


Planning Commission Public Hearing Report

- Meeting Date:** April 24, 2023
- From:** Shilpi Bharti, Planner 
- Location:** South side of Edison Avenue.
- Petition:** **P.Z. 04-2023 Damian Kroenung Estate:** A request for an ordinance amendment to the existing “PI” Planned Industrial District to new “PI” Planned Industrial District for 7.1 acres located on the south side of Edison Avenue (17V310081).

SUMMARY

Edison Partners, LLC has submitted a request for an ordinance amendment to the existing “PI” Planned Industrial District to new “PI” Planned Industrial District to modify the existing setbacks, and building square feet requirements.

SITE HISTORY

The site is located in Ward 4 of the City of Chesterfield. The subdivision was zoned “M3” – Planned Industrial District prior to the City’s incorporation. In 2004, the site was rezoned to “PI” – Planned Industrial following the City ordinance 2124.

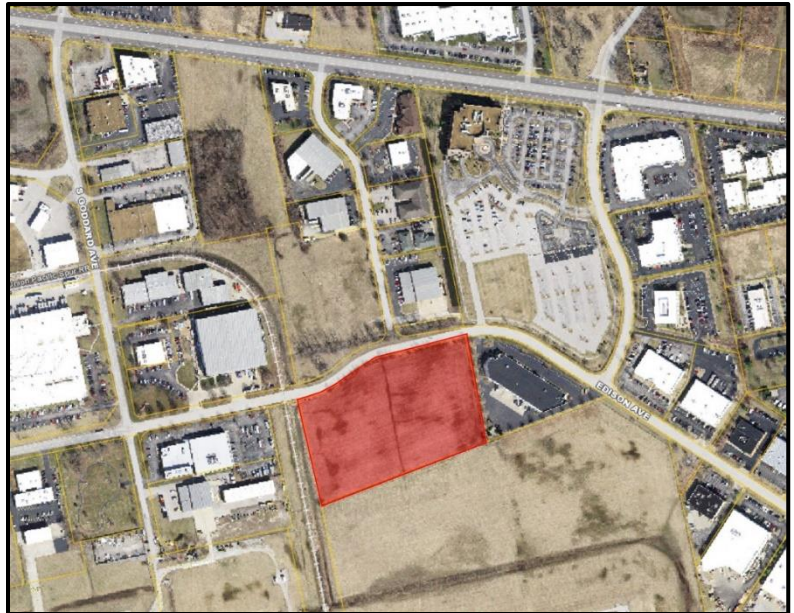


Figure 1: Subject Site Aerial

SURROUNDING LAND USE AND ZONING

The subject site is surrounded by “M-3” Planned Industrial zoning districts on the south, east, and west. Edison Avenue runs north of the subject site. The property on the north is zoned “PI” Planned Industrial District.

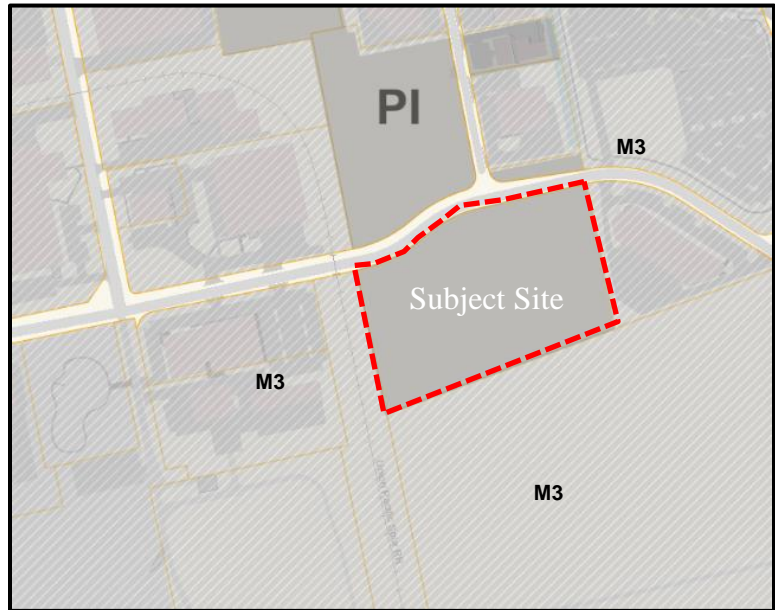


Figure 2: Zoning Map

COMPREHENSIVE PLAN

The subject site is located within Ward 4 of the City of Chesterfield. The City of Chesterfield Comprehensive Plan contains the City of Chesterfield Land Use Plan, which is helpful in determining the future use of the site. As per the City of Chesterfield Land Use Plan, the subject site is within the Industrial land use. The subject site is surrounded by Industrial on the east, north and south. The Industrial land use typically supports manufacturing and production uses, including warehousing, distribution, light manufacturing, airport support businesses and assembly operations. They are found in close proximity to major transportation corridors and are generally buffered from surrounding development by traditional uses or landscaped areas that shield the view of structures, loading docks, or outdoor storage from adjacent properties. Below are the development policies for Industrial land use as described in the City of Chesterfield Comprehensive Plan.

