

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Architectural Review Board Staff Report

Meeting Date: September 14, 2023

From: Isaak Simmers, Planner

Location: 16801 Baxter Road

Description: Jewish Community Center Association, 3rd ASDP: An Amended Site Development Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations, and Architectural Statement of Design for an 11.4-acre tract of land located at the NE corner of the intersection of Baxter Road and Wild Horse Creek Road.

PROPOSAL SUMMARY

Stock & Associates, on behalf of the Jewish Community Center Association, has submitted an Amended Site Development Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations, and Architectural Statement of Design for a proposed exterior renovation, which will include a new entrance façade at the existing main entrance, a new adult day care entrance, as well as enhanced landscaping and a garden for patrons.

HISTORY OF SUBJECT SITE

- 1994: JCCA applied for Conditional Use Permit No.16 for a not-for-profit community center and recreational facility with accessory uses
- 1996: Planning Commission approved SDSP
- 1997: Planning Commission approved revised parking layout ASDP
- 1998: Planning Commission approved Outdoor Pool SDSP



Figure 1: Subject Site

2016: Planning Commission approved playground renovation ASDP

STAFF ANALYSIS

The Unified Development Code's Architectural Review Design Standards are broken down into two (2) areas of review: Site Design and Building Design.

General Requirements for Site Design are further broken down into the following categories:

- Site Relationship
- Circulation and Access
- Topography & parking
- Retaining Walls

General Requirements for Building Design are further broken down into the following categories:

- Scale
- Design
- Materials & Color
- Landscape Design & Screening
- Signage
- Lighting

Conditional Use Permit No.16 includes specific site and building design criteria for not-for-profit recreational land uses, and community centers in an R-2 Zoning District including but not limited to lighting and landscape requirements.

A. Site Relationship

The Jewish Community Center is located at the northeast corner of Baxter Road and Wild Horse Creek Road. The site is surrounded by Chesterfield Farms residential subdivision, Villas at Chesterfield Bluffs residential subdivision, and Seventh Day Adventist Church to the east, and Ascension Catholic School and Church to the north and west. Wildhorse Baxter Center Subdivision is to the south and undeveloped.

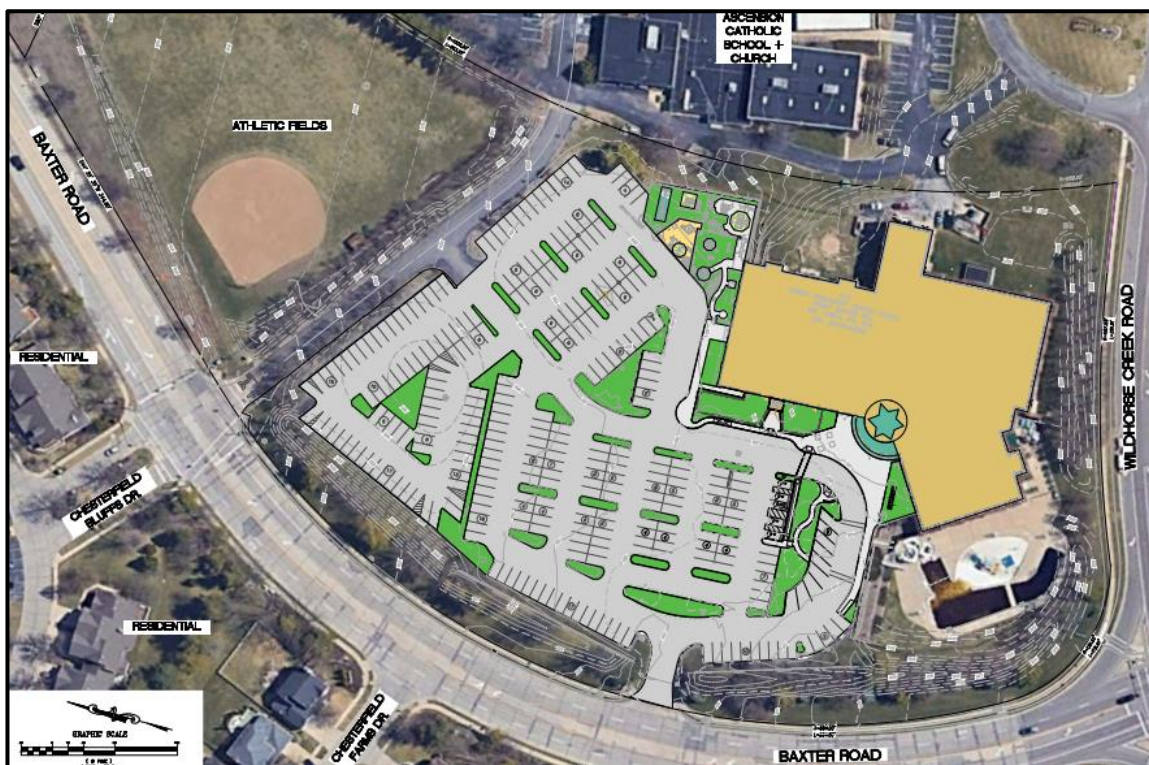


Figure 2: Site Relationship

Circulation & Access

The subject site has two access points: one along Baxter Road and one along Highland Acres. The proposed amendment includes the addition of three landscape islands and a drive aisle, which will shift existing parking and alter traffic circulation at the entrance off Baxter Road. The amended site plan also includes a proposed drop-off zone in front of the adult daycare entrance outlined in Figure 3 (right).

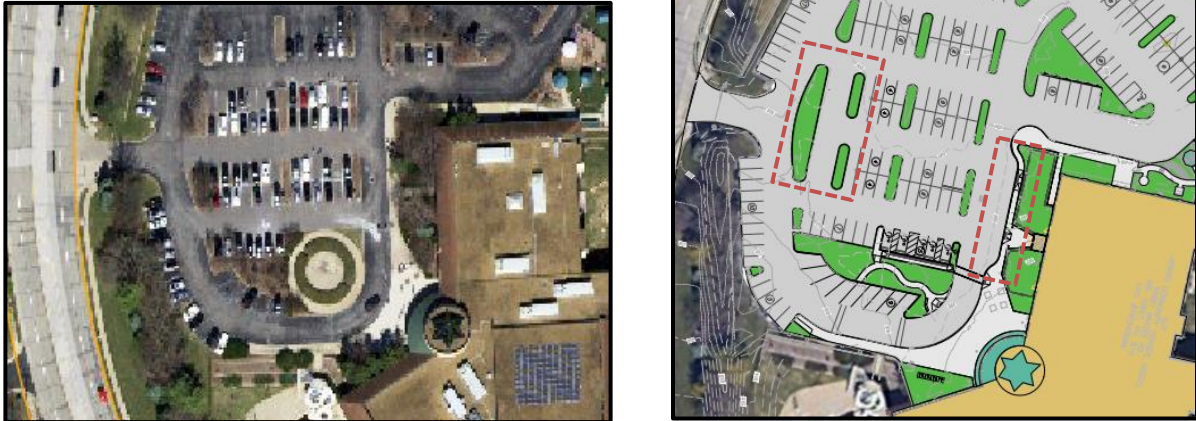


Figure 3: Circulation and access before (left) and proposed (right)

B. Topography

The site is generally flat, with the majority of the lot utilized for parking and an athletic field. The southernmost portion of the site along Wild Horse Creek Road is at the lowest grade. There is roughly a 15–18-foot grade difference between the south elevation and the parking area. Per Conditional Use Permit No. 16 requirements, there is an existing berm at least six (6) feet in height along Wild Horse Creek Road and Baxter Road.

C. Scale

The existing building is one story with a walk-out lower level and is comparable in height at its highest point to the surrounding schools and churches. The proposed renovation does not change the recorded height of the building.

D. Materials & Color

The building is mainly comprised of orange brick veneer and tan split-face masonry veneer, with some EIFS on the rear of the building. The material will remain; however, the orange brick veneer will be painted to coordinate with the proposed metal panels surrounding the renovated front entrance. The existing asphalt shingle roof system around the perimeter of the building will be replaced. Ornamental black iron gates and fencing are proposed along the garden outside the adult day care with stone-capped, tan split-faced CMU pilasters.



Figure 4: West Elevation

E. Landscape Design & Screening

All-natural vegetation will be maintained where it does not interfere with construction and all new vegetation aims to match and enhance the existing landscaping. The applicant has provided a mixture of trees and shrubs for Parking Islands. There are various screening methods already established for the site and there is no new screening proposed.

F. Lighting

Site lighting exists and will be upgraded to new LED fixtures. The plan proposes the relocation of an existing art installation and light pole, in addition to new Bollard lighting along the new landscaped sidewalk. The lighting cutsheets may be found in the Applicant's packet. No specialty lighting is proposed for the site.

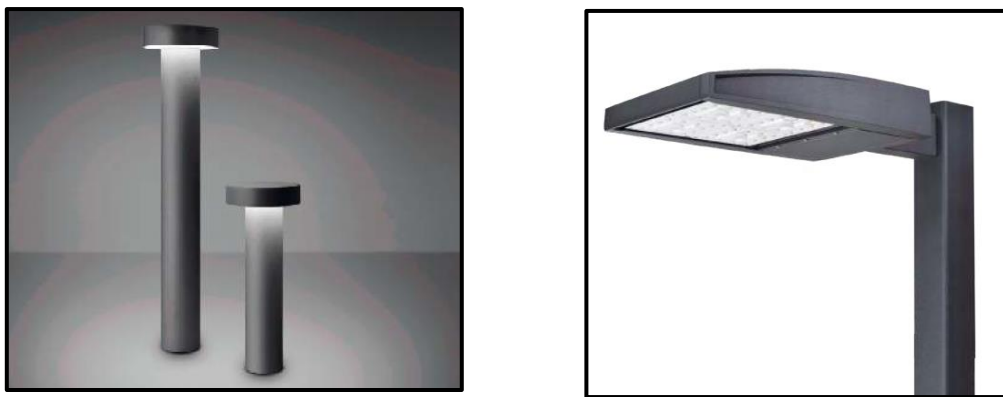


Figure 5: Bollard Light Fixture (Left) and the GLEON Galleon Light Fixture (Right)

RENDERING



DEPARTMENT INPUT

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the Architectural Review Board will be included in Staff's report to the Planning Commission.

Staff requests review on the Amended Site Development Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations, and Architectural Statement of Design for an 11.4-acre tract of land located at the NE corner of the intersection of Baxter Road and Wild Horse Creek Road (Jewish Community Center Association).

MOTION

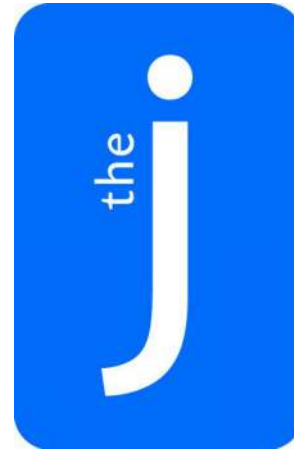
The following options are provided on the Architectural Review Board for consideration relative to this application:

"I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations, and Architectural Statement of Design for the Jewish Community Center Association ASDP as presented, with a recommendation for approval (or denial) to the Planning Commission."

"I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations, and Architectural Statement of Design for the Jewish Community Center Association ASDP to the Planning Commission with a recommendation for approval with the following recommendations..."

Attachments:

1. Architectural Review Packet Submittal



RENOVATION of the MARILYN FOX BUILDING COMMUNITY CENTER BUILDING

ARCHITECTURAL REVIEW BOARD SUBMITTAL PACKAGE

JULY 24, 2023
REVISED - AUGUST 14, 2023

OWNER:

Jewish Community Center Association
2 Millstone Campus Drive
St Louis, Missouri 63146 |

ARCHITECT:



HDA Architects | O'Toole Design
4565 McRee Ave.
Suite 100
St Louis, Missouri 63110
hdai.com | 636-449-1175
otooledesign.com | 314-909-1905



ARCHITECTURAL REVIEW BOARD
Project Statistics and Checklist

Date of First Comment Letter Received from the City of Chesterfield _____

Project Title: JWest Community Center Location: 16801 Baxter Road
Owner: Jewish Community Center Developer: HDA Architects / O'Toole D Architect: Stock & Associates Engineer:

PROJECT STATISTICS:

Size of site (in acres): 11.40 Total Square Footage: Building Height: 28'-0"

Proposed Usage: Existing Community Center to remain as same usage

Exterior Building Materials: Existing brick, split-face masonry, asphalt shingle roof screening

Roof Material & Design: Existing asphalt shingles and built roof to be replace with new shingles and TPO roof

Screening Material & Design: Existing Asphalt Shingle roof and split face masonry walls at trash enclosure

Description of art or architecturally significant features (if any):
Upgrading the look of the exterior by adding and entrance element of metal panels and painting the existing brick to give the building an up to date look

ADDITIONAL PROJECT INFORMATION:

Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- Details of screening, retaining walls, etc.
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
- Landscape Plan.
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be brought to the ARB meeting)
- Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.

ARCHITECTURAL REVIEW DESIGN STANDARDS

Please refer to Section 04-01 of the Unified Development Code for the Architectural Review Design Standards.

ARCHITECTURAL TERMS

Please refer to Section 10-06 of the Unified Development Code for definitions of Architectural Terms.



The JWest – Architectural Statement

The existing JWest Community Center will be undergoing an exterior facelift, which will include a new entrance façade at the existing main entrance, a new Adult Day Care entrance, as well as enhanced landscaping and garden area for patrons. The new facelift will bring the building into the current look of buildings in the surrounding City of Chesterfield, while maintaining its strong presence as Community Center.

Site Relationship – The JWest is located at the corner of Wild Horse Creek Road and Baxter Road.

Circulation and access – The JWest has two entrances from Baxter Road to the development.

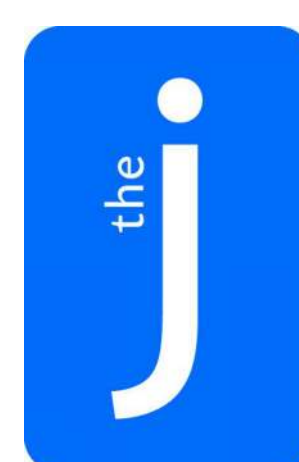
Topography – The site is relatively flat at the Main Entrance level to the building the grades slope away from the building at the rear of the building towards Ascension School.

Retaining walls – There are retaining walls in the existing pool area from the main level and at the playground area that will remain.

Design Materials – The existing building consists of brick veneer and split-face masonry veneer with some EIFS on the rear of the building. The material will remain; however, the existing brick veneer will be painted to coordinate with the new metal panels being added at the Main entrance. The existing asphalt shingle roof system around the perimeter of the building will be replaced with new asphalt shingles.

Landscape and Screening – The new landscape plan that has been designed will match and enhance the existing landscaping and will comply with the guidelines established by the City of Chesterfield. There are various screening methods already established for the development and there will be no new screening required.

Site Lighting – The Site Lighting exists and will be upgraded to new LED lighting and meeting the City of Chesterfield ordinance.



