

Planning Commission Staff Report

Meeting Date: January 22, 2024

From: Shilpi Bharti, Planner *SB*

Location: South side of Outer 40 Road and east side of Schoettler Road

Description: **Legends at Schoettler Pointe** : A Record Plat for a 9-acre tract of land zoned “PUD” Planned Unit Development located on the south side of Outer 40 Road and east side of Schoettler Road (19S640152 & 19S640657).

SUMMARY

Lombardo Homes of St. Louis, LLC has submitted a Record Plat for a 9-acre tract of land zoned “PUD” Planned Unit Development to establish 13 single-family lots known as Legends at Schoettler Pointe. The site is accessed by Schoettler Road located southwest of the subject site. South Outer 40 Road runs along the north side of the property.

SITE HISTORY

The subject property was zoned “NU” Non-Urban District and “R1” Residential District by St. Louis County prior to the incorporation of the City of Chesterfield. In 2022, the site was rezoned to “PUD”-Planned Unit Development. The current ordinance governing the site is Ordinance 3191. In 2023, a Site Development Plan, Landscape Plan, and Tree Preservation Plan were approved by the Planning Commission. The Improvement plan for the subdivision was approved in 2023, and grading permit is issued for the site.



Figure 1: Subject Site Aerial

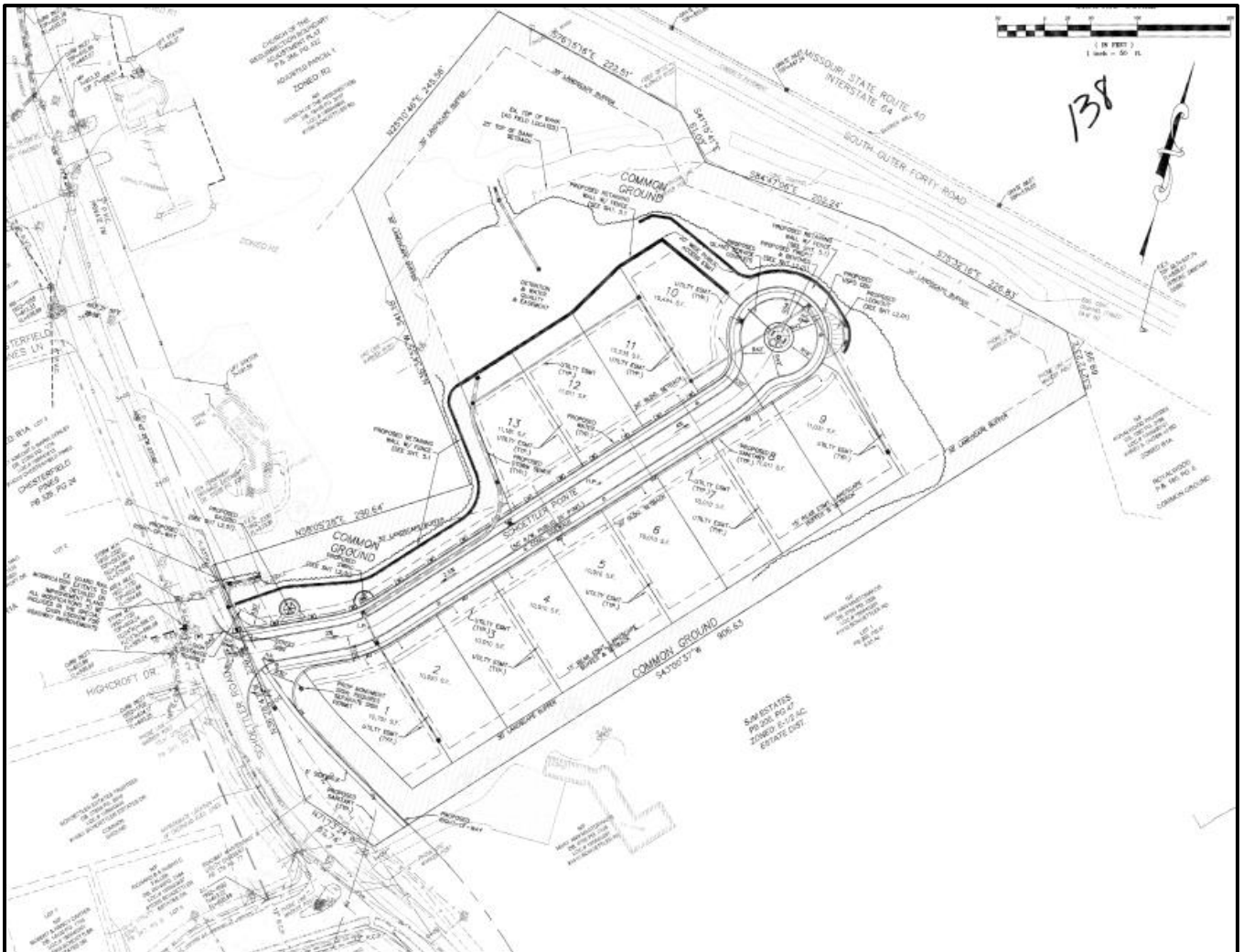


Figure 2: Approved Site Development Plan

STAFF ANALYSIS

A Record Plat establishes lots, common grounds, easements, and road right-of-way. Once a plat is recorded, the new lots may be sold to individual owners. Record Plat of the Legends at Schoettler Pointe Development would establish 13 lots, common grounds and the public road Schoettler Pointe. The submitted Record Plat is in the same lot configuration that exists in the recently approved Site Development Plan.

The applicant is required to execute Subdivision Improvement Construction Deposit agreements and Subdivision Improvement Maintenance Deposit agreements, along with the associated sureties prior to the acceptance of the Record Plats. The deposits include the improvements and portion of improvements necessary to support the required items in each plat. The estimates should include but not be limited to streets, sidewalk, storm sewer, sanitary sewer, detention, grading, sediment and erosion control, streetlights, street signs, water mains, common ground seeding/sodding, and amenities. As per the UDC, in any case where the establishment of common

ground land, private streets, streetlighting, drainage facilities, or any other improvement that requires continuous maintenance, a trust indenture shall be recorded simultaneously with the record plat. The indenture shall provide for proper maintenance and supervision by the trustees who are selected to act in accordance with the terms of such indenture.

