



690 Chesterfield Pkwy W • Chesterfield MO 63017-0760 Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

#### **Planning Commission Staff Report**

Meeting Date: January 22, 2024

From: Shilpi Bharti, Planner

**Location:** South side of Outer 40 Road and east side of Schoettler Road

Description: Legends at Schoettler Pointe : A Record Plat for a 9-acre tract of land

zoned "PUD" Planned Unit Development located on the south side of Outer 40 Road and east side of Schoettler Road (19S640152 & 19S640657).

#### **SUMMARY**

Lombardo Homes of St. Louis, LLC has submitted a Record Plat for a 9-acre tract of land zoned "PUD"

Planned Unit Development to establish 13 single-family lots known as Legends at Schoettler Pointe. The site is accessed by Schoettler Road located southwest of the subject site. South Outer 40 Road runs along the north side of the property.

#### **SITE HISTORY**

The subject property was zoned "NU" Non-Urban District and "R1" Residential District by St. Louis County prior to the incorporation of the City of Chesterfield. In 2022, the site was rezoned to "PUD"-Planned Unit Development. The current ordinance governing the site is Ordinance 3191. In 2023, a Site

Development Plan, Landscape Plan, and Tree Preservation Plan were approved by



Figure 1: Subject Site Aerial

the Planning Commission. The Improvement plan for the subdivision was approved in 2023, and grading permit is issued for the site.

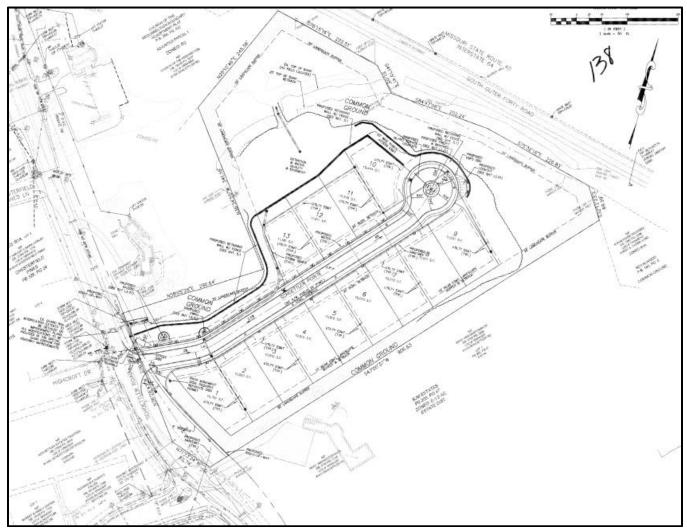


Figure 2: Approved Site Development Plan

#### **STAFF ANALYSIS**

A Record Plat establishes lots, common grounds, easements, and road right-of-way. Once a plat is recorded, the new lots may be sold to individual owners. Record Plat of the Legends at Schoettler Pointe Development would establish 13 lots, common grounds and the public road Schoettler Pointe. The submitted Record Plat is in the same lot configuration that exists in the recently approved Site Development Plan.

The applicant is required to execute Subdivision Improvement Construction Deposit agreements and Subdivision Improvement Maintenance Deposit agreements, along with the associated sureties prior to the acceptance of the Record Plats. The deposits include the improvements and portion of improvements necessary to support the required items in each plat. The estimates should include but not be limited to streets, sidewalk, storm sewer, sanitary sewer, detention, grading, sediment and erosion control, streetlights, street signs, water mains, common ground seeding/sodding, and amenities. As per the UDC, in any case where the establishment of common

ground land, private streets, streetlighting, drainage facilities, or any other improvement that requires continuous maintenance, a trust indenture shall be recorded simultaneously with the record plat. The indenture shall provide for proper maintenance and supervision by the trustees who are selected to act in accordance with the terms of such indenture.

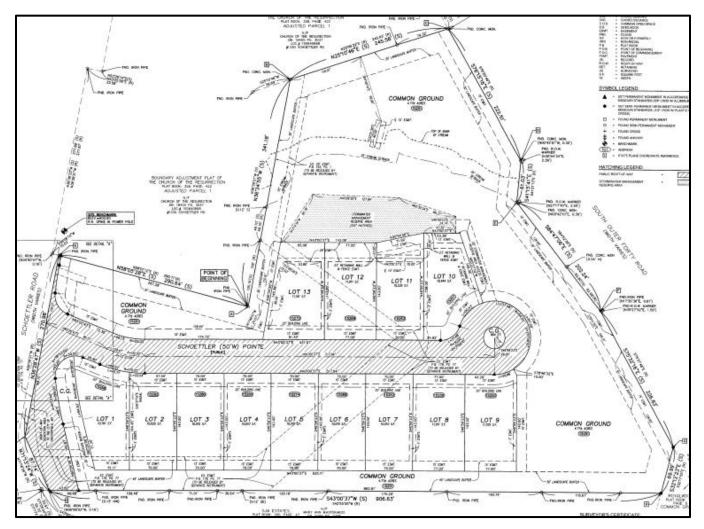


Figure 3: Record Plat

#### STAFF RECOMMENDATION

Staff has reviewed the submittal and has found the application to be in conformance with the approved Site Development Plan, site specific ordinance, and the City of Chesterfield Unified Development Code. Staff recommends approval of Record Plat of the Legends at Schoettler Pointe development.

#### **MOTION**

The following options are provided to the Planning Commission for consideration relative to the application:

1.) "I move to approve (or deny) Record Plat of the Legends at Schoettler Pointe subdivision."