J WEST FOX BUILDING - RENOVATION

16801 BAXTER ROAD
CHESTERFIELD, MO 63005





MAIN ENTRANCE FROM BAXTER ROAD



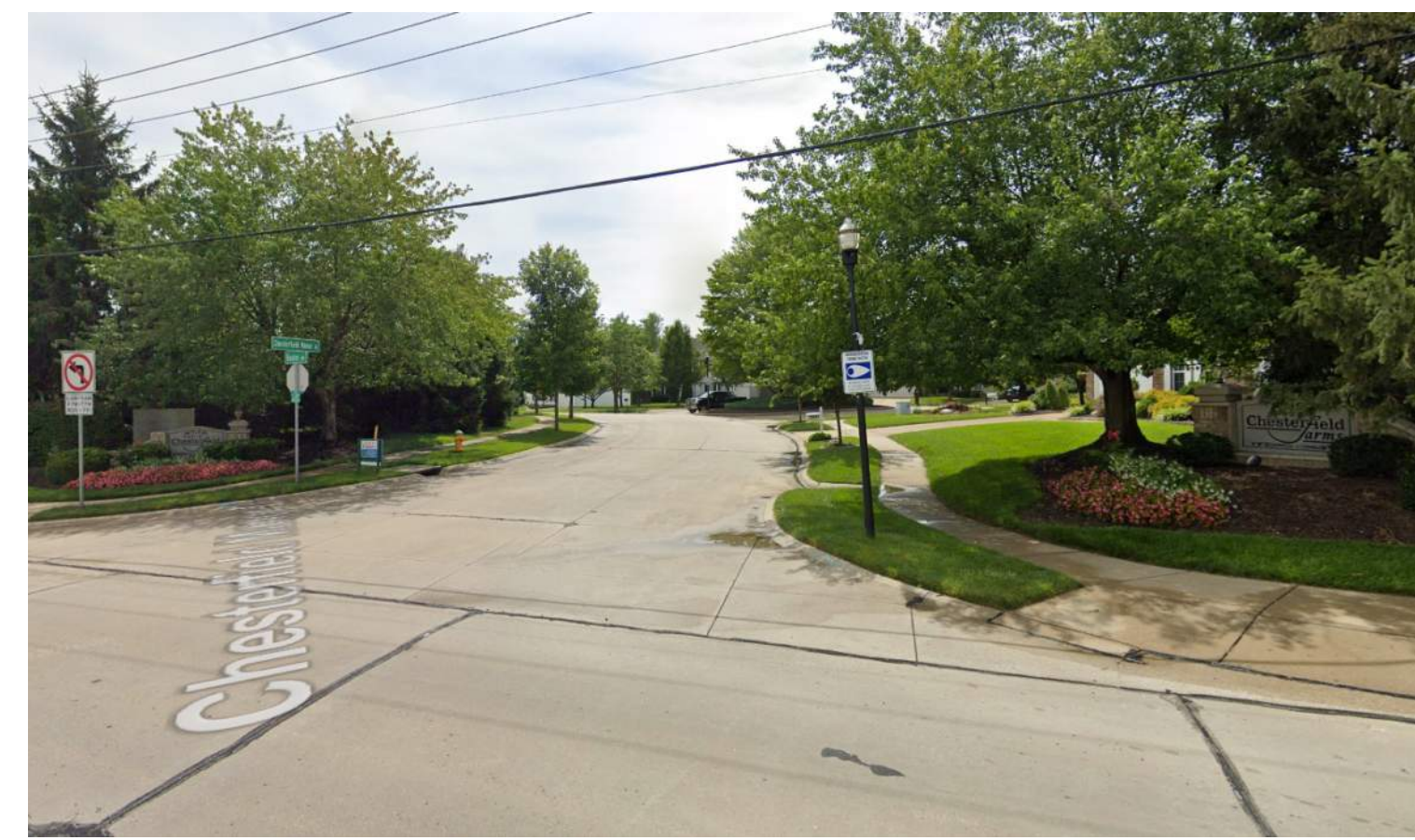
BAXTER ROAD & WILD HORSE CREEK ROAD



WILD HORSE CREEK ROAD



ADJACENT PROPERTY -
HIGHLAND SCHOOLS



ADJACENT PROPERTY -
CHESTERFIELD FARM
SUBDIVISION



ADJACENT PROPERTY -
OPEN PROPERTY



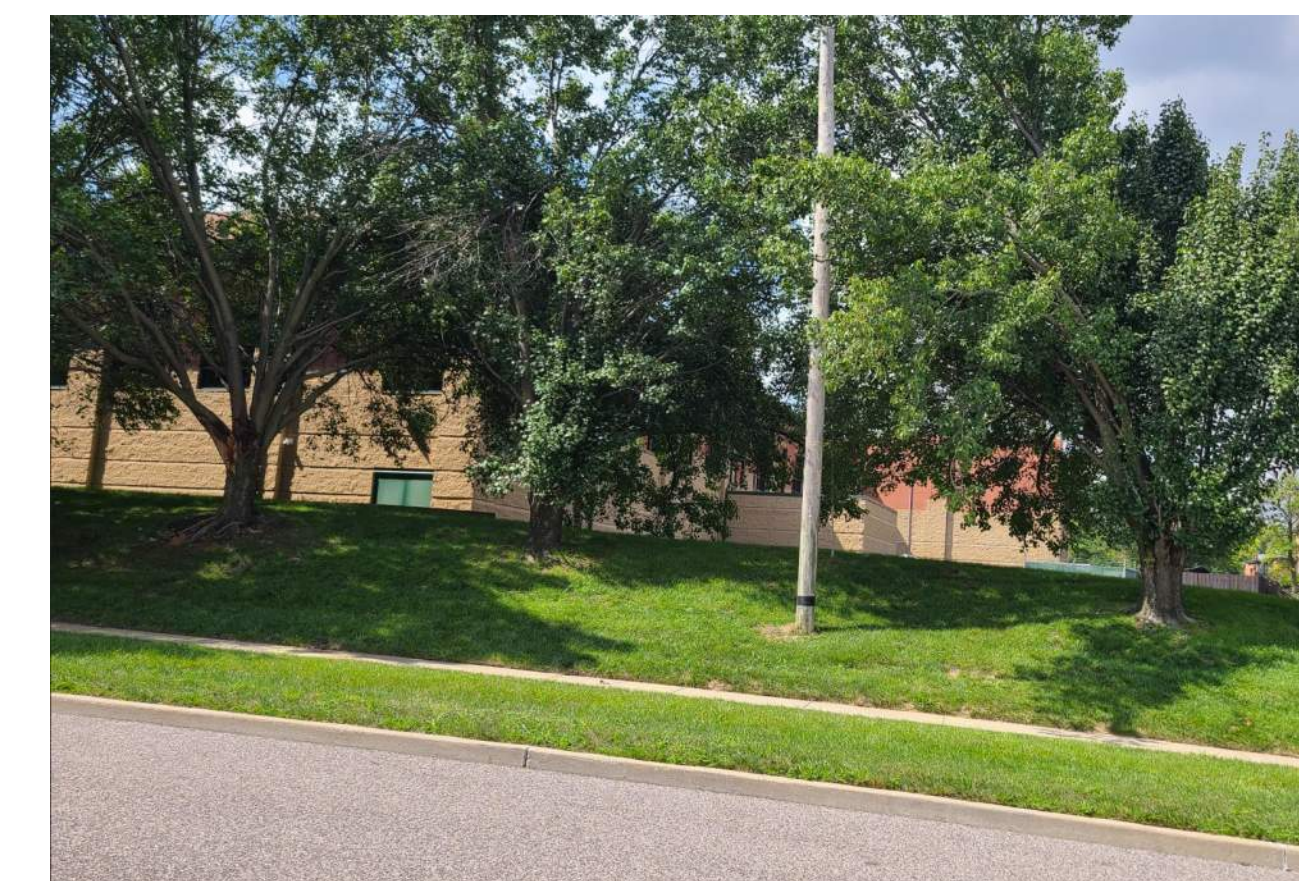
ADJACENT PROPERTY -
ACENSION SCHOOL



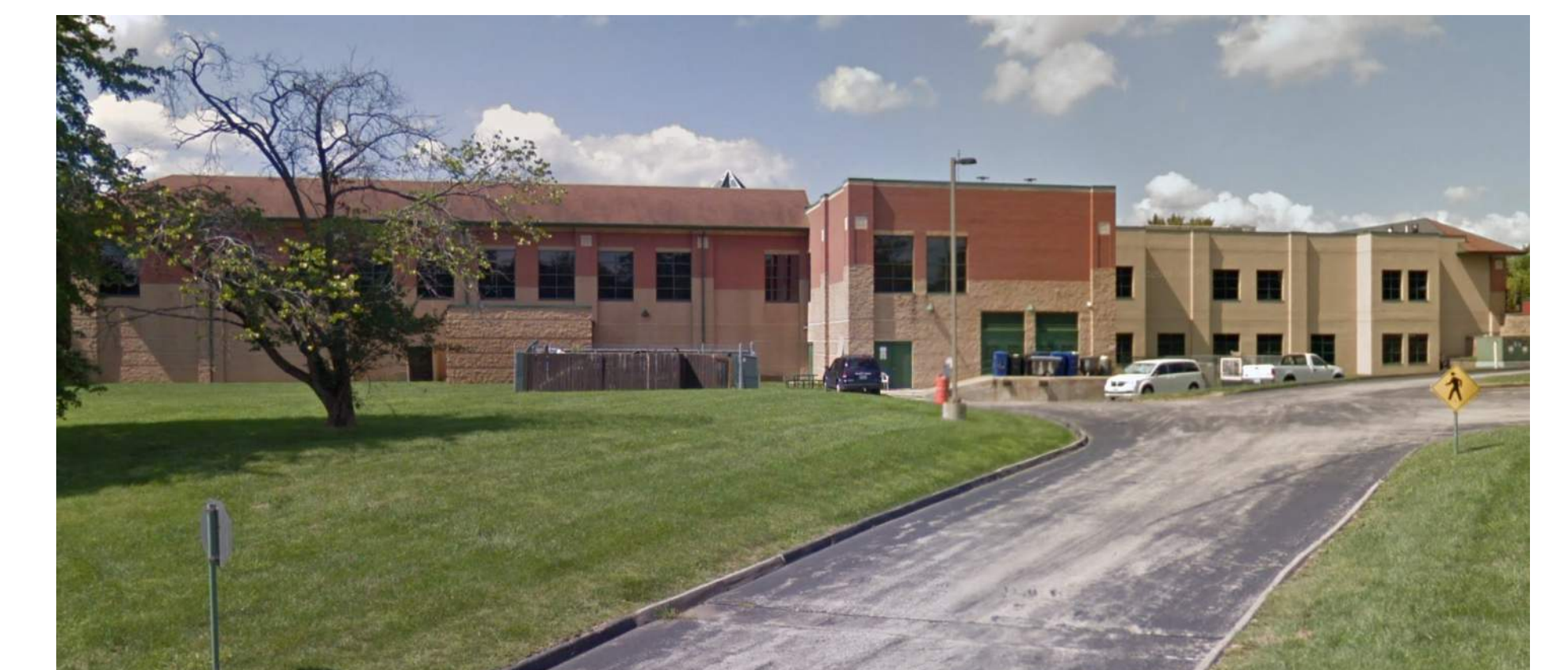
JCC WEST BUILDING - NORTH



JCC WEST BUILDING - WEST



JCC WEST BUILDING - SOUTH



JCC WEST BUILDING - EAST



ADJACENT PROPERTY -
ACENSION SCHOOL SOUTH



ADJACENT PROPERTY -
ACENSION SCHOOL NORTHWEST



J WEST FOX BUILDING - RENOVATION

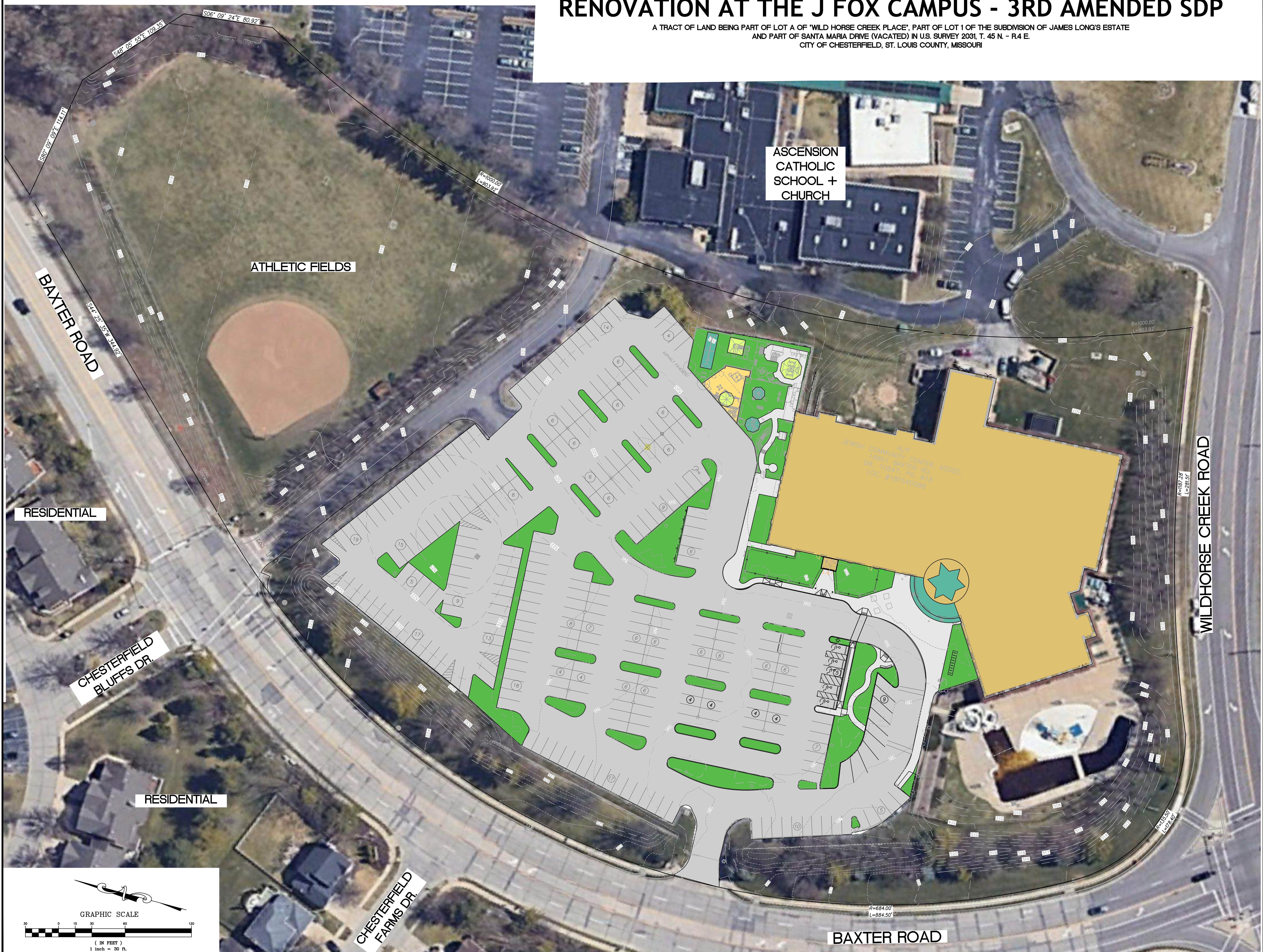
16801 BAXTER ROAD
CHESTERFIELD, MO 63005



07/24/23
REV 08/14/23

RENOVATION AT THE J FOX CAMPUS - 3RD AMENDED SDP

A TRACT OF LAND BEING PART OF LOT A OF 'WILD HORSE CREEK PLACE', PART OF LOT 1 OF THE SUBDIVISION OF JAMES LONG'S ESTATE AND PART OF SANTA MARIA DRIVE (VACATED) IN U.S. SURVEY 2031, T. 45 N. - R.4 E. CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI



ASCENSION
CATHOLIC
SCHOOL +
CHURCH

ATHLETIC FIELDS

BAXTER ROAD

RESIDENTIAL

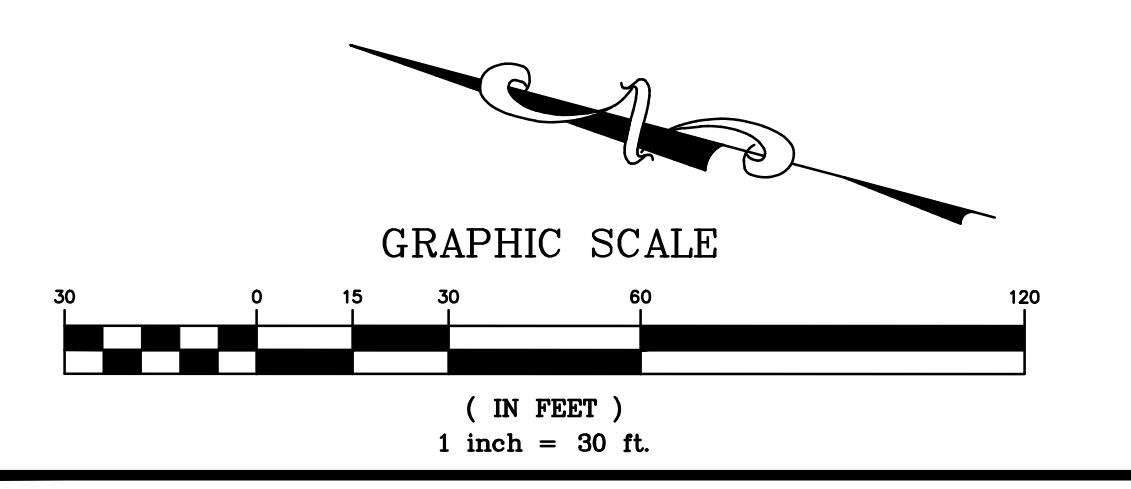
CHESTERFIELD
BLUFFS DR.