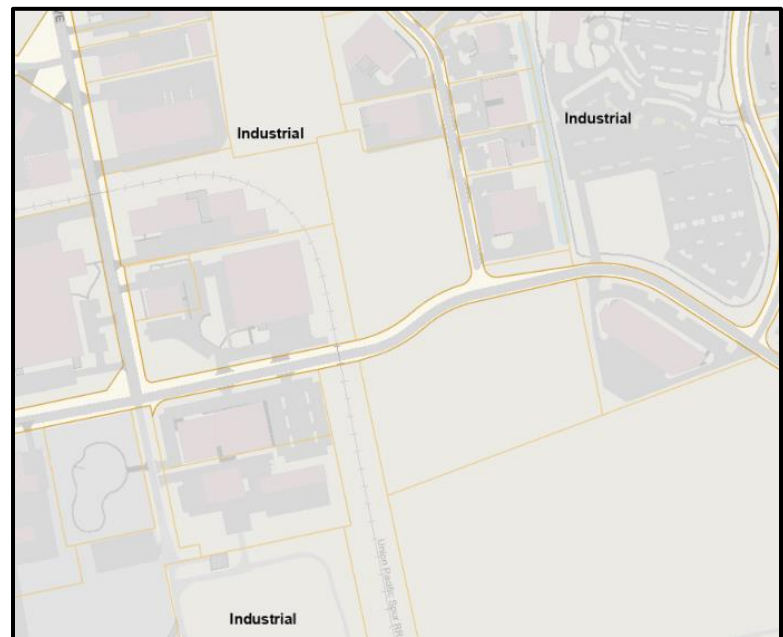


Figure 3: Land Use plan

- Limit curb cuts on arterial streets, and where possible concentrate access at shared entrance points.
- Primary entrance points should be aligned with access points immediately across the street.

- Connectivity may vary as industrial parks may have low connectivity due to dead ends and lack of connection to adjacent areas.
- Landscape buffering should be utilized between roadways to screen areas of surface parking.
- Residential projects should be limited to areas outside of the Chesterfield Valley.

PI - Planned Industrial District

City of Chesterfield Unified Development Code regulations of the PI District offer a method for the industrial and selected commercial development of land in the City of Chesterfield that allows flexibility in applying certain zoning standards. The requirements are designed to offset the impact of changes in development standards allowed through these provisions. As per City Unified Development Code, the PI regulations should have the following outcomes:

- Ensure consistency with the Comprehensive Plan.
- Promote building styles and architectural styles that complement one another, as well as the surrounding area.
- Promote more efficient use of land.
- Incorporate site features, such as topography, views, vegetation, water features, and other factors into the design so they become assets to the development.
- Promote the most efficient arrangement of circulation systems, land use, and buildings.
- Promote environmentally sensitive developments.
- Allow development, under a specifically approved design concept and site plan.

The development standards for Planned Industrial District as described under City of Chesterfield UDC are:

Density	Maximum fifty-five hundredths (0.55) FAR
Open space	Thirty-five percent (35%)
Minimum front, side, and rear yard building setback	Thirty-five (35) feet
Minimum front, side, and rear yard parking setback	Twenty-five (25) feet

REQUEST

The applicant has submitted a Preliminary Development Plan and narrative for review. The applicant is requesting to amend the existing ordinance for setbacks, building square feet, building height and access from Edison Ave. There is no change requested to the existing permitted use allowed as per site specific ordinance 2124. In the Preliminary Development Plan, the applicant is proposing 96,250 sq.ft of single story building that will be 36’ in height. There are two curb cuts proposed on Edison Avenue, and one emergency gated access to the shared drive on the east. The table below shows the current ordinance requirement parallel to applicant request.

Development Standards	Existing Ordinance (2124)	Applicant Request
Maximum number of buildings	4	1
Maximum square feet of building	84,008 square feet	100,000 Square feet
Maximum Height of structure	24 feet	40 feet
Setback from east boundary	20 feet	50 feet
Setback from west boundary	88 feet	70 feet
Setback from south boundary	18 feet	130 feet
Access from Edison Ave.	One street approach and one entrance	Two full access entrances