2.) "I move to approve the Record Plat of the Legends at Schoettler Pointe subdivision the Legends at Schoettler Pointe subdivision with the following conditions..." (Conditions may be added, eliminated or modified)

Attachments

1. Record Plat

#### **OWNER'S CERTIFICATE**

WE, THE UNDERSIGNED, OWNERS OF A TRACT OF LAND HEREIN PLATTED AND FURTHER DESCRIBED IN THE FORGOING SURVEYORS CERTIFICATION HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED IN THE MANNER SHOWN ON THIS PLAT. WHICH SUBDIVISION SHALL HEREAFTER BE KNOWN AS "LEGENDS AT SCHOETTLER POINTE" SCHOETTLER POINTE (50 FEET WIDE) AND THE VARIABLE WIDTH RIGHT-OF-WAY DEDICATION AREA ADJACENT TO SCHOETTLER ROAD, TOGETHER WITH ALL CUL-DE-SACS AND ROUNDINGS LOCATED AT THE STREET INTERSECTIONS WHICH FOR BETTER IDENTIFICATION ARE SHOWN HATCHED (/ / / / /) ON THIS PLAT, ARE HEREBY DEDICATED TO CITY OF CHESTERFIELD, MISSOURI FOR PUBLIC USE FOREVER.

ALL EASEMENTS SHOWN ON THIS PLAT, UNLESS DESIGNATED FOR OTHER SPECIFIC PURPOSES, ARE HEREBY DEDICATED TO THE CITY OF CHESTERFIELD, MISSOURI, MISSOURI AMERICAN WATER COMPANY, SPIRE MISSOURI INC., UNION ELECTRIC COMPANY D/B/A AMEREN MISSOURI, SOUTHWESTERN BELL TELEPHONE COMPANY, L.P., D/B/A AT&T MISSOURI, METROPOLITAN ST, LOUIS SEWER DISTRICT, AND THE RELEVAN CABLE TELEVISION COMPANY, THEIR SUCCESSORS AND ASSIGNS AS THEIR INTERESTS MAY APPEAR FOR THE PURPOSE OF IMPROVING CONSTRUCTING, REPLACING, MAINTAINING, AND REPAIRING PUBLIC UTILITIES, SEWER OR SEWERS, STORM WATER IMPROVEMENTS AND DRAINAGE FACILITIES, WITH THE RIGHT OF TEMPORARY USE OF ADJACENT GROUND NOT OCCUPIED BY IMPROVEMENTS FOR THE EXCAVATION AND STORAGE OF MATERIALS DURING INSTALLATION, REPAIR OR REPLACEMENT OF SAID UTILITIES, SEWER OR SEWERS, STORM WATER IMPROVEMENTS AND DRAINAGE FACILITIES.

THE SIGHT DISTANCE EASEMENT AS SHOWN HEREON IS HEREBY DEDICATED TO THE CITY OF CHESTERFIELD, MISSOURI, FOR PUBLIC USE FOREVER, TO ENSURE AND PROTECT THE CLEAR AND UNOBSTRUCTED VIEW OF MOTORISTS ON AND ENTERING THE ADJACENT ROADWAY. NO PART OF SAID EASEMENT SHALL BE BUILT ON IN ANY MANNER WHATSOEVER, NOR SHALL THE GRADE OF THE LAND WITHIN THE EASEMENT BE CHANGED, NOR SHALL GRANTOR ERECT, PLANT, ALLOW OR PERMIT ANY STRUCTURE (INCLUDING SIGNS, FENCES OR POLES) OR PLANTING (INCLUDING ANY TREES, SHRUBS, GRASS OR WEEDS) WITHIN SAID EASEMENT UNLESS EXPRESSLY APPROVED BY THE CITY OF CHESTERFIELD ANY STRUCTURES, PLANTS OR GRADING WHICH ARE NOT APPROVED BY THE CITY OF CHESTERFIELD, OR WHICH ARE NOT MAINTAINED, SHALL BE REMOVED OR CORRECTED. ANY STRUCTURE OR PLANTING APPROVED BY THE CITY OF CHESTERFIELD SHALL BE MAINTAINED TO PROVIDE SIGHT DISTANCE. SIDEWALKS SHALL BE ALLOWED IN THE SIGHT DISTANCE EASEMENT.

THE LANDSCAPE BUFFERS, AS SHOWN ON THIS PLAT, ARE ESTABLISHED AS PROTECTED AREAS FOR NATURAL VEGETATION AND VEGETATIVE LANDSCAPING ONLY. STRUCTURES OF ANY SIZE, WHETHER TEMPORARY OR PERMANENT, ARE NOT PERMITTED WITHIN LANDSCAPE BUFFERS. PUBLIC SIDEWALKS, RETAINING WALLS, FENCES, AND UTILITIES SHALL BE ALLOWED WITHIN THE LANDSCAPE BUFFERS, NATURAL VEGETATION AND VEGETATIVE LANDSCAPING AS APPROVED BY THE CITY OF CHESTERFIELD DURING SITE PLAN REVIEW IS REQUIRED TO BE MAINTAINED AND PRESERVED INDEFINITELY BY THE LEGENDS AT SCHOETTLER POINTE HOMEOWNERS' ASSOCIATION. FAILURE TO MAINTAIN OR PRESERVE LANDSCAPE BUFFERS MAY RESULT IN INSPECTION AND ISSUANCE OF FINES BY THE CITY OF CHESTERFIELD, MISSOURI.

THE RETAINING WALL AND FENCE EASEMENTS, AS SHOWN ON THIS PLAT, ARE HEREBY DEDICATED TO THE LEGENDS AT SCHOETTLER POINTE HOMEOWNERS' ASSOCIATION FOR THE PURPOSE OF CONSTRUCTING, MAINTAINING, AND REPAIRING RETAINING WALLS AND FENCES, WITH THE RIGHT OF TEMPORARY USE OF ADJACENT GROUND NOT OCCUPIED BY IMPROVEMENTS FOR THE EXCAVATION AND STORAGE OF MATERIALS DURING INSTALLATION, REPAIR OR REPLACEMENT OF SAID RETAINING WALLS AND FENCES, AND FOR THE RIGHT OF ACCESS SAID RETAINING WALLS, RETAINING WALLS ARE TO BE MAINTAINED BY THE LEGENDS AT SCHOETTLER POINTE HOMEOWNERS' ASSOCIATION.