RESIDENTIAL

CHESTERFIELD
FARMS DR.

WILDHORSE CREEK ROAD

BAXTER ROAD



PREPARED BY:

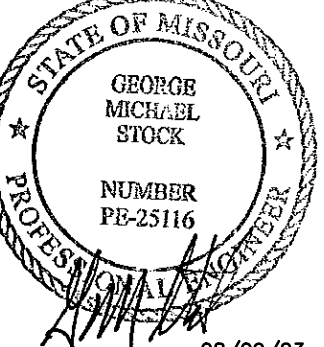


AMENDED SITE DEVELOPMENT PLAN FOR:

RENOVATION AT THE J FOX CAMPUS

16801 BAXTER ROAD
CHESTERFIELD, MISSOURI 63005

DATE:



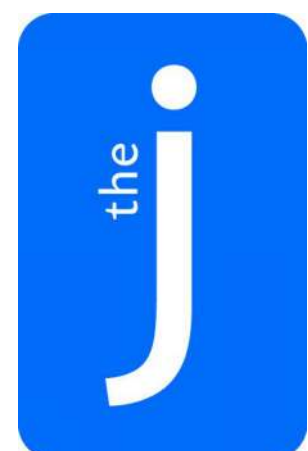
GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

REVISIONS:
1. 2023-08-09 CITY COMMENTS

DRAWN BY: K.S.C.	CHECKED BY: G.M.S.
DATE: 07/24/2023	JOB NO: 207-4208.2
REG. P.#	BASE MAP P.#
S.L.C. MAT.#	MAT. SUP. P.#
M.D.N.R. #	

SHEET TITLE:
COLOR
SITE PLAN

SHEET NO.:
ASDP-1



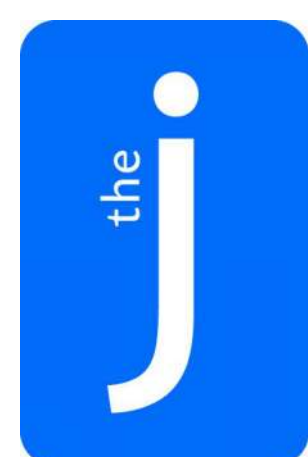
J WEST FOX BUILDING - RENOVATION

16801 BAXTER ROAD
CHESTERFIELD, MO 63005



07/24/23
REV 08/14/23

JCC WEST - EXISTING AND PROPOSED ENTRY VIEWS



J WEST FOX BUILDING - RENOVATION

16801 BAXTER ROAD
CHESTERFIELD, MO 63005



07/24/23
REV 08/14/23

EXTERIOR MATERIAL LEGEND

- AS1 ASPHALT SHINGLES
MFR: CERTAINTED
PRODUCT: LANDMARK PRO DESIGNER SHINGLES
COLOR: MAX DEF MOIRE BLACK

- BR1 FACE BRICK
MFR: MATCH EXISTING SIZE AND SHAPE
PRODUCT: GREY

- M1 SPLIT-FACE MASONRY UNITS
MFR: MATCH EXISTING COLOR, SHAPE AND SIZE
PRODUCT:

- MT1 METAL PANEL
MFR: PAC-CLAD
PRODUCT: MODULAR AL (24" X 36" PANELS)
COLOR: BLACK

- MT2 METAL PANEL
MFR: PAC-CLAD
PRODUCT: MODULAR AL (24" X 36" PANELS)
COLOR: GREY

- MT3 PREFINISHED METAL COPING
MFR: PAC-CLAD
COLOR: BLACK

- MT4 PREFINISHED METAL GUTTER AND DOWNSPOUT
MFR: PAC-CLAD
COLOR: BLACK

- GL1 NEW STOREFRONT OPENINGS
MFR: GUARDIAN
PRODUCT: 31" INSULATED GLASS LOW-E

- PT1 EXTERIOR PAINT - BRICK
MFR: SHERWIN WILLIAMS
PRODUCT:

- PT2 EXTERIOR PAINT - H.M. DOORS AND FRAMES
MFR: SHERWIN WILLIAMS
PRODUCT:

- PT3 EXTERIOR PAINT - EXISTING STOREFRONTS
MFR: SHERWIN WILLIAMS
PRODUCT:

- ST1 EXISTING STOREFRONT WINDOW SYSTEMS
MFR: EXISTING TO REMAIN
COLOR: PAINT ALL MULLIONS - BLACK (INSIDE AND OUTSIDE)

- ST2 NEW STOREFRONT WINDOW SYSTEMS
MFR: OLD CASTLE BUILDING ENVELOPE
PRODUCT: 3000 XT THERMAL BROKEN STOREFRONT SYSTEM (2" X 4 1/2")
COLOR: BLACK



1 NORTH ELEVATION - PLANNING
3/32" = 1'-0"



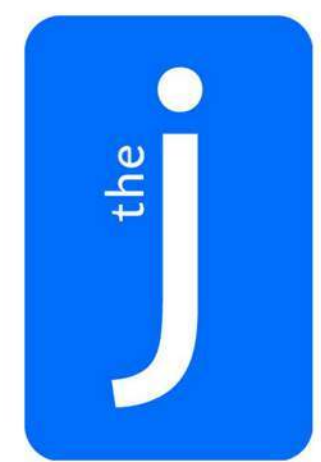
2 EAST ELEVATION - PLANNING
3/32" = 1'-0"



3 SOUTH ELEVATION - PLANNING
3/32" = 1'-0"



4 WEST ELEVATION - PLANNING
3/32" = 1'-0"



J WEST FOX BUILDING - RENOVATION

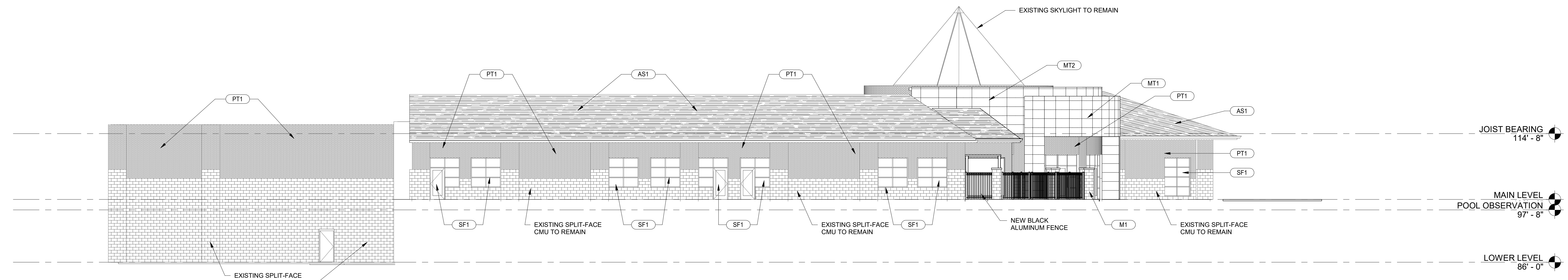
16801 BAXTER ROAD
CHESTERFIELD, MO 63005



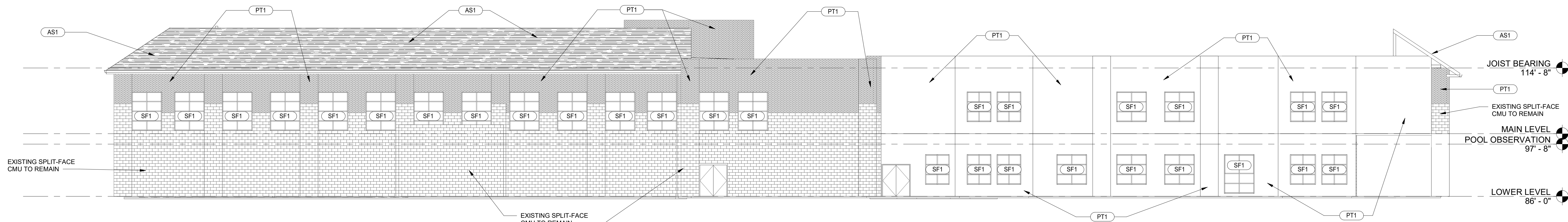
EXTERIOR MATERIAL LEGEND

AS1	ASPHALT SHINGLES MFR: CERTAINTEED PRODUCT: LANDMARK PRO DESIGNER SHINGLES COLOR: MAX DEF MOIRE BLACK
BR1	FACE BRICK MFR: MATCH EXISTING SIZE AND SHAPE PRODUCT: GREY
M1	SPLIT-FACE MASONRY UNITS MFR: MATCH EXISTING COLOR, SHAPE AND SIZE PRODUCT:
MT1	METAL PANEL MFR: PAC-CLAD PRODUCT: MODULAR AL (24" X 36" PANELS) COLOR: MATTE BLACK
MT2	METAL PANEL MFR: PAC-CLAD PRODUCT: MODULAR AL (24" X 36" PANELS) COLOR: WEATHERED ZINC
MT3	PREFINISHED METAL COPING MFR: PAC-CLAD COLOR: BLACK
MT4	PREFINISHED METAL GUTTER AND DOWNSPOUT MFR: PAC-CLAD COLOR: BLACK
GL1	NEW STOREFRONT OPENINGS MFR: GUARDIAN PRODUCT: 31" INSULATED GLASS LOW-E
PT1	EXTERIOR PAINT - BRICK MFR: SHERWIN WILLIAMS PRODUCT: SW 7074 SOFTWARE
PT2	EXTERIOR PAINT - H.M. DOORS AND FRAMES MFR: SHERWIN WILLIAMS PRODUCT: SW 6268 TRICORN BLACK
PT3	EXTERIOR PAINT - EXISTING STOREFRONTS MFR: SHERWIN WILLIAMS PRODUCT: SW 6268 TRICORN BLACK
SF1	EXISTING STOREFRONT WINDOW SYSTEMS MFR: EXISTING TO REMAIN COLOR: PAINT ALL MULLIONS - BLACK (INSIDE AND OUTSIDE)
SF2	NEW STOREFRONT WINDOW SYSTEMS MFR: OLD CASTLE BUILDING ENVELOPE PRODUCT: 3000 XT THERMAL BROKEN STOREFRONT SYSTEM (2" X 4 1/2") COLOR: BLACK

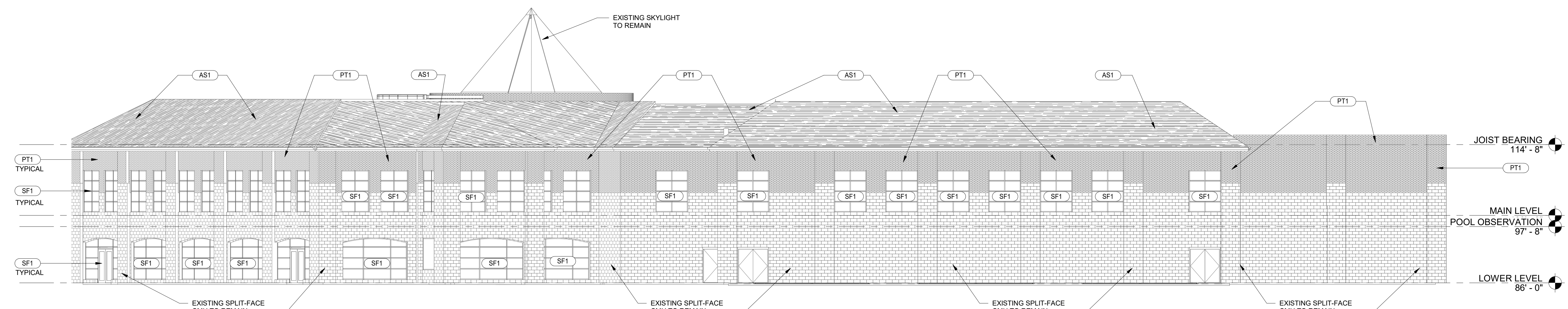
- EXTERIOR BUILDING SCOPE OF WORK:**
- Remove existing standing seam metal roof system over existing entrance.
 - Provide new metal panel façade and support metal stud/steel structure in place of standing seam metal roof at existing entrance. Provide TPO roof system at new structure component.
 - Provide new Entrance façade metal panel system over metal stud and steel structure and associated footings and foundations extend out from building at existing entrance. Provide new entrance vestibule at new Adult Day Care entry. Provide new brick veneer over metal stud structure, with new exterior storefront window systems (black), automatic sliding door (inside and outside) black, new concrete pad/foundations, new roof trusses and asphalt shingles tying back into existing roof system, new soffits, and gutters to match existing.
 - Provide new exterior storefront system with doors (black) from Adult Day Care to garden areas. Remove masonry wall (partial below existing windows removed).
 - New hollow metal door and frame into new Kitchen area in existing exterior wall.
 - All existing "Green" gutters and downspouts to be painted black.
 - All existing "green" storefront window systems around entire building to be painted "black". Inside and outside metal surfaces to be painted.
 - All existing asphalt shingles to be removed and replaced with new Stab Architectural style 30-year asphalt shingles around entire perimeter of building, color TRD.
 - All existing brick veneer to be painted around entire building, only the brick.
 - All existing split-face masonry veneer to remain as is, do not paint.
 - Existing built-up roof system on entire building to be removed. Provide new 60 mil TPO roof system with new R-30 roof insulation.