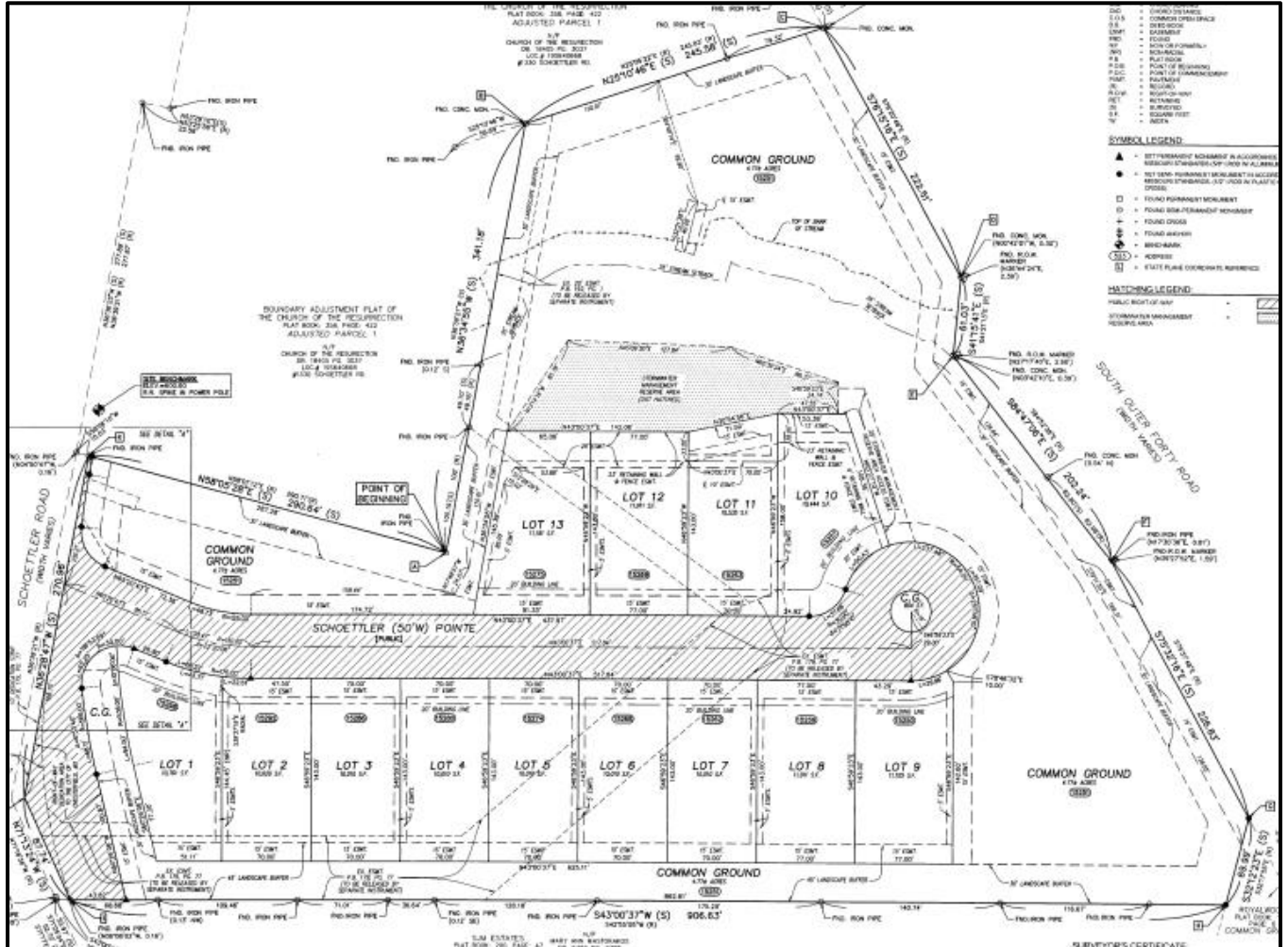


Figure 3: Record Plat

STAFF RECOMMENDATION

Staff has reviewed the submittal and has found the application to be in conformance with the approved Site Development Plan, site specific ordinance, and the City of Chesterfield Unified Development Code. Staff recommends approval of Record Plat of the Legends at Schoettler Pointe development.

