

Planning Commission Staff Report

Project type:	Amended Site Development Section Plan
Meeting Date:	November 27, 2023
From:	Shilpi Bharti, Planner <i>SB</i>
Location:	16658 Old Chesterfield Road.
Description:	Burkhardt Place, Lot 11: An Amended Site Development Section Plan, Landscape Plan, and Amended Architectural Elevations for an office building located on a 0.32 acre tract of the Historical District, located on the south side of Old Chesterfield Road, zoned “PC”- Planned Commercial District with Landmark Preservation area.

PROPOSAL SUMMARY

MJ Hennessy, LLC has submitted an Amended Site Development Section Plan, Landscape Plan, and Amended Architectural Elevations for an existing office building located in a Historical District.

Proposed Development includes:

- 172 square feet of building addition
- Rebuild existing porch
- 11 parking spaces
- Landscape Plan



Figure 1: Subject Location

HISTORY OF SUBJECT SITE

The site is located at Burkhardt Place subdivision of the City of Chesterfield. The subdivision consists of 10 total lots. The subject site is shown in Figure 1. The subdivision is the Historic District registered under National Register of Historic Places. The structure on lot 11 is a non-contributing structure as noted in the National Register of Historic Places. The subdivision was zoned “NU” – Non-Urban District prior to the City’s incorporation. In 1999, the site was rezoned to “PC”- Planned Commercial District following the

ordinance 1565 and also approving a Landmark Preservation Area (LPA). In 2000, the ordinance was amended to revise the parking setbacks. The current ordinance governing the site is Ordinance 1618.

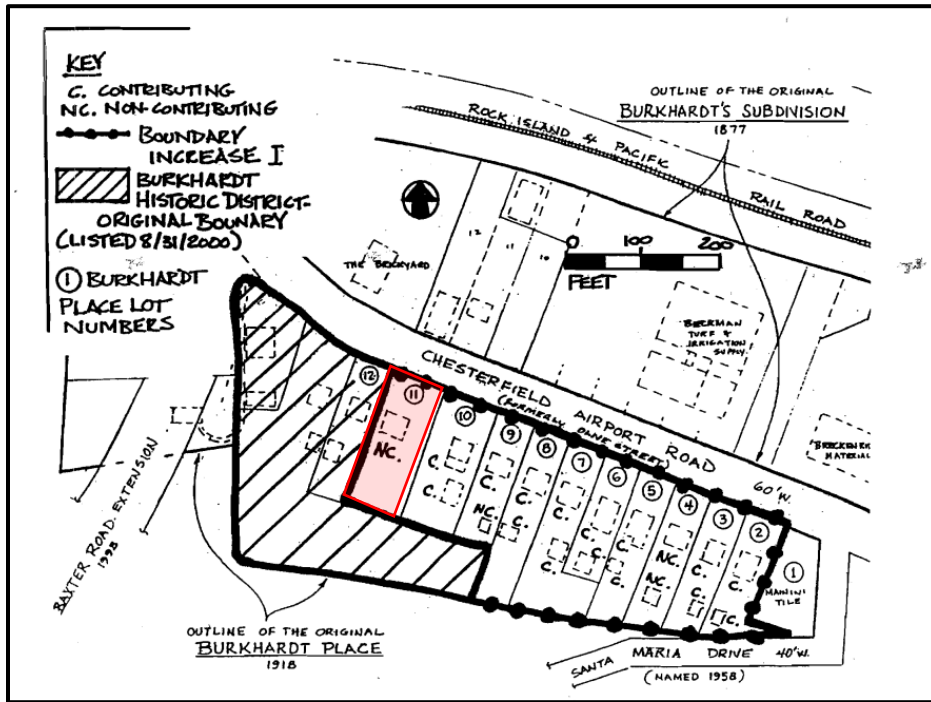


Figure 2: Burkhardt Historic District

Most recently in 2023, the existing ordinance of the site was amended to modify the development standards to permit the proposed project. The current ordinance governing the site is ordinance 3259. As per ordinance, any amendment to the site needs to be reviewed by CHLPC and ARB for recommendation.

STAFF ANALYSIS

The existing building is located in Historical District but the structure is “non-contributing” to the District. The proposed changes include 5’ addition to the rear of the building. The addition is to shelter the handicapped entry door. A new covered porch roof will be added to the open deck at the front of the building. The applicant is proposing an office space on the upper level and removing some existing parking on site to provide more green space. There is total 11 parking spaces provided, complying with the UDC requirement.

Circulation System and Access

The site is accessed through Old Chesterfield Road located north of the subject site. There is sidewalk proposed on the north side. Internal driveways are 22’ wide with two-way access.

Scale, Topography, Retaining Wall and Screening

The site has existing one and half story building and is surrounded by buildings on the east and west. Surrounding buildings are primarily single and double-story buildings. The site is relatively flat. There is an existing retaining wall on the south side.

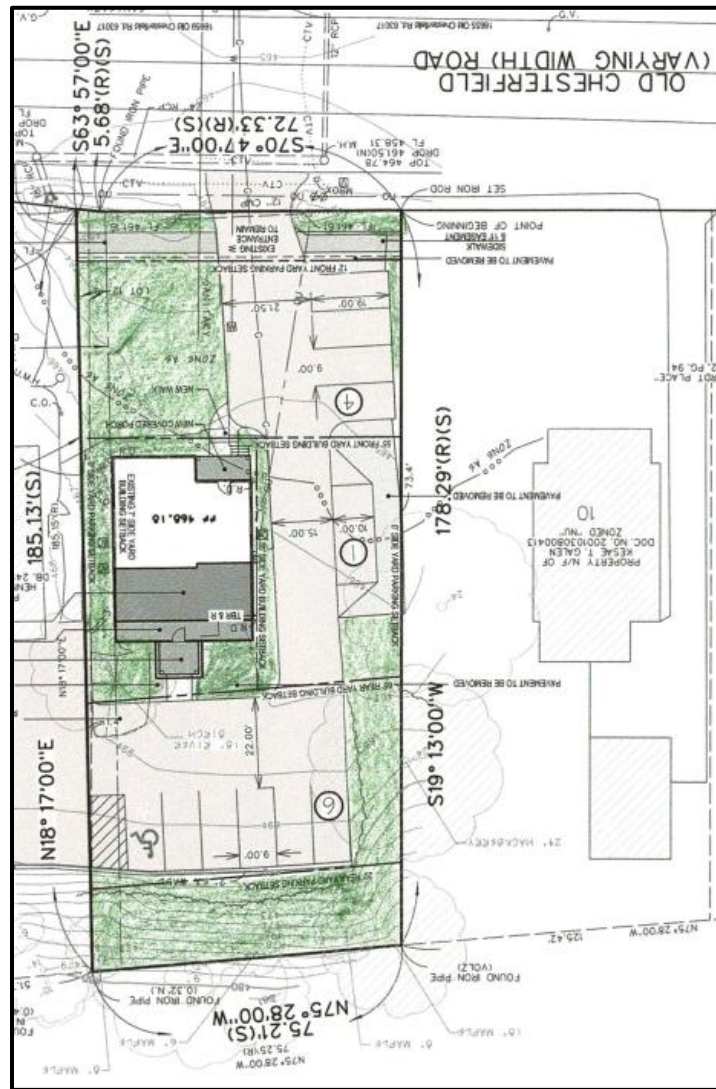


Figure 2: Colored Site Plan

Elevations

The existing building has vinyl siding which will be replaced with James Hardie Fiber cement painted siding with 6" reveal. Existing windows will be replaced with Pella windows. There is new architectural shingle roof and new dormer.