THE LEGENDS AT SCHOETTLER POINTE HOMEOWNERS' ASSOCIATION MAY ERECT SUBDIVISION SIGNS/MONUMENTS, LANDSCAPING, AND IRRIGATION WITHIN THE COMMON GROUND, AS SHOWN ON THIS PLAT LABELED "ENTRANCE MONUMENT AREA", WHICH SHALL BECOME THE MAINTENANCE RESPONSIBILITY OF THE LEGENDS AT SCHOETTLER POINTE HOMEOWNERS' ASSOCIATION, AND ITS SUCCESSORS AND ASSIGNS SUBDIVISION SIGNS/MONUMENTS, LANDSCAPING, AND IRRIGATION WITHIN THE ENTRANCE MONUMENT AREA SHALL NOT BE MODIFIED WITHOUT AUTHORIZATION, APPROVAL, AND PERMIT BY THE CITY OF CHESTERFIELD, MISSOURI.

THE METROPOLITAN ST. LOUIS SEWER DISTRICT IS HEREBY GRANTED A GENERAL ACCESS EASEMENT ACROSS ALL OF THE COMMON GROUND FOR INGRESS AND EGRESS PURPOSES TO ACCESS STORM SEWERS, STORMWATER IMPROVEMENTS, AND DRAINAGE FACILITIES LOCATED

THIS SUBDIVISION WILL UTILIZE A LOW PRESSURE SANITARY SEWER SYSTEM CONSISTING OF INDIVIDUAL PRIVATE GRINDER PUMP STATION(S) WITH PRESSURIZED DISCHARGE LATERAL LINE(S) FOR EACH LOT, AND PUBLIC-TYPE COMMON COLLECTOR PRESSURE MAINS, CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT SPECIFICATIONS FOR LOW PRESSURE SEWER SYSTEMS. OWNERSHIP AND MAINTENANCE RESPONSIBILITY FOR INDIVIDUAL GRINDER PUMP STATION(S) AND INDIVIDUAL LATERAL(S) SHALL BELONG TO THE OWNER(S) OF THE RESPECTIVE RESIDENCE/ LOT.

INDIVIDUAL LOT OWNERS UTILIZING SAID INDIVIDUAL PRESERVATION UNITS SHALL BE RESPONSIBLE FOR THEIR INDIVIDUAL PRESSURIZATION UNIT'S COMPLIANCE WITH APPLICABLE CITY/COUNTY/STATE HEALTH AND SANITATION CODES AND ORDINANCES. FAILURE OF THE LOT OWNER TO MAINTAIN AND REPAIR OR REPLACE ANY PART OF THE INDIVIDUAL PRESSURIZATION UNIT AND INDIVIDUAL DISCHARGE SYSTEM IN ACCORDANCE WITH MUNICIPAL, COUNTY, STATE OR THE METROPOLITAN ST. LOUIS SEWER DISTRICT SPECIFICATIONS MAY RESULT IN PLACEMENT OF LIEN ON SUBJECT LOT, AND/OR DISCONTINUANCE OF WATER SERVICE AND/OR DISCONNECTION FROM THE SANITARY SEWER

THE STREAM SETBACKS, AS SHOWN ON THIS PLAT, SHALL PROHIBIT THE CLEARING, GRADING, EXCAVATION OR DISTURBANCE OF ANY KIND EXCEPT AS PERMITTED BY THE CITY OF CHESTERFIELD, MISSOURI.

THE STORMWATER MANAGEMENT RESERVE AREA AS SHOWN ON THIS PLAT IS HEREBY ESTABLISHED FOR THE REQUIRED STORMWATER MANAGEMENT FEATURES, ALSO KNOWN AS BMP(S) (BEST MANAGEMENT PRACTICES). THE RESERVE AREA HEREBY ESTABLISHED IS IRREVOCABLE AND SHALL CONTINUE FOREVER, SUBJECT TO A "MAINTENANCE AGREEMENT" EXECUTED ON THE 5TH DAY OF MAY, 2023, AND RECORDED ON THE 15TH DAY OF MAY, 2023 IN DOCUMENT NO. 2023051500478 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, OR AS

THE LEGENDS AT SCHOETTLER POINTE HOMEOWNERS' ASSOCIATION SHALL BE OBLIGATED TO MAINTAIN, REPAIR, CONSTRUCT, IMPROVE AND OPERATE THE STORMWATER MANAGEMENT RESERVE AREA SHOWN ON THIS PLAT AND THE DETENTION FACILITIES, STORMWATER BEST MANAGEMENT PRACTICES, INCLUDING, BUT NOT LIMITED TO, PRIVATE SEWERS AND PRIVATE STORMWATER IMPROVEMENTS CONSTRUCTED THEREON AS PER THE MSD APPROVED STORMWATER MANAGEMENT FACILITIES REPORT (22MSD-00463).

THE STORMWATER MANAGEMENT RESERVE AREA ACCESS EASEMENT, AS SHOWN ON THIS PLAT, IS HEREBY DEDICATED TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT, ITS SUCCESSORS AND ASSIGNS FOR THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF ACCESSING THE STORMWATER MANAGEMENT RESERVE AREA

ALL CENTRAL BOX UNITS/ MAIL KIOSKS AND ASSOCIATED APPURTENANCES LOCATED WITHIN THE COMMON GROUND SHALL BE OWNED, OPERATED, AND MAINTAINED BY THE LEGENDS AT SCHOETTLER POINTE HOMEOWNERS' ASSOCIATION.

