A.) | Building Use | Gross Leasable Area (G.L.A.) | TOTAL (G.F.A.) (G.L.A.) | Retail Usage (G.L.A.) | Recreational Usage (G.L.A.) | Restaurant Usage (G.L.A.) | Theater Usage (G.L.A.) | |
|------------------------|----------|-------------------------------|--------------|------------------------------|-------------------------|-----------------------|-------------------------------|---------------------------|------------------------|--|
| N | EXISTING | 48,559 sq. ft. | Recreation | 48,559 sq. ft. | 48,559 | 48,559 | — | — | — | |
| P | EXISTING | 16,700 sq. ft. | Retail | 16,269 sq. ft. | 16,700 | 16,269 | — | — | — | |
| E,F,G,L | REVISED | 102,927 sq. ft. | Retail | 91,427 sq. ft. | 102,927 | 102,887 | — | — | — | |
| H | EXISTING | 36,200 sq. ft. | Retail | 19,476 sq. ft. | 36,200 | 35,822 | — | — | — | |
| K | EXISTING | 36,230 sq. ft. | Retail | 23,806 sq. ft. | 36,230 | 35,818 | — | — | — | |
| M | REPLACED | 27,108 sq. ft. | Recreation | 27,108 sq. ft. | 27,479 | 27,479 | — | — | — | |
| OUTLOT #A | BTS | 4,000 sq. ft. | Restaurant | 4,000 sq. ft. | 4,000 | — | — | 4,000 | — | |
| OUTLOT #B | BTS | 8,500 sq. ft. | Restaurant | 8,500 sq. ft. | 8,500 | — | — | 8,500 | — | |
| C | EXISTING | 52,063 sq. ft. | Theater | 3,000 seats | 52,063 | — | — | — | 52,063 | |
| | | | | Total: | 337,658 | 279,334 | 150,938 | 75,038 | 52,358 | |
| Total Site Area: | | | | 2,007,445 sq. ft. | Proposed F.A.R.: | 15.96 % | Percentage of Restaurant Use: | 15.74 % | | |

(1) Per City of Chesterfield Unified Development Code, Section 31-10-01, the Gross Floor Area excludes loading or parking areas.

STRUCTURE USAGE SUMMARY (8TH ASDP)
REPRESENTS AREAS WITH PORTION OF BUILDING "L" & "M" REMOVED

| Structural Designation | Status | Gross Structure Area (G.L.A.) | Building Use | Gross Leasable Area (G.L.A.) | TOTAL (G.F.A.) (G.L.A.) | Retail Usage (G.L.A.) | Recreational Usage (G.L.A.) | Restaurant Usage (G.L.A.) | Theater Usage (G.L.A.) | |
|------------------------|----------|-------------------------------|--------------|------------------------------|-------------------------|-----------------------|-------------------------------|---------------------------|------------------------|--|
| N | EXISTING | 48,559 sq. ft. | Recreation | 48,559 sq. ft. | 48,559 | 48,559 | — | — | — | |
| P | EXISTING | 16,700 sq. ft. | Retail | 16,269 sq. ft. | 16,700 | 16,269 | — | — | — | |
| E,F,G,L | REVISED | 102,933 sq. ft. | Retail | 91,433 sq. ft. | 102,933 | 102,893 | — | — | — | |
| H | EXISTING | 36,200 sq. ft. | Retail | 19,476 sq. ft. | 36,200 | 35,822 | — | — | — | |
| K | EXISTING | 36,230 sq. ft. | Retail | 23,806 sq. ft. | 36,230 | 35,818 | — | — | — | |
| M | REVISED | 17,274 sq. ft. | Retail | 17,005 sq. ft. | 17,274 | 17,005 | — | — | — | |
| OUTLOT #A | BTS | 4,000 sq. ft. | Restaurant | 4,000 sq. ft. | 4,000 | — | — | 4,000 | — | |
| OUTLOT #B | BTS | 8,500 sq. ft. | Restaurant | 8,500 sq. ft. | 8,500 | — | — | 8,500 | — | |
| C | EXISTING | 52,063 sq. ft. | Theater | 3,000 seats | 52,063 | — | — | — | 52,063 | |
| | | | | Total: | 322,459 | 268,866 | 167,952 | 48,559 | 52,358 | |
| Total Site Area: | | | | 2,007,445 sq. ft. | Proposed F.A.R.: | 15.37 % | Percentage of Restaurant Use: | 16.24 % | | |

(1) Per City of Chesterfield Unified Development Code, Section 31-10-01, the Gross Floor Area excludes loading or parking areas.

PROPOSED SITE DEVELOPMENT INFORMATION

- 1. OVERALL LOT AREA = 48.151 acres ± (2,097,445 s.f.)
- 2. PROPOSED BUILDING FOOTPRINTS = 322,459 s.f. G.F.A. (268,866 s.f. G.L.A.) (52,063 s.f. Theater) GROSS FLOOR AREA (G.F.A.) [GROSS LEASABLE AREA (G.L.A.)]
- 3. FLOOR AREA RATIO (F.A.R.) = 322,459 s.f. G.F.A. / 2,097,445 S.F. SITE = 15.37 %
(ORDINANCE #3049 MAX FLOOR AREA = 500,000 s.f.)
- 4. OPEN SPACE CALCULATIONS = 2,097,445 s.f. (48.151 acres ±) = 100%
TOTAL BUILDING AREA = 322,459 s.f. (7,403 acres ±) = 15.37%
TOTAL PAVED PARKING AREA = 1,104,459 s.f. (25.355 acres ±) = 52.66%
TOTAL OPEN SPACE = 670,527 s.f. (15.393 acres ±) = 31.97%

NOTE: 30% OPEN SPACE IS REQUIRED FOR THIS DEVELOPMENT BY CITY OF CHESTERFIELD ORDINANCE 3049, SECTION B.3.A. THE EXISTING STORM WATER IMPROVEMENTS COMPLY WITH THIS REQUIREMENT.

- 5. PARKING CALCULATIONS
REQUIRED PARKING = 4.75 SPACES PER 1,000 s.f. OF LEASABLE FLOOR AREA (RETAIL CENTER) (a)
1.00 SPACES PER 4 SEATS (THEATER, INDOOR) (b)
= (268,866 s.f. AT 4.75 / 1,000) + (3,000 SEATS AT 1.00 / 4)
= 1,278 + 750 = 2,028 SPACES REQUIRED

ACCESSIBLE PARKING = ACCESSIBLE PARKING PROVIDED PER CODE:
501 - 1,000 SPACES: 2% OF TOTAL
1,001 AND OVER SPACES: 20 PLUS ONE ONE FOR EACH 100 OR FRACTION THEREOF, OVER 1,000 SPACES.

NOTE: (a) PER SECTION 31-04-04.D.12.a: RETAIL CENTER, WITH PERCENTAGE OF GROSS FLOOR AREA* IN RESTAURANT USE 0% - 10% WITH A CENTER SIZE OF 100,001 s.f. - 400,000 s.f. GROSS FLOOR AREA MODIFIED TO LEASABLE FLOOR AREA
NOTE: PARKING REQUIREMENT INCREASES TO 4.75/1000 BASED UPON RESTAURANT USE BETWEEN 11% - 20%

(b) SUBSECTION (1), FOR RETAIL CENTERS THAT INCLUDE A THEATER USE WITH MORE THAN TWO HUNDRED FIFTY (250) SEATS, THE MINIMUM PARKING REQUIREMENT FOR THE THEATER PORTION OF THE DEVELOPMENT SHALL BE PARKED AS A STAND-ALONE USE.

PARKING PROVIDED = 2,652 SPACES (INCLUDES 44 ACCESSIBLE SPACES) [+624 SURPLUS SPACES (+30.77%)]

MAXIMUM ALLOWABLE = RETAIL CENTER USE MAXIMUM ALLOWABLE = 120% = 1,278 SPACES REQUIRED + 1.2 = 1,534 SPACES
= THEATER USE MAXIMUM ALLOWABLE = 1 SPACE PER 2 SEATS = 3,000 SEATS * 1 SPACE / 2 SEATS = 1,500 SPACES
= TOTAL MAXIMUM ALLOWABLE SPACES = 3,034 SPACES

NOTE: (c) ACCESSIBLE CAR PARKING SPACES SHALL BE AT LEAST 9 ft. WIDE WITH AN ADJACENT 5 ft. WIDE DESIGNATED ACCESS AISLE. VAN-ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 9 ft. WIDE WITH AN ADJACENT 8 ft. WIDE DESIGNATED ACCESS AISLE. FOR EVERY 4 OR FRACTION OF 4 ACCESSIBLE PARKING SPACES, AT LEAST ONE SHALL BE A VAN-ACCESSIBLE PARKING SPACE. 2 ACCESSIBLE SPACES MAY BE PROVIDED ON EACH SIDE OF A SHARED ACCESS AISLE.

(d) ACCESSIBLE PARKING SPACES SHALL BE IDENTIFIED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNAGE SHALL NOT BE OCCUPIED BY A VEHICLE PARKED IN THE SPACE.

6. LOADING CALCULATIONS
REQUIRED LOADING = FIVE (5) 10' x 40' LOADING SPACES FOR RETAIL CENTERS HAVING 150,001-200,000 s.f. PLUS ONE (1) ADDITIONAL 10' x 40' SPACE FOR EACH ADDITIONAL 100,000 s.f. OF BUILDING AREA. (a)
TWO (2) 10' x 25' AND ONE (1) 10' x 40' LOADING SPACES FOR INDOOR THEATERS HAVING 25,001-100,000 s.f. OF BUILDING AREA (b)

= RETAIL CENTER: 268,866 s.f. LEASABLE FLOOR AREA REQUIRES:
6 - 10' x 40' LOADING SPACES
INDOOR THEATER: 52,063 s.f. LEASABLE FLOOR AREA REQUIRES:
2 - 10' x 25' AND 1 - 10' x 40' LOADING SPACES

= TOTAL: 2 - 10' x 25' AND 7 - 10' x 40'

NOTE: (a) PER SECTION 31-04-04.D.12.c: RETAIL CENTERS SHALL PROVIDE LOADING SPACES IN ACCORDANCE WITH SECTION 31-04-04(E), TABLE A.

(b) PER SECTION 31-04-04.D.9: INDOOR THEATER AS A STAND ALONE USE SHALL BE IN ACCORDANCE WITH SECTION 31-04-04(E), TABLE B.

PROVIDED LOADING = RETAIL CENTER: 4 - 12x60' BUS PARKING, 1 - 10x70' LOADING AREA, 1 - 10x90' LOADING AREA, 1 - 10x165' LOADING AREA, 1 - 10x180' LOADING AREA, 3 - 12x100' LOADING AREA, 2 - 9x25' CAR PARKING, 3 - 12x50' BUS PARKING, 1 - 10x41' LOADING AREA, 3 - 10x75' LOADING AREA, 1 - 13x25' DROP OFF

NOTE: (c) PER SECTION 31-04-04.D.12.c: RETAIL CENTERS SHALL PROVIDE LOADING SPACES IN ACCORDANCE WITH SECTION 31-04-04(E), TABLE A.

(b) PER SECTION 31-04-04.D.9: INDOOR THEATER AS A STAND ALONE USE SHALL BE IN ACCORDANCE WITH SECTION 31-04-04(E), TABLE B.

PROVIDED LOADING = RETAIL CENTER: 4 - 12x60' BUS PARKING, 1 - 10x70' LOADING AREA, 1 - 10x90' LOADING AREA, 1 - 10x165' LOADING AREA, 1 - 10x180' LOADING AREA, 3 - 12x100' LOADING AREA, 2 - 9x25' CAR PARKING, 3 - 12x50' BUS PARKING, 1 - 10x41' LOADING AREA, 3 - 10x75' LOADING AREA, 1 - 13x25' DROP OFF

SURVEYORS CERTIFICATION

THIS IS TO CERTIFY THAT STOCK & ASSOCIATES CONSULTING ENGINEERS, INC., HAVE, DURING JANUARY, 2022 BY ORDER AND FOR THE USE OF STANBERG GROUP EXECUTED A PARTIAL TOPOGRAPHIC SURVEY OF PART OF ADJUSTED LOT 1, AND THAT THE RESULTS OF SAID TOPOGRAPHIC SURVEY ARE SHOWN HEREON. WE FURTHER CERTIFY THAT THE ABOVE PLAT WAS PREPARED FROM AN ACTUAL FIELD SURVEY, AND SAID SURVEY DOES NOT REPRESENT A PROPERTY BOUNDARY SURVEY.

STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
LC NO. 222

By: *Walter J. Pfeiffer*
Walter J. Pfeiffer, Missouri Registered Professional Engineer, License No. 2008-000728

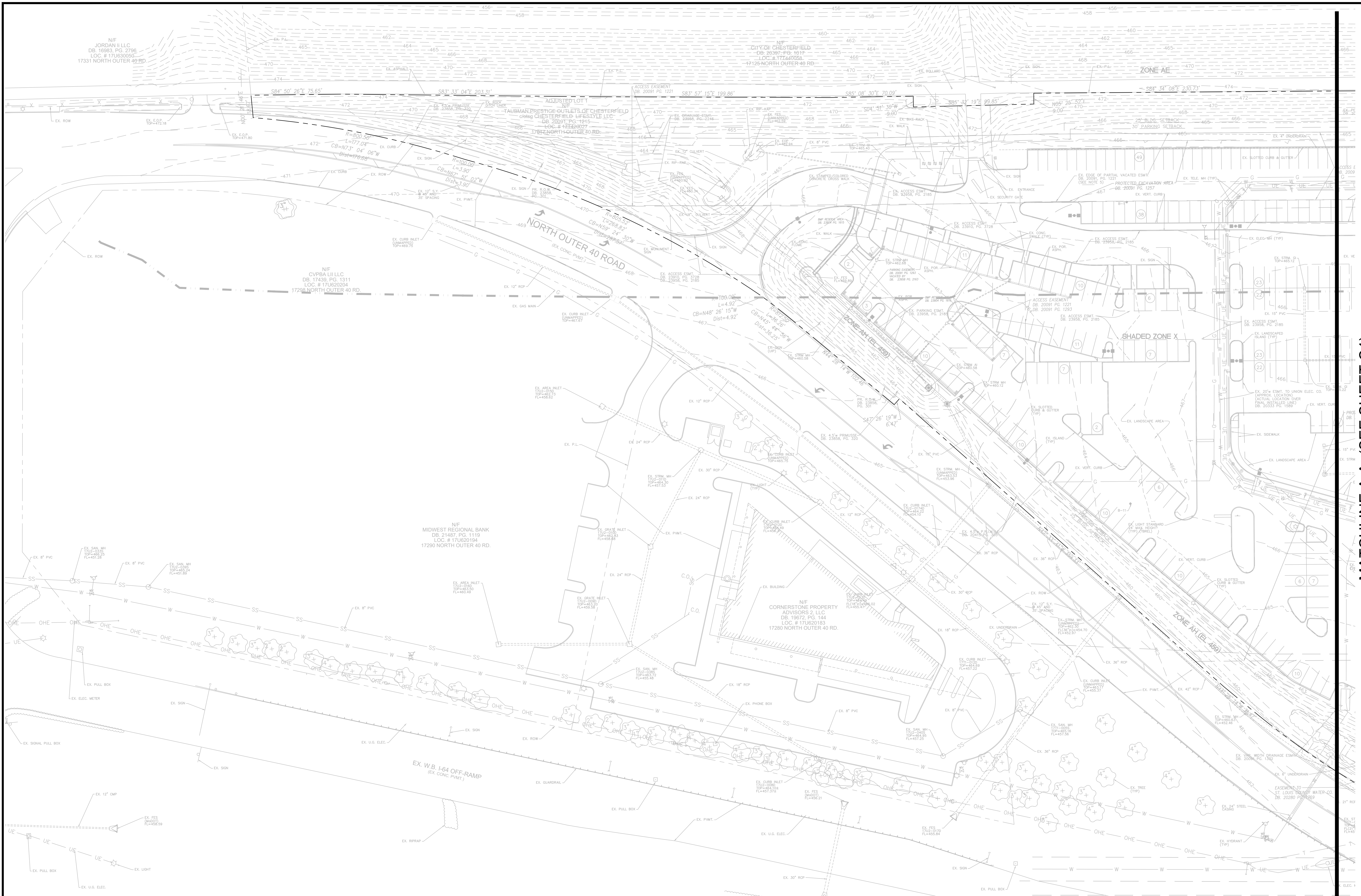
DATE PLOTTED: 10/30/2023 10:30 AM



MIDWEST TESTING AND THE UNDERSIGNED ASSUME NO RESPONSIBILITY FOR SERVICES BY OTHERS, PURSUANT TO RSMO 327.411

CONSTRUCTION MEANS AND METHODS FOR IMPLEMENTATION OF THE GRADING PLAN SHALL BE LEFT TO THE DEVELOPER/CONTRACTOR, OBSERVATIONS OF THE DEVELOPER/CONTRACTOR'S COMPLIANCE WITH THE APPLICABLE SPECIFICATIONS SHALL BE IDENTIFIED AND VERIFIED IN WRITING