MOTION

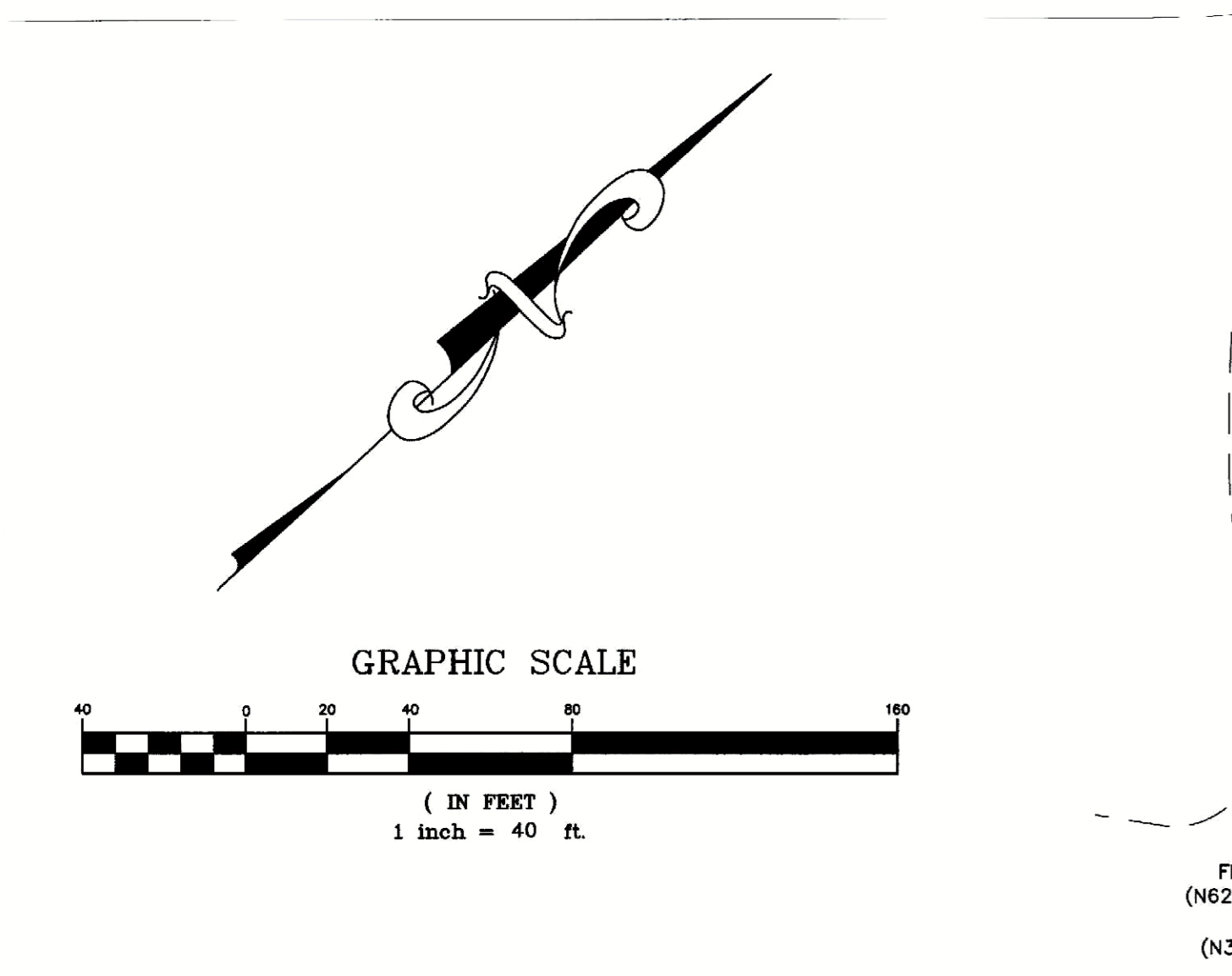
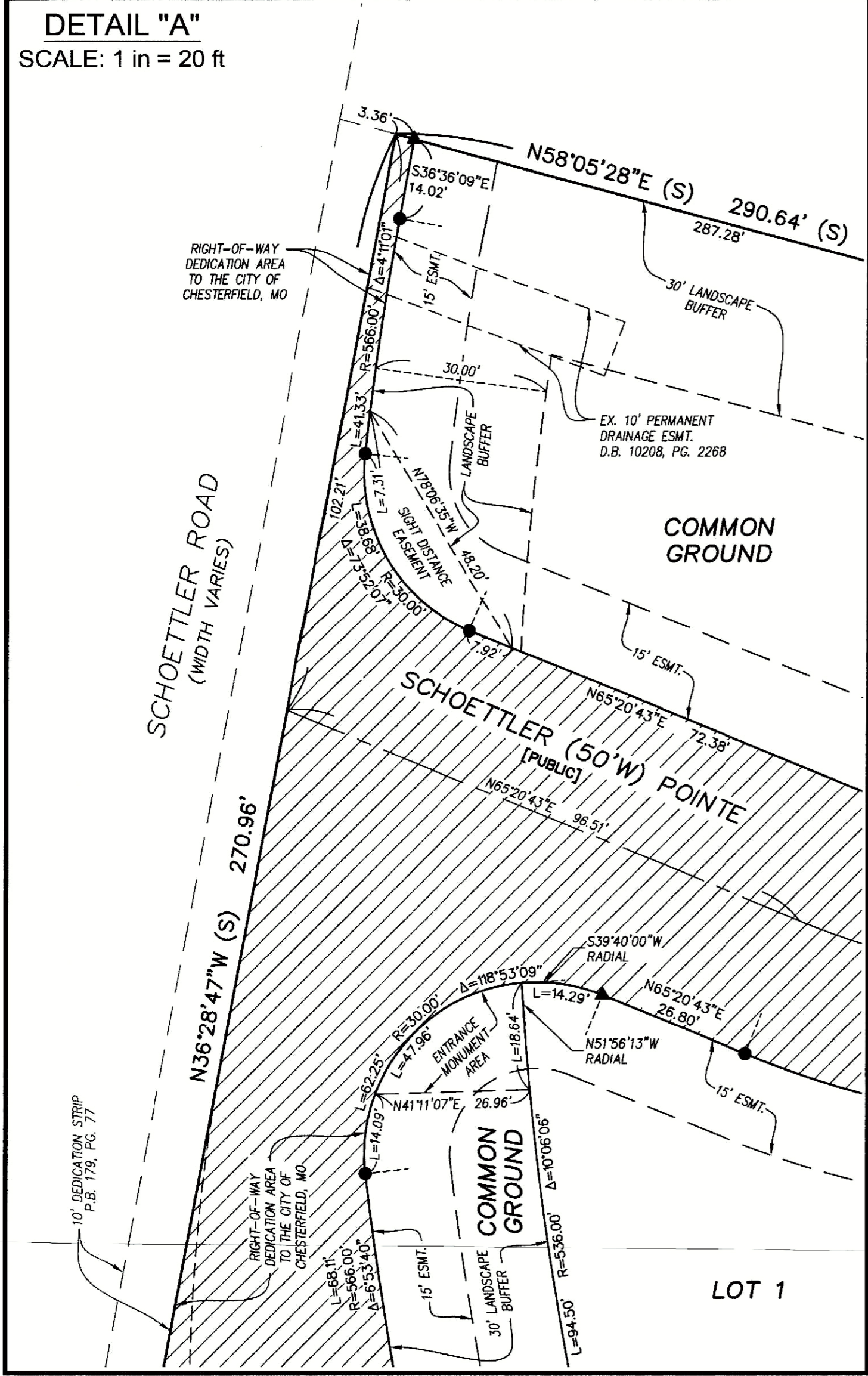
The following options are provided to the Planning Commission for consideration relative to the application:

- 1.) "I move to approve (or deny) Record Plat of the Legends at Schoettler Pointe subdivision."

2.) "I move to approve the Record Plat of the Legends at Schoettler Pointe subdivision the Legends at Schoettler Pointe subdivision with the following conditions..." (Conditions may be added, eliminated or modified)

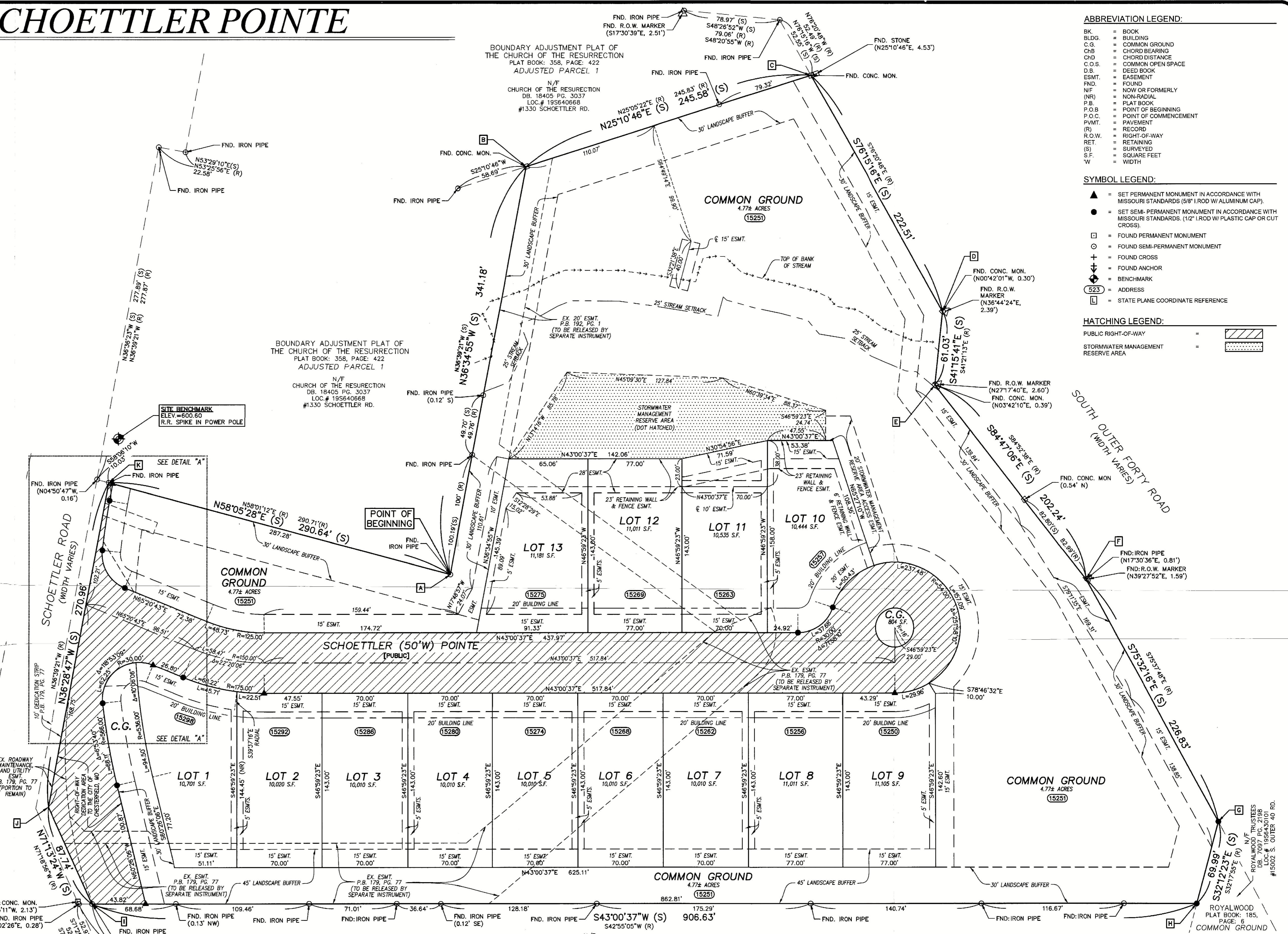
Attachments
1. Record Plat

LEGENDS AT SCHOETTLER POINTE



THE STERLING CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph. 314-487-0440 Fax 314-487-8944
www.sterling-eng-sur.com

DRAWN BY:	GFS	MSD P# - 22MSD-00463
CHECKED BY:	JAH	DATE: DEC. 11, 2023
JOB NO.:	22-04-134	LEGENDS AT SCHOETTLER POINTE



- ABBREVIATION LEGEND:**
- BK = BOOK
 - BLDG = BUILDING
 - C.G. = COMMON GROUND
 - ChB = CHORD BEARING
 - ChD = CHORD DISTANCE
 - C.O.S. = COMMON OPEN SPACE
 - D.B. = DEED BOOK
 - ESMT. = EASEMENT
 - FND. = FOUND
 - N/F = NOW OR FORMERLY
 - (NR) = NON-RADIAL
 - P.B. = PLAT BOOK