NO ABOVE GROUND STRUCTURE, OTHER THAN REQUIRED STREET LIGHTS OR OTHER PUBLIC UTILITIES IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS MAY BE CONSTRUCTED OR INSTALLED WITHIN A CUL-DE-SAC ISLAND, DIVIDED STREET ISLAND, OR MEDIAN STRIP, WITHOUT AUTHORIZATION AND APPROVAL BY THE CITY OF CHESTERFIELD THROUGH THE ISSUANCE OF A SPECIAL USE PERMIT. MAINTENANCE OF ANY VEGETATION, LANDSCAPING AND IRRIGATION LOCATED WITHIN A CUL-DE-SAC ISLAND, DIVIDED STREET ISLAND, OR MEDIAN STRIP SHALL BE THE RESPONSIBILITY OF THE LEGENDS AT SCHOETTLER POINTE HOMEOWNERS' ASSOCIATION.

THE COMMON GROUND SHOWN ON THIS PLAT HAS BEEN CONVEYED FOREVER TO THE LEGENDS AT SCHOETTLER POINTE HOMEOWNERS' ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, BY GENERAL WARRANTY DEED RECORDED THE \_\_\_\_\_\_ DAY OF \_, 2024 AS DAILY NO.\_\_\_\_\_\_ IN THE ST. LOUIS COUNTY RECORDS.

THIS SUBDIVISION IS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN THE LEGENDS AT SCHOETTLER POINTE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FILED ON THE \_\_\_\_\_\_ DAY OF \_\_\_\_\_\_, 2024 AS DAILY

IN THE ST. LOUIS COUNTY RECORDS, OR AS AMENDED THEREAFTER.

BUILDING LINES AS SHOWN ON THIS PLAT ARE HEREBY ESTABLISHED.

IT IS HEREBY CERTIFIED THAT THERE ARE NO DELINQUENT TAXES OUTSTANDING. IT IS HEREBY CERTIFIED THAT ALL EXISTING EASEMENTS ARE SHOWN OR NOTED ON THIS PLAT AS OF THE TIME AND DATE OF RECORDING OF

THE UNDERSIGNED OWNER IS NOW THE OWNER OF THE DOMINATE AND SUBSERVIENT ESTATES IN REGARD TO THE PRIVATE ROADWAY EASEMENT KNOWN AS "HAY BARN LANE" RECORDED IN PLAT BOOK 179 PAGE 77 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, AS SHOWN HONEYCOMB HATCHED ( BESSESSE) ON SHEET 1 OF THIS PLAT, AND THROUGH THE MERGER OF SAID ESTATES, NO LONGER REQUIRES SAID PRIVATE ROADWAY EASEMENT, AND SAID PRIVATE ROADWAY EASEMENT, AND SAID PRIVATE ROADWAY EASEMENT SHALL BECOME NULL AND VOID WITH NO FURTHER ACTION REQUIRED.

IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND THIS \_\_\_\_\_\_ DAY OF \_\_\_\_\_\_, 2024.

LOMBARDO HOMES OF ST. LOUIS, LLC

SCOTT GURGANUS AUTHORIZED REPRESENTATIVE

STATE OF MISSOURI

COUNTY OF ST. CHARLES

MY COMMISSION EXPIRES:

2024, BEFORE ME PERSONALLY APPEARED SCOTT GURGANUS, TO ME PERSONALLY KNOWN, WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS THE AUTHORIZED REPRESENTATIVE OF LOMBARDO HOMES OF ST. LOUIS, LLC, A LIMITED LIABILITY COMPANY OF THE STATE OF MICHIGAN, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID LIMITED LIABILITY COMPANY, AND SAID SCOTT GURGANUS ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID LIMITED

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL IN THE COUNTY AND STATE AFORESAID, THE DAY