Figure 3: North side Elevation



Figure 4: South side Elevation

Lighting

There are two wall pack lights proposed for the front porch of the building. The proposed lights are not fully shielded, flat lens fixtures. As such, a fixture design exemption is required. No concerns with the fixtures during review by ARB or CHLPC.

Landscaping

The landscaping is proposed on the four sides of the building with different types of shrubs and ornamental trees.

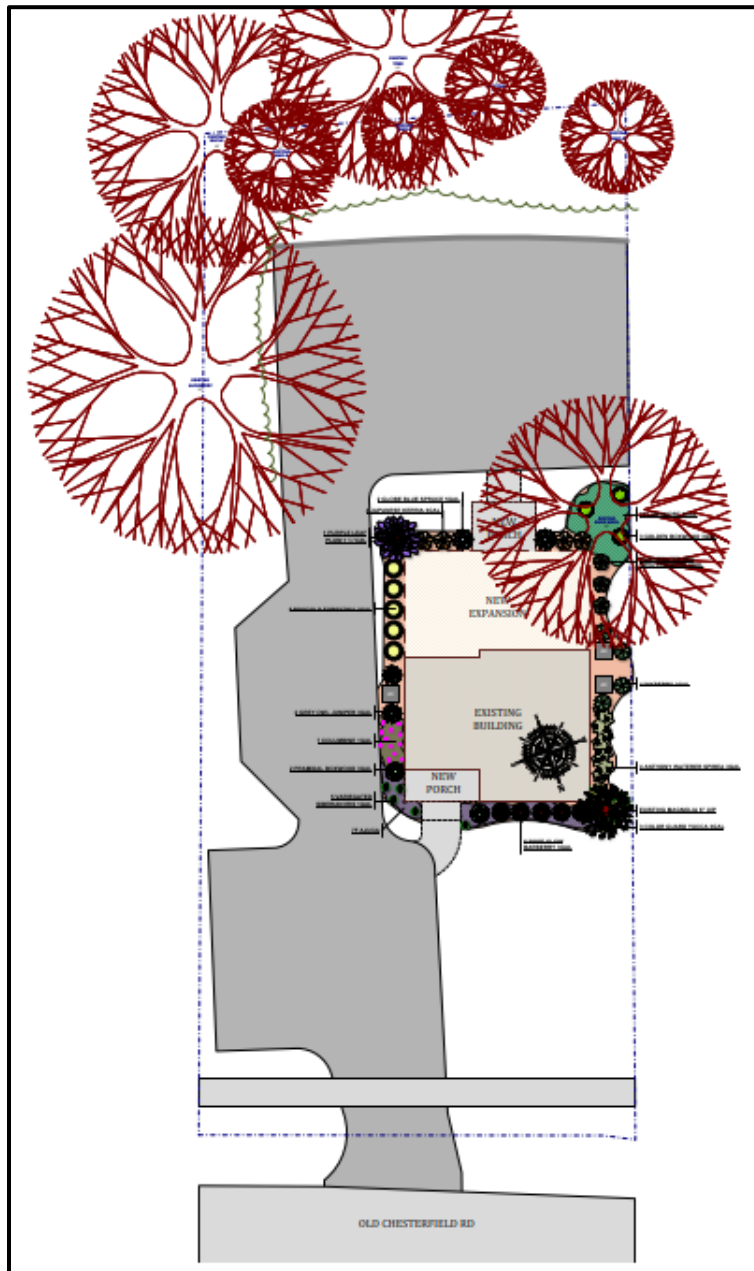


Figure 5: Proposed Landscaping

Rendering



Figure 6: View from Old Chesterfield Road



Figure 7: Rear Side View

CHLPC & ARB MEETING REPORT

The project was reviewed by the Chesterfield Historic Landmark Preservation District (CHLPC) and Architectural Review Board (ARB) members on November 8, and November 9, respectively. At that time, both boards passed a motion to forward the Site Development Plan, Landscape Plan, fixture design exemption, and Amended Architectural Elevations to the Planning Commission with a recommendation to approve as presented.

DEPARTMENTAL INPUT

Staff has reviewed this proposed development and found it to be in compliance with the City’s Unified Development Code and site-specific ordinance. All outstanding comments have been addressed at this time. Staff recommends approval of the Amended Site Development Plan, Landscape Plan, Light fixture design exemption and Amended Architectural Elevations for Burkhardt Place, Lot 11.

MOTION

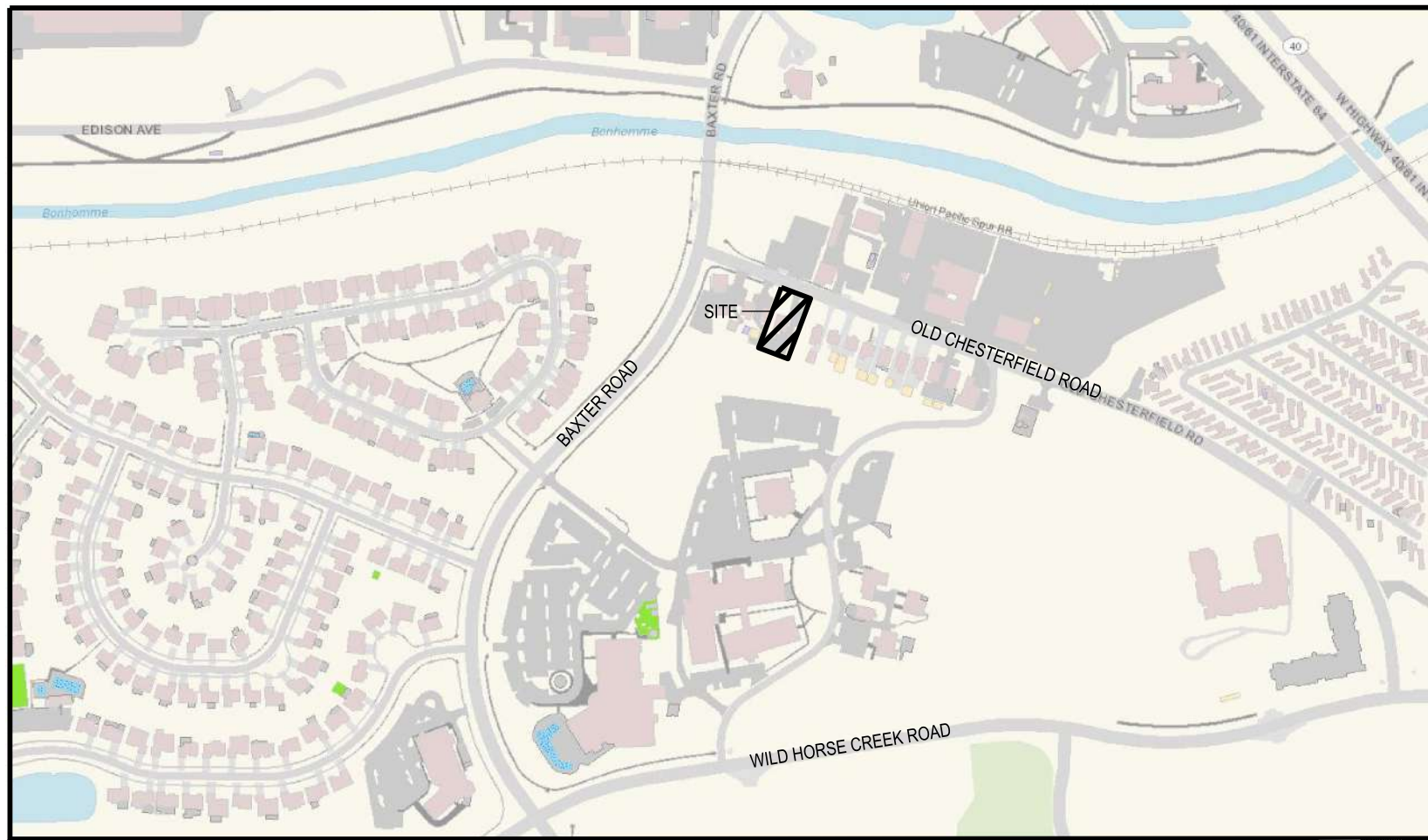
The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Amended Site Development Section Plan, Landscape Plan, Light fixture design exemption, and Amended Architectural Elevations for Burkhardt Place, Lot 11 (ASDP), as presented.”