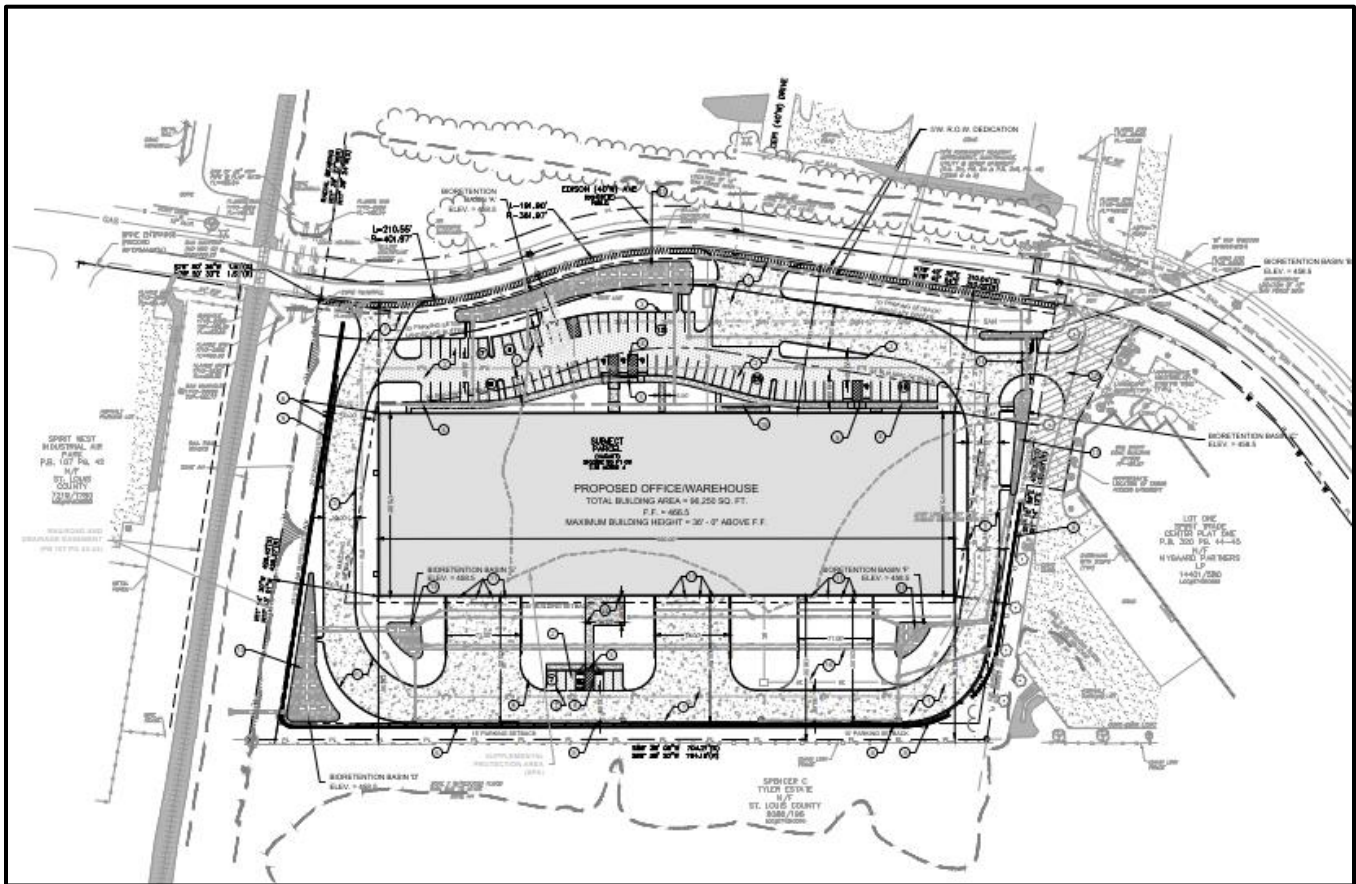


Figure 4: Preliminary Development Plan

A Public Hearing further addressing the request will be held at the April 24th, 2023 City of Chesterfield Planning Commission meeting. Attached please find a copy of the Public Hearing Notice, Petitioner's Narrative Statement and Preliminary Plan packet.

Attachments

1. Public Hearing Notice
2. Applicant Narrative Statement
3. Preliminary Development Plan



NOTICE OF PUBLIC HEARING CITY OF CHESTERFIELD PLANNING COMMISSION

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Chesterfield will hold Public Hearing on Monday, April 24, 2023 at 7:00 pm, in the Council Chambers at the City Hall, 690 Chesterfield Parkway West, Chesterfield, Missouri 63017.

Said Hearing will be as follows:

P.Z. 04-2023 Damian Kroenung Estate: A request for an ordinance amendment to the existing "PI" Planned Industrial District to new "PI" Planned Industrial District for 7.1 acres located on the south side of Edison Avenue (17V310081).

PROPERTY DESCRIPTION

A track of land being part of lot 5 of Damian Kroenung Estate partition, in U.S. survey 150, township 45 north, range 3 east, city of chesterfield. St. louis county, Missouri.



**City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017**

Information on this Public Hearing may be found on the City's website at <http://www.chesterfield.mo.us/public-notice.html> or by contacting Planner Shilpi Bharti at 636.537.4743 or via e-mail at Sbharti@chesterfield.mo.us. All interested parties will be given an opportunity to be heard at the Public Hearing.