MID



PREPARED BY:
STOCK & ASSOCIATES
 Consulting Engineers, Inc.
 257 Chesterfield Business Parkway
 St. Louis, MO 63005 PH: (636) 590-9300
 500-9300 FAX: (636) 590-9300
 e-mail: general@stockinc.com
 Web: www.stockinc.com

8TH AVENUE DISTRICT
 MATCHLINE A-A (SEE SHEET C4)
 THE DISTRICT
 17017 NORTH OUTER 40 ROAD
 CHESTERFIELD, MISSOURI 63005

SPECIAL CITY OF CHESTERFIELD NOTE
 EXISTING DRAINAGE EASEMENT RECORDED PER BK. 23958, PG. 2246
 EXISTING DRAINAGE EASEMENT PARTIALLY VACATED PER BK. 23958, PG. 2215
 EXISTING ACCESS AND PARKING EASEMENT RECORDED PER BK. 23958, PG. 2185
 EXISTING ACCESS AND PARKING EASEMENT PARTIALLY VACATED PER BK. 23958, PG. 2163

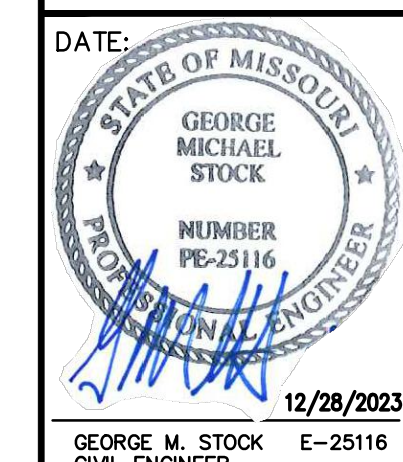
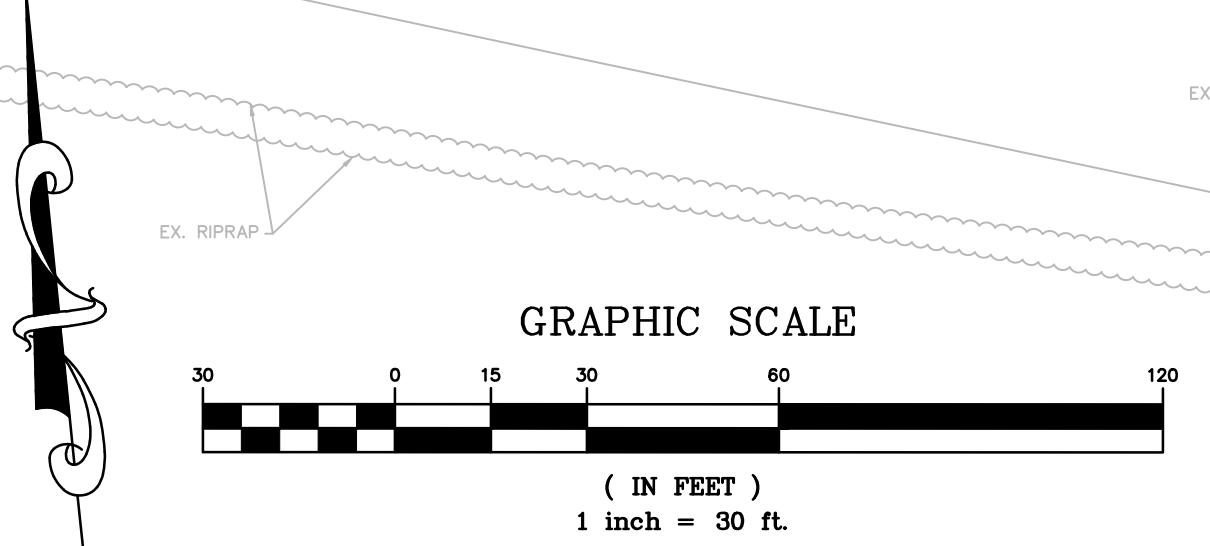
SPECIAL MONARCH LEVEE DISTRICT NOTE
 EXISTING ACCESS EASEMENT RECORDED PER BK. 23910, PG. 3728
 PARTIAL EXISTING ACCESS EASEMENT VACATED PER BK. 23910, PG. 2849

SPECIAL MSD NOTE
 EXISTING BMP MAINTENANCE AREA 1
 RECORDED PER BK. 23804, PG. 1615

DISCLAIMER:
 STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

UTILITY NOTE:
 UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND, THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

- GENERAL NOTES:**
- ROADWAY DRAINAGE WILL BE SUBJECT TO CONSTRUCTION PLAN COMMENTS.
 - EXISTING RIGHT-OF-WAY ALONG THE NORTH SIDE OF NORTH OUTER 40 IS LOCATED ON THE BACK OF CURB OR EDGE OF SHOULDER.
 - EXISTING 4.5' WIDE PERMANENT ROADWAY IMPROVEMENT MAINTENANCE, UTILITY, SEWER, SIDEWALK EASEMENT (PRIMUSSE) IS LOCATED BEHIND EXISTING R.O.W. ON THE NORTH SIDE OF NORTH OUTER 40.
 - THE FOLLOWING EASEMENTS HAVE BEEN VACATED AND ARE NOT SHOWN FOR CLARITY:
 EX. ACCESS EASEMENT TO THE MONARCH LEVEE DISTRICT (DB. 20091, PG. 1221) (PARTIALLY VACATED) (SEE SPECIAL NOTE)
 EX. PARKING AND ACCESS EASEMENT TO THE CITY OF CHESTERFIELD (DB. 20091, PG. 1293) (FULLY VACATED) (SEE SPECIAL NOTE)
 EX. BMP MAINTENANCE AREA #10 TO MSD (DB. 20117, PG. 2292) (FULLY VACATED PER DB. 23804, PG. 1615)
 EX. BMP MAINTENANCE AREA #11 TO MSD (DB. 20117, PG. 2292) (FULLY VACATED PER DB. 23804, PG. 1615)
 EX. BMP MAINTENANCE AREA #12 TO MSD (DB. 20117, PG. 2292) (FULLY VACATED PER DB. 23804, PG. 1615)
 EX. BMP MAINTENANCE AREA #13 TO MSD (DB. 20117, PG. 2292) (FULLY VACATED PER DB. 23804, PG. 1615)
 EXISTING AND PROPOSED HEAVY DUTY / LIGHT DUTY ASPHALT LIMITS NOT SHOWN FOR CLARITY.
 - PER THE CITY OF CHESTERFIELD, THE FOLLOWING EASEMENTS REMAIN IN PLACE AND ARE NOT SHOWN FOR CLARITY:
 EX. LEVEE PROTECTED EXCAVATION AREA (DB. 20091, PG. 1257 & DB. 20091, PG. 1276 [REFER TO SITE SECTIONS FOR ADDITIONAL DETAILS])
 EX. ESMT. TO MONARCH-CHESTERFIELD LEVEE DISTRICT AS SHOWN ON SURVEY OF SAME DATED 1947 PG. 1947-1948 [RELEASED BY DB. 20091, PG. 1210]
 EX. 20'w ESMT. TO ST. LOUIS COUNTY WATER COMPANY (DB. 8571, PG. 1601 [LIMITS CONTAINED WITHIN R.O.W. & SUBORDINATED])
 EX. 20'w ESMT. TO ST. LOUIS COUNTY WATER COMPANY (DB. 8636, PG. 38 [PORTION VACATED BY DB. 20518, PG. 2751])
 EX. 20'w ESMT. TO CARL R. TISON FOR STORMWATER DRAINAGE (DB. 10179, PG. 1829 [TERMINATED] & DB. 10179, PG. 1832 [TERMINATION UNKNOWN])



REVISIONS:
 1 2023-12-28 - REVISED PER CITY COMMENTS

DRAWN BY: J.M.B. / T.S. CHECKED BY: G.M.S.
 DATE: 10/30/2023 JOB NO: 218-6411.13
 W.S.D. # 23MSD-XXXXX RAKE # 17-T
 S.L.C. HAT # HAT SUIP. #
 M.D.N.R. #
 SHEET TITLE: SITE DEVELOPMENT PLAN
 SHEET NO.: C3

PREPARED BY:

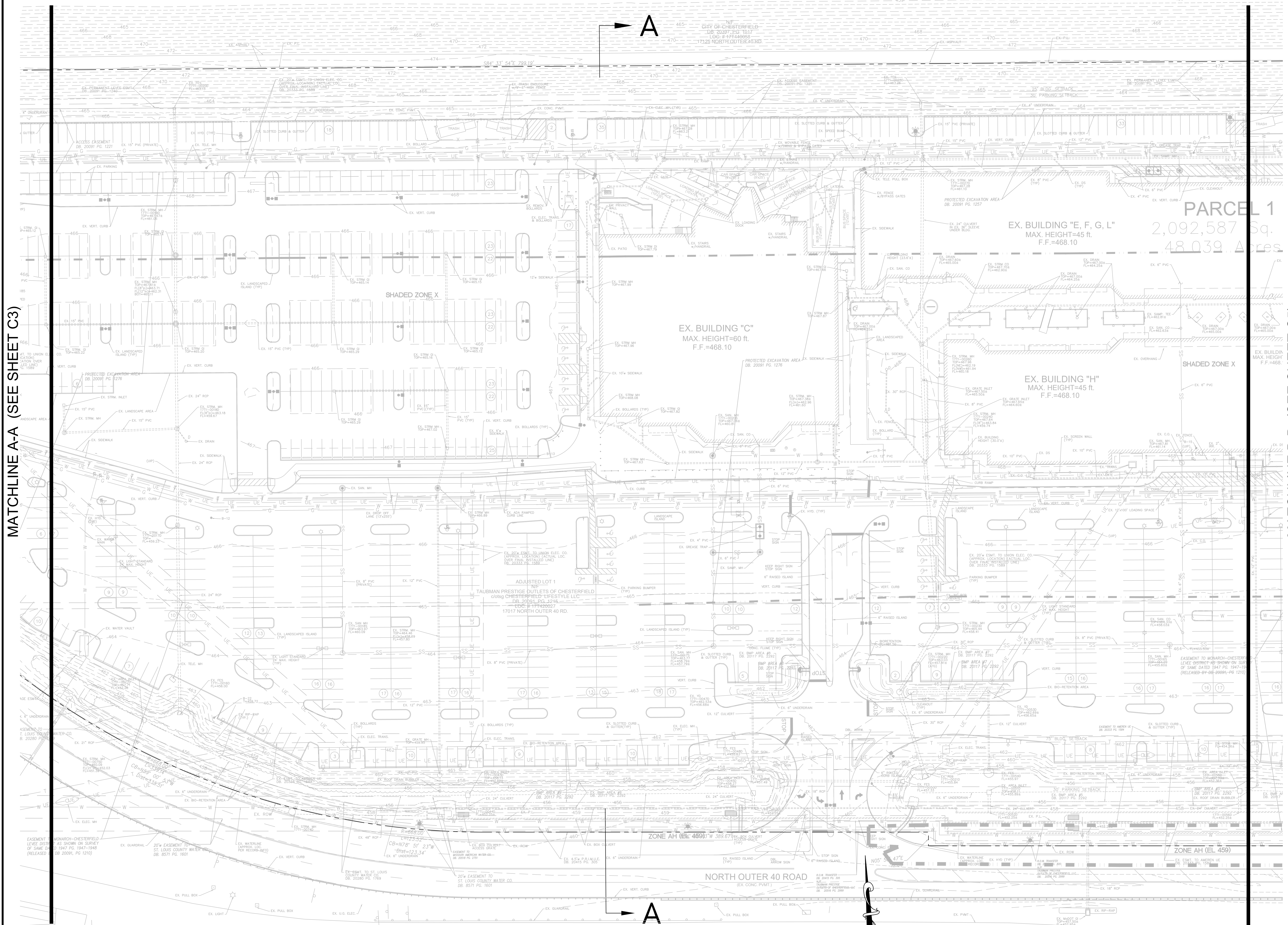
8TH AMENDED SITE DEVELOPMENT PLAN FOR:

THE DISTRICT

17017 NORTH OUTER 40 ROAD
CHESTERFIELD, MISSOURI 63005

MATCHLINE A-A (SEE SHEET C3)

MATCHLINE B-B (SEE SHEET C5)

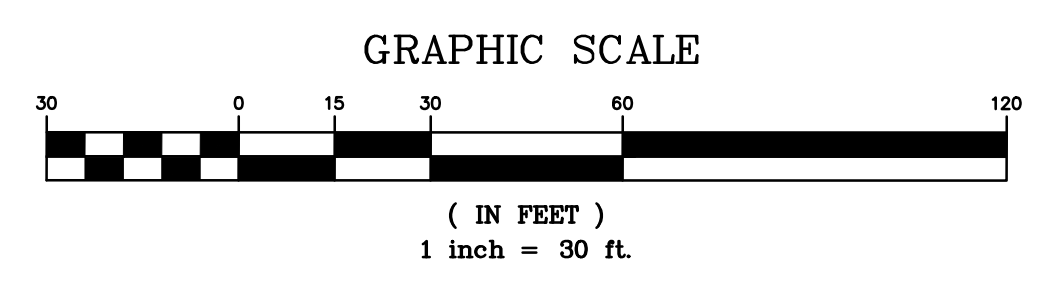


DISCLAIMER:
STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

UTILITY NOTE:
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND, THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