5055 New Baumgartner Road St. Louis, Missouri 63129

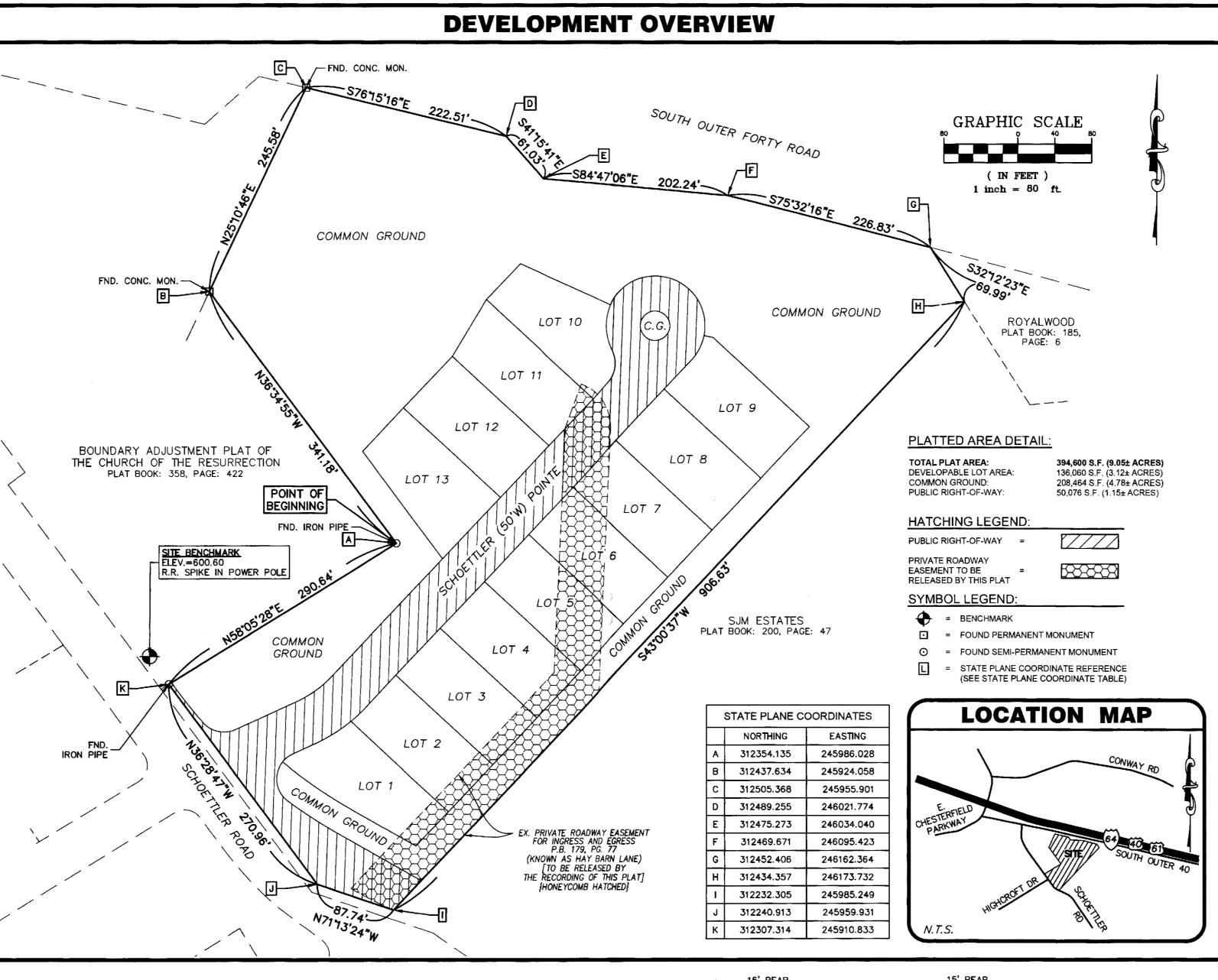
Ph. 314-487-0440 Fax 314-487-8944

NOTARY PUBLIC

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DRAWN BY:	GFS	MSD P# - 22MSD-00463
CHECKED BY:	JAH	DATE: DEC. 11, 2023
JOB NO.:	22-04-134	LEGENDS AT SCHOETTLER POINTE

# LEGENDS AT SCHOETTLER POINTE

A TRACT OF LAND BEING LOTS 1 AND 3 OF HAY BARN LANE (P.B. 179, PG. 77) AND LOTS 1, 2, AND 3 OF HAY WAIN (P.B. 192, PG. 1), LOCATED IN U.S. SURVEYS 370 AND 1978, TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI ZONED "PUD" PLANNED UNIT DEVELOPMENT ACCORDING TO THE CITY OF CHESTERFIELD ORDINANCE NO. 3191

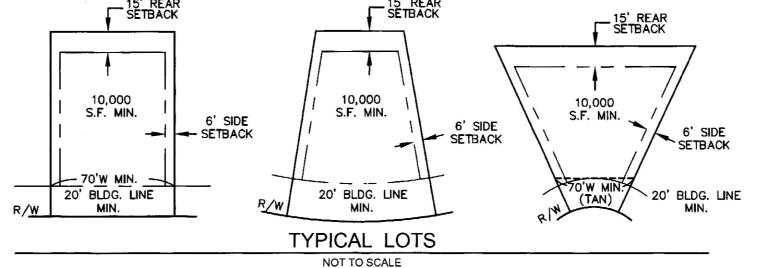


## \_\_\_\_\_, BY A DEED OF TRUST DATED \_\_\_\_\_\_, 20\_\_\_\_AND RECORDED IN DOCUMENT NO. \_\_\_\_\_\_ OF THE ST. LOUIS COUNTY RECORDS, CONVEYED TO THE TRUSTEE THEREIN NAMED CERTAIN REAL ESTATE TO SECURE THE PAYMENT OF CERTAIN NOTE OR NOTES IN SAID DEED DESCRIBED AND SET FORTH; AND WHEREAS, SAID DEED OF TRUST AND NOTE OR NOTES HAS OR HAVE BEEN PARTIALLY PAID AND SATISFIED. NOW THEREFORE, THE UNDERSIGNED, PRESENT HOLDER AND LEGAL OWNER OF SAID DEED OF TRUST AND NOTE OR NOTES, DOES HEREBY JOIN IN AND APPROVE IN EVERY DETAIL THIS PLAT AND DOES HEREBY REMISE. RELEASE AND QUITCLAIM UNTO THE PRESENT OWNERS, PART OF THE REAL ESTATE IN SAID DEED OF TRUST DESCRIBED, TO WIT: ALL COMMON GROUND OR COMMON OPEN SPACE, AND ALL STREETS, TO HAVE AND TO HOLD SAME, WITH ALL APPURTENANCES THERETO BELONGING FREE, CLEAR AND DISCHARGED FROM THE ENCUMBRANCE OF IN WITNESS THEREOF, THE UNDERSIGNED HAS EXECUTED THESE PRESENTS THIS \_\_\_\_\_\_ DAY OF \_\_\_\_\_\_. 2024 STATE OF MISSOURI ON THIS \_\_\_\_\_\_ DAY OF \_\_\_\_\_\_, 2024, BEFORE ME APPEARED \_\_\_ ME PERSONALLY KNOWN, WHO BEING BY ME DULY SWORN, DID SAY HE/SHE IS THE \_\_\_ THAT SAID INSTRUMENT WAS SIGNED AND SEALED ON BEHALF OF SAID ASSOCIATION AND SAID ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID ASSOCIATION. IN TESTIMONY WHEREOF, I HAVE HEREWITH SET MY HAND AND AFFIXED MY NOTARIAL SEAL IN THE COUNTY AND STATE AFORESAID. THE DAY

LIENHOLDER - PARTIAL RELEASE OF DEED OF TRUST:

AND YEAR FIRST ABOVE WRITTEN

MY COMMISSION EXPIRES:



## CITY OF CHESTERFIELD:

THIS IS TO CERTIFY THAT THE RECORD PLAT OF "LEGENDS AT SCHOETTLER POINTE" WAS APPROVED BY THE CITY COUNCIL FOR THE CITY OF CHESTERFIELD BY ORDINANCE NO. \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_\_, 2024 AND THEREBY AUTHORIZES THE RECORDING OF THIS RECORD PLAT WITH THE OFFICE OF THE ST. LOUIS COUNTY RECORDER OF DEEDS.