PROJECT DESCRIPTION

FOR A

70,000 SF New Distribution Warehouse
17970 Edison Avenue, Chesterfield, MO

FOR

Edison Partners, LLC

PREPARED BY:



February 20th, 2023
Revised – March 20th, 2023
Revised – April 14, 2023

BUILDING OVERVIEW

The warehouse distribution center shall include the items below as well as MEP/FP systems to support the future 25,000 SF addition.

Site and Building Information:

- Total Site Area: 7.12 acres
 - Total Building Area: **70,000 SF (current) + 26,250 SF (future) = 96,250 GSF**
 - Total Warehouse Area: 61,800 SF
 - Total Office, Break Room & Restroom Area: 8,200 SF
 - Total Future Expansion Area: **26,250 SF**
 - **Floor Area Ratio = 96,250 SF / 230,868 SF = 0.41**
 - **Maximum Height (top of parapet) = 36'-0" Above Finished Floor**
 - **Open Space: 35%**
 - **Parking Setbacks: North (30'), East (10'), South (15'), West (25')**
 - **Building Setbacks: North (90'), East (50'), South (130'), West (70')**
1. MEP/FP design and construction of the facility. Edison Partners will provide civil, structural and architectural design services.
 2. Warehouse Clear Height: 24'-0" AFF
 3. Reinforced concrete foundations, floor slabs, tilt panels and curbs as necessary.
 4. Structural steel beams, square tube columns, X-bracing, bar joists, joist girders, and angle shall be provided for the roof framing in accordance with all applicable code requirements.
 5. A single ply 45 mil mechanically attached white TPO roof membrane with manufacturer's 15-year warranty will be provided throughout. The membrane will cover 3.5" thick polyisocyanurate insulation on 1-1/2" 22 ga roof deck. Ensure roof meets applicable codes due to proximity of local airport.
 6. The underside of roof deck shall be painted with an off-white primer by the deck manufacturer.
 7. Eight (8) manually operated overhead sectional doors shall be provided at the warehouse truck docks along with dock levelers and seals.
 8. A complete heating/ ventilation system for the winter heating and summer ventilation of warehouse areas utilizing a roof mounted gas fired make-up air unit and roof mounted up-blast exhaust fan. Provide six (6) Big Ass Fans – Powerfoil D (16'-0" diameter).
 9. A complete building domestic water and sanitary sewer plumbing system shall be provided to serve all floor drains, hose bibs and condensate drains. All office plumbing shall be provided as well. Provide "rough-ins" for future interior buildout as noted on plans.
 10. A complete hydraulically calculated ESFR overhead fire protection system shall be provided throughout the warehouse. A flow test has not been performed at this time. Please include an allowance for a fire pump should it be required.

11. A complete electric power & lighting system shall be provided throughout the building. The interior of the facility shall be lighted to the average foot candles listed below at 36" AFF with 2'x4' High Bay LED fixtures. Exterior lighting shall be LED wall packs with emergency ballast.
- | | | |
|----|--------------------|---------------|
| a. | Warehouse | 30 FC |
| b. | Dock | 30 FC |
| c. | Truck Dock Apron | 1 FC |
| d. | Building perimeter | .5 FC Average |
| e. | Car parking | 2 FC Average |

PROPOSED CHANGES TO:

(proposed changes are in red text)

BILL NO. 2302, ORDINANCE NO. 2124 (APPROVED 9/20/2004)

Section II. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS *(page 2-3)*

- The uses permitted within this "PI" Planned Industrial District shall be contained in a maximum of **one (1) building**.
- Building height shall not exceed **40 feet above finish floor**.
- Gross floor area constructed for the **one (1) building** shall not exceed **100,000** square feet. The square footage constructed shall be based on the development's ability to comply with the parking and stormwater regulations of the City of Chesterfield.

Section VII. SPECIFIC CRITERIA *(page 6-7)*

A. Structure Setbacks

No building or structure, other than boundary walls, retaining walls, signs, light standards, flagpoles or fences, shall be located within the following setbacks:

- Ninety (90) feet from the right-of-way of Edison Avenue.
- Fifty (50)** feet from the eastern boundary of the total tract.
- One hundred thirty (130)** feet from the southern boundary of the total tract.
- Seventy (70)** feet from the western boundary of the total tract.
- Deleted
- Deleted

D. Access

- Access to Edison Avenue shall be limited to two full access entrances. One entrance shall be aligned with Cepi Drive.**