GENERAL NOTES:

- PROPOSED BMP MAINTENANCE AREA EASEMENTS WILL BE REQUIRED AS DETERMINED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AREA NOT SHOWN FOR CLARITY.
- THE FOLLOWING EASEMENTS ARE TO BE COMPLETELY OR PARTIALLY VACATED AND NOT SHOWN FOR CLARITY:
EX. BMP MAINTENANCE AREA #8 TO MSD (DB. 20117 PG. 2292) TO BE PARTIALLY VACATED



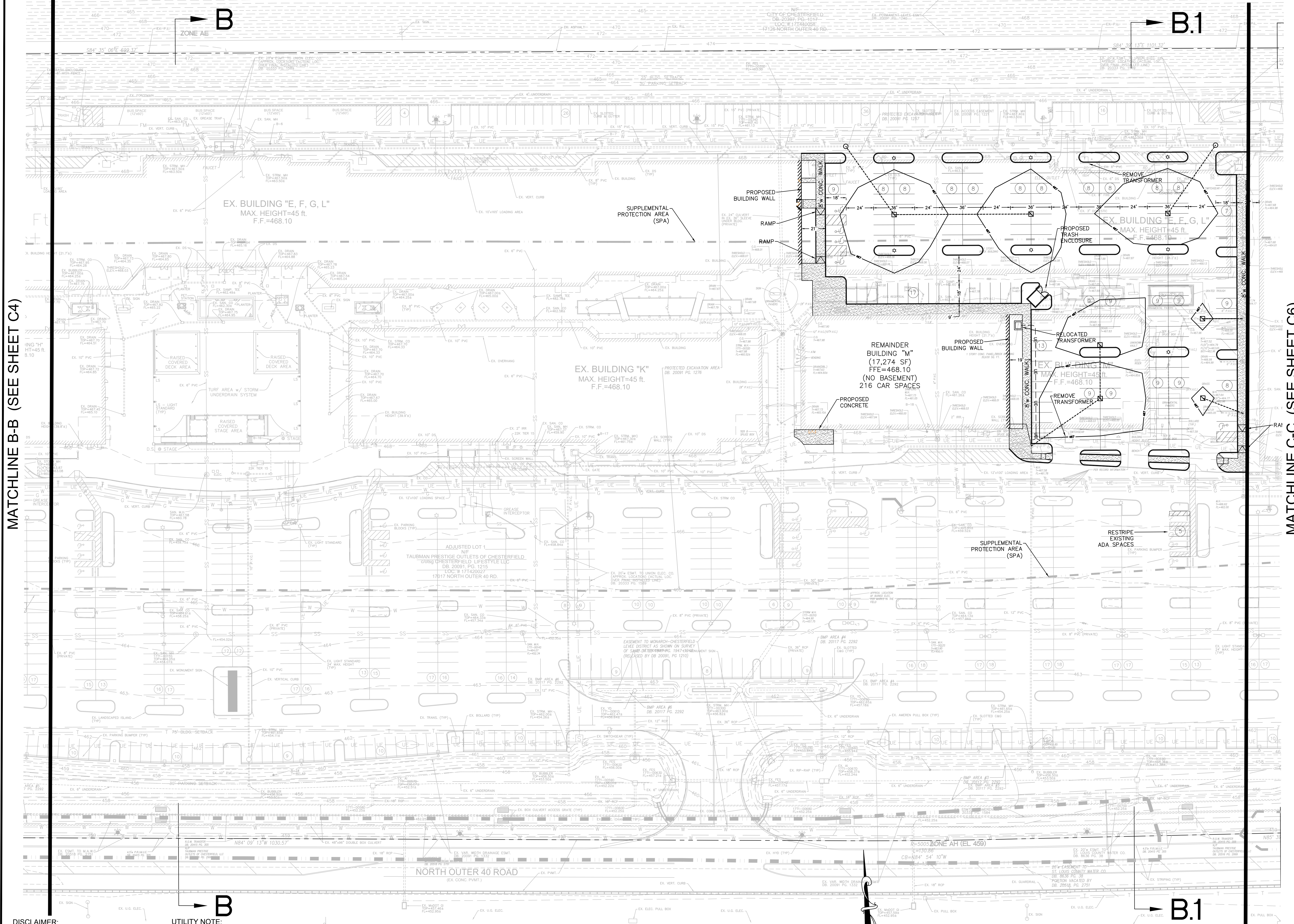
REVISIONS:

| | | |
|---|------------|---------------------------|
| 1 | 2023-12-28 | REVISED PER CITY COMMENTS |
|---|------------|---------------------------|

| | |
|--|------------------------|
| DRAWN BY: J.M.B. / T.S. | CHECKED BY: G.M.S. |
| DATE: 10/30/2023 | JOB NO. 218-6411.13 |
| W.S.P.# 23MSD-XXXXX | DATE W.P.# 17-T |
| S.L.C. W.P.# | DATE S.L.P.# |
| M.D.N.R.# | |
| SHEET TITLE: SITE DEVELOPMENT PLAN | |
| SHEET NO.: C4 | |

MATCHLINE B-B (SEE SHEET C4)

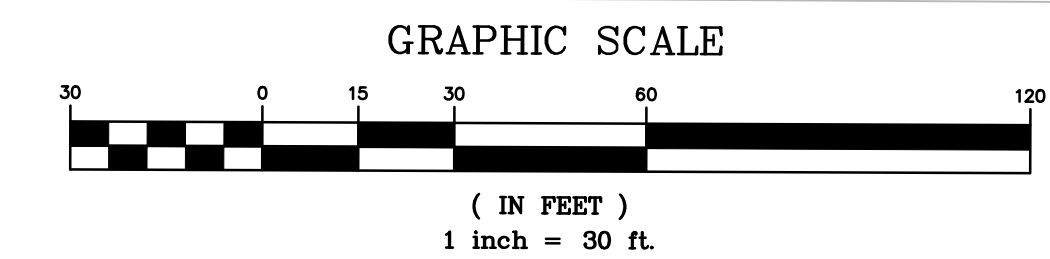
MATCHLINE C-C (SEE SHEET C6)



DISCLAIMER: STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

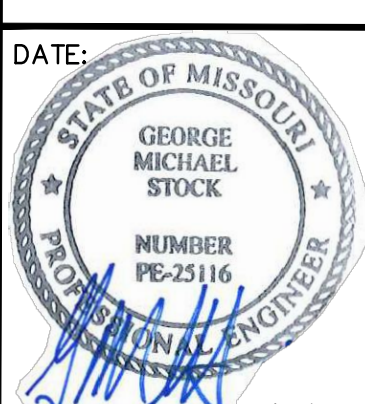
UTILITY NOTE: UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEY, RECORDS AND INFORMATION, AND, THEREFORE, DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

- GENERAL NOTES:
- PROPOSED BMP MAINTENANCE AREA EASEMENTS WILL BE REQUIRED AS DETERMINED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AREA NOT SHOWN FOR CLARITY.
 - THE FOLLOWING EASEMENTS ARE TO BE COMPLETELY OR PARTIALLY VACATED AND NOT SHOWN FOR CLARITY: EX. BMP MAINTENANCE AREA #8 TO MSD (DB. 20117, PG. 2292) TO BE PARTIALLY VACATED



PREPARED BY:
STOCK & ASSOCIATES
 Consulting Engineers, Inc.
 257 Chesterfield Parkway
 St. Louis, MO 63103
 314-991-1100 FAX (314) 991-8300
 e-mail: general@stockassoc.com
 www.stockassoc.com

8TH AVENUE SITE DEVELOPMENT PLAN FOR:
THE DISTRICT
 17017 NORTH OUTER 40 ROAD
 CHESTERFIELD, MISSOURI 63005

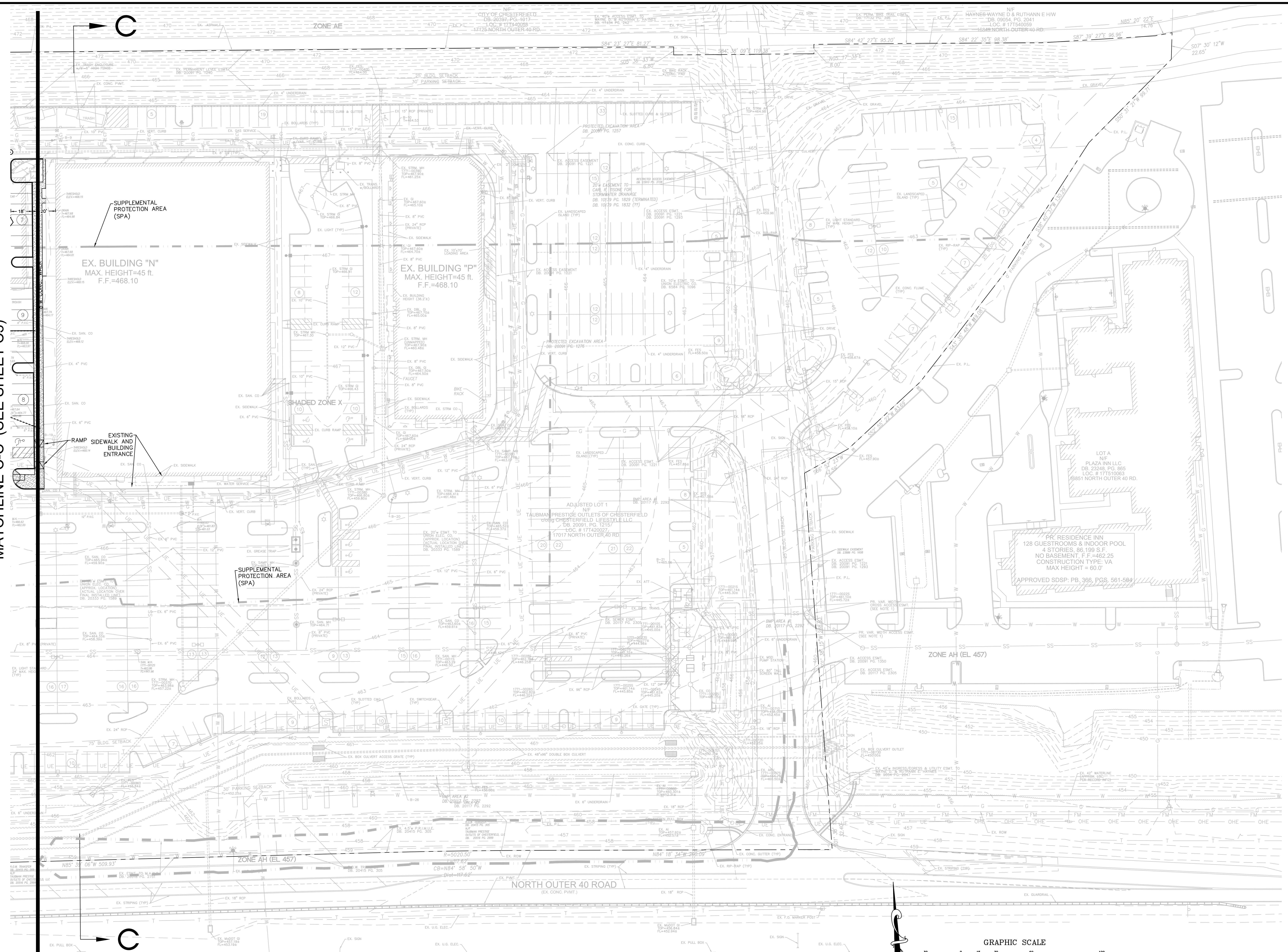


DATE: 12/28/2023
 GEORGE M. STOCK
 CIVIL ENGINEER
 CERTIFICATE OF AUTHORITY
 NUMBER: 000996

REVISIONS:
 1 2023-12-28 - REVISED PER CITY COMMENTS

DRAWN BY: J.M.B. / T.S. CHECKED BY: G.M.S.
 DATE: 10/30/2023 JOB NO: 218-6411.13
 W.S.P. # 23MSD-XXXXX BASE MAP # 17-T
 S.L.C. HAT # HAT SUP. #
 SHEET TITLE: SITE DEVELOPMENT PLAN
 SHEET NO.: C5

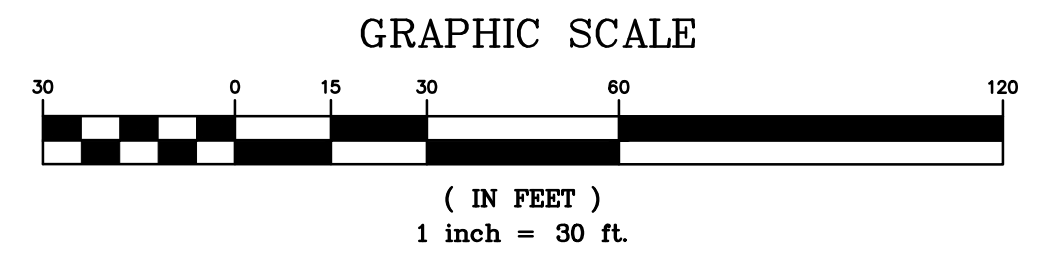
MATCHLINE C-C (SEE SHEET C5)



DISCLAIMER:
STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

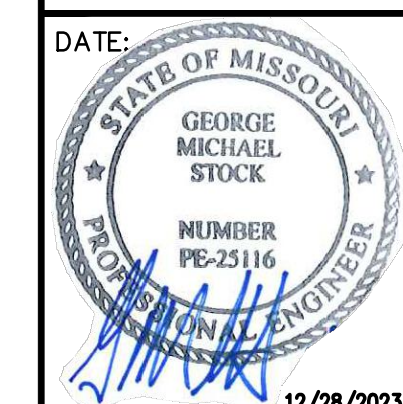
UTILITY NOTE:
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

GENERAL NOTES:
1. THE PROPOSED CROSS ACCESS AND SIDEWALK EASEMENT ARE INCLUDED AS SHOWN ON THE "RESIDENCE INN" IMPROVEMENT PROJECT (STOCK JOB NO. 217-6191.1)



PREPARED BY:
STOCK & ASSOCIATES
Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63005 PH: (636) 590-9000
500-9000 FAX: (636) 590-9000
e-mail: general@stockinc.com
Web: www.stockinc.com

8TH AMENDED SITE DEVELOPMENT PLAN FOR:
THE DISTRICT
17017 NORTH OUTER 40 ROAD
CHESTERFIELD, MISSOURI 63005

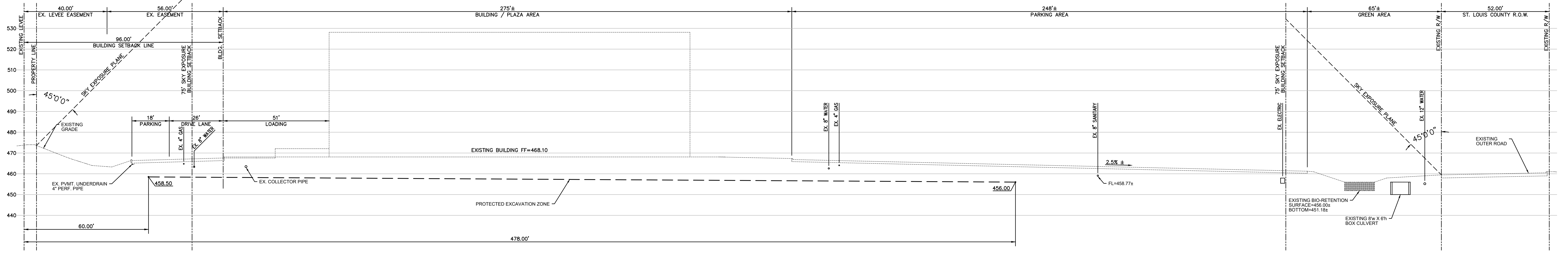


REVISIONS:

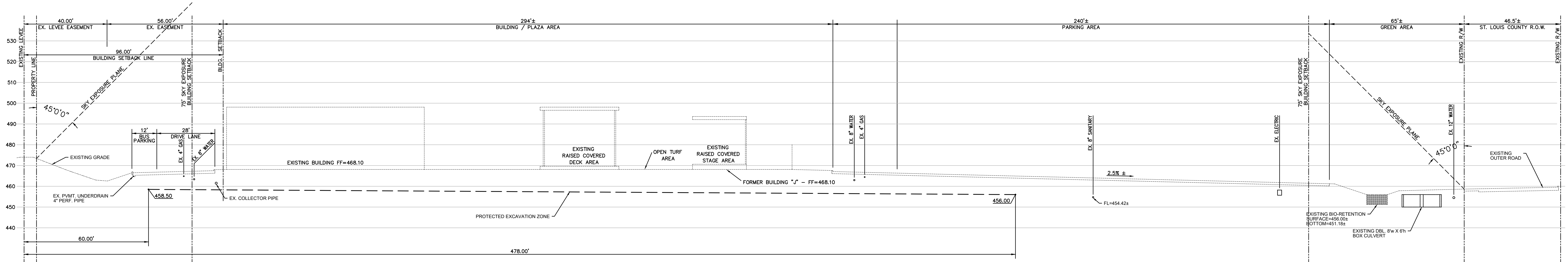
| | |
|---|--|
| 1 | 2023-12-28 - REVISED PER CITY COMMENTS |
|---|--|

SHEET TITLE: **SITE DEVELOPMENT PLAN**

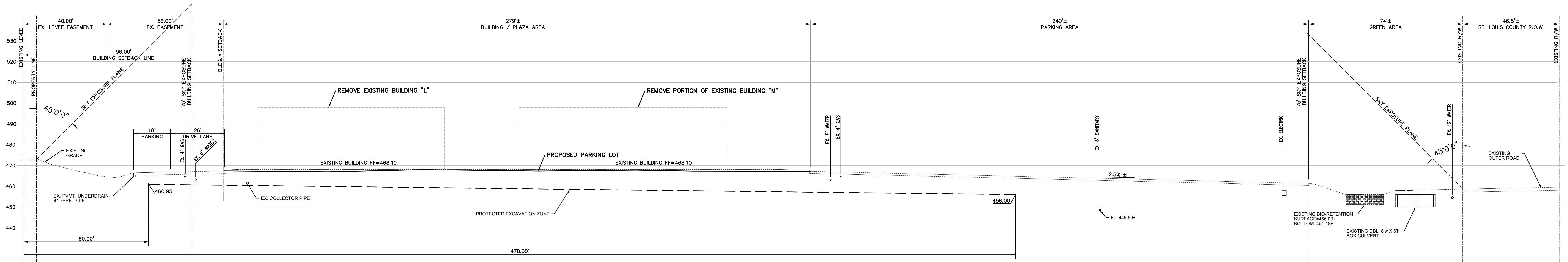
SHEET NO.: **C6**



SITE SECTION A-A
SCALE: 1"=20'



SITE SECTION B-B
SCALE: 1"=20'

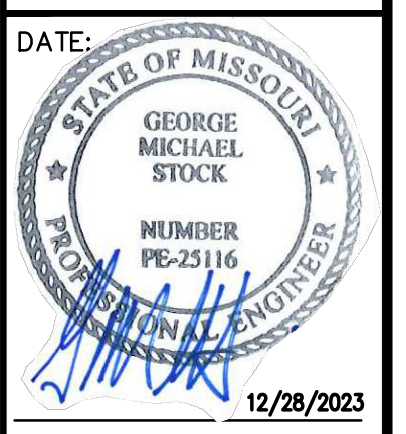


SITE SECTION B.1-B.1
SCALE: 1"=20'

DISCLAIMER:
STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

PREPARED BY:
STOCK & ASSOCIATES
Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63005 PH: (636) 590-9000
590-9000 FAX: (636) 590-9000
e-mail: general@stockassoc.com
Web: www.stockassoc.com

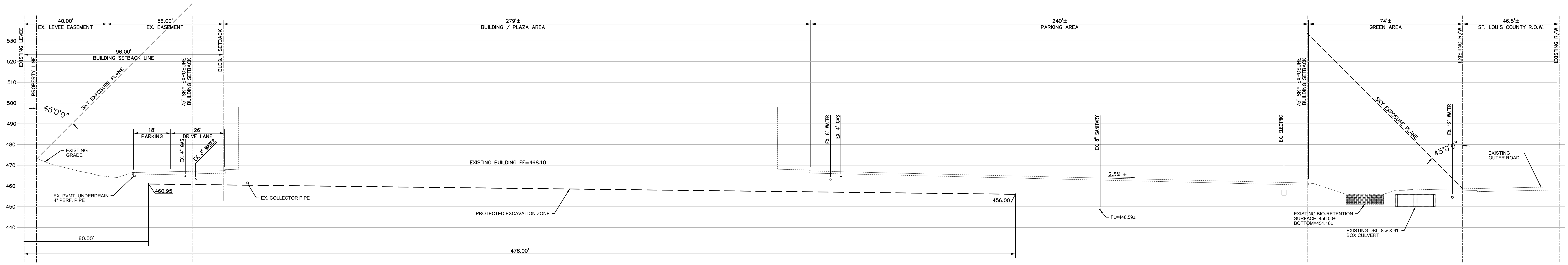
8TH AMENDED SITE DEVELOPMENT PLAN FOR:
THE DISTRICT
17017 NORTH OUTER 40 ROAD
CHESTERFIELD, MISSOURI 63005



DATE: 12/26/2023
DRAWN BY: J.M.B. / T.S. / G.M.S.
CHECKED BY: G.M.S.
DATE: 10/30/2023
JOB NO: 218-6411.13
K.S.D. P.#: 23MSD-XXXXX
RAE MAP: 17-T
S.L.C. MAT # MAT SUP. #

REVISIONS:
1 2023-12-28 - REVISED PER CITY COMMENTS

SHEET TITLE:
SITE SECTIONS
SHEET NO.: **C7**



SITE SECTION C-C
SCALE: 1"=20'

DISCLAIMER:
STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

757 Chesterfield Business Parkway
St. Louis, MO 63005 PH: (636) 530-9000
500-9100 FAX: (636) 530-9000
e-mail: general@stockassoc.com
Web: www.stockassoc.com

Stock & Associates
Consulting Engineers, Inc.

PREPARED BY:

8TH AMENDED SITE DEVELOPMENT PLAN FOR:

THE DISTRICT

17017 NORTH OUTER 40 ROAD
CHESTERFIELD, MISSOURI 63005



12/26/2023
GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

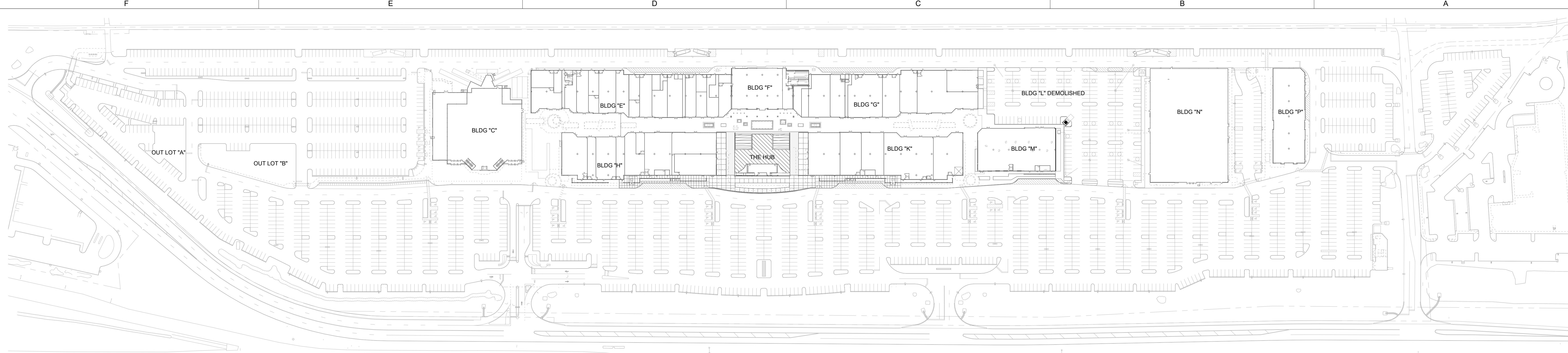
REVISIONS:

| | |
|---|--|
| 1 | 2023-12-26 - REVISED PER CITY COMMENTS |
|---|--|

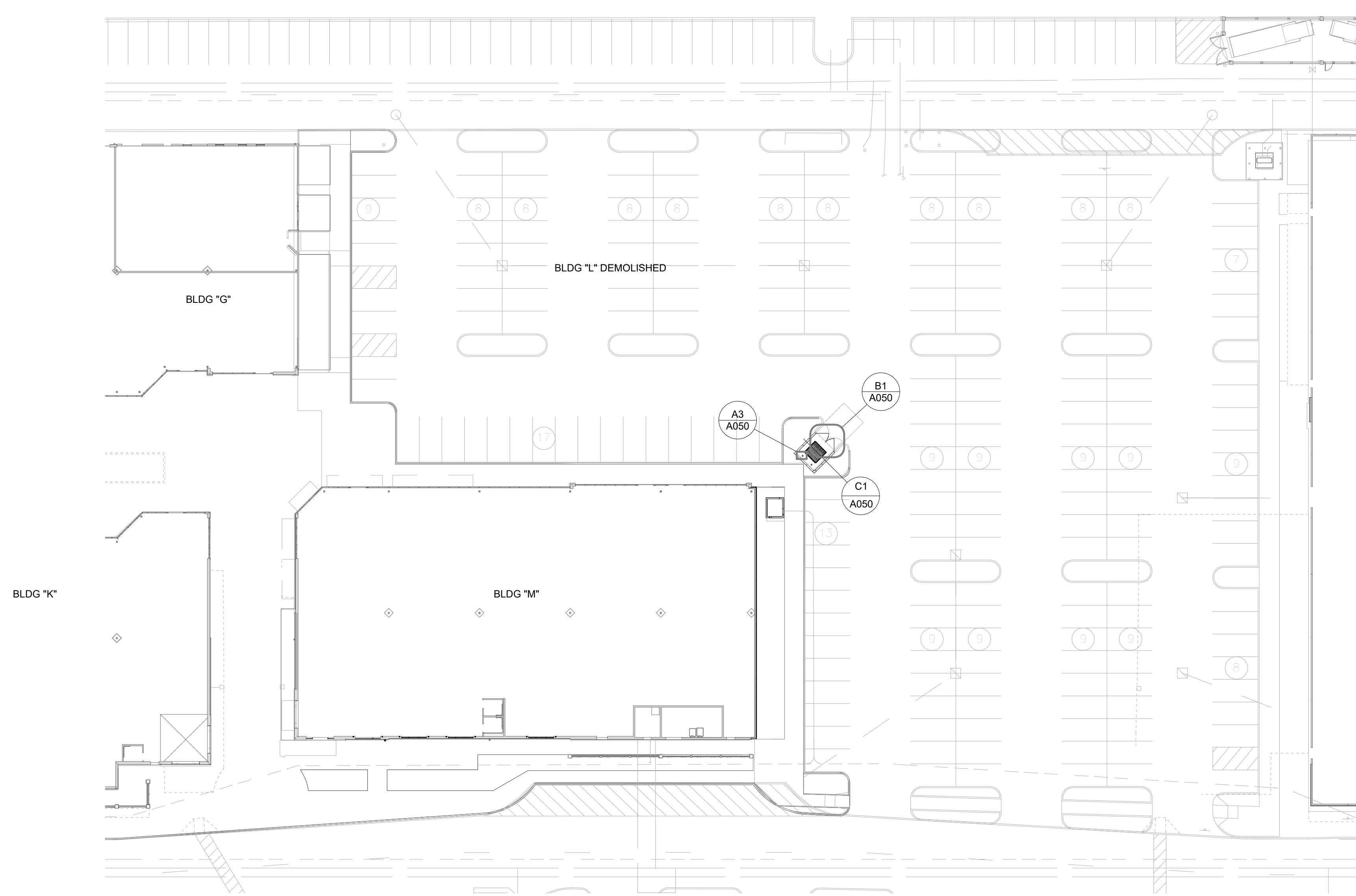
| | |
|----------------------------|------------------------|
| DRAWN BY: J.M.B. / T.S. | CHECKED BY: G.M.S. |
| DATE: 10/30/2023 | JOB NO. 218-6411.13 |
| KES: P.# 23MSD-XXXXX | RAE MAP # 17-T |
| S.L.C. MAT # | MAT SUP. # |
| M.D.N.R. # | |