VICKIE McGOWND, CITY CLERK

## STATEMENT OF STATE PLANE COORDINATE TIE:

STATE PLANE COORDINATES WERE DETERMINED ON MAY 3, 2022 USING TRIMBLE REAL-TIME KINEMATIC GPS HARDWARE FROM THE PROJECT SITE TO A CONTINUOUSLY OPERATING REFERENCE STATION (CORS) WITH AN ID OF MOSI AND A PID OF DL3650 HAVING PUBLISHED MISSOURI STATE PLANE (EAST ZONE) 2011 COORDINATE VALUES OF NORTH (Y) = 302843.569 METERS AND EAST (X) = 253367.387 METERS. COMBINED GRID FACTOR = 0.999909556 (1 METER = 3.28083333 FEET)

#### SURVEYOR'S NOTES

- THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PLAT AND DISCLAIMS (PURSUANT TO SECTION 327.41 RSMO) ANY RESPONSIBILITY FOR PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PLAT APPEARS.
- 2. THIS PLAT CONTAINS 394,600 SQUARE FEET (9.05 ACRES MORE OR LESS), AND A TOTAL OF 13 LOTS.
- 3. ALL BEARINGS AND DISTANCES ARE AS SURVEYED (S) UNLESS NOTED OTHERWISE, (R) DENOTES RECORD INFORMATION.
- 4. THE SUBJECT TRACT IS CURRENTLY ZONED "PUD" PLANNED UNIT DEVELOPMENT ACCORDING TO THE CITY OF CHESTERFIELD, MISSOURI ORDINANCE NO. 3191, APPROVED ON APRIL 19, 2022. SEE TYPICAL LOT DIAGRAMS FOR INDIVIDUAL LOT ZONING RESTRICTIONS.
- 5. BASIS OF BEARINGS: MISSOURI COORDINATE SYSTEM OF 1983, EAST ZONE, GRID NORTH. 6. SOURCE OF RECORD TITLE: GENERAL WARRANTY DEED TO LOMBARDO HOMES OF ST. LOUIS, LLC. RECORDED IN DOCUMENT NO.
- 2022090100726 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS. SUBJECT TRACT IS LOCATED IN FLOOD ZONE "X" (UNSHADED) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM. FLOOD INSURANCE RATE MAP FOR ST. LOUIS COUNTY, MISSOURI, AND INCORPORATED AREAS ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 29189C0170K EFFECTIVE FEBRUARY 4, 2015.
- FLOOD ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. NO DEVELOPABLE LOTS CREATED BY THIS PLAT ARE LOCATED WITHIN A FLOODWAY AT THE TIME OF RECORDING.
- PERMANENT MONUMENTS WILL BE SET IN ONE YEAR FROM DATE OF RECORDING OR WHEN FINAL GRADING IS COMPLETE.
- SEMI-PERMANENT MONUMENTS WILL BE SET IN ONE YEAR FROM DATE OF RECORDING OR WHEN PAVEMENT IS INSTALLED FOR EASEMENTS, THE STERLING COMPANY HAS USED, EXCLUSIVELY, A TITLE COMMITMENT BY SYNERGY TITLE, AS AGENT FOR FIDELITY
- NATIONAL TITLE INSURANCE COMPANY, COMMITMENT FILE NO. SYN2015156, AND AN EFFECTIVE DATE OF DECEMBER 1, 2020 AT 8:00 AM. THE NOTES REGARDING SCHEDULE B, PART II OF SAID COMMITMENTS ARE AS FOLLOWS:

GENERAL EXCEPTIONS WITH NO COMMENT BY SURVEYOR.

- BUILDING SETBACK LINES, EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 179 PAGE 77, AND PLAT BOOK 192 PAGE 1 INCLUDING PROVISIONS FOR SUBDIVISION ASSESSMENTS ACCORDING TO THE RECORDED PLAT. THE PRIVATE ROADWAY OF HAY BARN LANE, GRANTED BY PLAT BOOK 179 PAGE 77 IS RELEASED BY THE RECORDING OF THIS PLAT. BUILDING LINES CONTAINED WITHIN PLAT BOOK 179 PAGE 77 AND PLAT BOOK
- 192 PAGE 1 ARE SUPERCEDED BY THE CITY OF CHESTERFIELD, MISSOURI ZONING ORDINANCE NO. 3191 AND THE
- UTILITY RIGHTS GRANTED BY PLAT BOOK 179, PAGE 77 ARE PARTIALLY RELEASED BY THE FOLLOWING INSTRUMENTS REMAINING UTILITY RIGHTS AFFECT THE SUBJECT TRACT:
- UNION ELECTRIC COMPANY D/B/A AMEREN MISSOURI (DOCUMENT NO. 2023091400189) CHARTER COMMUNICATIONS ENTERTAINMENT I, LLC "CHARTER": (DOCUMENT NO. 2023081500206)
- MISSOURI-AMERICAN WATER COMPANY (DOCUMENT NO. 2023081500208 METROPOLITAN ST. LOUIS SEWER DISTRICT (DOCUMENT NO. 2023081700268)
- SPIRE MISSOURI INC. (DOCUMENT NO. 2023041300065) AT&T (DOCUMENT NO
- CITY OF CHESTERFIELD (DOCUMENT NO. UTILITY RIGHTS GRANTED BY PLAT BOOK 192, PAGE 1 ARE RELEASED BY THE FOLLOWING INSTRUMENTS AND NO LONGER
- UNION ELECTRIC COMPANY D/B/A AMEREN MISSOUIR (DOCUMENT NO. 2023092500195)
- MISSOURI-AMERICAN WATER COMPANY (DOCUMENT NO. 2023081500207)