- 2) “I move to approve the Amended Site Development Plan, Landscape Plan, Light fixture design exemption, and Amended Architectural Elevations for Burkhardt Place, Lot 11 (ASDP), with the following conditions...”

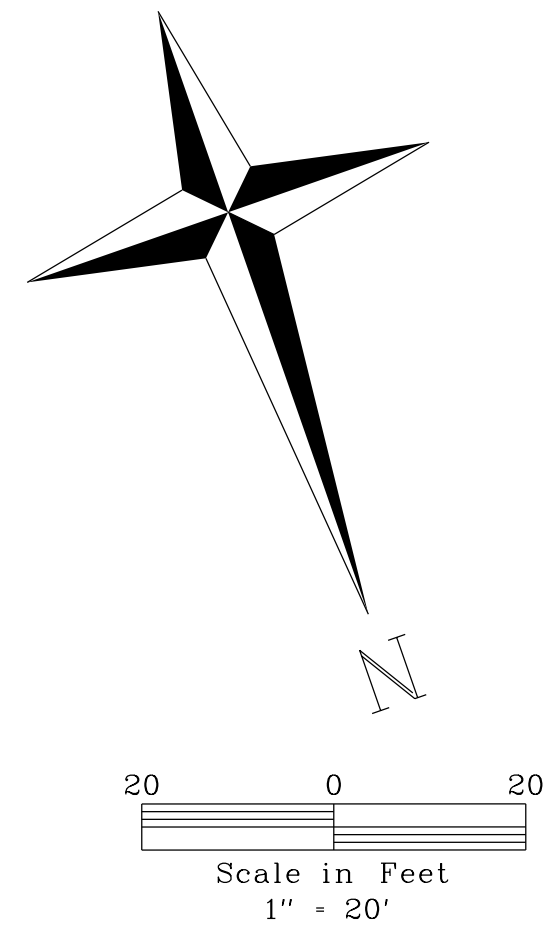
Attachments

1. Site Development Plan Packet



LOCATION MAP

**A TRACT OF LAND BEING
LOT 11 AND PART OF LOT 12 OF
"BURKHARDT PLACE"
IN U.S. SURVEY 2031, TOWNSHIP 45 NORTH - RANGE 4 EAST
ST. LOUIS COUNTY, MISSOURI**



PROJECT NOTES:	
AREA OF SITE:	0.318 ACRES
LOCATOR NUMBER:	17T220036
SITE ADDRESS:	16658 OLD CHESTERFIELD RD
OWNER OF RECORD:	MJ HENNESSY LLC.
PREPARED FOR:	MJ HENNESSY LLC. 16658 OLD CHESTERFIELD RD, CHESTERFIELD MO, 63017
PREPARED BY:	VOLZ Incorporated 10849 INDIAN HEAD INDL. BLVD. ST. LOUIS, MO 63132 314.426.6212 MAIN 314.890.1250 FAX
EXISTING ZONING:	"PC" PLANNED COMMERCIAL "LPA" LANDMARKS PRESERVATION AREA
AREA OF PAVEMENT TO BE REMOVED:	843 SF
AREA OF BUILDING ADDITION:	172 SF
AREA OF PORCH TO REBUILT:	100 SF
AREA ADDITIONAL PAVEMENT & WALK:	124 SF
AREA OF NEW COVERED REAR PORCH:	269 SF
TOTAL AREA OF NEW ADDITION, REBUILT, AND PAVEMENT TO BE REMOVED:	1,478 SF
TOTAL AREA OF BUILDING:	2261 SF
REQUIRED & PROPOSED PARKING:	2261 SF BUILDING @ 3.3 SPACES PER 1000 SF 2261 SF / 1000 SF = 2.26 2.26 X 3.3 SPACES = 7.46 8 SPACES REQUIRED 11 SPACES PROPOSED
OPEN SPACE:	5442 39% 13852=392
GAS:	SPIRE GAS
WATER:	MISSOURI AMERICAN WATER CO
SEWER:	METROPOLITAN ST. LOUIS SEWER DISTRICT
ELECTRIC:	AMEREN
TELEPHONE:	AT&T
CABLE:	CHARTER
SCHOOL DISTRICT:	ROCKWOOD 8
FIRE DISTRICT:	MONARCH FIRE PROTECTION DISTRICT

GENERAL NOTES:

SANITARY SEWER CONNECTION IS EXISTING NO IMPROVEMENTS

GRADING SHALL BE PER CITY OF CHESTERFIELD STANDARDS

THERE IS 94 SF OF PAVEMENT PROPOSED. AREAS OF PAVEMENT REMOVAL TO CREATE ADDITIONAL GREEN SPACE THOSE AREAS TO BE GRASS OR LANDSCAPED.