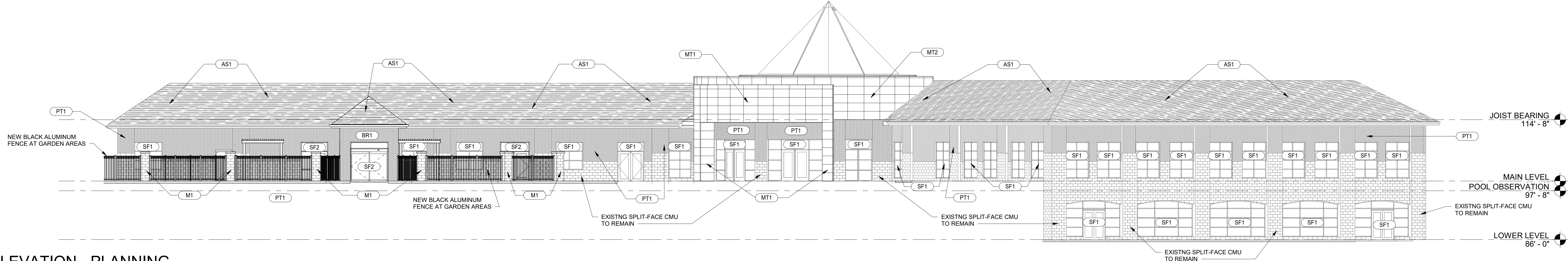
1 NORTH ELEVATION - PLANNING
3/32" = 1'-0"



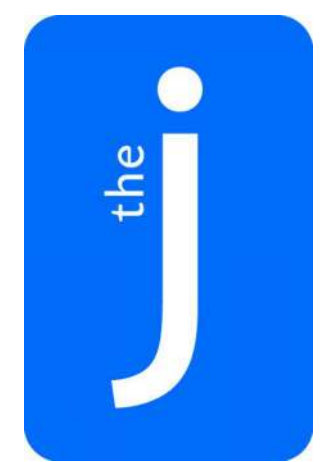
2 EAST ELEVATION - PLANNING
3/32" = 1'-0"



3 SOUTH ELEVATION - PLANNING
3/32" = 1'-0"



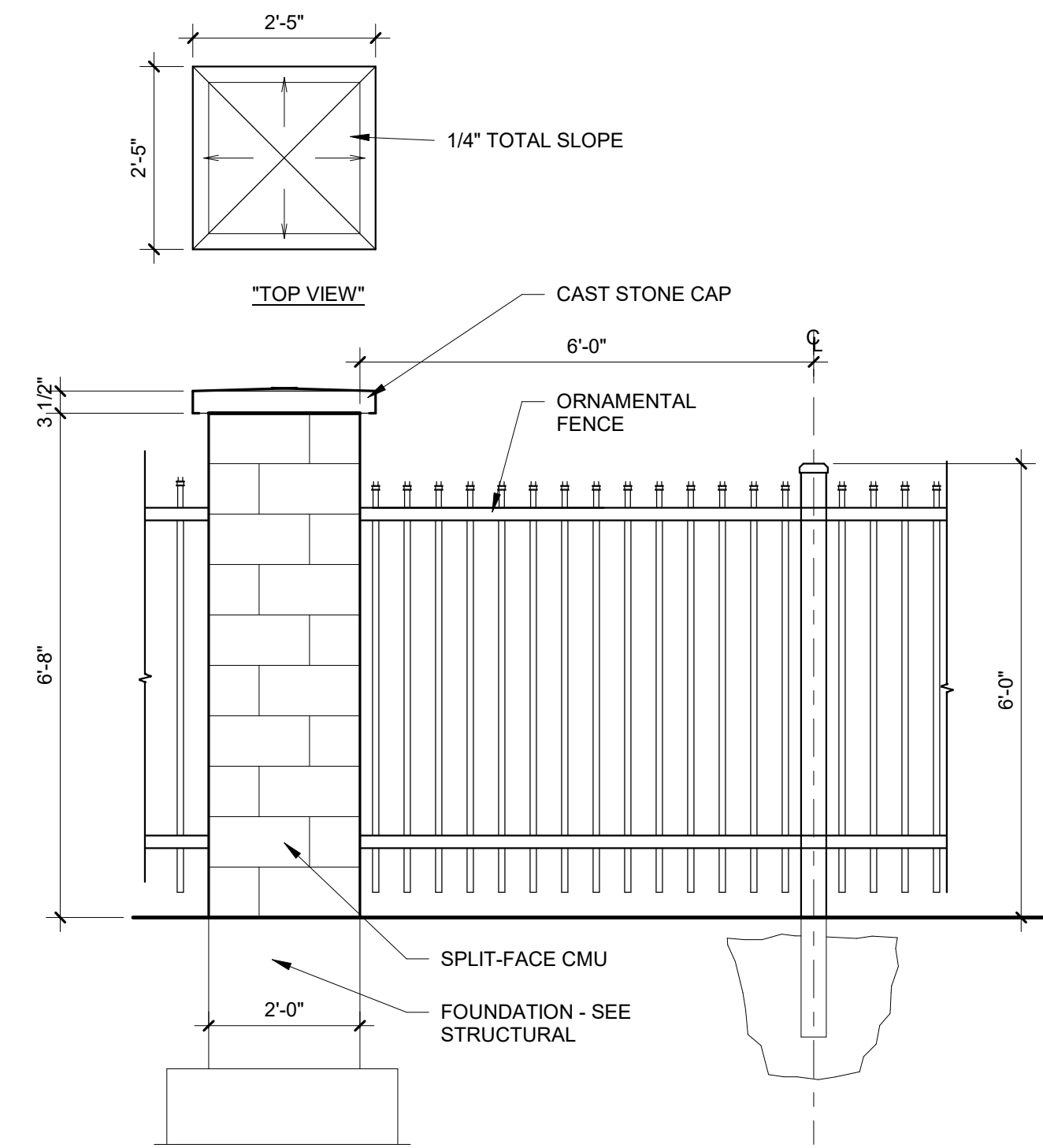
4 WEST ELEVATION - PLANNING
3/32" = 1'-0"



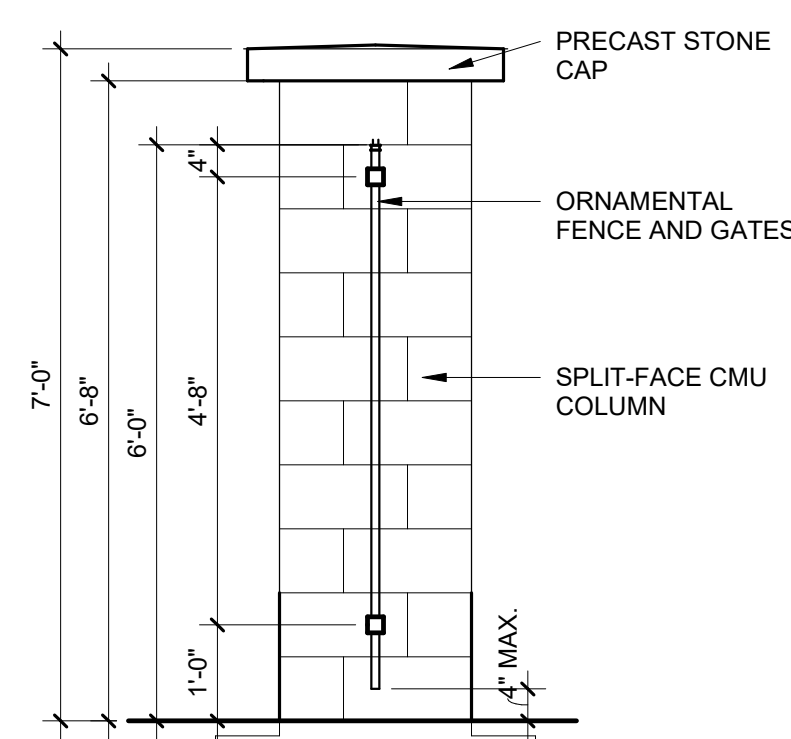
J WEST FOX BUILDING - RENOVATION

16801 BAXTER ROAD
CHESTERFIELD, MO 63005

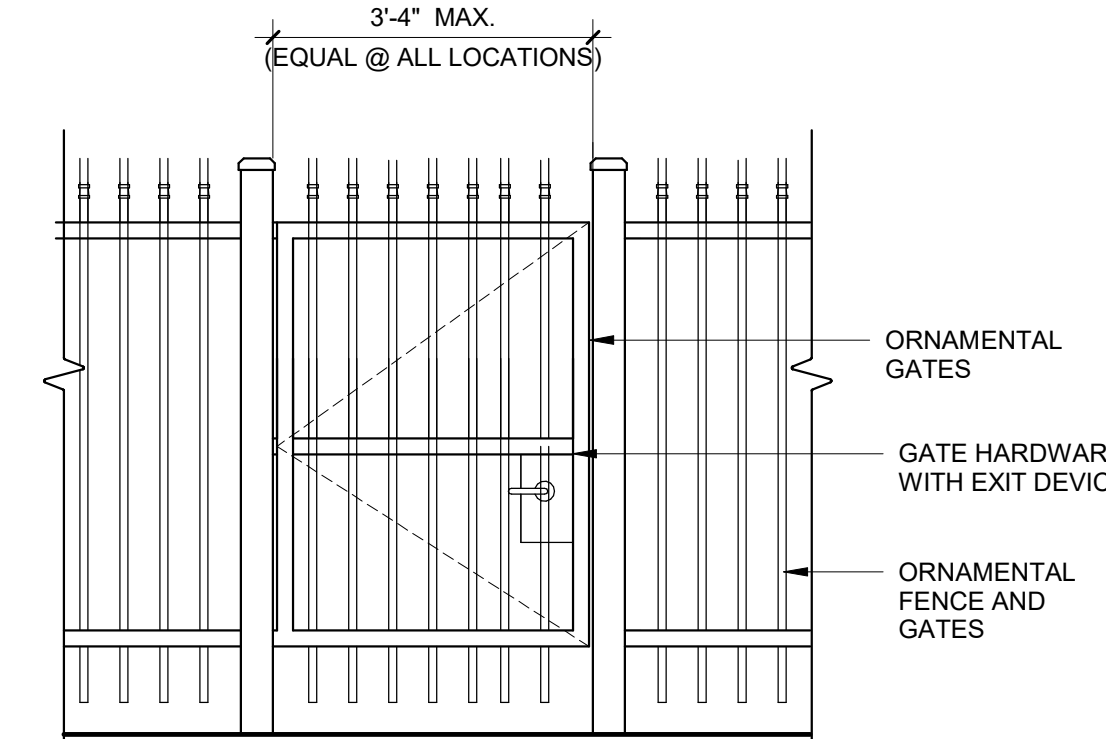




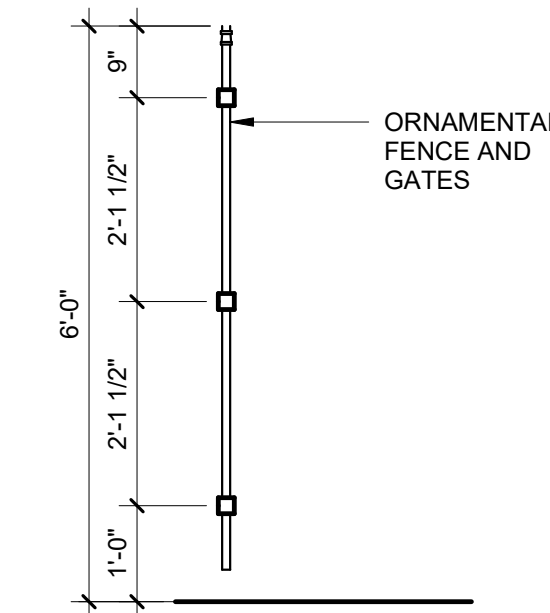
B4 ORNAMENTAL FENCE & PILASTER ELEVATION
1/2" = 1'-0"



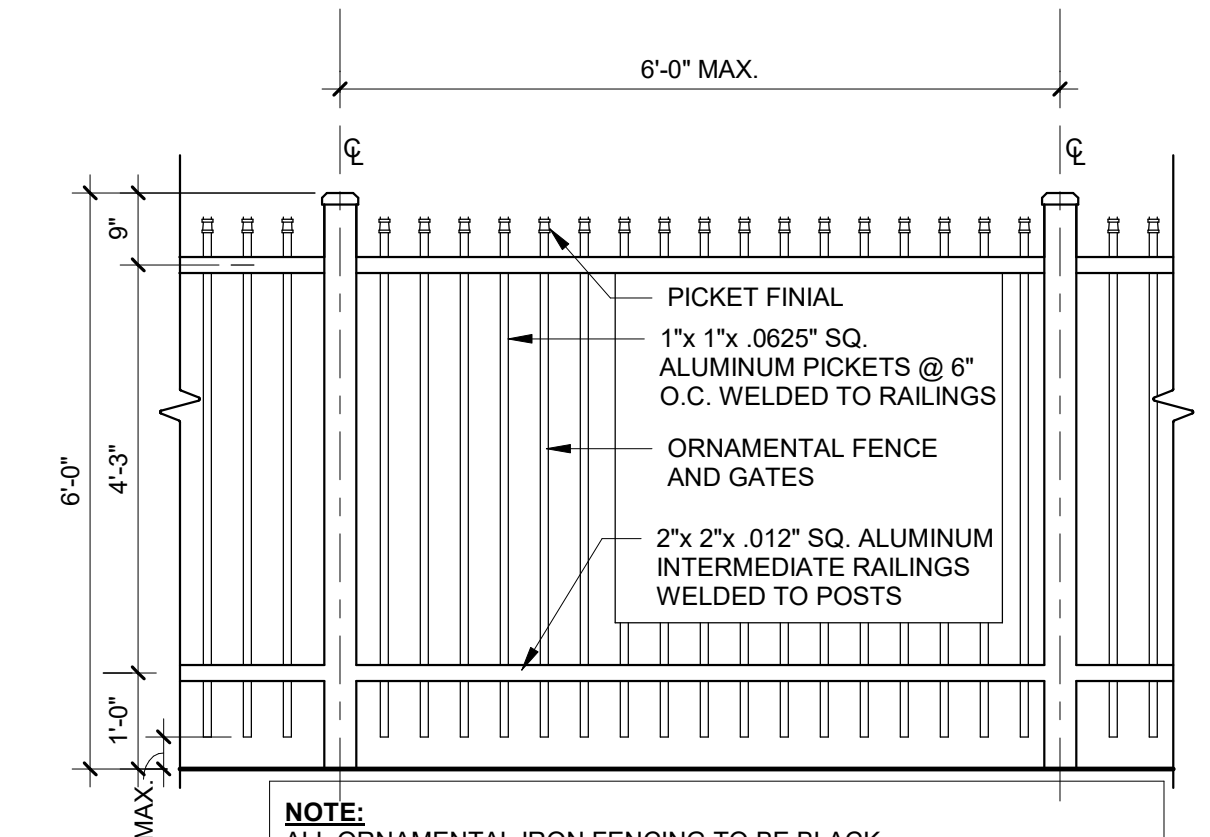
A3 ORNAMENTAL FENCE @ PILASTER SECTION
1/2" = 1'-0"



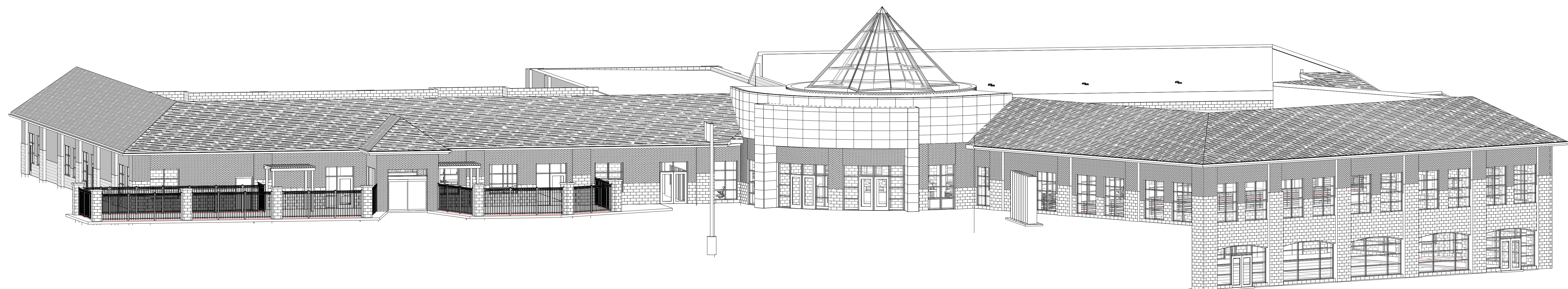
D1 ACCESS GATE ELEVATION
1/2" = 1'-0"



C1 ORNAMENTAL FENCE SECTION
1/2" = 1'-0"



B1 ORNAMENTAL FENCE ELEVATION
1/2" = 1'-0"



PERSPECTIVE VIEW OF BUILDING

RENOVATION AT THE J FOX CAMPUS - 3RD AMENDED SDP

A TRACT OF LAND BEING PART OF LOT A OF "WILD HORSE CREEK PLACE", PART OF LOT 1 OF THE SUBDIVISION OF JAMES LONG'S ESTATE AND PART OF SANTA MARIA DRIVE (VACATED) IN U.S. SURVEY 2031, T. 45 N. - R.4 E. CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

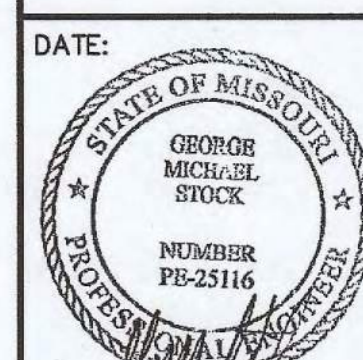


257 Chesterfield Business Parkway
Chesterfield, MO 63005
TEL: 636.437.1800 FAX: 636.437.1801
E-MAIL: general@stockandassociates.com
Web: www.stockandassociates.com

PREPARED BY:

AMENDED SITE DEVELOPMENT PLAN FOR:
RENOVATION AT THE J FOX CAMPUS

16801 BAXTER ROAD
CHESTERFIELD, MISSOURI 63005



DATE: 09/09/23
DRAWN BY: K.S.G. CHECKED BY: G.M.S.
DATE: 07/24/2023 JOB NO: 207-4208.2
M.S.D. P. # BASE MAP # 181
S.L.C. HAT # HAT S.L.P. # 181

REVISIONS:
1. 2023-08-09 CITY COMMENTS

DRAWN BY: K.S.G. CHECKED BY: G.M.S.
DATE: 07/24/2023 JOB NO: 207-4208.2
M.S.D. P. # BASE MAP # 181
S.L.C. HAT # HAT S.L.P. # 181

REVISIONS:
1. 2023-08-09 CITY COMMENTS

OVERALL CAMPUS PLAN

SHEET NO.: ASDP-1

BUILDING AND PARKING SETBACKS

- STRUCTURE SETBACKS:**
- FIFTY (50) FEET FROM WILD HORSE CREEK ROAD RIGHT-OF-WAY
 - ONE HUNDRED AND FIFTY (150) FEET FROM BAXTER EXTENSION ROAD RIGHT-OF-WAY
 - THIRTY (30) FEET FROM ALL OTHER LIMITS OF THIS C.U.P. DEVELOPMENT
- PARKING SETBACKS:**
- THIRTY (30) FEET FROM ALL LIMITS OF THIS C.U.P. WITH THE EXCEPTION ALONG BAXTER ROAD WHERE THE THIRTY (30) FOOT SETBACK SHALL BE MEASURED FROM THE REQUIRED SIGHT DISTANCE EASEMENT.