LEGEND

EXISTING		PROPOSED
	UTILITY POLE	
	GUY WIRE	
	LIGHT STANDARD	
	ELECTRIC BOX	
	ELECTRIC METER	
	ELECTRIC MANHOLE	
	OVERHEAD ELECTRIC LINE	
	UNDERGROUND ELECTRIC LINE	
	TELEPHONE BOX	
	TELEPHONE MANHOLE	
	UNDERGROUND TELEPHONE LINE	
	FIRE HYDRANT	
	WATER METER	
	WATER VALVE	
	WATER MANHOLE	
	WATER LINE	
	GAS METER	
	GAS VALVE	
	GAS DRIP	
	GAS LINE	
	STREET SIGN	
	BOLLARD OR POST	
	MAILBOX	
	SANITARY SEWER	
	STORM SEWER	
	STORM DRAIN GRATE INLET	
	STORM DRAIN AREA INLET	
	STORM DRAIN MANHOLE	
	SANITARY SEWER MANHOLE	
	FLARED END SECTION	
	FENCE: CHAIN LINK OR WIRE	
	FENCE: WOOD CONSTRUCTION	
	GUARDRAIL	
	MINOR CONTOUR INTERVAL	
	MAJOR CONTOUR INTERVAL	
	SPOT ELEVATION	
	BUSH OR SHRUB	
	TREE W/APPROXIMATE DIAMETER SIZE	
	FOUND SURVEY MONUMENT AS NOTED	
	SET SURVEY MONUMENT AS NOTED	
	CLEAN-OUT/DOWN-SPOUT	
	SWALE	
	UTILITY EASEMENT	

ABBREVIATIONS

ADS - ADVANCED DRAINAGE SYSTEMS, INC.	N.T.S. - NOT TO SCALE
ATG - ADJUST TO GRADE	O.C. - ON CENTER
B.M. - BENCHMARK	PAVT. - PAVEMENT
C.I. - CURB INLET	P.C. - PORTLAND CEMENT
C.O. - CLEAN OUT	PCC - PRECAST CONCRETE
CMP - CORRUGATED METAL PIPE	P.S.I. - POUNDS/SQUARE INCH
CONC. - CONCRETE	PROP. - PROPOSED
C.Y. - CUBIC YARDS	P.U.M.I. - PRIVATE UNDER MSD INSPECTION
D.C.I. - DOUBLE CURB INLET	R.C. - REINFORCED CONCRETE
DIP - DUCTILE IRON PIPE	R.R. - RAIL ROAD
DIA. - DIAMETER	RCP - REINFORCED CONCRETE PIPE
DS - DOWNSPOUT	S.F. - SQUARE FOOT
ELEV. - ELEVATION	S.Y. - SQUARE YARD
EX - EXISTING	SAN - SANITARY
FD - FLOOR DRAIN	SCH - SCHEDULE
FF - FINISH FLOOR	SWPPP - STORM WATER POLLUTION
FL - FLOW LINE	TBA - TO BE ABANDONED
G.I. - GRATE INLET	TBR - TO BE REMOVED
GAL. - GALLON	TYP. - TYPICAL
H.G. - HYDRAULIC GRADE	UIP - USE IN PLACE
HYD - HYDRANT	VCP - VITRIFIED CLAY PIPE
MAX - MAXIMUM	YD - YARD DRAIN
MH - MANHOLE	WV - WATER VALVE
MIN - MINIMUM	

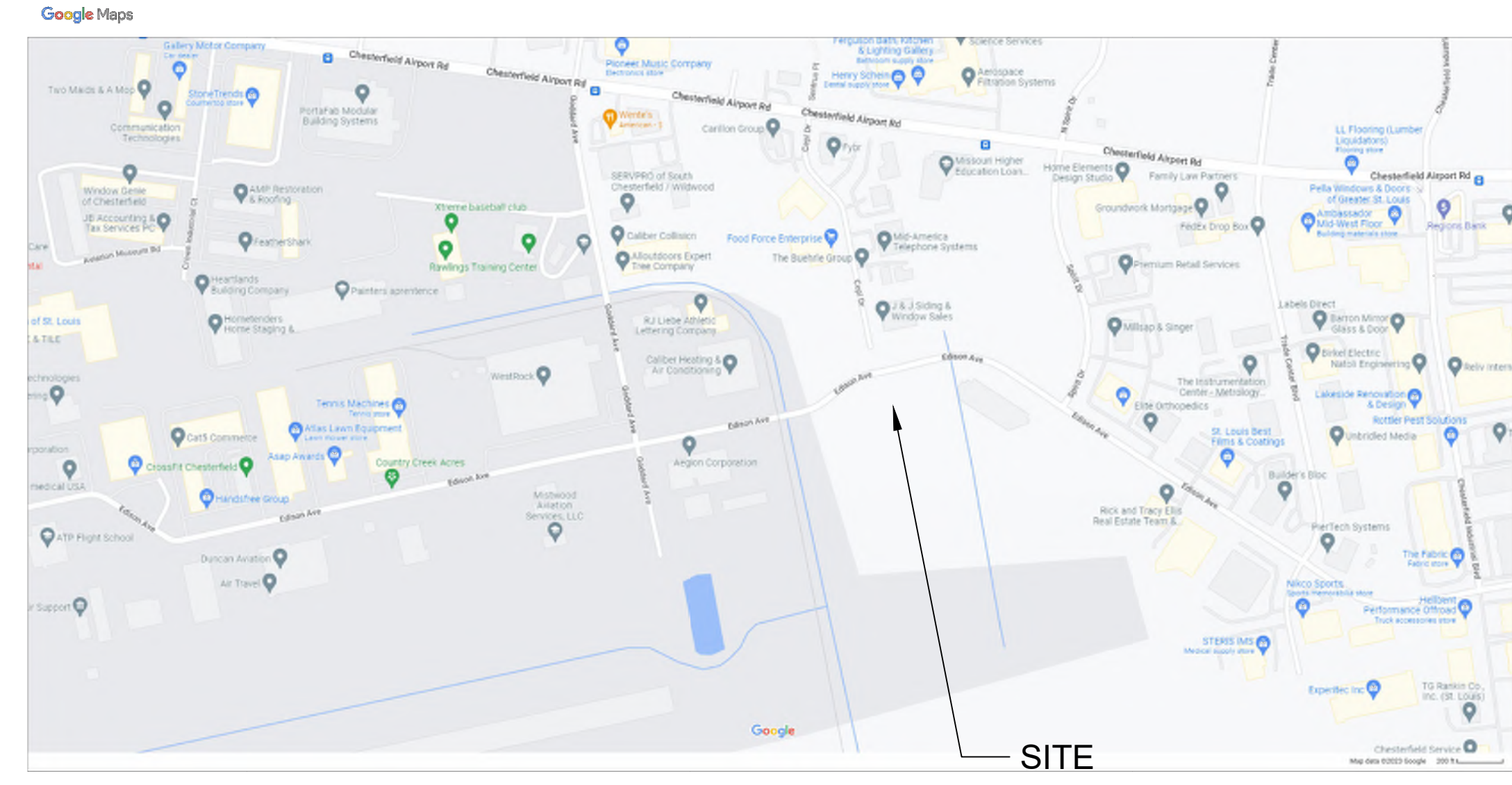
Call Before you DIG
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1-800-344-7483
MISSOURI ONE-CALL SYSTEM INC.

Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMO.

PRELIMINARY DEVELOPMENT PLAN FOR CLASSROOM LIBRARY COMPANY

17970 EDISON AVE.
CHESTERFIELD, MO

A TRACT OF LAND BEING PART OF LOT 5 OF DAMIAN KROENUNG ESTATE
PARTITION IN U.S. SURVEY 150, TOWNSHIP 45 NORTH, RANGE 5 EAST,
ST. LOUIS COUNTY, MISSOURI



LOCATION MAP



LOCATION MAP-AERIAL

SHEET INDEX

C000	COVER SHEET
C001	TOPOGRAPHIC SURVEY
C100	EXISTING CONDITIONS & DEMOLITION PLAN
C200	SITE PLAN
C300	GRADING PLAN
C400	UTILITY PLAN

PERTINENT INFORMATION

OWNER:	EDISON PARTNERS LLC
DEVELOPER:	EDISON PARTNERS LLC
SITE ADDRESS:	17970 EDISON AVE. CHESTERFIELD, MISSOURI 63005
LOCATOR NO.:	17V310081
EXISTING ZONING:	PLANNED INDUSTRIAL DISTRICT (PI)
EXISTING SITE AREA:	7.12 ACRES
PROPOSED SITE AREA:	7.04 ACRES (R.O.W. DEDICATION)
WATER DISTRICT:	MISSOURI AMERICAN WATER COMPANY
FIRE DISTRICT:	MONARCH FIRE PROTECTION DISTRICT
SEWER DISTRICT:	METROPOLITAN ST. LOUIS SEWER DISTRICT
GAS SERVICE:	SPIRE ENERGY NATURAL GAS SERVICE
ELECTRIC SERVICE:	AMEREN MISSOURI ELECTRIC SERVICE
CABLE/INTERNET SERVICE:	SPECTRUM
PHONE SERVICE:	AT&T
PROPOSED PARKING SETBACKS:	NORTH: 30' EAST: 10' SOUTH: 15' WEST: 25'
PROPOSED BUILDING SETBACKS:	NORTH: 90' EAST: 50' SOUTH: 130' WEST: 70'

Open Space Calculations

Description	Area (acre)	% of Site
Building	1.61	23%
Future Building	0.60	9%
Pavement	2.21	31%
Future Pavement	0.16	2%
Open Space (Sidewalk, patio, grass)	2.47	35%
Total	7.04	100%