- METROPOLITAN ST. LOUIS SEWER DISTRICT (DOCUMENT NO. 2023081600074)
- RESTRICTIONS CONTAINED IN THE INSTRUMENT RECORDED IN BOOK 4074 PAGE 620 AND BOOK 7049 AT PAGE 484 AND AS FURTHER AMENDED. BOOK 4074 PAGE 620 RESTRICTS HOMES ON THE SUBJECT TRACT TO A MINIMUM SALES PRICE OF \$25,000.00. BOOK 7049 PAGE 484 AMENDS THE RESTRICTION CONTAINED IN BOOK 6680 PAGE 2091 OF THE ST. LOUIS COUNTY.
  - MISSOURI RECORDS, TO REMOVE THE 3 ACRE MINIMUM AREA RESTRICTION FOR LOTS CONTAINED WITHIN PLAT BOOK 179 PAGE 77 AND PLAT BOOK 192 PAGE 1. RESTRICTIONS ARE TO BE SUPERCEDED BY THE RECORDING OF THIS PLAT.
- NOTE: BOOK 6680 PAGE 2091 WAS REFERENCED IN BOOK 7049 PAGE 484 AND ON PLAT BOOK 179 PAGE 77, BUT WAS NOT NOTED IN THE ABOVEMENTIONED TITLE COMMITMENT AND AFFECTS THE SUBJECT TRACT. EASEMENT GRANTED TO ST. LOUIS COUNTY WATER COMPANY, AS MORE FULLY SET FORTH IN THE INSTRUMENT RECORDED
- IN BOOK 6760 AT PAGE 1832, RELEASED BY INSTRUMENT RECORDED IN DOCUMENT NO. 2023081500209 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, AND NO LONGER AFFECTS THE SUBJECT TRACT EASEMENT GRANTED TO METROPOLITAN ST. LOUIS SEWER DISTRICT, AS MORE FULLY SET FORTH IN THE INSTRUMENT
- RECORDED IN BOOK 10208 AT PAGE 2268. AFFECTS THE SUBJECT TRACT AS SHOWN HEREON. EASEMENT GRANTED TO FEE FEE TRUNK SEWER INC., AS MORE FULLY SET FORTH IN THE INSTRUMENT RECORDED IN BOOK 4366 AT PAGE 267. SAID INSTRUMENT REFERENCES AN "EASEMENT DRAWING TO BE FURNISHED ON SURVEY", WHICH WAS
- NOT ATTACHED TO SAID INSTRUMENT. THE LOCATION OF SAID EASEMENT WAS NOT DETERMINED LIMITATION OF RIGHTS OF DIRECT ACCESS BY INSTRUMENT RECORDED IN BOOK 5474 PAGE 331 AND ALSO IN BOOK 6709
- PAGE 2084. LIMITS RIGHTS OF DIRECT ACCESS TO HIGHWAY 40, AND RETAINS RIGHTS OF DIRECT ACCESS TO THE OUTER TERMS AND PROVISIONS OF THE TEMPORARY SLOPE AND CONSTRUCTION LICENSE TO HUFTON CONSTRUCTION COMPANY
- RECORDED IN BOOK 10184 AT PAGE 1287. EASEMENT APPEARS TO HAVE EXPIRED AND NO LONGER AFFECTS THE SUBJECT RIGHTS OF OTHERS, ENTITLED THERETO, IN AND TO THAT PORTION OF THE SUBJECT PROPERTY EMBRACED WITHIN THE
- RIGHT OF WAY OF HAY BARN LANE, A PRIVATE ROADWAY. HAY BARN LANE IS RELEASED BY THE RECORDING OF THIS PLAT. ITEMS 16-20: GENERAL EXCEPTIONS WITH NO COMMENT BY SURVEYOR.