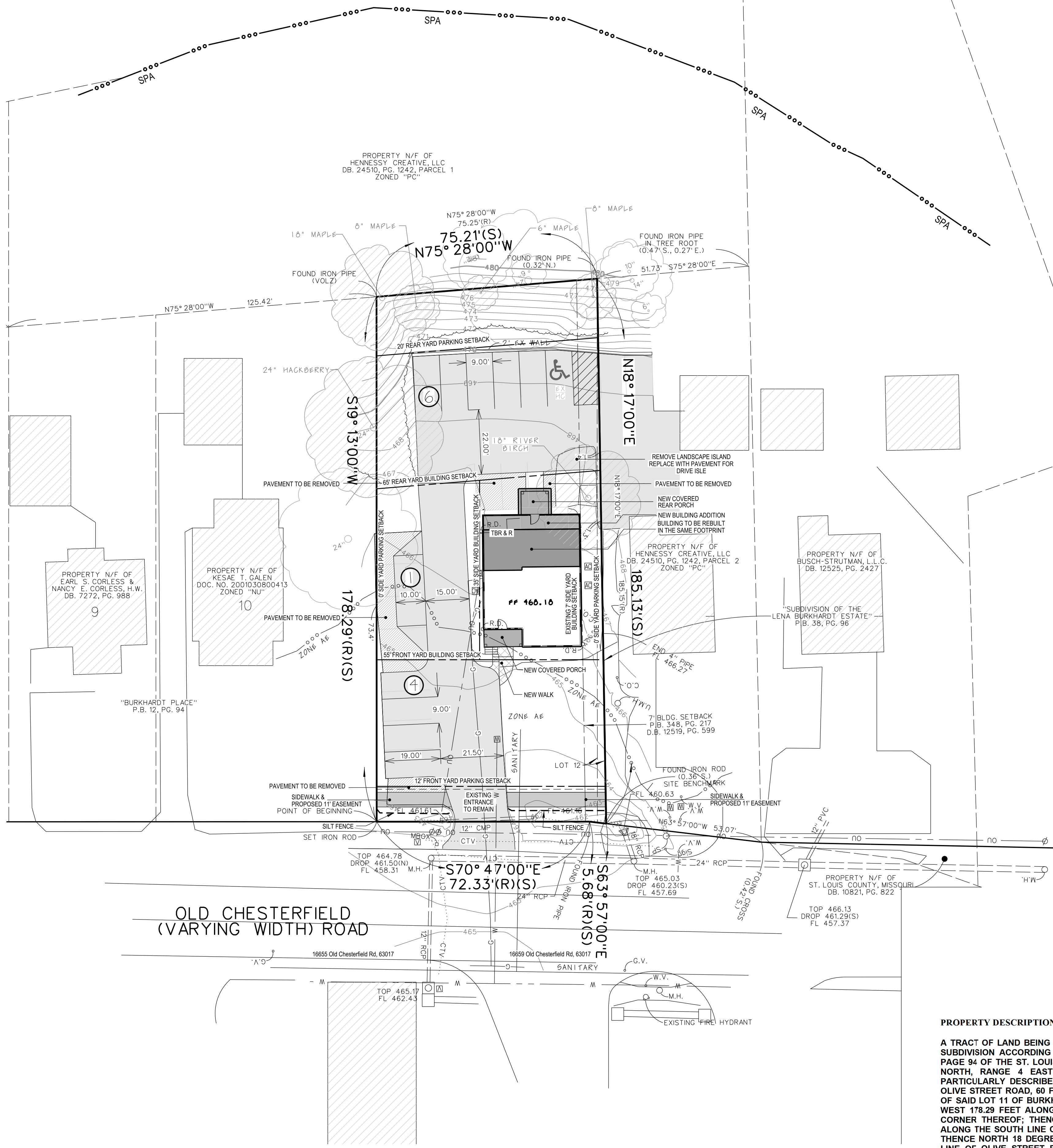
ACCESSIBLE SPACE IS EXISTING.

THE UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN AND SHALL BE LOCATED IN EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS IN THE FIELD PRIOR TO ANY GRADING. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.

NO TREES TO BE REMOVED

ALL UTILITIES WILL BE INSTALLED UNDERGROUND

SIGNAGE APPROVAL IS A SEPARATE PROCESS



LEGEND

AC	AIR CONDITIONER
AI	AREA INLET
CTV	CABLE TV
CO	CLEANOUT
EM	ELECTRIC METER
FE	FINISHED FLOOR
FL	FLOWLINE
GL	GAS LINE
GV	GAS VALVE
MB	MAIL BOX
MH	MANHOLE
NV	NOW OR FORMERLY
RD	ROOF DRAIN
R	RECORD
S	SURVEY
SP	STAND PIPE
UMH	UTILITY MANHOLE
UP	UTILITY POLE
V	VAULT
WL	WATER LINE
WM	WATER METER
WV	WATER VALVE
P	NUMBER OF PARKING SPACES

16658 OLD CHESTERFIELD ROAD
A TRACT OF LAND BEING
LOT 11 AND PART OF LOT 12 OF
"BURKHARDT PLACE"
IN U.S. SURVEY 2031, TOWNSHIP 45 NORTH - RANGE 4 EAST
ST. LOUIS COUNTY, MISSOURI

AMENDED SITE DEVELOPMENT SECTION PLAN

BASE MAP NO. 17T
LOCATOR NO. 17T220036
PROJECT # 23001

11/15/2023

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MR. JIM HENNESSY
16660 OLD CHESTERFIELD RD
CHESTERFIELD, MO 63017
JIM@YELLOWDOGLLC.COM
(314)378-2903

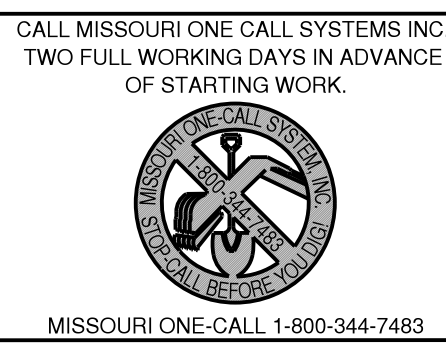
VOLZ Incorporated
ENGINEERS
LAND PLANNING
LAND SURVEYING
TRANSPORTATION
PROJECT MANAGEMENT
10849 INDIAN HEAD INDL. BLVD.
ST. LOUIS, MISSOURI 63132
314.426.6212 Main
314.890.1250 Fax
www.volzinc.com
Authority #203

11/15/2023
TIMOTHY J MEYER
REGISTERED PROFESSIONAL ENGINEER
NO. E-24665
TIMOTHY J MEYER
Professional Engineer
MO E-24665

PROPERTY DESCRIPTION FROM DEED BOOK 24448 PAGE 5566:

A TRACT OF LAND BEING LOT 11 AND PART OF LOT 12 OF BURKHARDT PLACE, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 12 PAGE 94 OF THE ST. LOUIS COUNTY RECORDS, IN US SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT ON THE SOUTH LINE OF OLIVE STREET ROAD, 60 FEET WIDE, SAID POINT BEING THE NORTHEAST CORNER OF SAID LOT 11 OF BURKHARDT PLACE; THENCE SOUTH 19 DEGREES 13 MINUTES WEST 178.29 FEET ALONG THE EAST LINE OF SAID LOT 11 TO THE SOUTHEAST CORNER THEREOF; THENCE NORTH 75 DEGREES 28 MINUTES WEST 75.25 FEET ALONG THE SOUTH LINE OF SAID LOT 11 TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 18 DEGREES 17 MINUTES EAST 185.15 FEET TO THE SAID SOUTH LINE OF OLIVE STREET ROAD, 60 FEET WIDE; THENCE SOUTH 63 DEGREES 57 MINUTES EAST, 5.68 FEET AND SOUTH 70 DEGREES 47 MINUTES EAST 72.33 FEET ALONG SAID SOUTH LINE OF OLIVE STREET ROAD TO THE POINT OF THE BEGINNING.

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THE UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND FIELD MARKINGS PROVIDED BY THE MEMBER UTILITIES OF THE MISSOURI ONE CALL SYSTEM (1-800-DIG-RITE), AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, CAPACITY, NUMBER, OR LOCATION OF THESE OR OTHER UTILITIES, NOR THE ABILITY TO SEVERE THE EXISTING OR INTENDED USES OF THIS OR ADJACENT SITES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES IN THE FIELD, SHOWN OR NOT SHOWN, PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.

AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE ORDINANCE OF THE EXISTING "PC" PLANNED COMMERCIAL DISTRICT TO A NEW "PC" PLANNED COMMERCIAL DISTRICT WITH LANDMARK PRESERVATION AREA FOR 0.32 ACRES OF THE HISTORICAL DISTRICT, LOCATED ON THE SOUTH SIDE OF OLD CHESTERFIELD ROAD [P.Z. 11-2023 BURKHARDT PLACE, LOT 11, 177220036].