PARKING CALCULATION

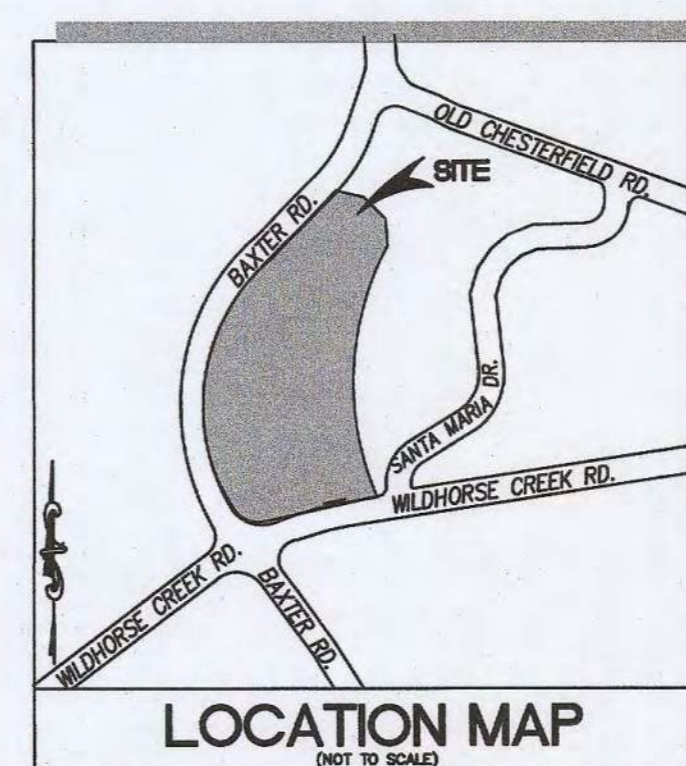
COMMUNITY CENTER
62,850 S.F. (PER 8/22/06 SHT. C1) + 469 S.F. STORAGE ADD'N (BUILT 2008), + 156 S.F. PR. ADD'N = 63,505 S.F. x 3.33 SPA./1,000 S.F. = 211 SPA.

CHILD DEVELOPMENT CENTER
2 SPA. + (1 SPA./EMP.) (16 EMP) PER 8-31-2015 SITE MTG. = 18 SPA.

OUTDOOR POOL
(1 SPA./100 S.F. WATER SURFACE AREA) x 6,900 S.F. (PER 1/07/08 EMAIL FROM WESTPORT POOLS) = 69 SPA.

ATHLETIC FIELDS
20 SPA./FIELD x 1 FIELD = 20 SPA.

TOTAL REQUIRED = 318 SPA.
TOTAL PROVIDED WITH PROPOSED PARKING LOT CHANGES = 323 SPA., O.K. (INCLUDES 6 ADA SPOTS)



PERTINENT DATA

OWNER: JEWISH COMMUNITY CENTER ASSOCIATION
ADDRESS: 16801 BAXTER ROAD, CHESTERFIELD 63005
EXISTING ZONING: "R2" RESIDENCE DISTRICT
LOCATOR NO.: 18T540588
FIRE DISTRICT: MONARCH FIRE PROTECTION DISTRICT
SCHOOL DISTRICT: ROCKWOOD
SEWER DISTRICT: METROPOLITAN ST. LOUIS SEWER DIST.
WATER SHED: BONHOMME CREEK
FSMA MAP: 201800080K
ELECTRIC UTILITY: AMEREN UE
GAS COMPANY: SPIRE INC.
WATER COMPANY: MISSOURI AMERICAN WATER COMPANY

SHEET INDEX

ASDP-1
L-1 & L-2
E101P & E102P

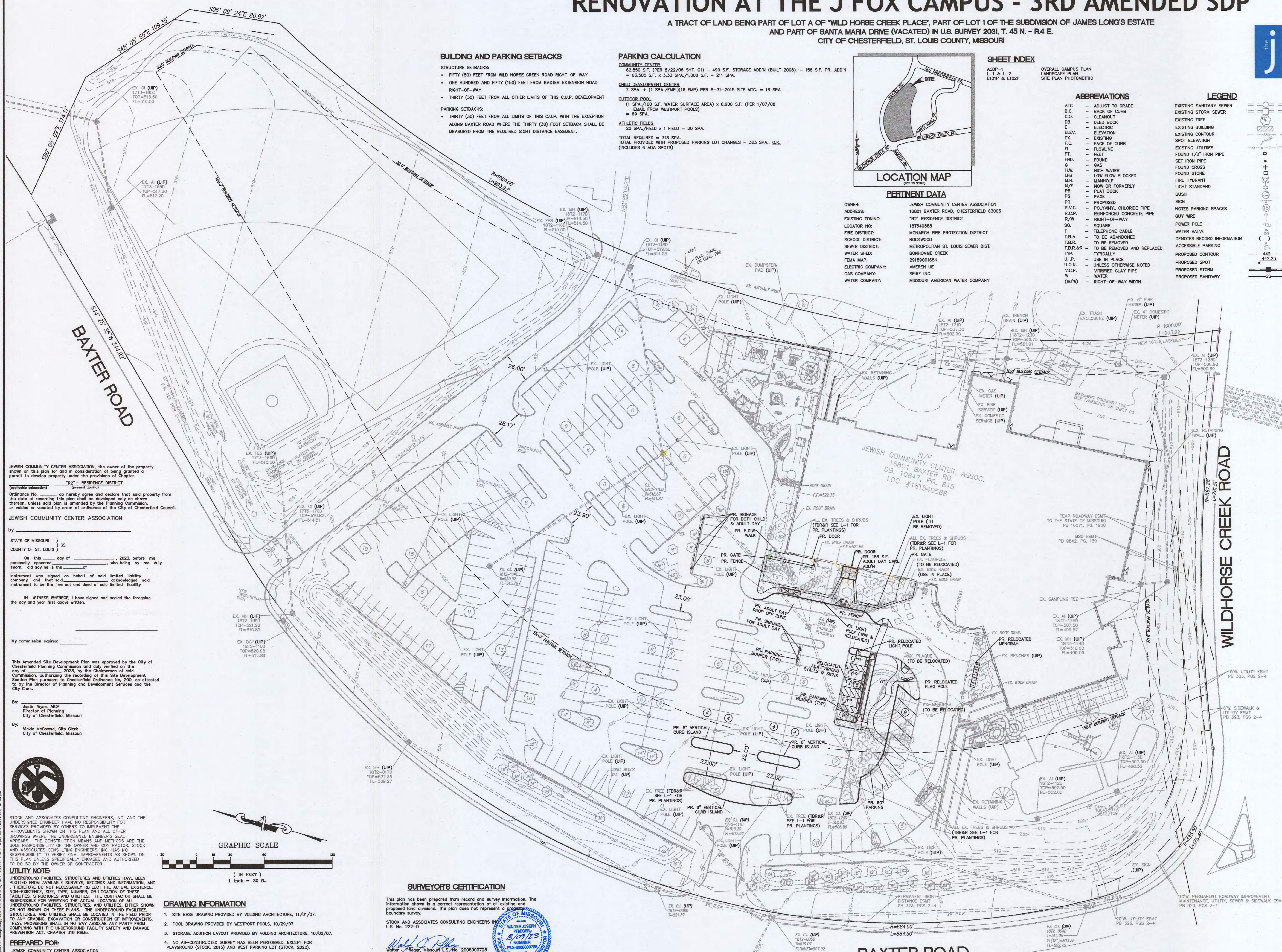
OVERALL CAMPUS PLAN
LANDSCAPE PLAN
SITE PLAN PHOTOMETRIC

ABBREVIATIONS

ATO	ADJUST TO GRADE
B.C.	BACK OF CURB
C.O.	CLEANOUT
DB.	DEED BOOK
E.	ELECTRIC
ELEV.	ELEVATION
EX.	EXISTING
F.C.	FACE OF CURB
FL.	FLOWLINE
FT.	FEET
FND.	FOUND
G.	GAS
H.W.	HIGH WATER
LFB.	LOW FLOW BLOCKED
M.H.	MANHOLE
N/F.	NOW OR FORMERLY
PB.	PLAT BOOK
PG.	PAGE
PR.	PROPOSED
P.V.C.	POLYVINYL CHLORIDE PIPE
R.C.P.	REINFORCED CONCRETE PIPE
R/W.	RIGHT-OF-WAY
SQ.	SQUARE
T.	TELEPHONE CABLE
T.B.A.	TO BE ABANDONED
T.B.R.	TO BE REMOVED
T.B.R.&R.	TO BE REMOVED AND REPLACED
TYP.	TYPICALLY
U.L.P.	USE IN PLACE
U.O.N.	UNLESS OTHERWISE NOTED
V.C.P.	VITRIFIED CLAY PIPE
W.	WATER
(66'W)	RIGHT-OF-WAY WIDTH

LEGEND

EXISTING SANITARY SEWER
EXISTING STORM SEWER
EXISTING TREE
EXISTING BUILDING
EXISTING CONTOUR
SPOT ELEVATION
EXISTING UTILITIES
FOUND 1/2" IRON PIPE
SET IRON PIPE
FOUND CROSS
FOUND STONE
FIRE HYDRANT
LIGHT STANDARD
BUSH
SIGN
NOTES PARKING SPACES
GUY WIRE
POWER POLE
WATER VALVE
ACCESSIBLE PARKING
ACCESSIBLE CONTOUR
PROPOSED SPOT
PROPOSED STORM
PROPOSED SANITARY

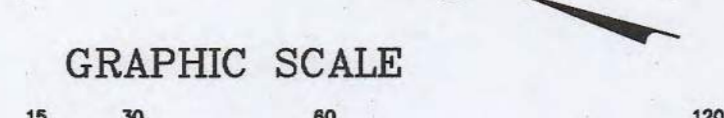


JEWISH COMMUNITY CENTER ASSOCIATION, the owner of the property shown on this plan for and in consideration of being granted a permit to develop property under the provisions of Chapter _____ (applicable subsection) _____ (present zoning) "R2" - RESIDENCE DISTRICT Ordinance No. _____ do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the Planning Commission, or voided or vacated by order of ordinance of the City of Chesterfield Council.

JEWISH COMMUNITY CENTER ASSOCIATION
by: _____
STATE OF MISSOURI) ss.
COUNTY OF ST. LOUIS)
On this _____ day of _____, 2023, before me personally appeared _____ who being by me duly sworn, did say he is the _____ of _____
Instrument was signed on behalf of said limited liability company, and that said _____ acknowledged said instrument to be the free act and deed of said limited liability company.
IN WITNESS WHEREOF, I have signed and sealed the foregoing the day and year first above written.
My commission expires: _____

This Amended Site Development Plan was approved by the City of Chesterfield Planning Commission and duly verified on the _____ day of _____, 2023, by the Chairperson of said Commission, authorizing the recording of this Site Development Section Plan pursuant to Chesterfield Ordinance No. 200, as amended to by the Director of Planning and Development Services and the City Clerk.

By: Justin Wynn, AICP
Director of Planning
City of Chesterfield, Missouri
By: Vickie McGowan, City Clerk
City of Chesterfield, Missouri



SURVEYOR'S CERTIFICATION

This plan has been prepared from record and survey information. The information shown is a correct representation of all existing and proposed land divisions. The plan does not represent a proposed boundary survey.

STOCK AND ASSOCIATES CONSULTING ENGINEERS INC.
L.S. No. 222-D
Walter J. Pfeiffer, Missouri L.S. No. 2008000728



DRAWING INFORMATION

- SITE BASE DRAWING PROVIDED BY VOLVING ARCHITECTURE, 11/01/07.
- POOL DRAWING PROVIDED BY WESTPORT POOLS, 10/29/07.
- STORAGE ADDITION LAYOUT PROVIDED BY VOLVING ARCHITECTURE, 10/02/07.
- NO AS-CONSTRUCTED SURVEY HAS BEEN PERFORMED, EXCEPT FOR PLAYGROUND (STOCK, 2015) AND WEST PARKING LOT (STOCK, 2022).
- PLAYGROUND PLANS BY OTHERS.
- WESTERMOST PARKING LOT LAYOUT PROVIDED BY PEAK CONSULTING, 1/8/08.