SHEET TITLE:
SITE SECTIONS

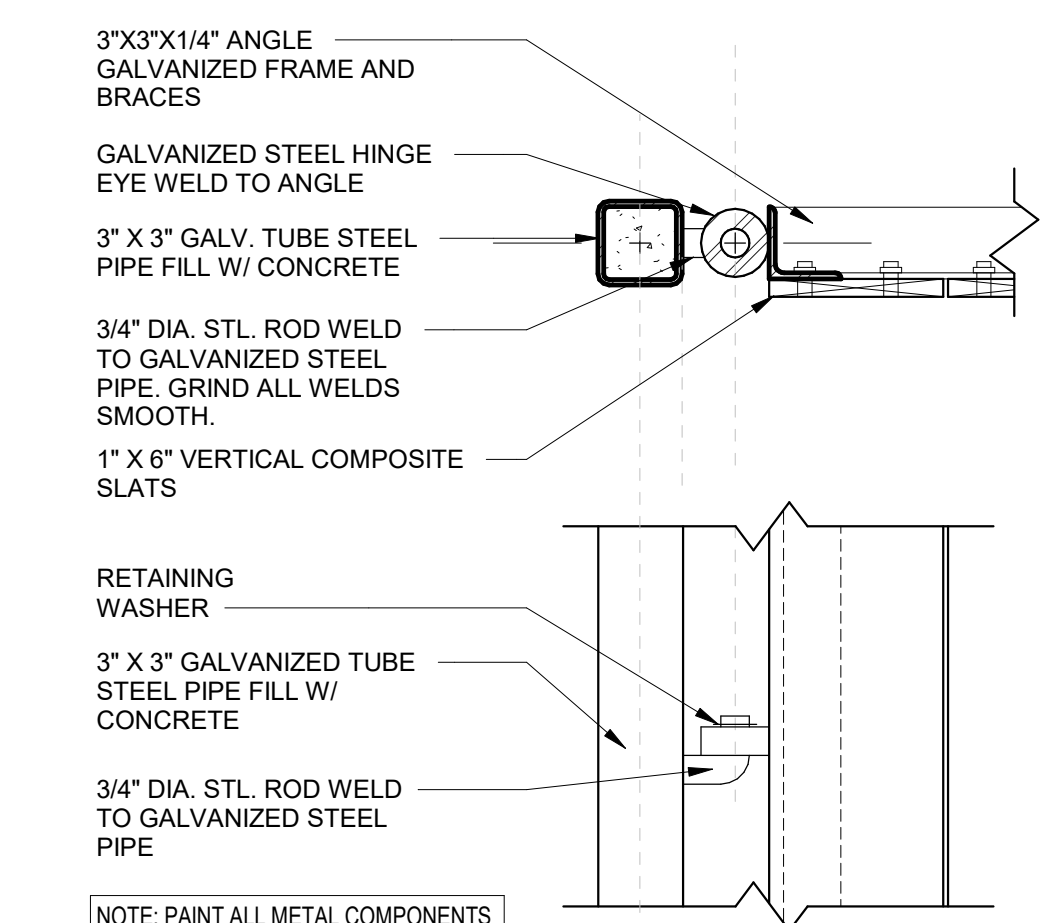
SHEET NO.:
C8



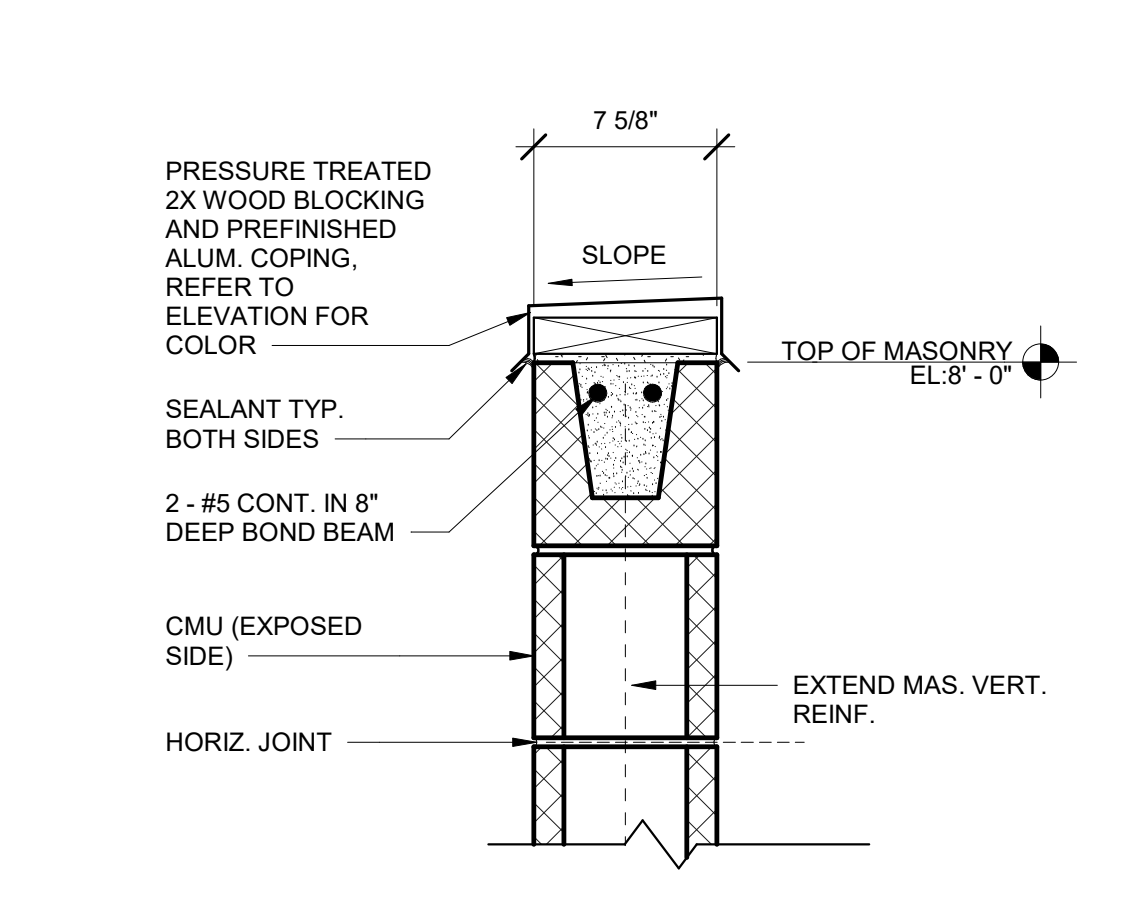
F4
A050
OVERALL ARCHITECTURAL SITE PLAN
1" = 100'-0"



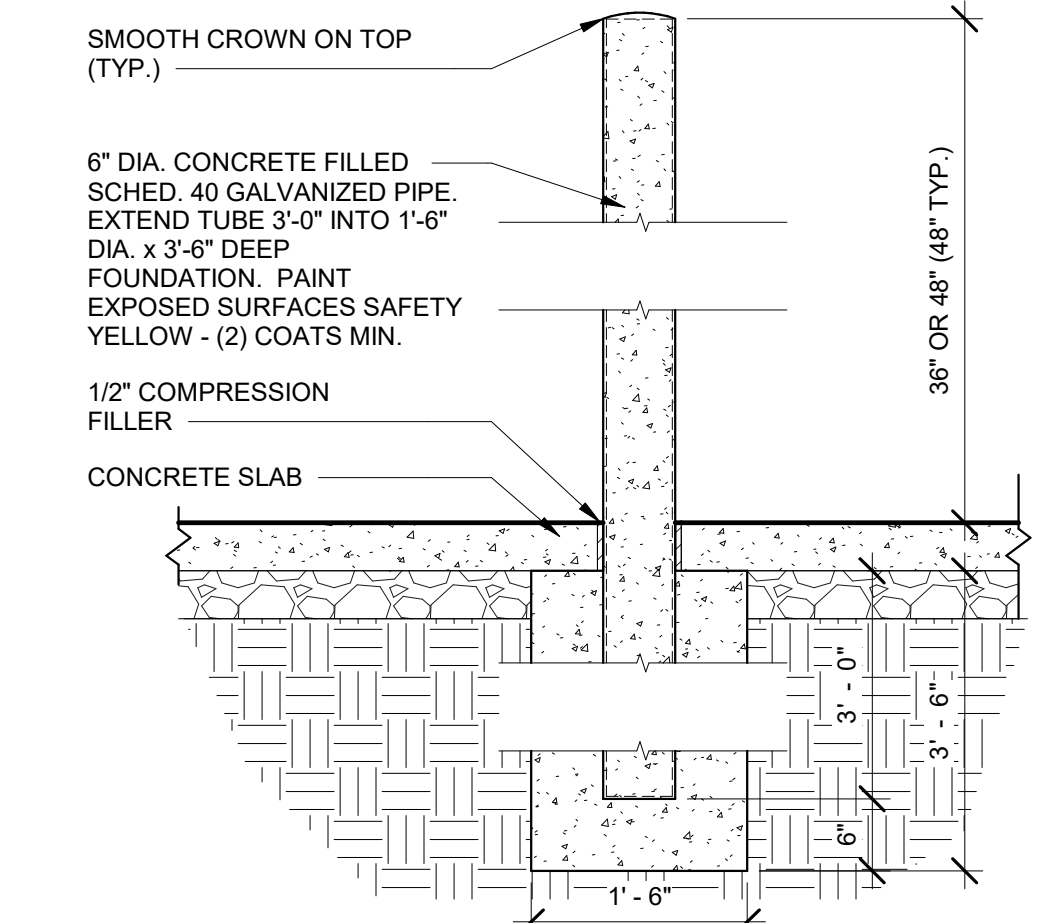
F1
A050
PARTIAL ARCHITECTURAL SITE PLAN
1" = 30'-0"



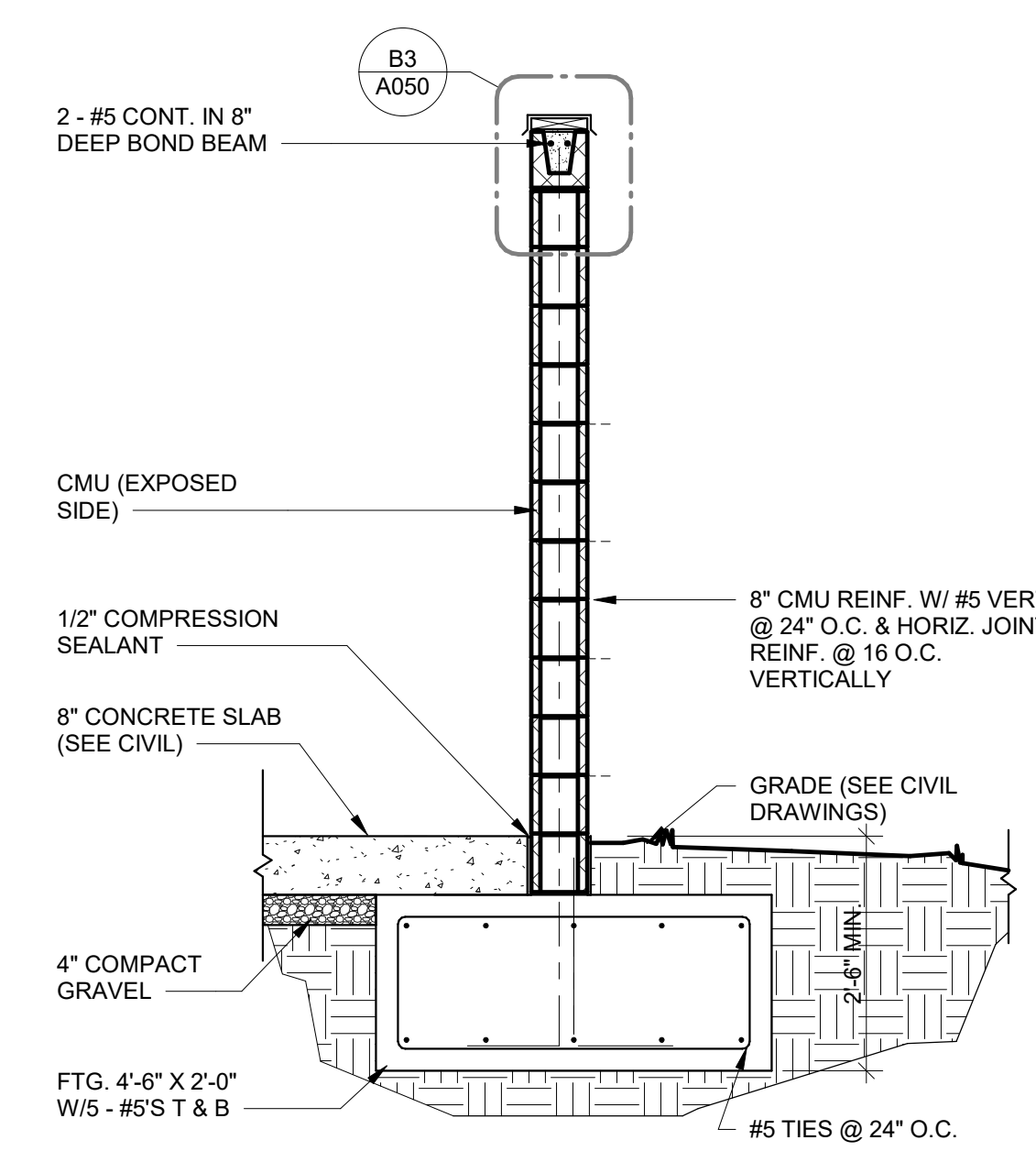
C3
A050
TRASH ENCLOSURE GATE
1 1/2" = 1'-0"



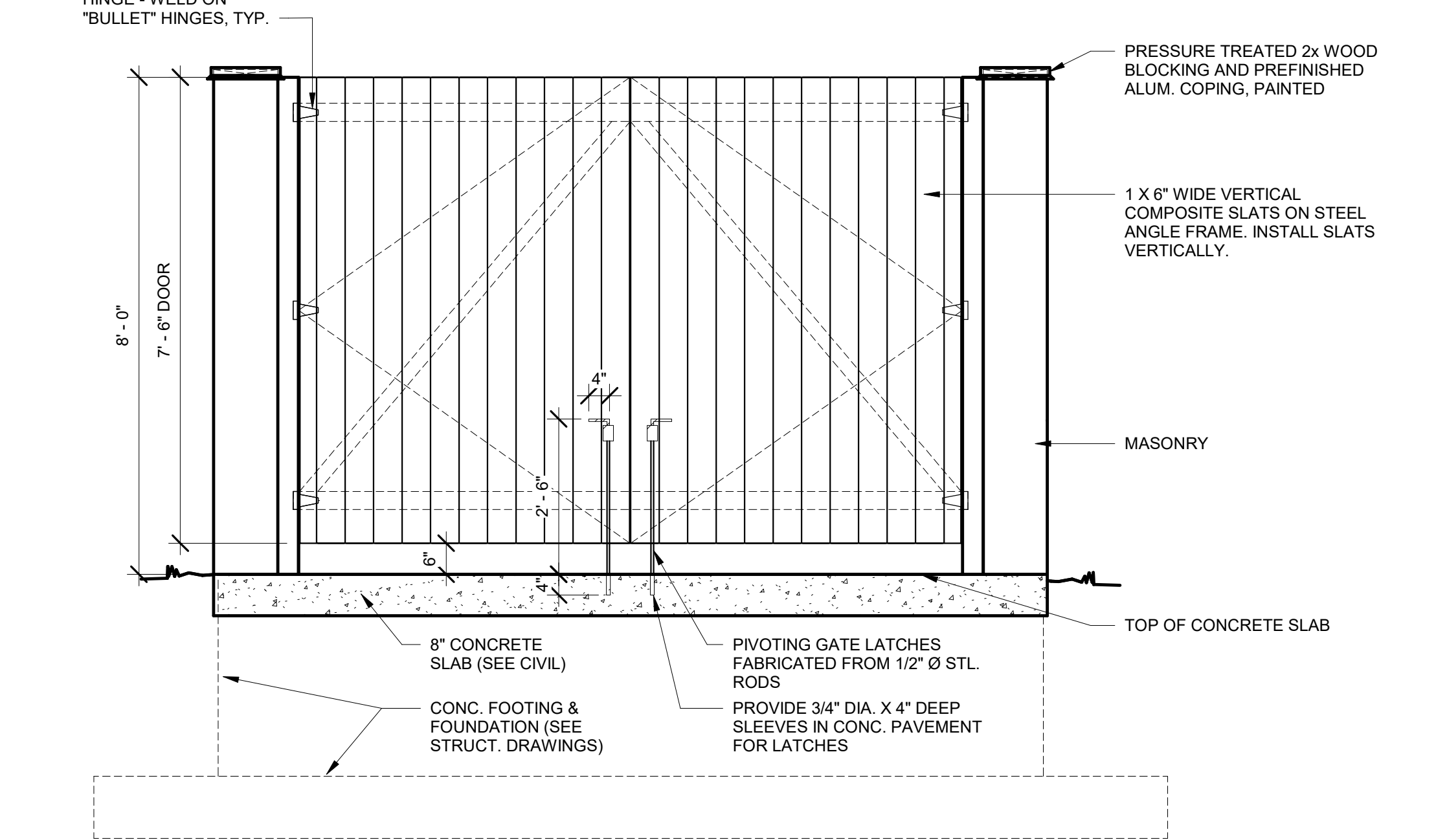
B3
A050
TRASH ENCLOSURE - COPING
1 1/2" = 1'-0"