WHEREAS, the petitioner, MJ Hennessy, LLC, has requested a change in ordinance 1618 of the existing "PC" Planned Commercial District to a new "PC" Planned Commercial District with Landmark Preservation area for 0.32 acres of the Historical District located on the south side of Old Chesterfield Road; and,

WHEREAS, a Public Hearing was held before the Planning Commission on July 24, 2023; and,

WHEREAS, the Planning Commission, having considered said request, recommended approval of the change of ordinance, with amendment, by a vote of 6-0; and,

WHEREAS, the Planning and Public Works Committee, having considered said request, recommended approval of the change of ordinance, with amendment, by a vote of 4-0; and,

WHEREAS, the City Council, having considered said request, voted to approve the ordinance amendment request with green sheet amendment by vote 8-0.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. City of Chesterfield Unified Development Code and the Official Zoning District Map, which are part thereof, are hereby amended by establishing a new "PC" Planned Commercial District with Landmark Preservation area designation for a 0.32 acres tract of land located on the south side of Chesterfield Road as described as follows:

A TRACT OF LAND BEING LOT 11 AND PART OF LOT 12 OF BURKHARDT

PLACE, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 12 PAGE 94 OF THE ST. LOUIS COUNTY RECORDS, IN US SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT A POINT ON THE SOUTH LINE OF OLIVE STREET ROAD, 60 FEET WIDE, SAID POINT BEING THE NORTHEAST CORNER OF SAID LOT 11 OF BURKHARDT PLACE; THENCE SOUTH 19 DEGREES 13 MINUTES WEST 178.29 FEET ALONG THE EAST LINE OF SAID LOT 11 TO THE SOUTHEAST CORNER THEREOF; THENCE NORTH 75 DEGREES 28 MINUTES WEST 75.25 FEET ALONG THE SOUTH LINE OF SAID LOT 11 TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 18 DEGREES 17 MINUTES EAST 185.15 FEET TO THE SAID SOUTH LINE OF OLIVE STREET ROAD, 60 FEET WIDE; THENCE SOUTH 63 DEGREES 57 MINUTES EAST, 5.68 FEET AND SOUTH 70 DEGREES 47 MINUTES EAST 72.33 FEET ALONG SAID SOUTH LINE OF OLIVE STREET ROAD TO THE POINT OF THE BEGINNING.

Section 2. The preliminary approval, pursuant to the City of Chesterfield Unified Development Code is granted, subject to all of the ordinances, rules and regulations.

Section 3. The City Council, pursuant to the petition filed by MJ Hennessy, LLC, in P.Z. 11-2023, requesting the ordinance amendment embodied in this ordinance, and pursuant to the recommendation of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing, held by the Planning Commission on the 24th day of July, 2023, does hereby adopt this ordinance pursuant to the power granted to the City of Chesterfield under Chapter 89 of the Revised Statutes of the State of Missouri authorizing the City Council to exercise legislative power pertaining to planning and zoning.

Section 4. This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Section 8 of the City of Chesterfield Unified Development Code.

Section 5. This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this 18th day of September, 2023. Bob Nation, MAYOR

ATTEST: Vickie McGownd, CITY CLERK

FIRST READING HELD: 09/05/2023

ATTACHMENT A

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.

I. SPECIFIC CRITERIA

A. PERMITTED USES

1. The uses allowed within this "PC" Planned Commercial District, with a Landmark and Preservation Area (LPA) procedure, shall be office use.

B. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS

1. Floor Area
a. The uses permitted within this "PC" Planned Commercial District, with a Landmark and Preservation Area (LPA) procedure, shall be contained in existing house.

C. SETBACKS

- 1. Structure Setbacks
No building or structure, other than lights, fence, retaining walls, front porch steps, existing rear deck, existing stone bar-b-que, and flagpoles, shall be located within the following setbacks:
a. Fifty-Five (55) feet from the right-of-way of Old Chesterfield Road.
b. Seven (7) feet from the western boundary of the PC District.
c. Thirty-five (35) feet from the eastern boundary of the PC District.
d. Sixty-Five (65) feet from the southern boundary of the PC District.
2. Parking Setbacks
No parking stall, loading space, internal driveway, or roadway, except points of ingress and egress, shall be located within the following setbacks:
a. Twelve (12) feet from the right-of-way of Old Chesterfield Road.
b. Zero (0) feet from the western boundary of the PC District.

- c. Zero (0) feet from the eastern boundary of the PC District.
d. Twenty (20) feet from the southern boundary of the PC District.

All parking, loading and internal drive areas shall be of a surface as approved by the Planning Commission on the Site Development Plan. Consideration should be given to utilizing a paver block system, or other alternative that is conducive to a more pleasing visual appearance from Old Chesterfield Road. These areas will not be permitted to be gravel.

D. PARKING AND LOADING REQUIREMENTS

- 1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
2. No construction related parking shall be permitted within right-of-way or on any existing roadways. All construction related parking shall be confined to the development.
3. Parking lots shall not be used as streets.

E. LANDSCAPE AND TREE REQUIREMENTS

The development shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.

F. SIGN REQUIREMENTS

- 1. Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code or a Sign Package may be submitted for the planned district. Sign Packages shall adhere to the City Code and are reviewed and approved by the City of Chesterfield Planning Commission.
2. This development shall be permitted one (1) freestanding business or project identification sign, which shall be in accord with the City of Chesterfield Sign Code.
3. The location of all signs shall be as approved by the Planning Commission on the Site Development Plan.
4. No advertising, temporary, portable signs or attention getting devices of any kind shall be permitted in this development.

G. LIGHT REQUIREMENTS

- 1. Provide a Lighting Plan and cut sheet in accordance with the City of Chesterfield Code.

- 2. No on-site light standard shall exceed twenty-four (24) feet in height. The location of all light standards shall be as approved on the Site Development Plan.

H. ARCHITECTURAL

- 1. Exterior facade and design features shall be reviewed by the City of Chesterfield Architectural Review Board and the Chesterfield Historical Commission and shall be subject to approval by the City of Chesterfield Planning Commission in conjunction with the Site Development Plan.
2. Trash enclosures: All exterior trash areas will be enclosed with a minimum six (6) foot high sight-proof enclosure complemented by adequate landscaping. The location, material, and elevation of any trash enclosures will be as approved by the City of Chesterfield on the Site Development Plan.

I. ACCESS/ACCESS MANAGEMENT

- 1. Access to the development shall be as shown on the Preliminary Site Plan and adequate driveway spacing and sight distance shall be provided, as directed by the City of Chesterfield.
2. Provide a sidewalk conforming to ADA standards adjacent to Old Chesterfield Road as directed by the City of Chesterfield.
3. Provide cross access easement to adjacent properties as directed by the City of Chesterfield.
4. No construction parking will be permitted on Old Chesterfield Road right-of-way.

J. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION

- 1. Any request to install a gate at the entrance to this development must be approved by the City of Chesterfield. No gate installation will be permitted on public right-of-way.
2. Provide a special cash escrow for future sidewalk construction along Old Chesterfield Road. Specifically provide for construction of a five (5) foot wide sidewalk along the property frontage.
3. Obtain approvals from the City of Chesterfield and other entities as necessary for locations of proposed curb cuts and access points, areas of new dedication, and roadway improvements.

- 4. Additional right-of-way and road improvements shall be provided, as required by the City of Chesterfield.

K. TRAFFIC STUDY

1. Provide a traffic study as directed by the City of Chesterfield. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements required, as long as the density of the proposed development falls within the parameters of the City's traffic model. Should the density be other than the density assumed in the model, regional issues shall be addressed as directed by the City of Chesterfield.