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - P.V.M.T. = PAVEMENT
 - R. = RECORD
 - R.O.W. = RIGHT-OF-WAY
 - RET. = RETAINING
 - (S) = SURVEYED
 - S.F. = SQUARE FEET
 - W. = WIDTH
- SYMBOL LEGEND:**
- ▲ = SET PERMANENT MONUMENT IN ACCORDANCE WITH MISSOURI STANDARDS (5/8" I.R.O.D. W/ ALUMINUM CAP)
 - = SET SEMI-PERMANENT MONUMENT IN ACCORDANCE WITH MISSOURI STANDARDS (1/2" I.R.O.D. W/ PLASTIC CAP OR CUT CROSS)
 - = FOUND PERMANENT MONUMENT
 - = FOUND SEMI-PERMANENT MONUMENT
 - +
 - +
 - +
 - ⊕ = FOUND CROSS
 - ⊕ = FOUND ANCHOR
 - ⊕ = BENCHMARK
 - ⊕ = ADDRESS
 - ⊕ = STATE PLANE COORDINATE REFERENCE
- HATCHING LEGEND:**
- Public Right-of-Way
 - Stormwater Management Reserve Area

SURVEYOR'S CERTIFICATE:
SEE SHEET 1 OF 2 FOR CERTIFICATION.

THE STERLING COMPANY
MO REG. 307-D

JAMES A. HENSON
PROFESSIONAL LAND SURVEYOR
NUMBER PLS-2007017963

12/19/2023
JAMES A. HENSON, P.L.S. - VICE PRESIDENT
MO. REG. L.S. #2007017963

SHEET 2 OF 2