A3
A050
EXTERIOR PIPE BOLLARD
3/4" = 1'-0"



C1
A050
TRASH ENCLOSURE - SECTION
1/2" = 1'-0"



B1
A050
TRASH ENCLOSURE - GATE_ELEVATION
1/2" = 1'-0"

THE DISTRICT
AT CHESTERFIELD
NORTH OUTER FORTY DRIVE
CHESTERFIELD, MO 63017

THE STAENBERG GROUP
BEYOND DEVELOPMENT

| DESCRIPTION | DATE |
|-------------|------|
| | |
| | |
| | |
| | |
| | |

PROFESSIONAL RECORD

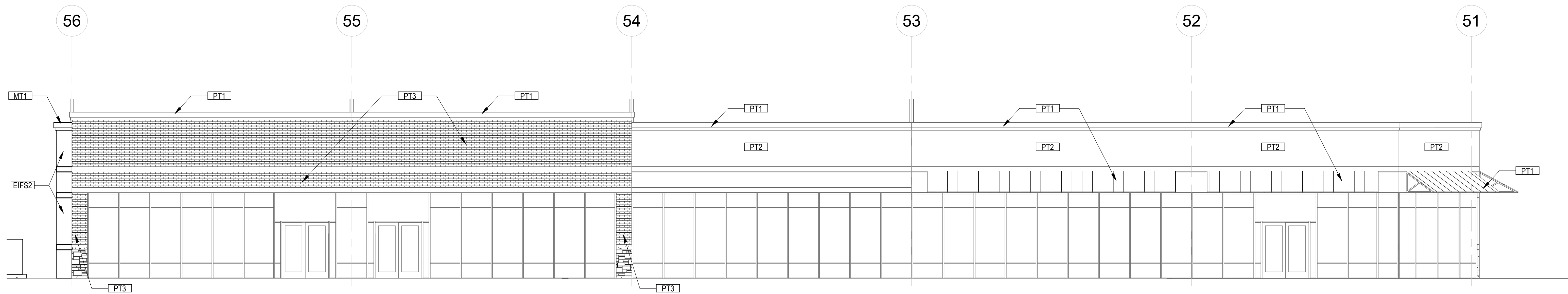
HDA

4565 McRee Ave, Suite 100
St. Louis, MO 63110
(636) 449-1175

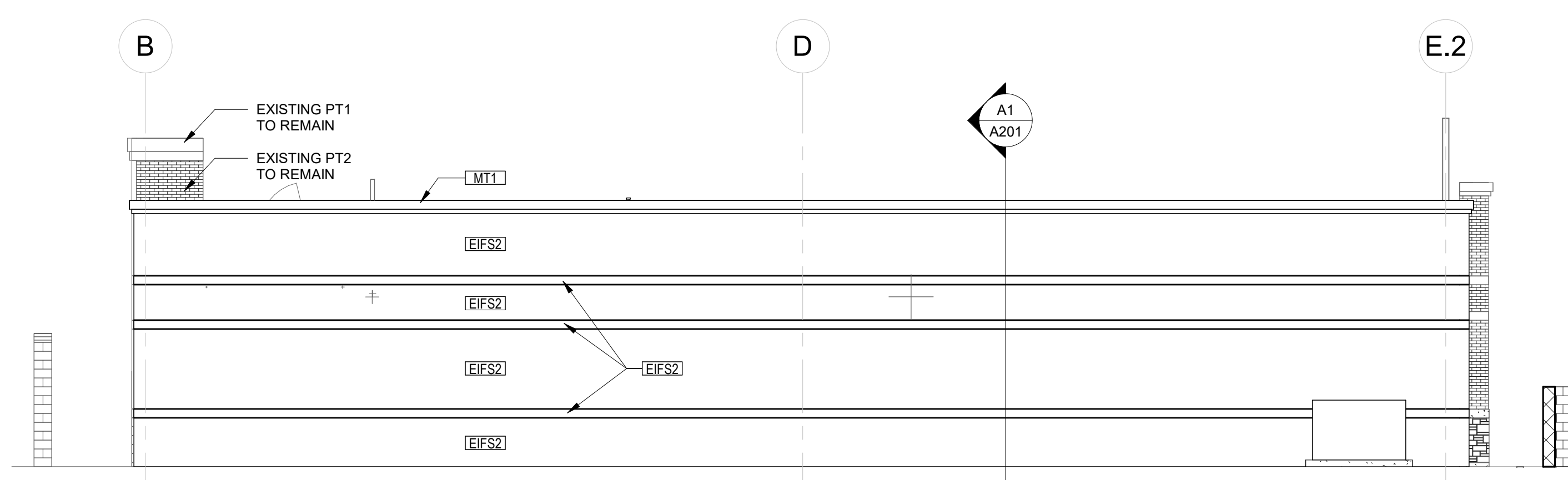
Project Number: 23936
Date: 11/XX/23
Status: PMT/CONST

PARTIAL SITE PLAN AND DETAILS

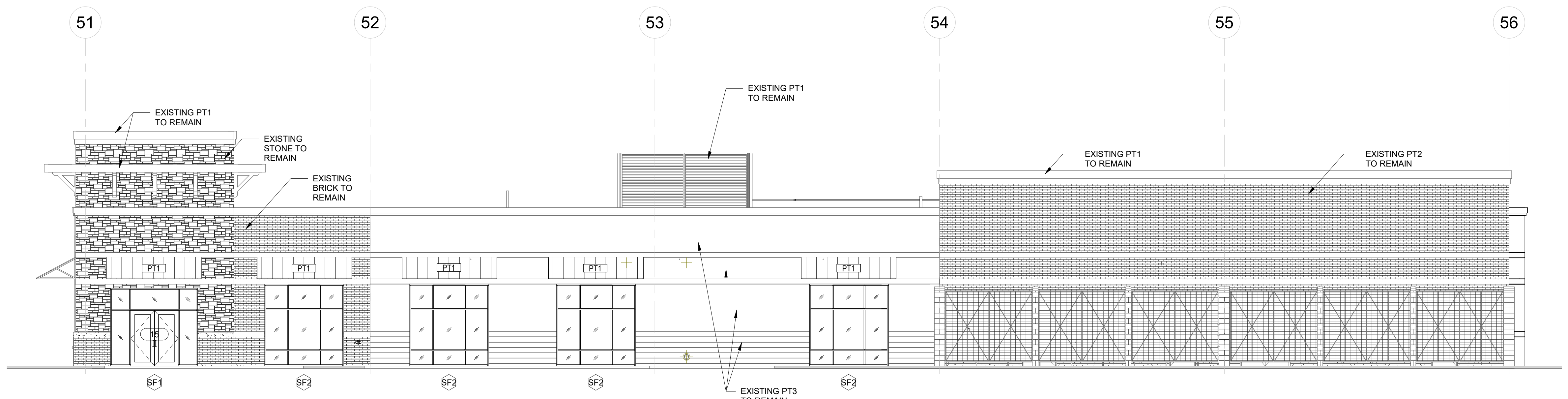
A050



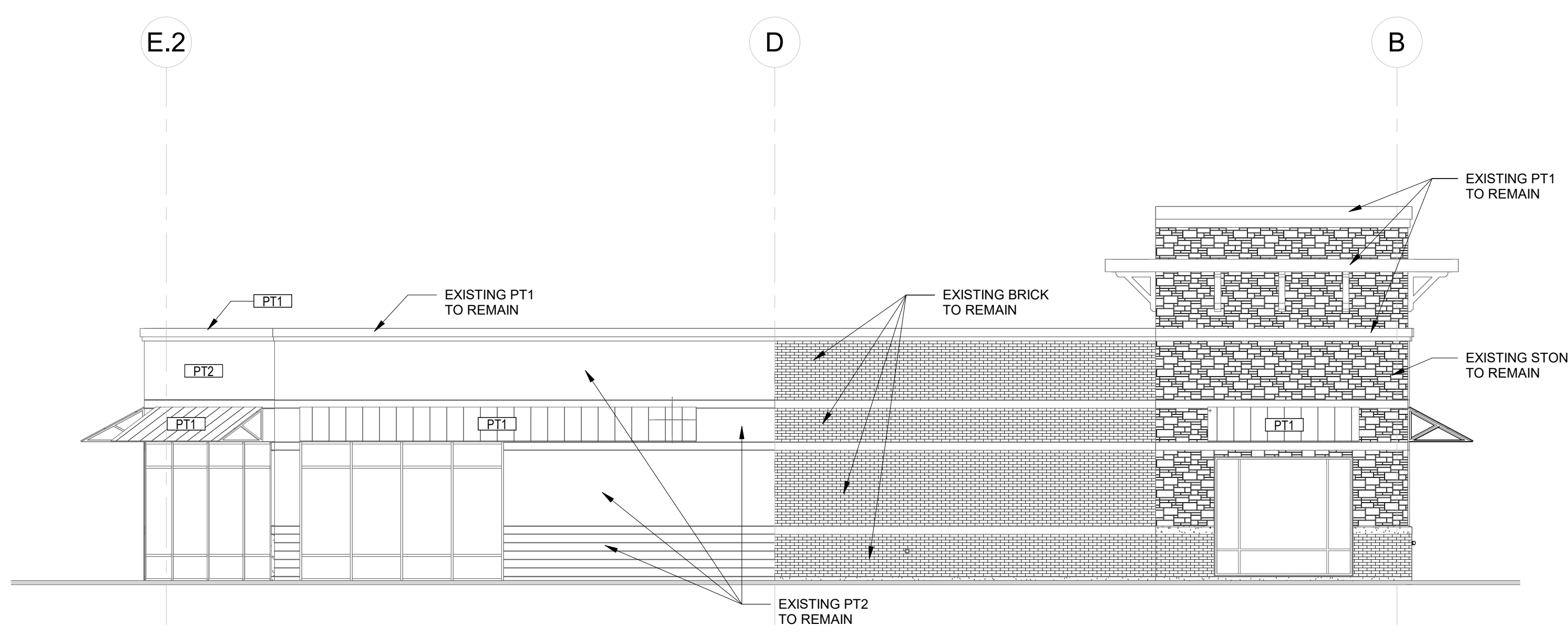
F5
A200
EXTERIOR BUILDING ELEVATION BLDG "M" NORTH
1/8" = 1'-0"



F4
A200
EXTERIOR BUILDING ELEVATION BLDG "M" EAST
1/8" = 1'-0"



F2
A200
EXTERIOR BUILDING ELEVATION BLDG "M" SOUTH
1/8" = 1'-0"



F1
A200
EXTERIOR BUILDING ELEVATION BLDG "M" WEST
1/8" = 1'-0"

GENERAL NOTES ELEVATIONS

- GRADES SHOWN FOR REFERENCE ONLY. GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY ALL GRADES WITH CIVIL DOCUMENTS.
- VERIFY FINAL CIVIL GRADES AT BUILDING PRIOR TO CONCRETE FOUNDATION AND BRICK SHELF INSTALLATION.
- REFER TO SHEET Axxx FOR ENLARGED WINDOW TYPE ELEVATIONS.
- REFER TO DOOR SCHEDULE AND FRAME ELEVATIONS FOR ADDITIONAL OPENINGS INFORMATION.

EXTERIOR MATERIAL LEGEND

MT1 SHEET METAL COPING - EDGE OF ROOF
MFR: PAC-CLAD OR EQUAL
PRODUCT: PAC SNAP EDGE FASCIA
COLOR: BLACK

PT1 PAINT - EXTERIOR TEXTURED PAINT
MFR: SHERWIN WILLIAMS
PRODUCT: PRO INDUSTRIAL ALKYD ENAMEL BS-4W/151
COLOR: MATCH EXISTING TRICORN BLACK SW 6528

PT2 PAINT - EXTERIOR TEXTURED PAINT
MFR: SHERWIN WILLIAMS
PRODUCT: CONFLEX XL TEXTURED HIGH BUILD ACRYLIC COATING, CF12W08 SERIES
COLOR: MATCH EXISTING BENJAMIN MOORE SADDLE SOAP #2110-30

PT3 PAINT - EXTERIOR TEXTURED PAINT
MFR: SHERWIN WILLIAMS
PRODUCT: CONFLEX XL TEXTURED HIGH BUILD ACRYLIC COATING, CF12W08 SERIES
COLOR: MATCH EXISTING BENJAMIN MOORE KENDALL CHARCOAL HC-166

EIFS2 EXTERIOR INSULATED FINISH SYSTEM (EIFS)
MFR: DRYVIT
PRODUCT: EXTERIOR DRAINAGE SYSTEM
COLOR: MATCH EXISTING BENJAMIN MOORE SADDLE SOAP #2110-30

DISTRICT
 AT CHESTERFIELD
 NORTH OUTER FORTY DRIVE
 CHESTERFIELD, MO 63017



| DESCRIPTION | DATE |
|-------------|------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

PROFESSIONAL RECORD



4565 McRee Ave, Suite 100
St. Louis, MO 63110
(636) 449-1175

Project Number: 23936
Date: 10/03/23
Status: PMT/CONST

BUILDING M EXTERIOR ELEVATIONS

A200

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

Landscape TECHNOLOGIES

87 Jackson Creek Drive
St. Louis, MO 63117
314.224.1200
www.landscapearchitect.com

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT #000018
MARDIS NUMBER 019
DATE 11/4/2023

PLANTING PLAN FOR THE PARKING LOT ADDITION @
The District
CHESTERFIELD, MISSOURI

| | |
|-----------------|-----------|
| DRAWN | R. MARDIS |
| CHECKED | RAMMEL |
| DATE | 11/4/2023 |
| SCALE | N.A. |
| JOB No. | 2023-175 |
| SHEET | L-2 |
| OF THREE SHEETS | |

LANDSCAPE GUIDELINE SPECS:

GENERAL:

- Base map information is accurate as of the date of drawing printed in this package.
- It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
- The contractor shall be in compliance with all codes applicable to this work.
- Clean all planting beds of debris, rock, building material, etc. prior to adding / spreading topsoil or mulch.
- All annual and/or perennial beds are to be roto-tilled at a depth of 12" and amended with peat moss or organic material prior to planting. All grass and/or weeds shall be killed / removed from new planting beds of any kind.
- Remove all debris and rock in parking lot islands shall be removed / disposed and new topsoil provided to a depth of 8" with a berm 4" higher than the adjacent curbing.
- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- The landscape contractor shall be responsible for only coordination and sequencing with other site related work being performed by other contractors. Any damage to the existing improvements shall be the responsibility of the contractor. It shall be the responsibility of the contractors to restore all areas of the site where disturbed by said contractor. Refer to additional drawings for further coordination of work to be done.
- Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
- Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- Plant material shall be typical in shape and form for species specified. Plants planted in groupings and masses shall also be matched. Container grown plant material shall not be root-bound and ball-and-burlapped material shall have root balls as dictated by American Standard for Nursery Stock.
- Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
- Provide single-stem trees unless otherwise noted in plant schedule.
- All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock".
- It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners' Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
- All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
- Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
- All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
- Keep all plant material (except turf) a minimum of 36' clear of fire hydrants.
- All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
- Landscape contractor shall be in compliance with all Federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
- All substitutions of plant material shall be submitted to landscape architect for approval.
- Tree protection fencing is to be installed prior to any grading operations and inspected daily / maintained in place until completion of the project.
- No parking, storage of materials or any other construction activities are to occur within tree protection areas.