2. Provide a sight distance evaluation report, as required by the City of Chesterfield, for the proposed entrance onto Old Chesterfield Road. If adequate sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield.

L. POWER OF REVIEW

The development shall adhere to the Power of Review Requirements of the City of Chesterfield Code.

M. STORM WATER

- 1. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or connected to an adequate piped system.
2. Detention/retention and channel protection measures are to be provided in each watershed as required by the City of Chesterfield. The storm water management facilities shall be operational prior to paving of any driveways or parking areas in non-residential development or issuance of building permits exceeding sixty percent (60%) of approved dwelling units in each plat, watershed or phase of residential developments. The location and types of storm water management facilities shall be identified on the Site Development Plan(s).
3. Emergency overflow drainage ways to accommodate runoff from the 100-year storm event shall be provided for all storm sewers, as directed by the City of Chesterfield and the Metropolitan St. Louis Sewer District.

- 4. Offsite storm water shall be picked up and piped to an adequate natural discharge point. Such bypass systems must be adequately designed.
5. Locations of site features such as lakes and detention ponds must be approved by the City of Chesterfield and the Metropolitan Saint Louis Sewer District.

N. SANITARY SEWER

- 1. Sanitary sewer shall be as approved by the City of Chesterfield and the Metropolitan St. Louis Sewer District.

O. GEOTECHNICAL REPORT

Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the Department of Public Services. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

R. MISCELLANEOUS

- 1. All utilities will be installed underground.
2. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII, and Section 25-122 thru Section 25-126 of the City Code shall be required where applicable.
3. Road improvements and right-of-way dedication shall be completed prior to the issuance of an occupancy permit. If development phasing is anticipated, the developer shall complete road improvements, right-of-way dedication, and access requirements for each phase of development as directed by the City of Chesterfield. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.
4. If any development in, or alteration of, the floodplain is proposed, the developer shall submit a Floodplain Study and Floodplain Development Permit/Application to the City of Chesterfield for approval. The Floodplain Study must be approved by the City of Chesterfield prior to the approval of the Site Development Plan, as directed. The Floodplain Development Permit must be approved prior to the approval of a Grading Permit or Improvement Plans. If any change in the location of the Special Flood Hazard Area is proposed, the Developer shall be required to obtain a Letter of Map Revision (LOMR) from the Federal Emergency Management Agency. The LOMR must be issued by

FEMA prior to the final release of any escrow held by the City of Chesterfield for improvements in the development. Elevation Certificates will be required for any structures within the Special Flood Hazard Area or the Supplemental Protection Area. All new roads within and adjacent to this site shall be constructed at least one (1) foot above the base flood elevation of the Special Flood Hazard Area. Improvements to existing roadways shall be required as necessary to provide at least one access route to each lot that is at least one (1) foot above the base flood elevation. Consult Article 5 of the Unified Development Code for specific requirements for specific requirements.

II. GENERAL CRITERIA

A. SITE DEVELOPMENT SECTION PLAN SUBMITTAL REQUIREMENTS

The Site Development Section Plan shall adhere to the above criteria and to the following:

- 1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
3. Provide open space percentage for overall development including separate percentage for each lot on the plan.
4. Provide Floor Area Ratio (F.A.R.).
5. A note indicating all utilities will be installed underground.
6. A note indicating signage approval is a separate process.
7. Depict the location of all buildings, size, including height and distance from adjacent property lines and proposed use.
8. Specific structure and parking setbacks along all roadways and property lines.
9. Indicate location of all existing and proposed freestanding monument signs.
10. Zoning district lines, subdivision name, lot number, lot dimensions, lot area, and zoning of adjacent parcels where different than site.
11. Floodplain boundaries.

- 12. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
13. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
14. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
15. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
16. Address trees and landscaping in accordance with the City of Chesterfield Code.
17. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
18. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
19. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, St. Louis Department of Highways and Traffic, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
20. Compliance with Sky Exposure Plane.
21. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

III. TRUST FUND CONTRIBUTION

The developer shall be required to contribute to the Traffic Generation Assessment (TGA) to the Trust Fund Area D.

ROADS

The roadway improvement contribution is based on land and building use. The roadway contributions are necessary to help defray the cost of engineering, right-of-way acquisition, and major roadway construction. The amount of the

developer's contribution to this fund shall be computed based on the following and shall only be assessed on projects increasing the amount of parking on the site based on the requirements in the Unified Development Code:

Table with 2 columns: Type of Development, Required Contribution. Example: General Office, \$878.78/parking space.

If types of development differ from those listed, rates shall be provided by the City of Chesterfield.

If a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as a part of this development is mandatory.

Allowable credits for required roadway improvements will be awarded as directed by the City of Chesterfield. Sidewalk construction and utility relocation, among other items, are not considered allowable credits.

This development is located within a trust fund area established by the City of Chesterfield, any portion of the traffic generation assessment contribution which remains, following completion of road improvements required by the development, shall be retained in the appropriate trust fund.

The amount of all required contributions, if not submitted by January 1, 2024, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the City of Chesterfield.

Trust Fund contributions shall be deposited with the City of Chesterfield prior to the issuance of Municipal Zoning Approval.

IV. RECORDING

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.

V. ENFORCEMENT

- A. The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.

- B. Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.
C. Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.
D. Waiver of Notice of Violation per the City of Chesterfield Code.
E. This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

(Name of Owner(s)) the owner(s) of the property shown on this plan for and in consideration of being granted approval of said plan to develop property under the provisions of Section 03. (applicable subsection) of City of Chesterfield Unified Development Code, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or voided or vacated by order of ordinance of the City of Chesterfield Corporation.

(Signature):
(Name Typed):

(AND EITHER INCLUDE THIS SECTION FOR A CORPORATION)

State of)
) SS.
County of)

On this day of , A.D., 20 , before me personally appeared

(Name of Corporation), to me known, who, being by me sworn in, did say that he/she is the of (Name of Corporation) a corporation in the State of , and that the seal affixed to the foregoing instruments is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said (Office of Corporation) acknowledged said instrument to be the free act and deed of said corporation.

In Testimony Whereof, I have heretunto set my hand and affixed my Notarial Seal at my Office in (County and State), the day and year last above written.

My term expires (Notary Public)

(OR INCLUDE THIS SECTION FOR AN INDIVIDUAL)

State of)
) SS.
County of)

On this day of , A.D., 20 , before me personally appeared

(Individual), and (Wife), his wife, to me known to be the person(s) described in, and who executed the foregoing instrument, and acknowledged that he, she or they executed the same as his, her, or their free act and deed.

In Testimony Whereof, I have heretunto set my hand and affixed my Notarial Seal at my Office in (County and State), the day and year last above written.