PROPERTY DESCRIPTION

LAND DESCRIPTION (PER TITLE COMMITMENT):
A TRACK OF LAND BEING PART OF LOT 5 OF DAMIAN KROENUNG ESTATE PARTITION, IN U.S. SURVEY 150, TOWNSHIP 45 NORTH, RANGE 3 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE WEST LINE OF LOT 1 OF "SPIRIT TRADE CENTER PLAT ONE", A SUBDIVISION ACCORDING TO THE INSTRUMENT RECORDED IN PLAT BOOK 320 PAGES 44-45 OF THE ST. LOUIS COUNTY RECORDS WITH THE SOUTH RIGHT OF WAY LINE OF EDISON AVENUE (40 FEET WIDE), AS DEDICATED BY THE INSTRUMENT RECORDED IN PLAT BOOK 342 PAGE 49 OF SAID RECORDS; THENCE ALONG SAID WEST LINE OF LOT 1, SOUTH 11 DEGREES 14 MINUTES 12 SECONDS EAST 420.26 FEET TO THE NORTH LINE OF PROPERTY CONVEYED TO ST. LOUIS COUNTY ACCORDING TO THE INSTRUMENT RECORDED IN DEED BOOK 9017 PAGE 2488 OF SAID RECORDS; THENCE ALONG SAID NORTH LINE, SOUTH 69 DEGREES 38 MINUTES 20 SECONDS WEST 704.18 FEET TO THE EAST LINE OF "ST. LOUIS AIR PARK", A SUBDIVISION ACCORDING TO THE INSTRUMENT RECORDED IN PLAT BOOK 107 PAGE 42 OF SAID RECORDS; THENCE ALONG SAID EAST LINE OF "ST. LOUIS AIR PARK", NORTH 11 DEGREES 13 MINUTES 24 SECONDS WEST 426.37 FEET TO THE AFORESAID SOUTH RIGHT OF WAY LINE OF EDISON AVENUE (40 FEET WIDE); THENCE ALONG SAID SOUTH RIGHT OF WAY LINE OF EDISON AVENUE (40 FEET WIDE) THE FOLLOWING COURSES AND DISTANCES: NORTH 78 DEGREES 20 MINUTES 33 SECONDS EAST 1.53 FEET; ALONG A CURVE TO THE LEFT WHOSE RADIUS POINT BEARS NORTH 11 DEGREES 39 MINUTES 27 SECONDS WEST 401.97 FEET FROM THE LAST MENTIONED POINT; AN ARC DISTANCE OF 210.55 FEET; ALONG A REVERSE CURVE TO THE RIGHT WHOSE RADIUS POINT BEARS SOUTH 41 DEGREES 40 MINUTES 08 SECONDS EAST 361.97 FEET FROM THE LAST MENTIONED POINT; AN ARC DISTANCE OF 181.90 FEET; AND NORTH 78 DEGREES 42 MINUTES 24 SECONDS EAST. AREA OF TRACT: 310,261.5 SQ. FT. OR 7.1 ACRES, MORE OR LESS 310.00 FEET TO THE POINT OF BEGINNING.

NOTE: LEGAL DESCRIPTION PREPARED BY ANDY D. BECK WITH BAX ENGINEERING DURING JULY 2022.

FLOOD NOTE:

ACCORDING TO THE FIRM FLOOD INSURANCE RATE MAP 29189C0145 K DATED NOVEMBER 5, 2003, THIS PARCEL IS LOCATED IN ZONE X DENOTES REDUCED FLOOD RISK DUE TO LEVEE. ZONE AH DENOTES WITHOUT BASE FLOOD ELEVATION.

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BY DESIGN

17057 N. OUTER FORTY ROAD
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MEMBER CORPORATION OF ARCHITECTS
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PREPARED BY:
REMIER DESIGN
2921 OLIVE STREET
ST. LOUIS, MO 63103
CONTACT: DENNY CRAIN
PH: 314-241-5151

CLASSROOM
LIBRARY COMPANY
OFFICE/WAREHOUSE
17970 EDISON AVE.
CHESTERFIELD, MISSOURI 63005

No	Description	Date
1	City Submittal	02/23/2023
2	City Comments	03/20/2023
3	City Comments	03/31/2023