PRUNING:

- Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
- All pruning shall comply with ANSI A300 standards.

INSURANCE:

- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

MULCH:

- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
- No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Mirafi fabric shall be placed beneath all gravel mulch beds. Lap fabric 6" over adjacent coverages.
- Edge all beds with spade-cut edge unless otherwise noted.

MAINTENANCE:

- Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
- Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.
- Watering of seeded or sodded lawns shall begin immediately and shall continue to be provided continuously for the following 12 hours. Regardless, the landscape contractor shall be responsible for all landscape maintenance until project turnover.

SIGHT TRIANGLES:

- No landscape material or other obstructions shall be placed or be maintained within the sight distance area so as to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or paving surfaces.
- Sight triangles at the intersection of a public street and a private access way (except for single family residences) shall also be formed by measuring from the point of intersection of the street frontage curbs and the entrance curb lines a distance of 35' and connecting the points so established to form the sight triangle area.

TOPSOIL:

- Topsoil mix for all proposed landscape plant material (excluding turf areas) shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.
- Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
- Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
- Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.

MISC. MATERIAL:

- Provide stakes and deadmen of sound, new hardwood, free of knotholes and defects per planting details. Remove stakes and guying from all trees one year after planting.
- Tree wrap tape shall be 4" minimum, designed to prevent borer damage and winter freezing. Additionally, only 3-ply tying material shall be used.

WARRANTY:

- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price. All plant material deemed unhealthy, unsightly or having undue amounts of dead branches by the landscape architect shall be replaced under this warranty.
- Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
- Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
- Landscape contractor shall not be liable due to acts of God or vandalism.
- Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
- A written guarantee shall be provided to the owner per conditions outlined in #1 above.

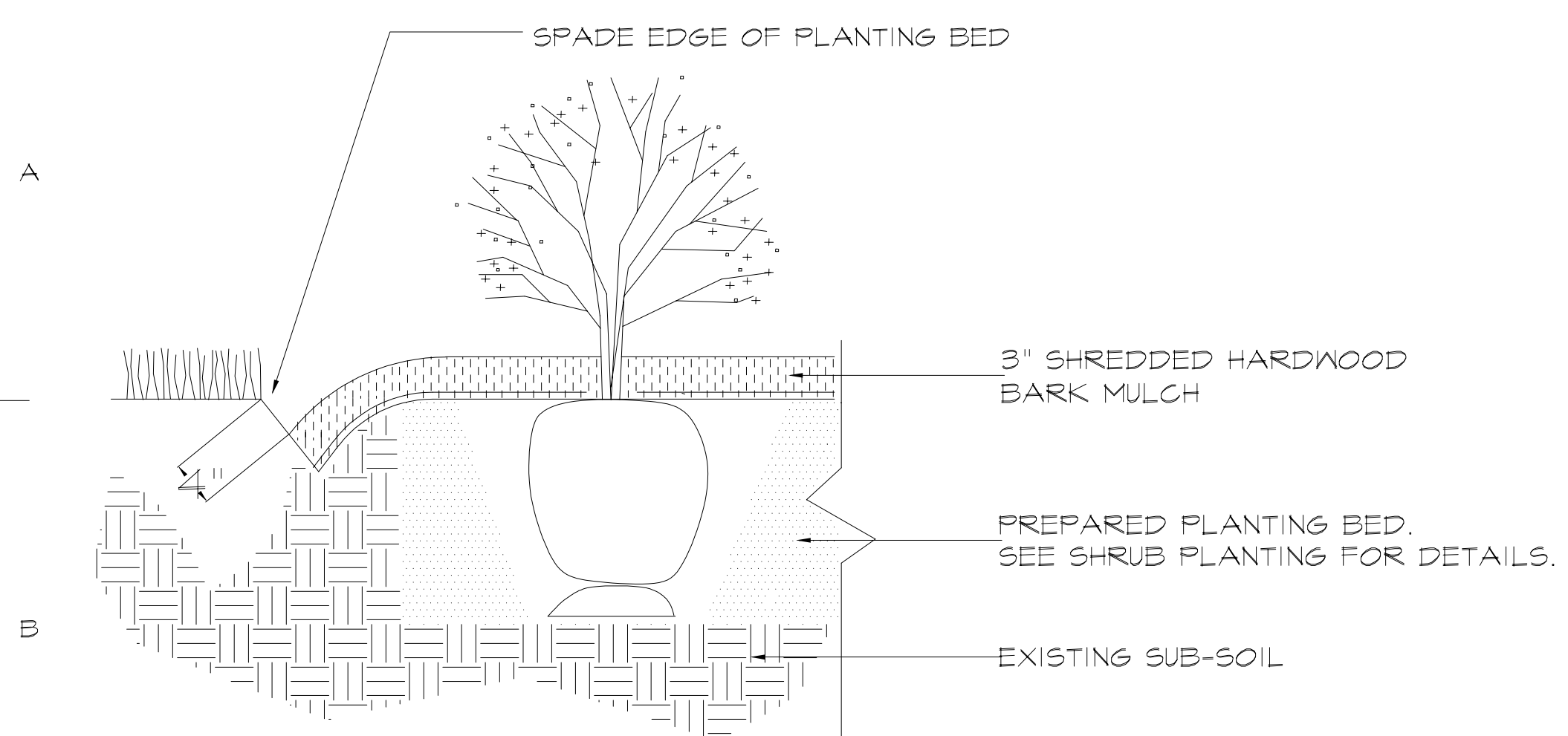
TURF:

- All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (18# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 30 square feet shall be replaced.
- Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND irrigation system is operating.
- Granular or pelleted fertilizer consisting of 50% water-insoluble slow release nitrogen, phosphorous and potassium in a 12-12-12 composition.
- The turf contractor shall be responsible for protection of finished grade; restore and repair any erosion or water damage and obtain owners' approval prior to seeding or sod installation.
- Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted.
- Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
- All sod shall be placed a maximum of 24 hours after harvesting.
- Recondition existing lawn areas damaged by Contractor's operations including equipment/material storage and movement of vehicles.
- Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.

IRRIGATION GUIDELINE SPECS:

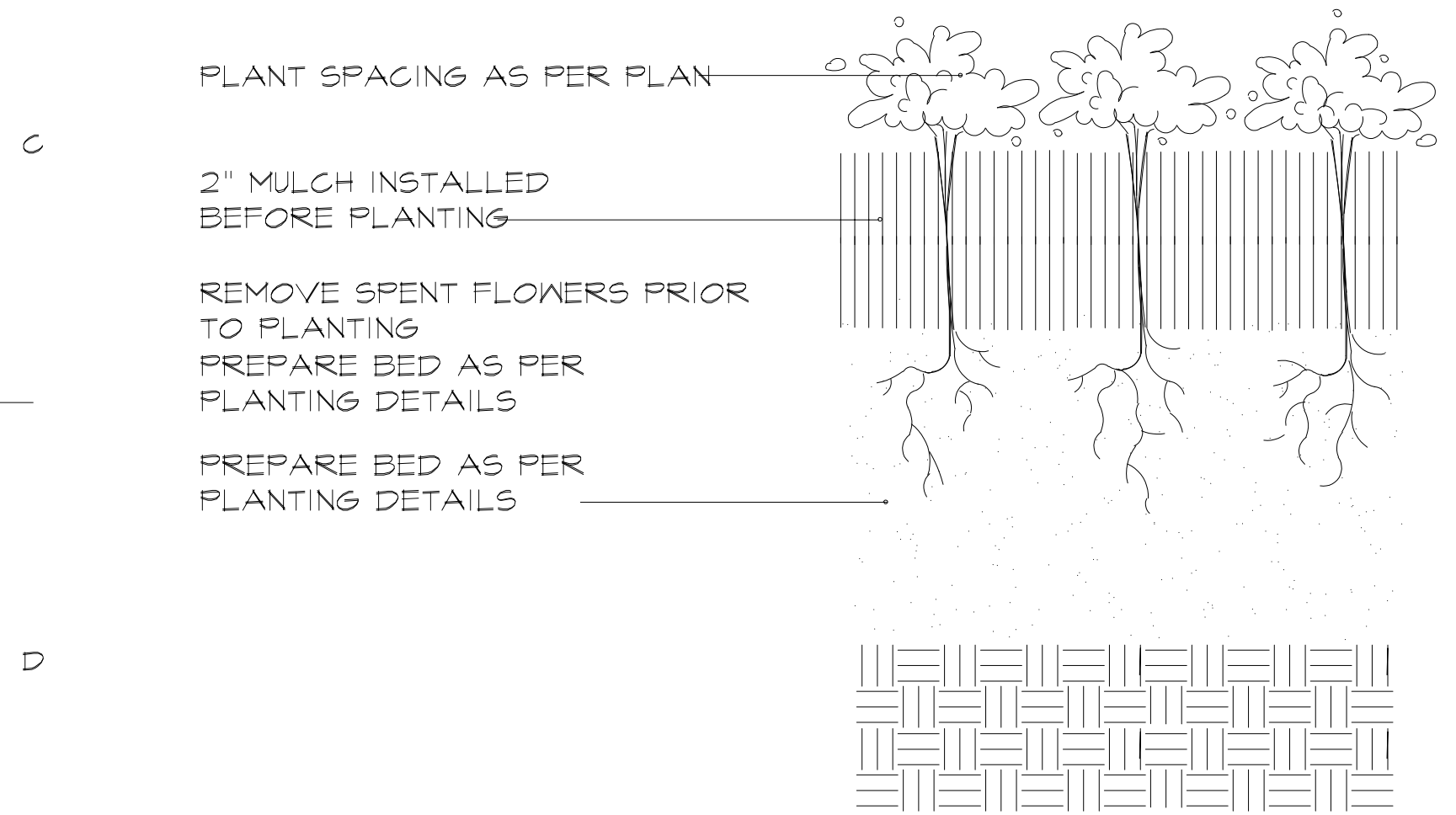
GENERAL:

- System shall be designed for 30 gpm @ 80 PSI. Contractor to field verify actual conditions.
- Exact tap, backflow and controller location to be coordinated with owner or owner's representative.
- All control wiring to be 14 ga. Minimum 3 extra strands to be installed in each direction from the controller to the end of the mainline.
- All piping to be sleeved in SCH40 PVC when passing under hardscape. PVC Sleeve to be a minimum of twice the size of pipe(s) running through.
- Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the irrigation contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RITE).
- It shall be the irrigation contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
- All landscaped areas shall have installed an automatic, permanent irrigation system - designed to cover all landscape areas. Irrigation shall be design / build.



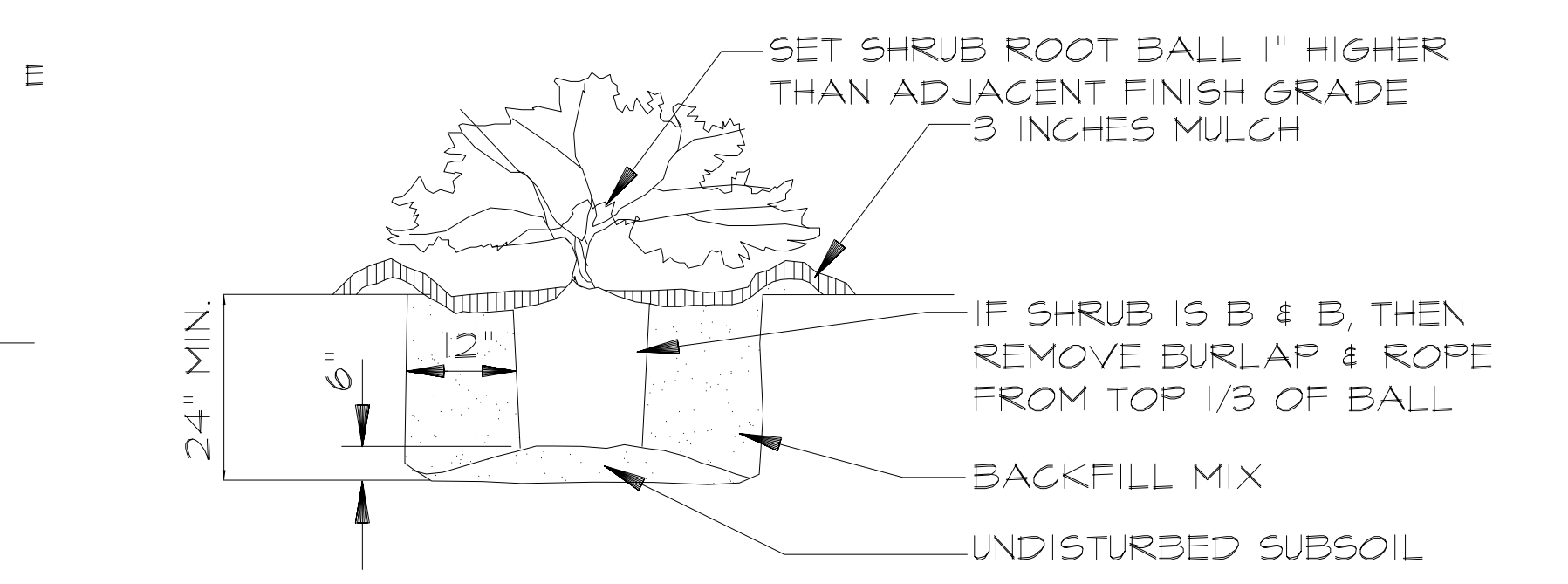
SPADE-CUT EDGE DETAIL

N.T.S.



PERENNIAL / ANNUAL PLANTING

N.T.S.



PRUNE ANY BROKEN BRANCHES AFTER PLANTING. DAMAGED SHRUBS OR BROKEN / CRUMBLING ROOT BALLS WILL BE REJECTED.

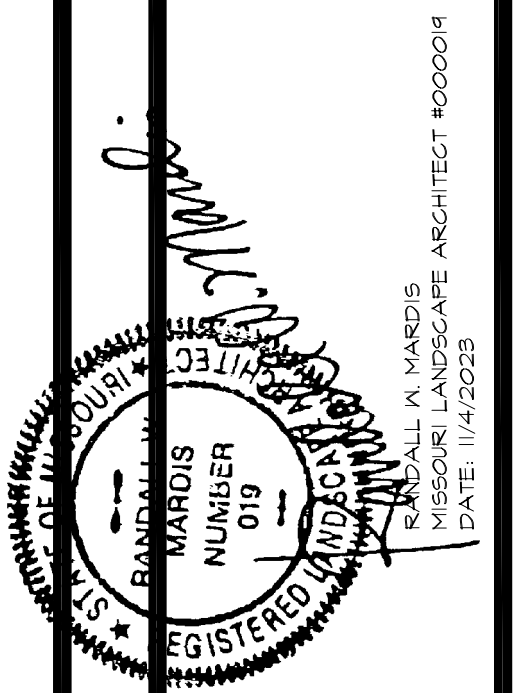
SHRUB PLANTING

N.T.S.