My term expires (Notary Public)

Rev. 02/2019

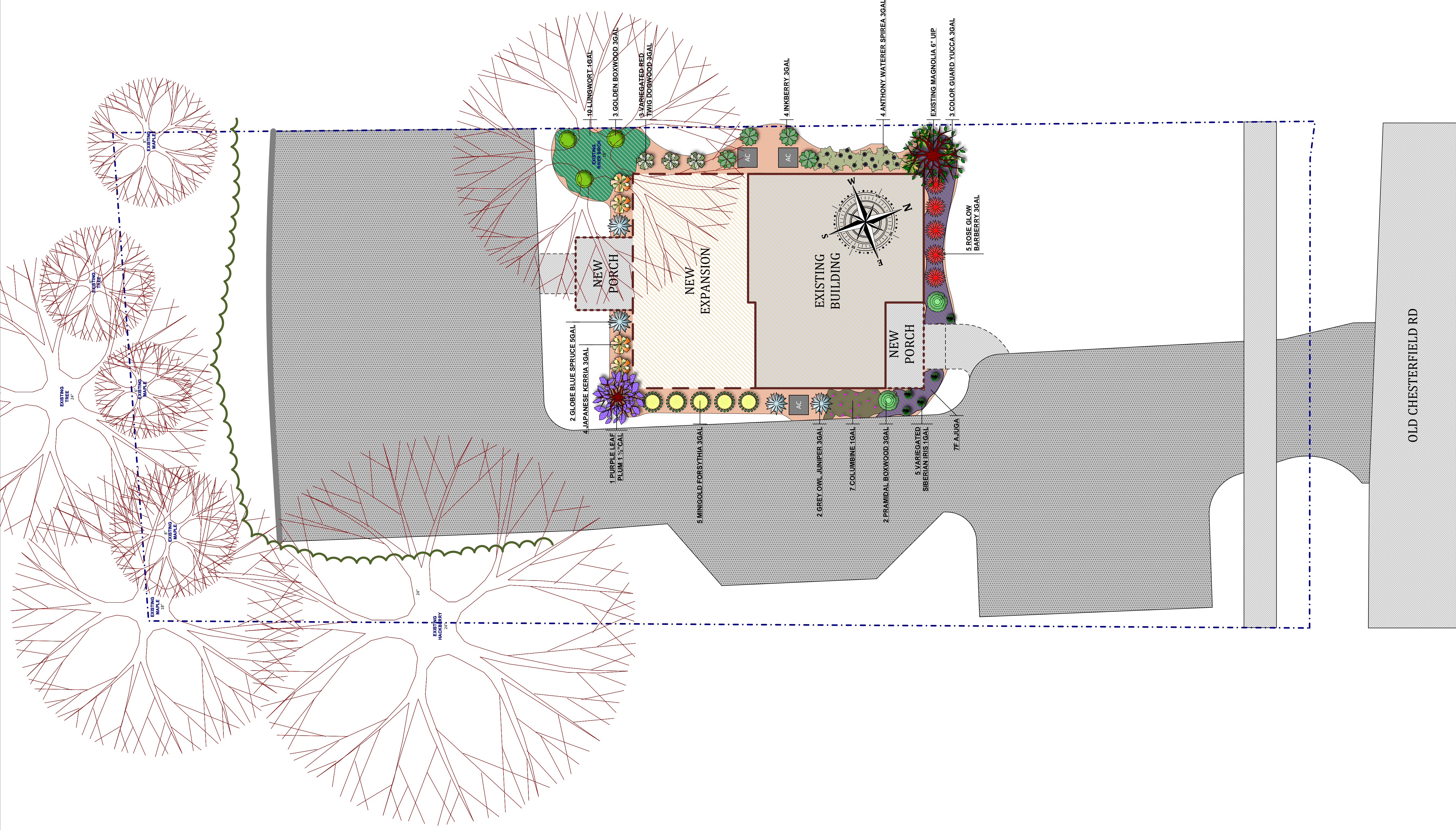
This Site Development Plan was approved by the City of Chesterfield Planning Commission and duly verified on the day of , 20 , by the Chairperson of said Commission, authorizing the recording of this Site Development Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning and the City Clerk.

Justin Wyse, AICP
Director of Planning
City of Chesterfield, Missouri

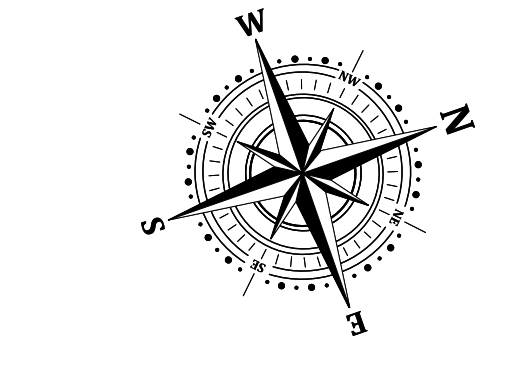
Vickie McGownd, City Clerk
City of Chesterfield, Missouri

Vertical banner on the right side of the page containing project information, including '16658 OLD CHESTERFIELD ROAD', 'AMENDED SITE DEVELOPMENT SECTION PLAN', 'INCORPORATED', and 'VOLZ' logo.

Vertical text on the far left edge of the page, likely a scanning artifact or reference number.



SCALE: 1/8" = 1' 0"



DESIGNED BY: **Bill Weishaar, Jr.**
 ORIGINAL DATE: October 19, 2023
 REVISION DATE:
 GRAPHIC ART: CST / WHW

THE PROFESSIONALS
 "Where Quality is Foremost"

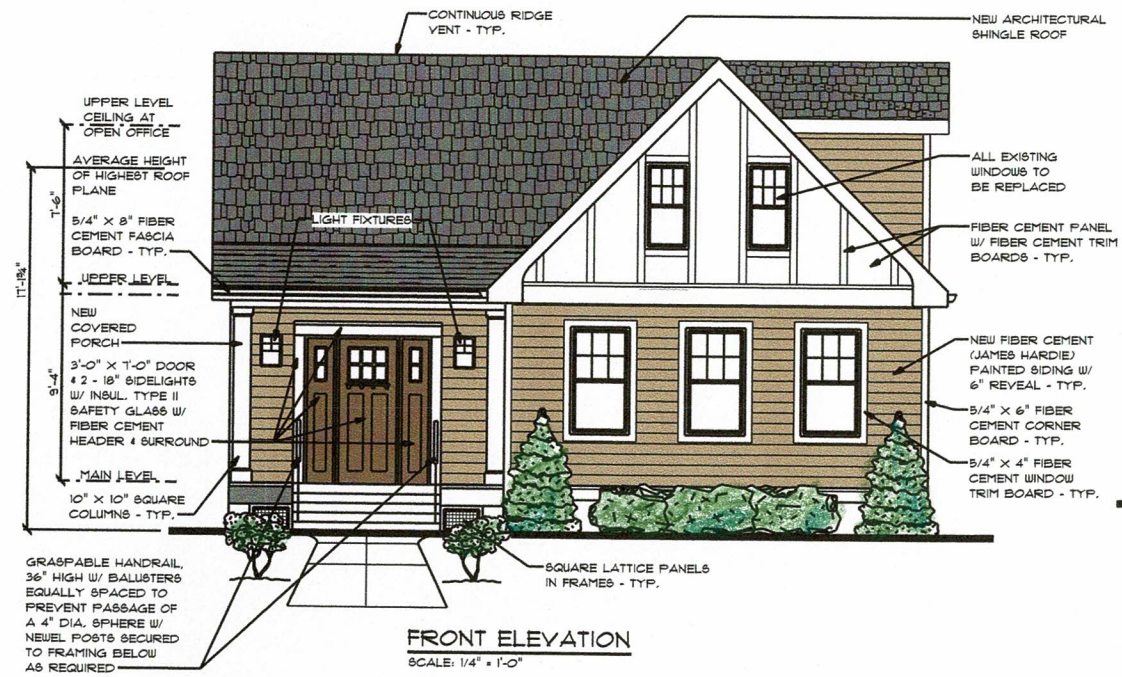
BAXTER GARDENS
Chesterfield

17259 Withers Creek Road
 Chesterfield, MO 63005
 (636) 532-1033 FAX (636) 532-1254
 www.baxtergardens.com

LANDSCAPE DEVELOPMENT PLAN FOR
JIM HENNESSY
 16658 Old Chesterfield Road
 Chesterfield, MO 63017
 (636) 536-4477 (314) 378-2903 jim@yellowdogllc.com