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

UTILITY NOTE:
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ASSUME ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

PREPARED FOR:
JEWISH COMMUNITY CENTER ASSOCIATION
CAROLYN H. WICKI BUILDING
2 MILLSTONE CAMPUS DRIVE
ST. LOUIS MO. 63146
(314) 432-5700 (MAIN)

NO.	REVISIONS	BY

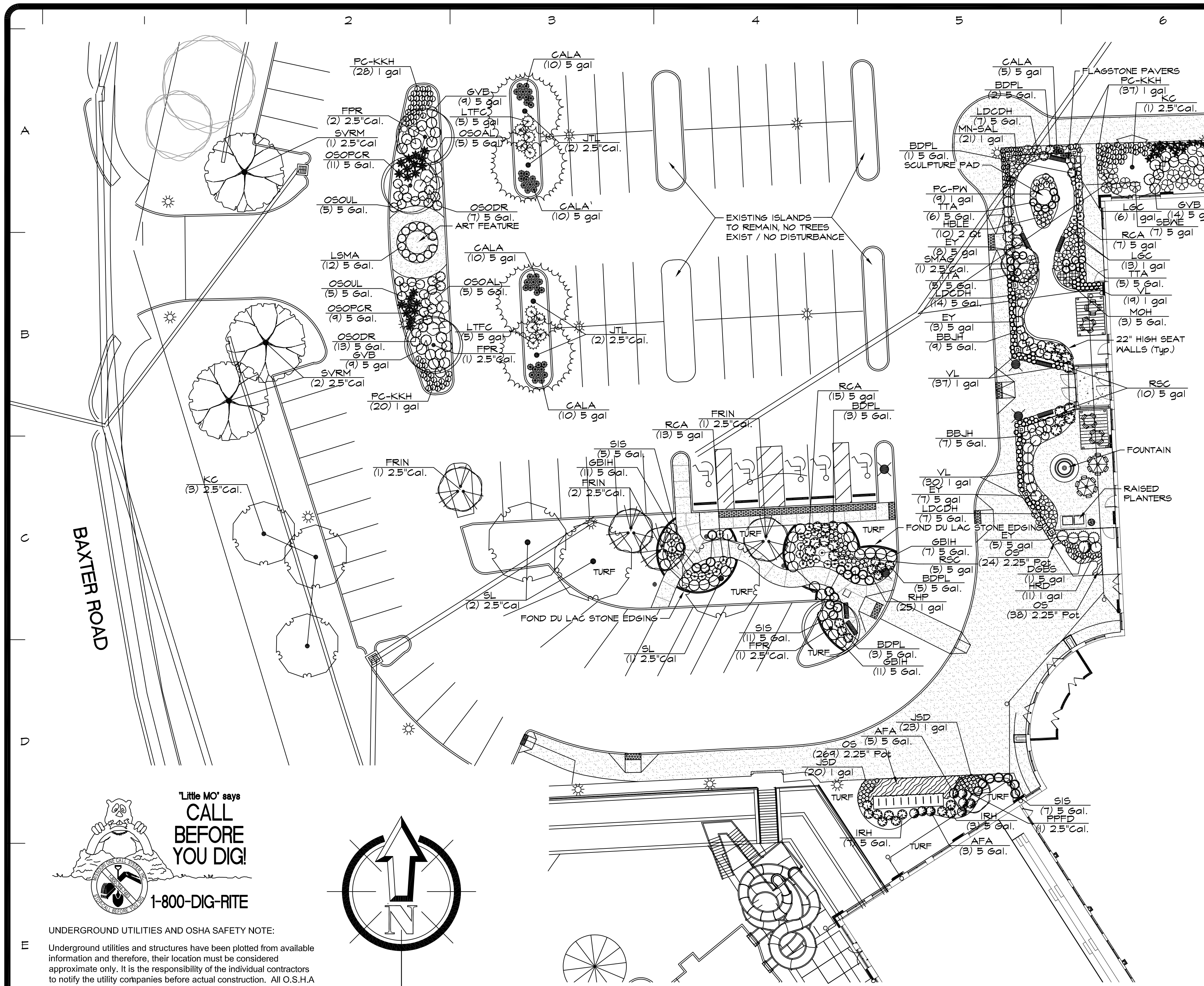
Landscaping TECHNOLOGIES

67 Jacopo Creek Drive
St. Charles, Missouri 63041
Phone: (636) 422-4455
Fax: (636) 422-4455

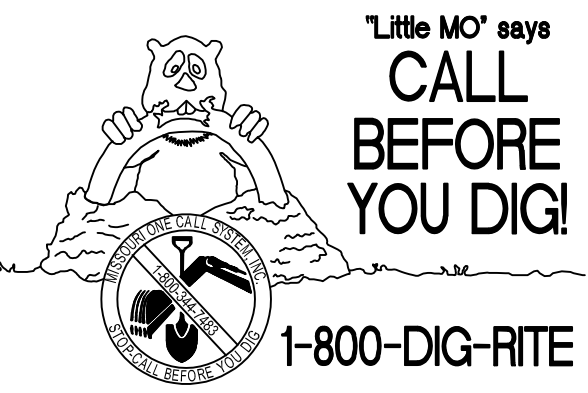
REGISTERED LANDSCAPE ARCHITECT #000014
DATE: 7/21/2023

PLANTING PLAN FOR THE PROPOSED REMODEL OF:
JCCA Maryland Fox Bldg.
 16801 BAXTER ROAD CHESTERFIELD, MISSOURI 63005

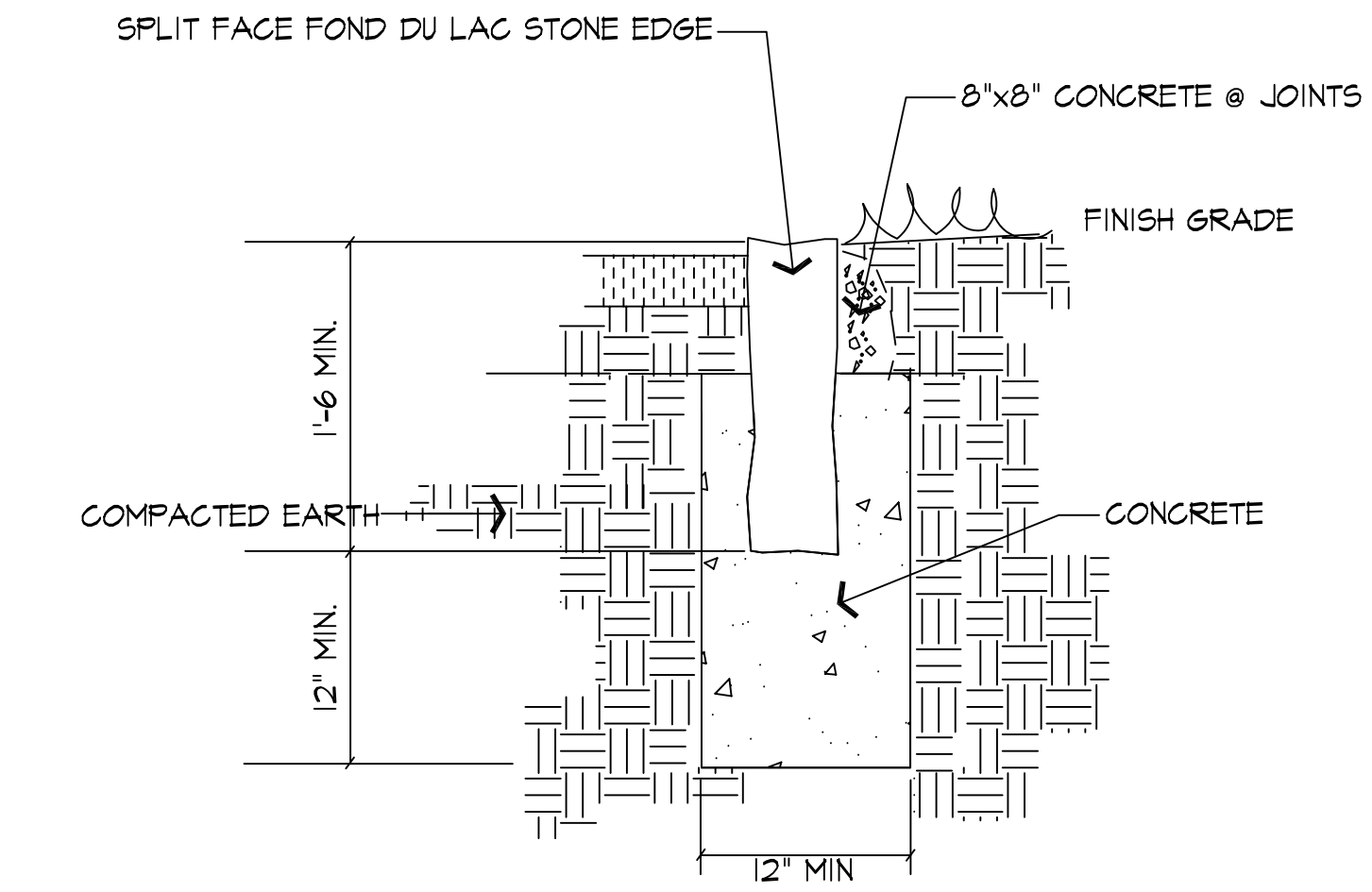
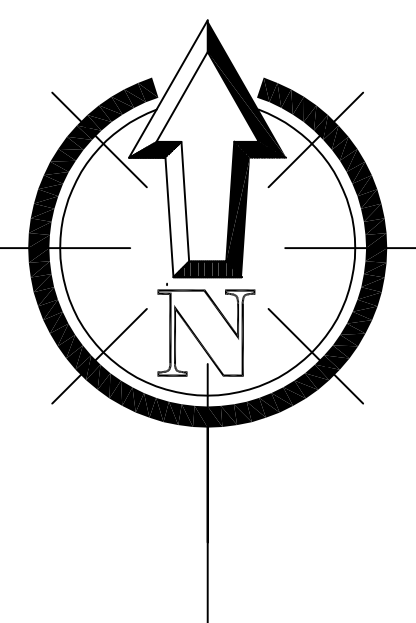
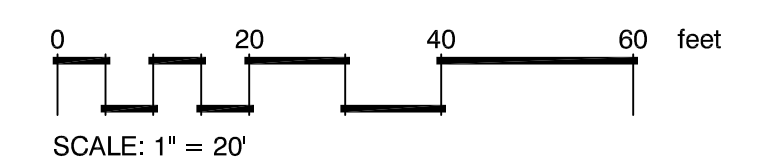
DRAWN: R. HARDS
 CHECKED: R.M./G.J.B.
 DATE: 1/21/2023
 SCALE: 1"=20'-0"
 JOB No. 2023-141
 SHEET 1-1
 OF TWO SHEETS



TREES	QTY	COMMON / BOTANICAL NAME	SIZE
SL	3	SILVER LINDEN / TILIA TOMENTOSA	2.5" GAL
SVRM	3	SUN VALLEY RED MAPLE / ACER RUBRUM 'SUN VALLEY'	2.5" GAL
FLOWERING TREES	QTY	COMMON / BOTANICAL NAME	SIZE
FFR	4	FOREST PANSY REDBUD / CERCIS CANADENSIS 'FOREST PANSY' TM	2.5" GAL
JTL	4	IVORY SILK JAPANESE TREE LILAC / SYRINGA RETICULATA 'IVORY SILK'	2.5" GAL
KC	4	KWANZAN CHERRY / PRUNUS SERRULATA 'KWANZAN'	2.5" GAL
PPFD	1	PRAIRIE PINK FLOWERING DOGWOOD / CORNUS FLORIDA 'PRAIRIE PINK'	2.5" GAL
SMA6	1	SAUCER MAGNOLIA / MAGNOLIA X SOULANGIANA	2.5" GAL
FRIN	4	WHITE FRINGETREE / CHIONANTHUS VIRGINICUS	2.5" GAL
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE
AFA	8	AUTUMN FIRE AZALEA / AZALEA X 'ROBLEZ' TM	5 GAL
ASA	6	AUTUMN SUNDANCE AZALEA / AZALEA X 'ROBLEZ' TM	5 GAL
BDPL	14	BLOOMERANG DWARF PURPLE LILAC / SYRINGA X 'SMNRRP' TM	5 GAL
BBHJ	16	BRASS BUGKLE JAPANESE HOLLY / ILEX CRENATA 'ANNYSI' TM	5 GAL
DGBS	1	DWARF GLOBE BLUE SPRUCE / PICEA PUNGENS 'GLOBOSA'	5 GAL
EY	23	EVERLOW YEW / TAXUS X MEDIA 'EVERLOW'	5 GAL
GBHJ	24	GEM BOX INKERRY HOLLY / ILEX GLABRA 'GEM BOX'	5 GAL
GVB	32	GREEN VELVET BOXWOOD / BUXUS 'GREEN VELVET'	5 GAL
IRH	10	INVINCIBELLE RUBY HYDRANGEA / HYDRANGEA ARBORESCENS 'NCHAS' TM	5 GAL
LTCF	10	LEMON THREAD FALSE CYPRESS / CHAMAECYPARIS PISIFERA 'FILIFERA LEMON THREAD'	5 GAL
LDCDH	20	LET'S DANCE CAN DO! HYDRANGEA / HYDRANGEA SERRATA 'SMNHSI'	5 GAL
LPPH	7	LIMELIGHT PRIME PANICLED HYDRANGEA / HYDRANGEA PANICULATA 'SMNHPH' TM	5 GAL
LSMA	12	LOW SCAPE MOUND CHOKEBERRY / ARONIA MELANOCARPA 'LOW SCAPE MOUND'	5 GAL
MOH	5	MUNCHKIN OAKLEAF HYDRANGEA / HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	5 GAL
RCA	46	ROSE CREEK ABELIA / ABELIA X GRANDIFLORA 'ROSE CREEK'	5 GAL
RSC	15	RUBY SPICE CLETHRA / CLETHRA ALNIFOLIA 'RUBY SPICE'	5 GAL
SIS	23	SCENTLANDIA SWEETSPIRE / ITEA VIRGINICA 'SMNVDPC' TM	5 GAL
SBNE	8	SONIC BLOOM WEIGELA / WEIGELA FLORIDA 'SONIC BLOOM'	5 GAL
TTA	16	TATER TOT® ARBORVITAE / THUJA OCCIDENTALIS 'SMNTOBAB'	5 GAL
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE
CALA	45	FOERSTER'S REED GRASS / CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	5 GAL
ROSES	QTY	COMMON / BOTANICAL NAME	SIZE
OSOAL	10	OSO EASY AT LAST ROSE / ROSA X 'OSO EASY AT LAST'	5 GAL
OSODR	20	OSO EASY DOUBLE ROSE / ROSA X 'OSO EASY DOUBLE ROSE'	5 GAL
OSOPCR	20	OSO EASY PINK CUPCAKE ROSE / ROSA X 'OSO EASY PINK CUPCAKE ROSE'	5 GAL
OSOUL	10	OSO EASY URBAN LEGEND / ROSA X 'OSO EASY PAPIKA'	5 GAL
ANNUALS/PERENNIALS	QTY	COMMON / BOTANICAL NAME	SIZE
HRD	11	HAPPY RETURNS DAYLILY / HEMEROCALLIS HYBRID 'HAPPY RETURNS'	1 GAL
HBLE	10	HUMMELO LAMB'S EAR / STACHYS MONIERI 'HUMMELO'	2 QT
JSD	43	JAVA SEA DAYLILY / HEMEROCALLIS X 'JAVA SEA'	1 GAL
FC-KKH	85	KIM'S KNEE HIGH PURPLE CONEFLOWER / ECHINACEA PURPUREA 'KIM'S KNEE HIGH' TM	1 GAL
LGC	19	LITTLE GOLDSTAR CONEFLOWER / RUDBECKIA FULGIDA SULLIVANTII 'LITTLE GOLDSTAR'	1 GAL
MN-SAL	21	MAY NIGHT SALVIA / SALVIA NEMOROSA 'MAY NIGHT'	1 GAL
FC-PW	9	POW POW WHITE CONEFLOWER / ECHINACEA PURPUREA 'POW POW WHITE'	1 GAL
RHP	25	RED HOT POKER / KNIPHOFIA UVARIA	1 GAL
SSHOS	24	SUM & SUBSTANCE HOSTA / HOSTA HYBRID 'SUM AND SUBSTANCE'	1 GAL
VL	86	VARIEGATED LIRIOPE / LIRIOPE MUSCARI 'VARIEGATA'	1 GAL
GROUND COVERS	QTY	COMMON / BOTANICAL NAME	SIZE
	331	ORANGE STONECROP / SEDUM KAMTSCHATICUM	2.25" POT



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
 Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (ie. trenching, blasting, etc.)



FOND DU LAC STONE EDGING DETAIL
 N.T.S.

LANDSCAPE GUIDELINE SPECS:

GENERAL:

- 1.) All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- 2.) The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
- 3.) Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RITE in Missouri).
- 4.) Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- 5.) It shall be the landscape contractor's responsibility to:
 - A.) Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - B.) Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - C.) Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
- 6.) Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
- 7.) Provide single-stem trees unless otherwise noted in plant schedule.
- 8.) All plant material shall comply with the recommendations and requirements of ANSI Z601 "American Standards for Nursery Stock".
- 9.) It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners' Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
- 10.) All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
- 11.) Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
- 12.) All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
- 13.) Transplanted material will not be guaranteed by the landscape contractor.
- 14.) Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
- 15.) Landscape contractor shall kill & remove all existing weeds within the project site.
- 16.) All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
- 17.) Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.

PRUNING:

- 1.) Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
- 2.) All pruning shall comply with ANSI A300 standards.

MULCH:

- 1.) All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
- 2.) No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Mirafi fabric be used beneath all gravel mulch beds.
- 3.) Edge all beds with spade-cut edge unless otherwise noted.