## PROPERTY DESCRIPTION (OVERALL DEVELOPMENT)

A TRACT OF LAND BEING ALL OF LOTS 1 AND 3 OF HAY BARN LANE, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 179 PAGE 77 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, AND ALL OF LOTS 1, 2, AND 3 OF HAY WIN, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 192 PAGE 1 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, LOCATED IN U.S. SURVEYS 370 AND 1978, TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AN BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIPE FOUND ON THE EAST-MOST CORNER OF ADJUSTED PARCEL 1 OF "BOUNDARY ADJUSTMENT PLAT OF THE CHURCH OF THE RESURRECTION", A SUBDIVISION RECORDED IN PLAT BOOK 358 PAGE 422 OF THE ABOVEMENTIONED RECORDS: THENCE ALONG THE EAST LINE OF SAID ADJUSTED PARCEL 1, NORTH 36°34'55" WEST, 341.18 FEET TO A FOUND CONCRETE MONUMENT; THENCE CONTINUING ALONG SAID EAST LINE, NORTH 25°10'46"/EAST, 245.58 FEET TO A FOUND CONCRETE MONUMENT ON THE NORTHEAST CORNER OF SAID ADJUSTED PARCEL 1. SAID MONUMENT BEING LOCATED ON THE SOUTH RIGHT-OF-WAY LINE OF SOUTH OUTER FORTY ROAD (VARIABLE WIDTH): THENCE PROCEEDING ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID SOUTH OUTER FORTY ROAD, THE FOLLOWING COURSES AND DISTANCES: SOUTH 76°15'16" EAST, 222.51 FEET; SOUTH 41°45'41" EAST, 61.03 FEET; SOUTH 84°47'06" EAST, 202.24 FEET; AND SOUTH 75°32'16" EAST, 226.83 FEET TO THE WEST-MOST CORNER OF THE COMMON GROUND OF "ROYALWOOD", A SUBDIVISION RECORDED IN PLAT BOOK 185 PAGE 6 OF THE ABOVEMENTIONED RECORDS; THENCE ALONG THE SOUTHWEST LINE OF THE COMMON GROUND OF SAID "ROYALWOOD" SUBDIVISION, SOUTH 32 12 23" EAST, 69 9 FEET TO THE NORTH-MOST CORNER OF LOT 1 OF "SJM ESTATES", A SUBDIVISION RECORDED IN PLAT BOOK 200 PAGE 47 OF THE ABOVEMENTIONED RECORDS; THENCE ALONG THE NORTHWEST LINE OF SAID LOT 1, SOUTH 43°00'37" WEST, 906.63 FEET TO A POINT ON THE NORTHEAST RIGHT-OF-WAY LINE OF SCHOETTLER ROAD (VARIABLE WIDTH); THENCE PROCEEDING ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF SAID SCHOETTLER ROAD NORTH 71°13'24" WEST, 87.74 FEET; THENCE CONTINUING ALONG SAID NORTHEAST RIGHT-OF-WAY LINE NORTH 36°28'47" WEST, 270.96 FEET TO A FOUND IRON PIPE LOCATED ON THE SOUTH LINE OF ADJUSTED PARCEL 1 OF THE ABOVEMENTIONED "BOUNDARY ADJUSTMENT PLAT OF THE CHURCH OF THE RESURRECTION; THENCE ALONG THE SOUTH LINE OF SAID ADJUSTED PARCEL 1, NORTH 58°05'28" EAST, 290:64 FEET TO THE POINT OF BEGINNING, AND CONTAINING 394,600 SQUARE FEET (9.05 ACRES MORE OR LESS), ACCORDING TO A SURVEY PERFORMED BY THE STERLING COMPANY DURING THE MONTH OF MAY, 2022, UNDER ORDER NUMBER 22-04-134.

## BENCHMARKS:

## PROJECT BENCHMARK #1:

## ST. LOUIS COUNTY BM 12358 <u>ELEVATION = 614.15'</u> (NAVD 88)

CUT CIRCLE MARK ON TOP OF AND EAST OF THE CENTER OF A 6 FOOT DIAMETER CIRCULAR CONCRETE STORM WATER JUNCTION CHAMBER SITUATED WEST OF SCHOETTLER ROAD AND MORTH OF OAKTREE ESTATES DRIVE, 0.1 MILES MORE OR LESS SOUTH OF SOUTH OUTER FORTY ROAD: ROUGHLY 2 FEET WEST OF THE CURB OF SCHOETTLER ROAD, 30 FEET WEST OF THE CENTER OF SCHOETTLER ROAD, AND 60 FEET NORTH OF THE CENTER OF OAKTREE ESTATES DRIVE. (SHOWN HEREON) PROJECT BENCHMARK #2:

## ST. LOUIS COUNTY BM 12340 ELEVATION = 636.80' (NAVD 88)

CUT "L" ON THE SOUTHERNMOST CORNER OF THE CONCRETE BASE FOR METAL TRAFFIC SIGNAL CONTROL BOX, ABOVE THE NORTHWEST BACK OF SIDEWALK, NORTHWEST OF THE RIGHT TURN LANE FROM SOUTHBOUND SCHOETTLER VALLEY DRIVE ONTO THE WESTBOUND LANES OF THE SOUTHERN PART OF CHESTERFIELD PARKWAY EAST (ie: SOUTH OF INTERSTATE 64); ROUGHLY 45 FEET WEST OF THE CENTERLINE OF SCHOETTLER VALLEY DRIVE AND 60 FEET NORTH OF THE CENTERLINE OF CHESTERFIELD PÄRKWAY EAST.

## SITE BENCHMARK: ELEVATION = 600.60' (NAVD 88)

"RAILROAD SPIKE" IN POWER POLE ON THE EASTERN SIDE OF SCHOETTLER ROAD, 31 FEET NORTHEAST OF THE CENTERLINE OF SCHOETTLER ROAD, 133 FEET NORTHWEST OF THE CENTERLINE OF HIGHCROFT DRIVE, 249 FEET SOUTHEAST OF THE CENTERLINE OF CHESTERFIELD PINES LANE. (SHOWN HEREON)

SURVEYOR'S CERTIFICATION

ORDER NUMBER: 22-04-134 THE STERLING COMPANY 5055 NEW BAUMGARTNER ROAD ST. LOUIS, MISSOURI 63129 PHONE: (314) 487-0440

PREPARED FOR: LOMBARDO HOMES OF ST. LOUIS, LLC 4 RESEARCH PARK DRIVE, SUITE 130 ST, CHARLES, MISSOURI 63304

PH. (636) 265-2710

THIS IS TO CERTIFY TO LOMBARDO HOMES OF ST. LOUIS, LLC THAT WE HAVE, DURING THE MONTH OF MAY, 2022, PERFORMED A BOUNDARY SURVEY OF "A TRACT OF LAND BEING LOTS 1 AND 3 OF HAY BARN LANE (PLAT BOOK 179, PAGE 77) AND LOTS 1, 2, AND 3 OF HAY WAIN (PLAT BOOK 192, PAGE 1), LOCATED IN U.S. SURVEYS 370 AND 1978, TOWNSHIP 45 NORTH RANGE 4 EAST, FIFTH PRINCIPAL MERIDIAN. CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI", AND BASED UPON SAID SURVEY HAVE SUBDIVIDED SAID TRACT OF LAND IN THE MANNER SHOWN HEREON. THIS PLAT AND THE SURVEY ON WHICH IT IS BASED MEETS OR EXCEEDS THE "MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS AN "URBAN" CLASS PROPERTY IN EFFECT AT THE DATE OF THIS PLAT.

THE STERLING COMPANY