PLANT SCHEDULE:

| SHRUBS | QTY | COMMON / BOTANICAL NAME | SIZE |
|---|-------|---|-------------------|
| ALV | 10 | ALLEGHANY LEATHERLEAF VIBURNUM / VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY' | 24"-30" |
| DGBS | 1 | DWARF GLOBE BLUE SPRUCE / PICEA PUNGENS 'GLOBOSA' | 5 GAL |
| FGKB | 81 | FRANKLIN'S GEM KOREAN BOXWOOD / BUXUS SINICA INSULARIS 'FRANKLIN'S GEM' | 5 GAL. |
| GBIH | 90 | GEM BOX INKBERRY HOLLY / ILEX GLABRA 'GEM BOX' | 5 GAL. |
| GVB | 34 | GREEN VELVET BOXWOOD / BUXUS 'GREEN VELVET' | 5 GAL |
| HMA | 13 | HETZ MIDGET ARBORVITAE / THUJA OCCIDENTALIS 'HETZ MIDGET' | 5 GAL |
| HY | 6 | HICKS YEW / TAXUS MEDIA 'HICKSII' | 18"-24" |
| LDCDH | 117 | LET'S DANCE CAN DO HYDRANGEA / HYDRANGEA MACROPHYLLA X SERRATA 'LET'S DANCE CAN DO' | 5 GAL. |
| MKL | 6 | MISS KIM LILAC / SYRINGA PATULA 'MISS KIM' | 5 GAL |
| BAY | 5 | NORTHERN BAYBERRY / MYRICA PENNSYLVANICA | 24"-30" |
| RCA | 12 | ROSE CREEK ABELIA / ABELIA X GRANDIFLORA 'ROSE CREEK' | 5 GAL |
| SIS | 45 | SCENTLANDIA SWEETSPIRE / ITEA VIRGINICA 'SMNIYDFC' TM | 5 GAL. |
| SBWE | 10 | SONIC BLOOM WEIGELA / WEIGELA FLORIDA 'SONIC BLOOM' | 5 GAL |
| SSH | 14 | STRAWBERRY SUNDAE HYDRANGEA / HYDRANGEA PANICULATA 'STRAWBERRY SUNDAE' | 5 GAL |
| GRASSES | QTY | COMMON / BOTANICAL NAME | SIZE |
| DFG | 41 | DWARF FOUNTAIN GRASS / PENNISETUM ALOPECUROIDES 'HAMELN' | 5 GAL |
| CALA | 163 | FOERSTER'S REED GRASS / CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER' | 5 GAL |
| ANNUALS/PERENNIALS | QTY | COMMON / BOTANICAL NAME | SIZE |
| PC-CS | 25 | CHEYENNE SPIRIT CONEFLOWER / ECHINACEA PURPUREA 'CHEYENNE SPIRIT' | 1 GAL |
| HRD | 9 | HAPPY RETURNS DAYLILY / HEMEROCALLIS HYBRID 'HAPPY RETURNS' | 1 GAL |
| VL | 26 | VARIEGATED LIRIOPE / LIRIOPE MUSCARI 'VARIEGATA' | 1 GAL |
| GROUND COVERS | QTY | COMMON / BOTANICAL NAME | SIZE |
|  | 609 | BIG BLUE LILYTURF / LIRIOPE MUSCARI 'BIG BLUE' | 2 QT. @ 12" O.C. |
|  | 1,156 | ORANGE STONECROP / SEDUM KAMTSCHATICUM | 2.25" POT @ 9" OC |

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |



PLANTING PLAN FOR THE PARKING LOT ADDITION @
The District
CHESTERFIELD, MISSOURI

| |
|---------------------|
| DRAWN R. MARDIS |
| CHECKED RAMMEL |
| DATE 11/4/2023 |
| SCALE N.A. |
| JOB No. 2023-175 |
| SHEET L-3 |
| OF THREE SHEETS |

| DESCRIPTION | DATE |
|-------------|------|
| | |
| | |
| | |
| | |
| | |

PROFESSIONAL RECORD



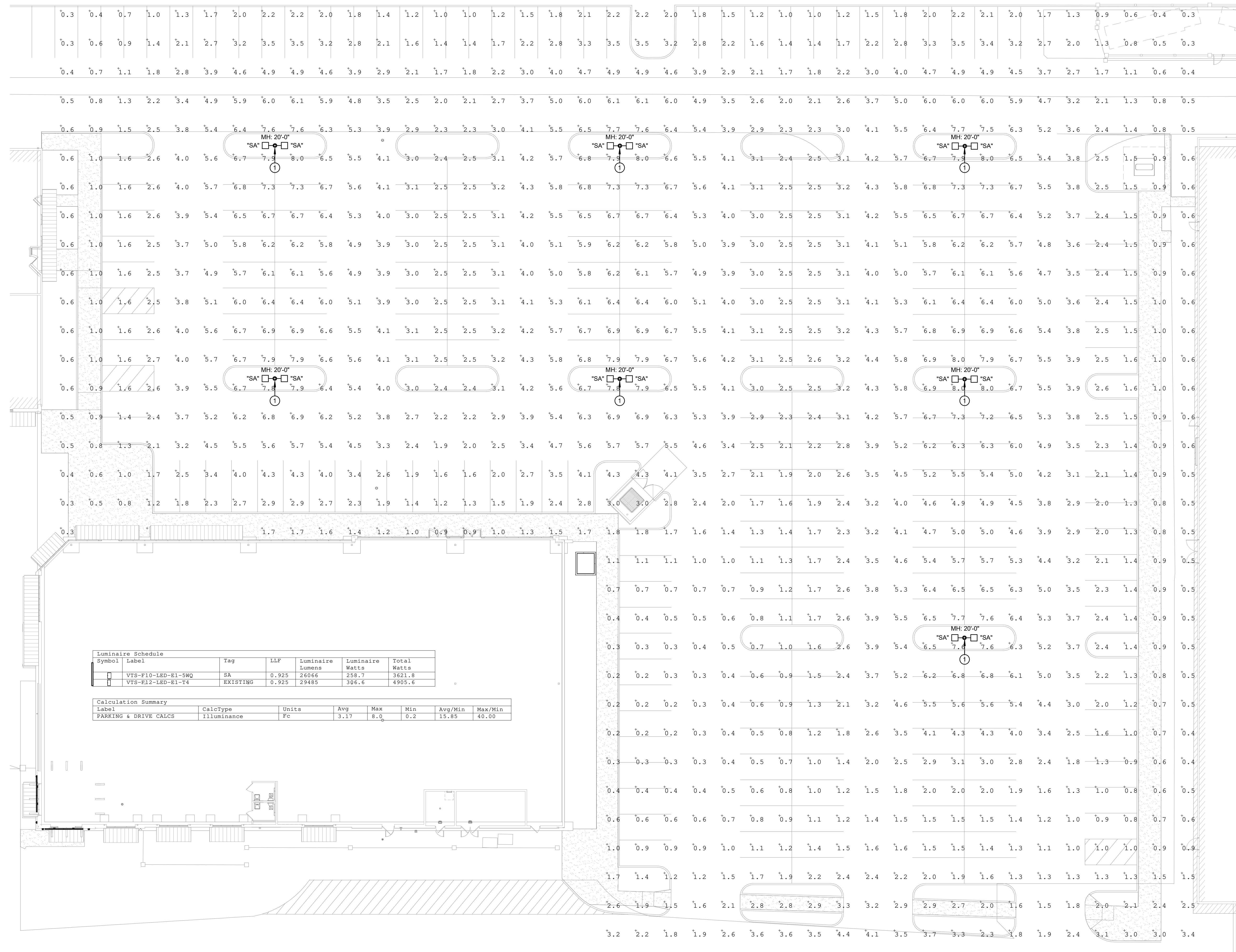
4565 McRee Ave., Suite 100
 St. Louis, MO 63110
 (636) 449-1175

Project Number: 23-0258
 Date: 11/15/2023
 Status: PMT / CONST

SITE LIGHTING -
 PHOTOMETRIC

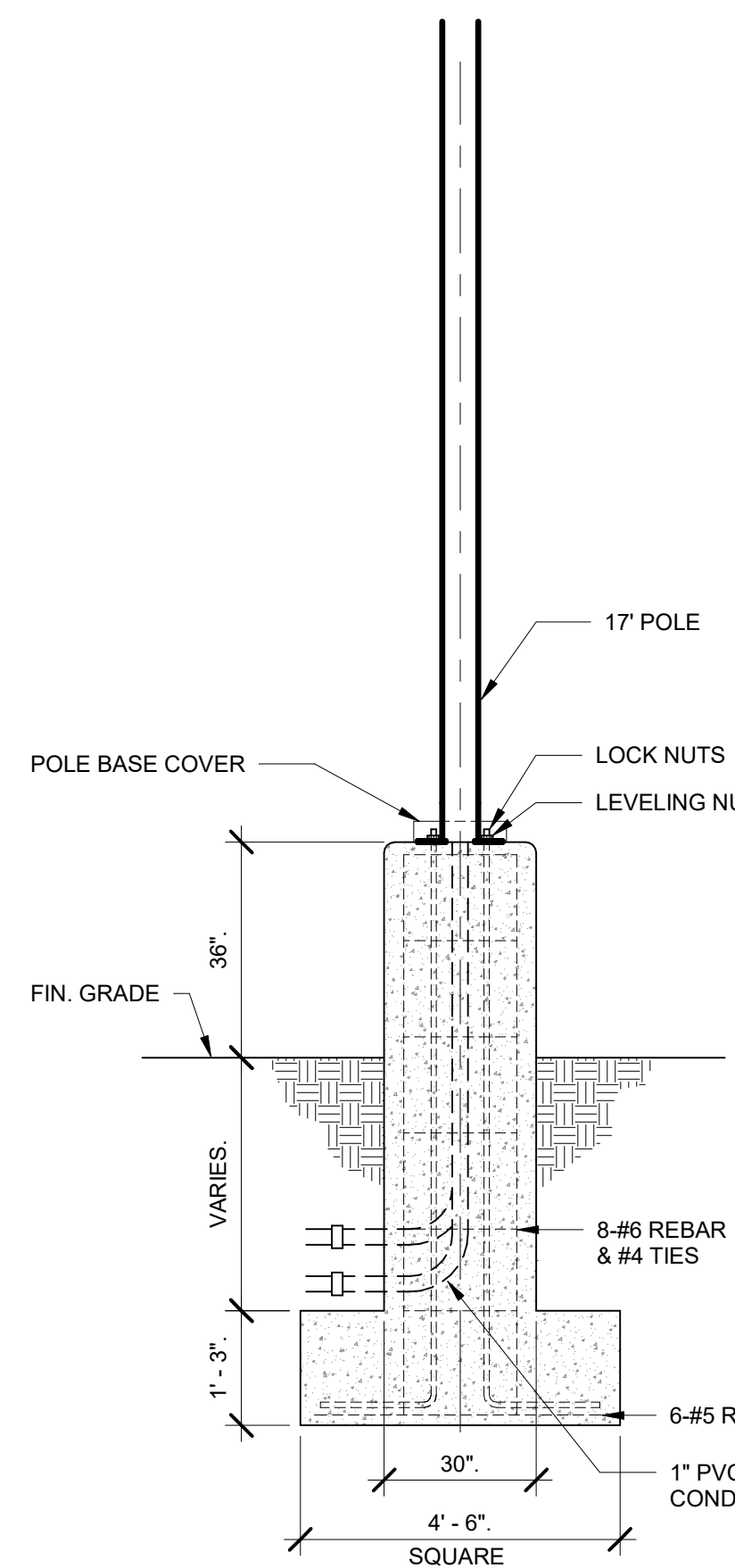
KEYED NOTES

- SEE DETAIL 1 ON THIS SHEET FOR POLE BASE DETAIL.
- EXISTING LIGHTING FIXTURE "EX" INCLUDED ON THIS SHEET FOR FOOTCANDLE CONTRIBUTION AT NEW PARKING AREA.



| Symbol | Label | Tag | LF | Luminaire Lumens | Luminaire Watts | Total Watts |
|--------|--------------------|----------|-------|------------------|-----------------|-------------|
| □ | VFS-F10-LED-R1-SKQ | SA | 0.925 | 26086 | 258.7 | 3621.8 |
| □ | VFS-F10-LED-R1-T4 | EXISTING | 0.925 | 29485 | 306.6 | 4905.6 |

| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
|-----------------------|-------------|-------|------|-----|-----|---------|---------|
| PARKING & DRIVE CALCS | Illuminance | Fc | 3.17 | 8.0 | 0.2 | 15.85 | 40.00 |



GENERAL NOTES:
 TOP OF CONCRETE FOUNDATION SHALL BE TROWELED SMOOTH AND LEVEL.
 CONCRETE SHALL BE 3000 P.S.I. @ 28 DAYS. CONCRETE SHALL BE VIBRATED.
 VERIFY OPENING SIZE IN POLE BASE PLATE PRIOR TO SETTING CONDUIT SLEEVES.
 EXTEND CONDUITS 12" ABOVE TOP OF FORM. TERMINATE CONDUITS WITH INSULATED THROAT BUSHINGS.
 POLE: 17'-0" TAPERED, ROUND SHAFT, FABRICATED FROM HIGH TENSILE CARBON STEEL. POLE SHAFT SHALL BE ONE PIECE, ROLLED & FLATTENED INTO SHAPE WITH VERTICAL WELDED SEAM. POLE BASE SHALL BE OF SIMILAR MATERIAL, WELDED TO SHAFT. POLE TOP SHALL BE FLAT STEEL STOCK, PERMANENTLY SECURED TO SHAFT & SEALED WEATHERTIGHT. POLE SHALL BE PROVIDED WITH HANDHOLE & COVER, 18" ABOVE BASE. POLES SHALL BE PROVIDED WITH ALL ANCHOR BOLTS, NUTS, WASHERS, INSTALLATION TEMPLATES, ETC. RECD FOR INSTALLATION. POLE FINISH SHALL BE POLYESTER POWDER COAT, ELECTROSTATICALLY APPLIED OVER CORROSION RESISTANT UNDERCOAT, COLOR AS SELECTED BY ARCHITECT.
 SUGGESTED MANUFACTURERS:
 UNITED LIGHTING STANDARDS INC.
 US POLE CO. INC.
 VALMONT INDUSTRIES
 OR EQUAL

1 LIGHTING POLE FOUNDATION DETAIL
 NO SCALE

NOTE: POLE BASE DETAIL TO BE REVIEWED AND APPROVED BY E.C. AND OWNER. SHALLOW BASE WILL BE REQUIRED FOR ANY LIGHT BASE THAT WOULD ENCRoACH INTO RESTRICTED PROTECTED EXCAVATION ZONE.

SITE LIGHTING - PHOTOMETRIC
 SCALE: 1/16" = 1'-0"