TOPSOIL:

- 1.) Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.
- 2.) Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- 3.) Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
- 4.) Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
- 5.) Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.

TURF:

- 1.) All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (18# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- 2.) The turf contractor shall be responsible for protection of finished grade; restore and repair any erosion or water damage and obtain owners' approval prior to seeding or sod installation.
- 3.) Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted.
- 4.) Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
- 5.) All sod shall be placed a maximum of 24 hours after harvesting.
- 6.) Recondition existing lawn areas damaged by Contractor's operations including equipment/material storage and movement of vehicles.
- 7.) Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.

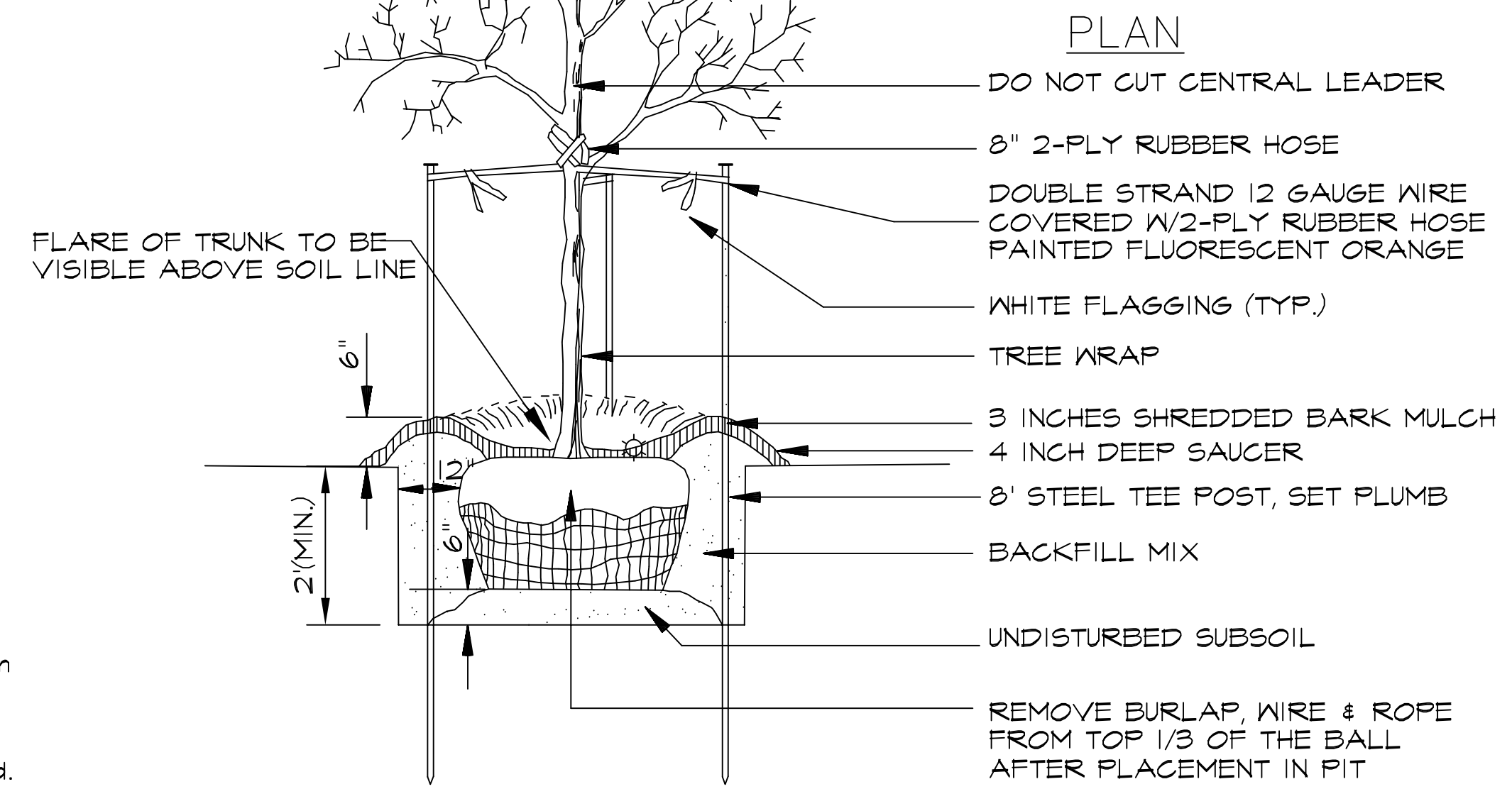
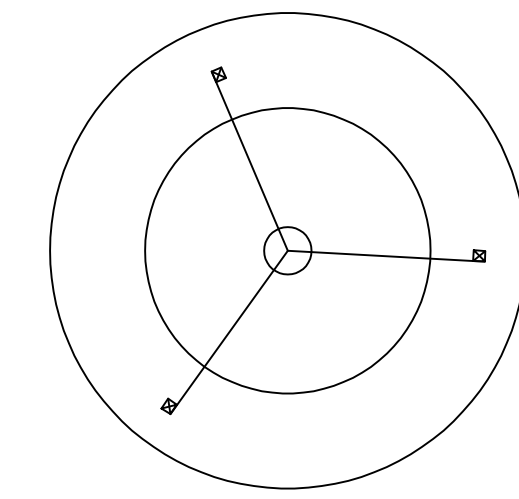
WARRANTY:

- 1.) All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
- 2.) Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
- 3.) Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with warranty.
- 4.) Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
- 5.) A written guarantee shall be provided to the owner per conditions outlined in #1 above.

INSURANCE:

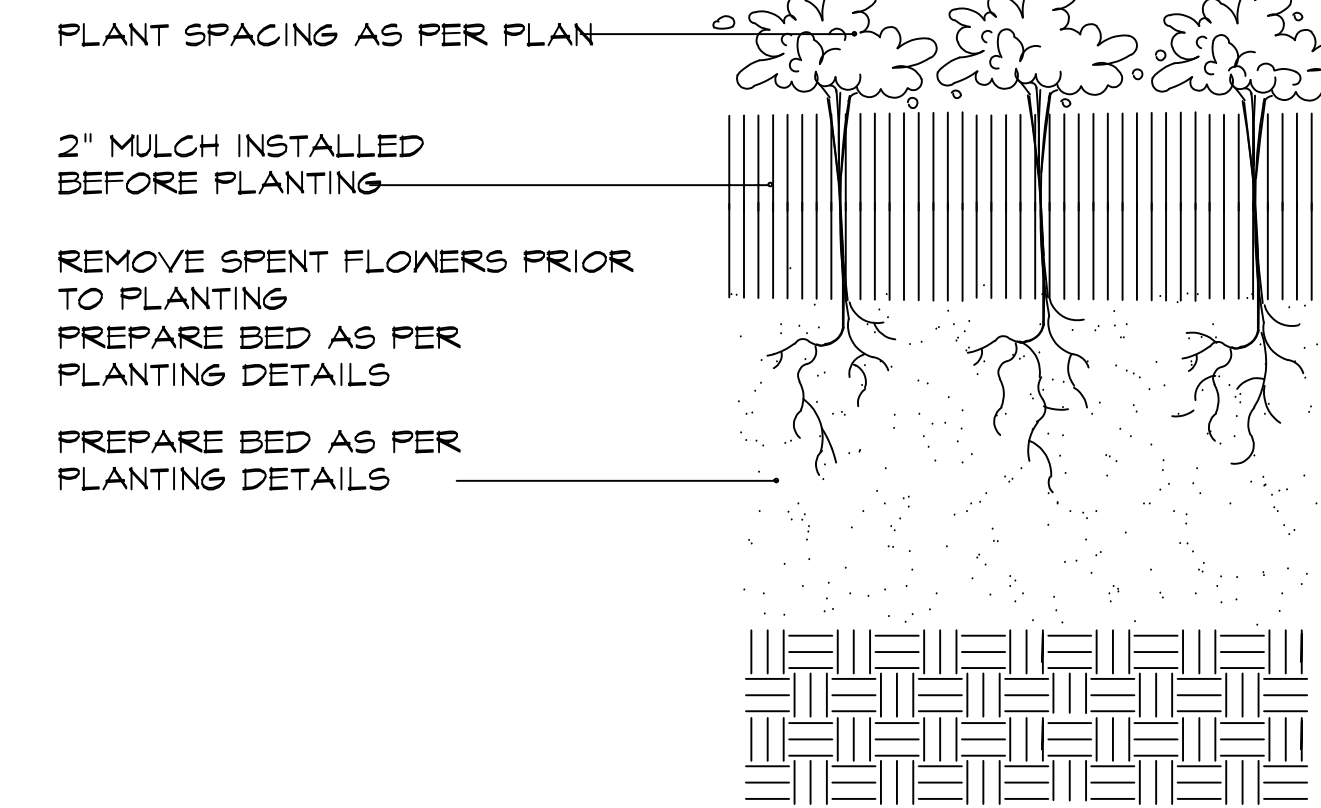
- 1.) The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

DETERMINE/MARK NORTH SIDE OF TREE IN NURSERY PRIOR TO DIGGING AND PLANT IN SAME RELATIONSHIP TO NORTH WHEN PLANTING ON-SITE



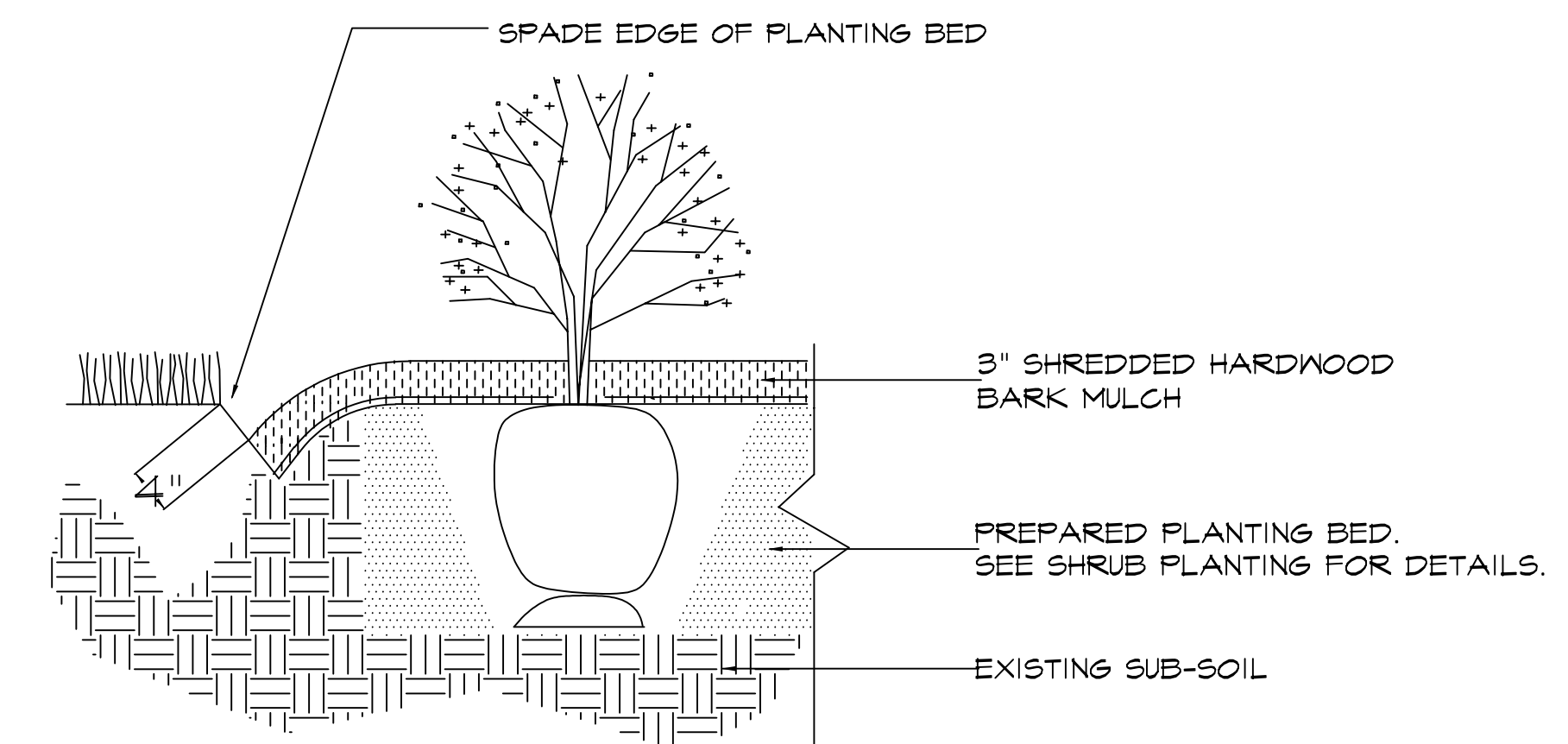
DECIDUOUS TREE PLANTING

N.T.S.



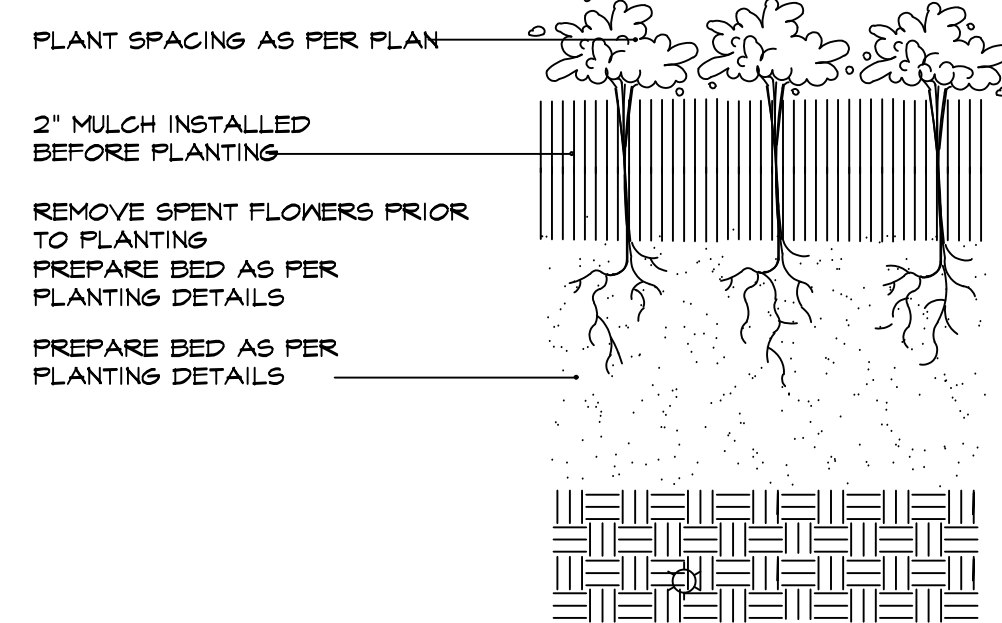
PERENNIAL / ANNUAL PLANTING

N.T.S.