L1

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- GENERAL NOTES FOR ELEVATIONS**
- WHEREVER A ROOF ABUTTS A VERTICAL WALL, EAVE OR CHIMNEY, INSTALL ALUMINUM FLASHING W/ A BAKED ON ENAMEL FINISH W/ A MIN. OF 6" UP WALL, 4 6" OUT ONTO ROOF.
 - FOR ROOFING MATERIALS 4 UNDERLAYMENT SEE SPECS. (ARCHITECTURAL SHINGLES)
 - EXTERIOR FINISH OF BUILDING SHALL BE:
ALL SIDING SHALL FIBER CEMENT HORIZ. LAP SIDING W/ SMOOTH FINISH 4 6" REVEAL.
ALL FASCIA'S 4 RAKE BOARDS SHALL FIBER CEMENT FASCIA'S 4 RAKE BOARDS.
ALL SOFFITS SHALL FIBER CEMENT VENTED SOFFITS.
 - INSTALL SEAMLESS ALUMINUM GUTTERS 4 DOWNSPOUTS W/ A BAKED ON ENAMEL FINISH, (SEE SPEC). VERIFY LOCATION OF DOWNSPOUTS W/ OWNER, 4 INSTALL ONE DOWNSPOUT PER 25' (MAX.) GUTTER RUN. VERIFY W/ OWNER.
 - INSTALL 1/2" PLYWOOD OR 1/16" O.S.B. EXTERIOR GRADE SHEATHING FOR LATERAL BRACING OVER ENTIRE ADDITION.
 - INSTALL A CONTINUOUS RIDGE VENT W/ SHINGLES APPLIED TO THE TOP, AT THE RIDGE OF ALL ROOFS OVER HEATED AREAS OF THE BUILDING, INSTALL ADDITIONAL SURFACE MOUNTED ROOF VENTS AS REQ'D TO PROPERLY VENT ROOF, VERIFY LOCATION OF ADDITIONAL VENTS WITH THE OWNER.
 - CONC. FOUNDATIONS SHALL BE A MINIMUM OF 30" BELOW FINISHED GRADE, 4 THE BOTTOM OF THE FOOTING SHALL ALWAYS REST ON VIRGIN SOIL.
 - WINDOW MODEL NUMBERS SHOWN ON ELEVATIONS ARE FOR GENERIC CLAD WINDOW UNITS. WINDOW SUPPLIER SHALL REVIEW ALL LOCAL SAFETY GLASS REQUIREMENTS BEFORE ORDERING WINDOWS. VERIFY SELECTION W/ OWNER.



LAUREN STRUTMAN
- ARCHITECT
MO # 4 - 9 2 8 8

The professional whose signature and stamp appear on these drawings shall be responsible only for what appears on this page and diagram pursuant to Sections 271.010 R.S.M. and any responsibility for all other plans, specifications, estimates, reports, or other documents or instruments not sealed by the undersigned professional shall be the responsibility of the user for any part or parts of the project to which this page refers.

MJ HENNESSY LLC
REMODEL PROJECT AT:
16658 OLD CHESTERFIELD RD.
CHESTERFIELD, MO 63011

LAUREN STRUTMAN
ARCHITECTS P.C.
16676 OLD CHESTERFIELD RD. • CHESTERFIELD, MO 63011
PHONE (636) 931 - 0880 • FAX (636) 931 - 1021
E-MAIL: KATIE@LSA-STL.COM

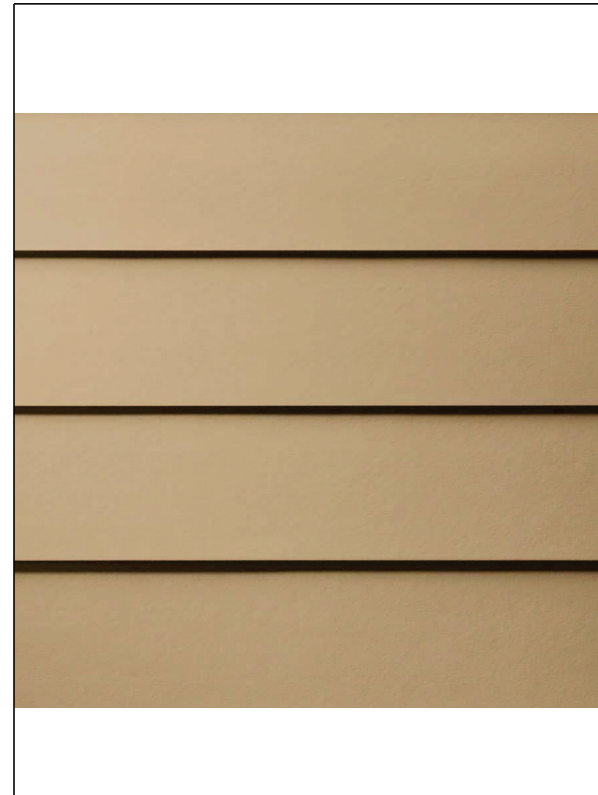
LAUREN STRUTMAN ARCHITECTS, P.C.
MISSOURI STATE CERTIFICATE OF AUTHORITY • A20000468710

REVISIONS

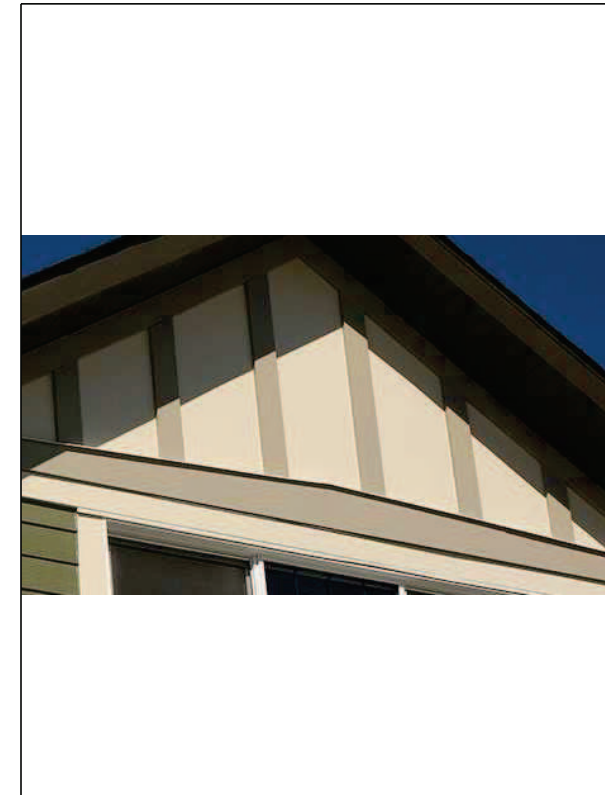
DRAWN BY: R.E.W.
JOB NO. _____
DATE: 5/3/2023
SHEET:



LIGHT FIXTURE



FIBER-CEMENT HORIZONTAL
LAP SIDING - PAINTED TAN



FIBER-CEMENT PANELS &
TRIM BOARDS - PAINTED WHITE



ARCHITECTURAL ASPHALT
SHINGLES - WEATHERED WOOD



WINDOWS - WHITE

PHOTOGRAPHS OF COLOR SAMPLES