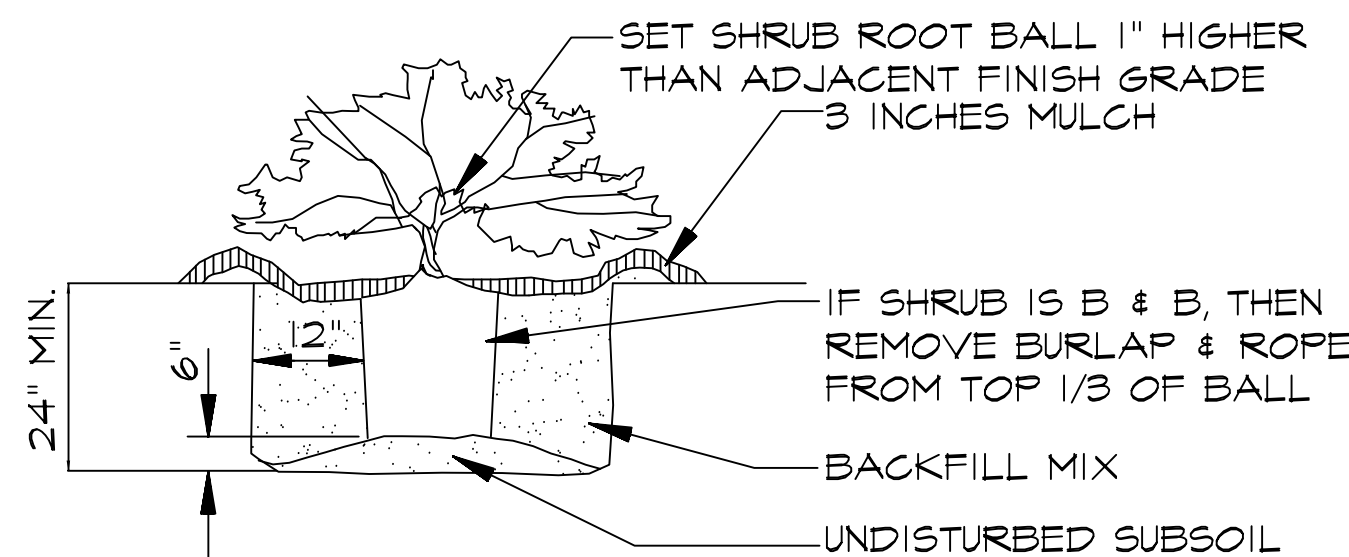
SPADE-CUT EDGE DETAIL

N.T.S.



PERENNIAL / GCOVER PLANTING

N.T.S.



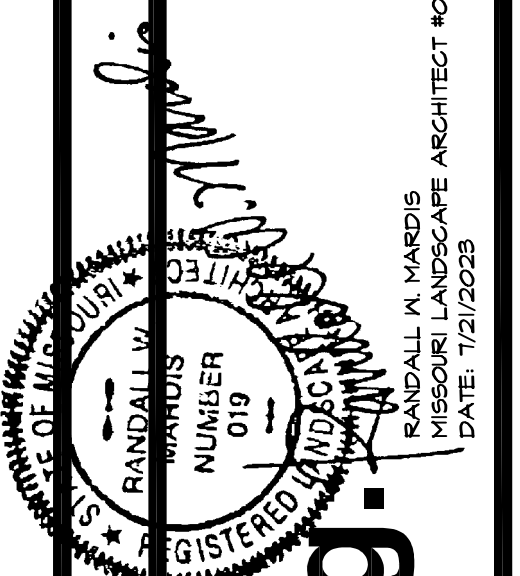
PRUNE ANY BROKEN BRANCHES AFTER PLANTING. DAMAGED SHRUBS OR BROKEN / CRUMBLING ROOT BALLS WILL BE REJECTED.

SHRUB PLANTING

N.T.S.

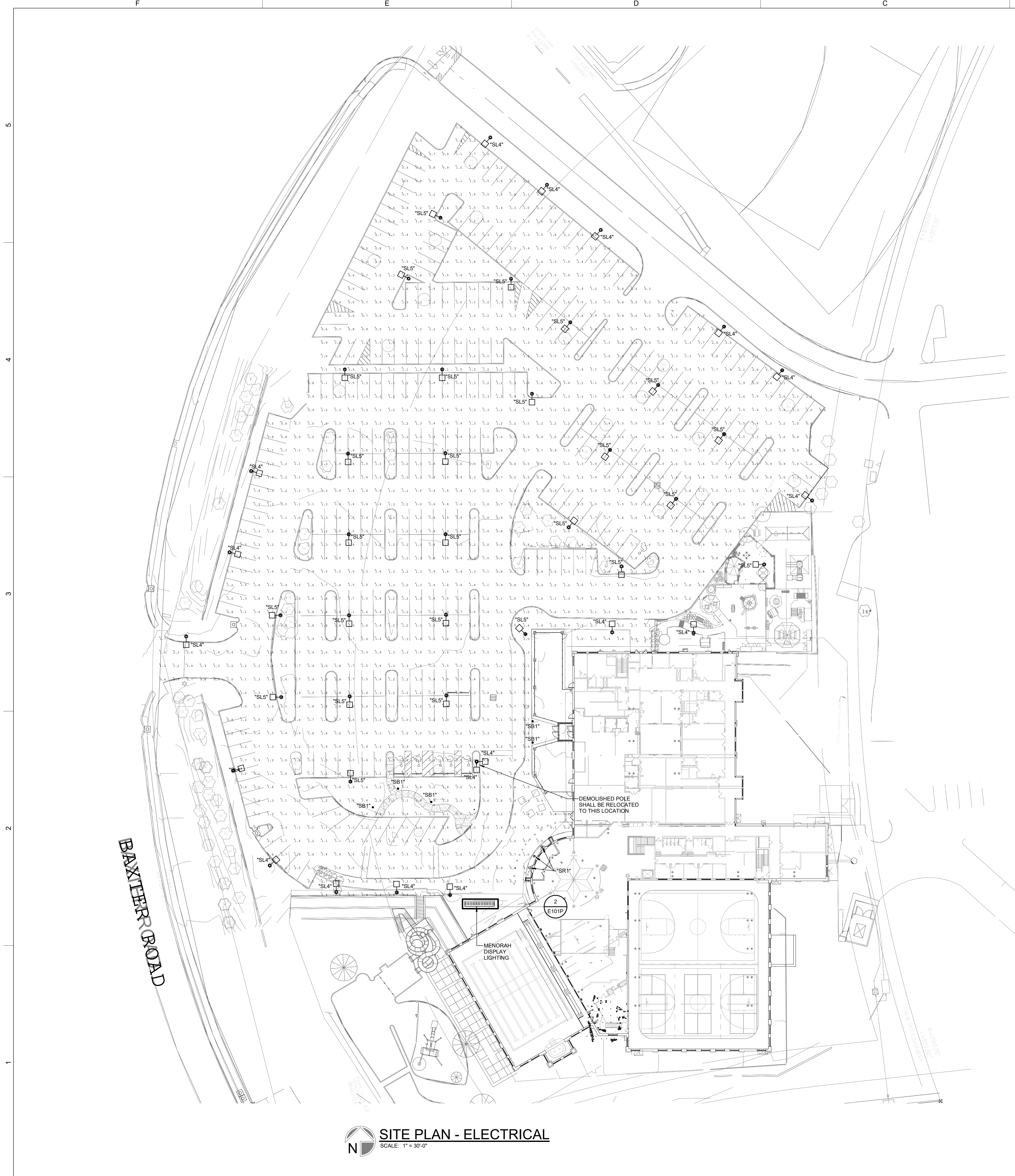
REVISIONS	BY

Landscape TECHNOLOGIES
 67 Jasper Creek Drive
 St. Charles, Missouri 63041
 (636) 428-1250
 (636) 422-4455



PLANTING PLAN FOR THE PROPOSED REMODEL OF:
JCCA Maryland Fox Bldg.
 16801 BAXTER ROAD CHESTERFIELD, MISSOURI 63005

DRAWN	R. MARDIS
CHECKED	RM/GB
DATE	7/21/2023
SCALE	1"=20'-0"
JOB No.	2023-147
SHEET	



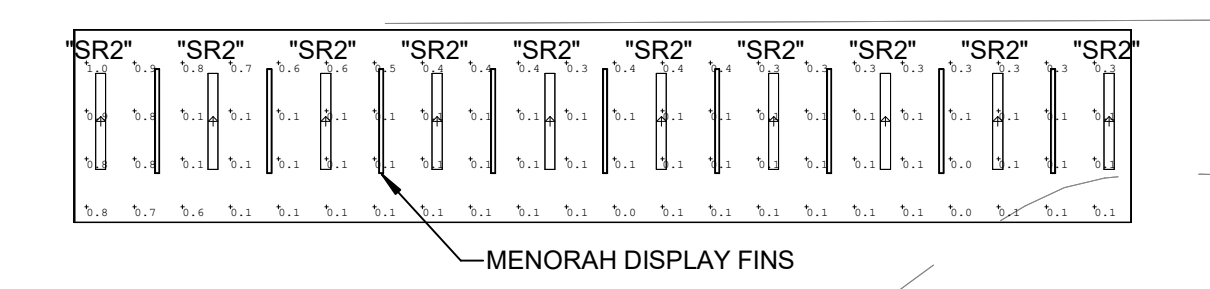
LUMINAIRE SCHEDULE								
TAG	MANUFACTURER	DESCRIPTION	INSTALLATION METHOD	LUMENS	VOLTAGE	WATTS	KELVIN	FEATURES/OPTIONS
SL4	MCGRAW EDSON	GLEON-SA1B-740-U-SL4-HSS	POLE	6000	UNV	44	4000K	
SL5	MCGRAW EDSON	GLEON-SA1B-740-U-SWQ	POLE	6000	UNV	44	4000K	
SB1	SISTEMALUX	S2141N	GRADE	1000	UNV	15	4000K	
SR1	HALO	HC15D010REM14 HM60525840 61MDCIEM	CR	1500	UNV	14	4000K	
SR2	LUMENPULSE	LOI RO 120277 24 40K 30X30 TSO INTL NO	GRADE	2400	UNV	17	4000K	

ABBREVIATIONS:
 UNV UNIVERSAL 120-277V
 CP CEILING PENDANT
 CR CEILING RECESSED
 CS CEILING SURFACE
 WS WALL SURFACE

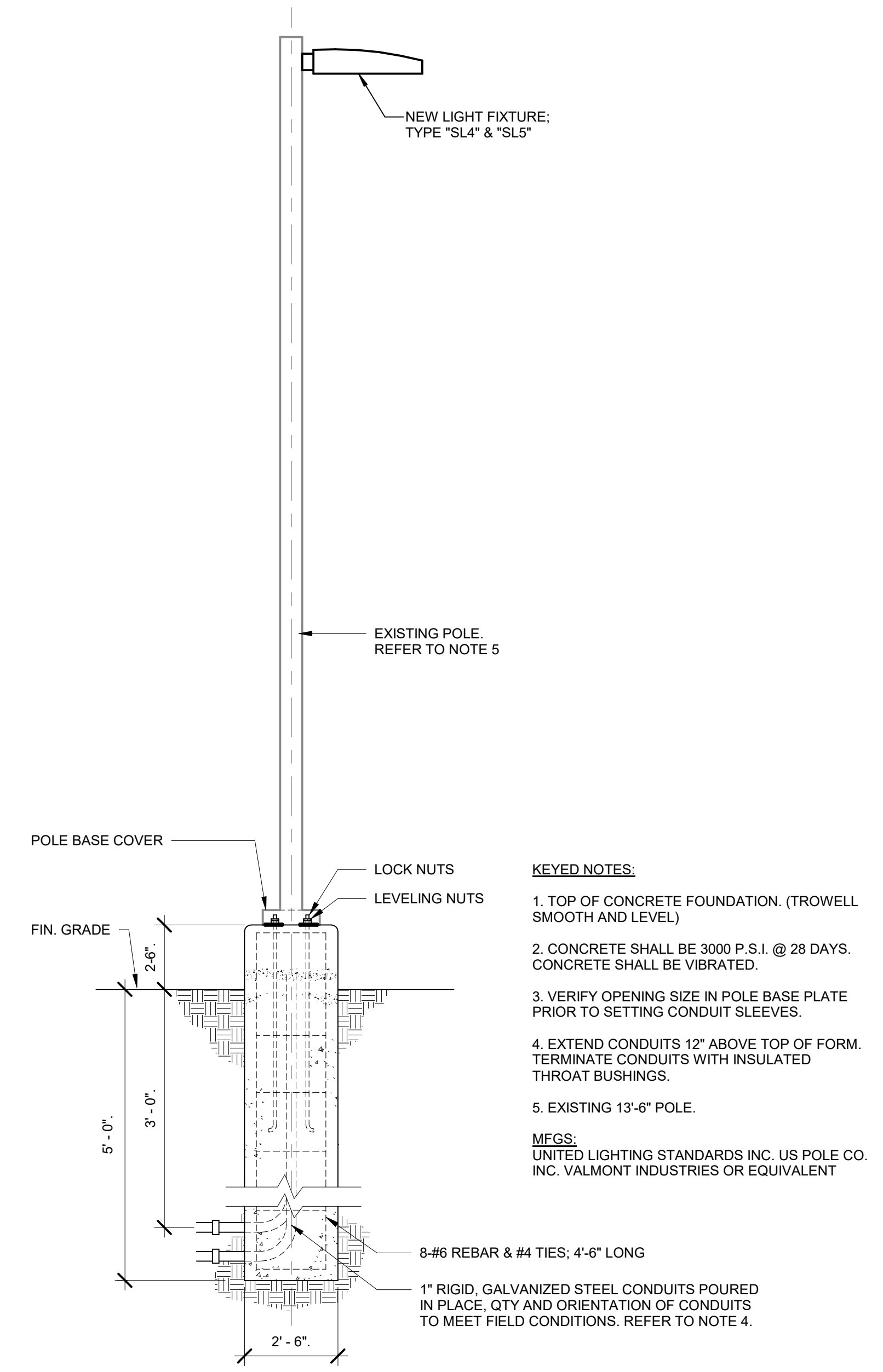
FOOTCANDLE STATISTICS:
PARKING AND DRIVE AREA:
 AVERAGE: 1.43 FC
 MAX: 5.3 FC
 MIN: 0.2 FC (OCCURS AT ENTRY)
 AVGMIN: 7.15 FC

MENORAH DISPLAY LIGHTING:
 AVERAGE: 0.24 FC
 MAX: 1.0 FC
 MIN: 0.0 FC

EXISTING POLE HEIGHT INCLUDING BASE: 16'-0", (13'-6" POLE WITH BASE HEIGHTS 2'-6")
 SCOPE OF WORK: REPLACE EXISTING METAL HALIDE FIXTURE HEADS WITH NEW LED HEAD. ADD TWO POLES AT NEW LANDSCAPE ISLAND.



2 MENORAH DISPLAY LIGHTING
 SCALE: 1/4" = 1'-0"



1 LIGHTING POLE FOUNDATION DETAIL
 NO SCALE

- KEYED NOTES:**
1. TOP OF CONCRETE FOUNDATION. (TROWELL SMOOTH AND LEVEL)
 2. CONCRETE SHALL BE 3000 P.S.I. @ 28 DAYS. CONCRETE SHALL BE VIBRATED.
 3. VERIFY OPENING SIZE IN POLE BASE PLATE PRIOR TO SETTING CONDUIT SLEEVES.
 4. EXTEND CONDUITS 12" ABOVE TOP OF FORM. TERMINATE CONDUITS WITH INSULATED THROAT BUSHINGS.
 5. EXISTING 13'-6" POLE.
- MFGS:**
 UNITED LIGHTING STANDARDS INC. US POLE CO. INC. VALMONT INDUSTRIES OR EQUIVALENT

HDA
OFIOLLE
 4565 McRee Avenue, Suite 100
 St. Louis, MO 63110
 (314) 726-2500

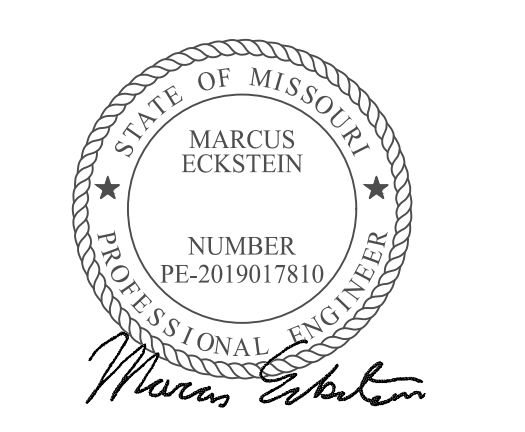


J WEST FOX BUILDING - RENOVATION
 16801 BAXTER ROAD
 CHESTERFIELD, MO 63005



#	DATE	DESCRIPTION

PROFESSIONAL RECORD



Project Number: 23927
 Date: xx/xx/23
 Status: OWNER 50% 07/28/23

SITE PLAN
 PHOTOMETRIC

E101P