Project No: 22-0321

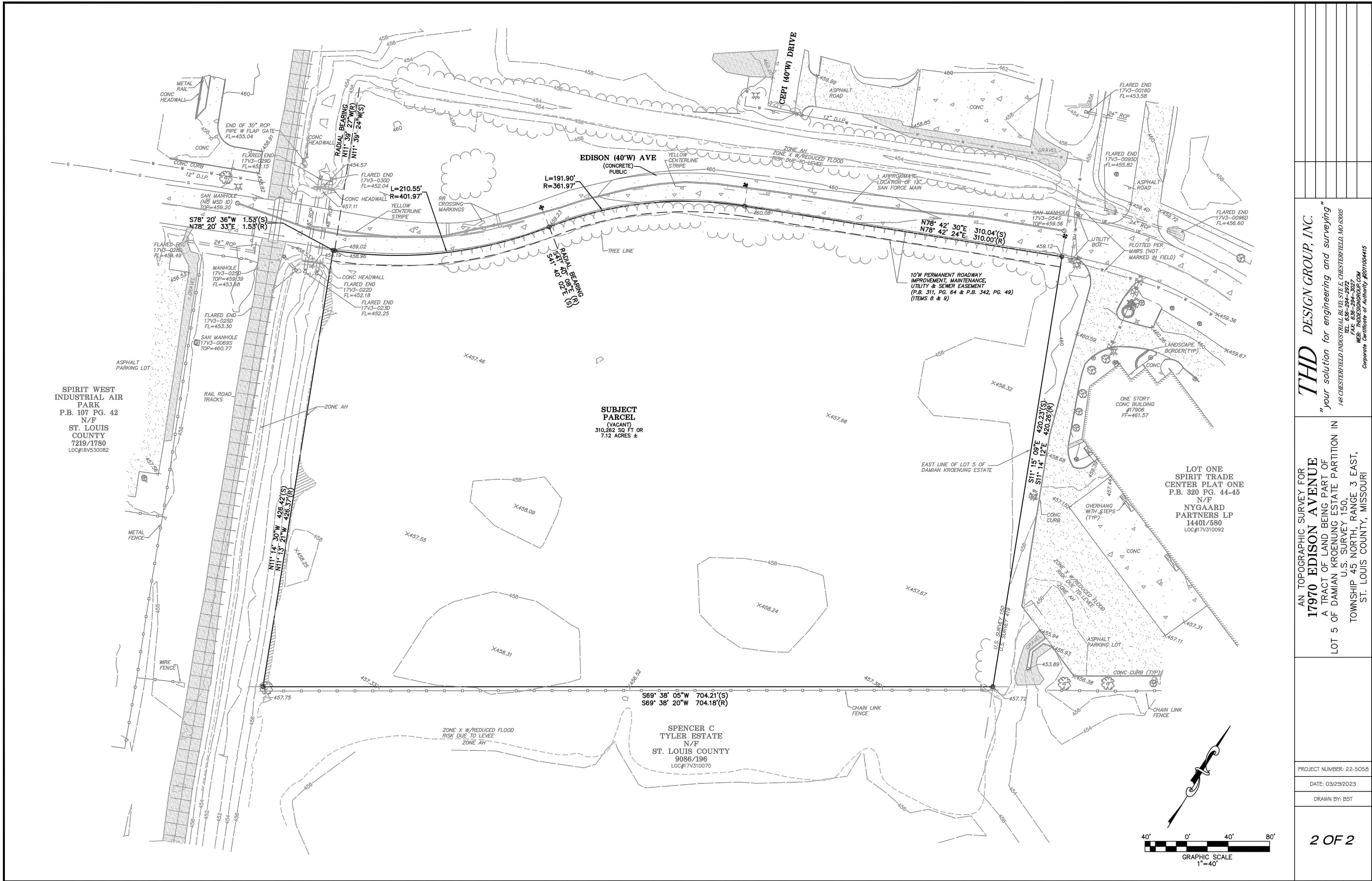
STATE OF MISSOURI
SEAN M. ACKLEY
Professional Engineer
NUMBER
PE-2009018679

03/31/2023
Sean M. Ackley
MO# PE-2009018679

DATE: 02/23/2023
SCALE:

COVER SHEET
C000

ST. LOUIS COUNTY HT#
MSD PROJECT #:
MSD BASEMAP:



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 Corporate Certificate of Authority #00106445

AN TOPOGRAPHIC SURVEY FOR
17970 EDISON AVENUE
 A TRACT OF LAND BEING PART OF
 LOT 5 OF DAMIAN KROENING ESTATE PARTITION IN
 U.S. SURVEY 150,
 TOWNSHIP 45 NORTH, RANGE 3 EAST,
 ST. LOUIS COUNTY, MISSOURI

No	Description	Date
1	City Submittal	02/23/2023
2	City Comments	03/20/2023
3	City Comments	03/31/2023

PROJECT NUMBER: 22-5058
 DATE: 03/29/2023
 DRAWN BY: BST

2 OF 2

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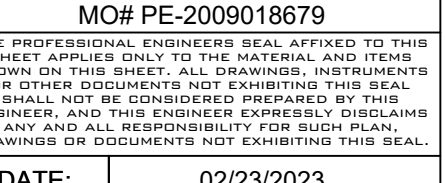


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**CLASSROOM
 LIBRARY COMPANY
 OFFICE/WAREHOUSE**
 17970 EDISON AVE.
 CHESTERFIELD, MISSOURI 63005

Project No:	22-0321
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03/31/2023
 Sean M. Ackley
 MO# PE-2009018679

DATE: 02/23/2023
 SCALE:

TOPOGRAPHIC SURVEY
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ST. LOUIS COUNTY HT#
 MSD PROJECT #:
 MSD BASEMAP:

KEYED NOTES

1. REMOVE EXISTING BRUSH
2. SAWCUT AND REMOVE PAVEMENT AS REQUIRED TO CONSTRUCT ENTRANCE
3. SAWCUT AND REMOVE AND REPLACE PAVEMENT IN KIND AS REQUIRED TO INSTALL SANITARY SEWER AND WATER MAIN
4. REMOVE EXISTING TREE



PREPARED BY:

CONTACT: SEAN ACKLEY

PREPARED FOR:

REMIER DESIGN
 2921 OLIVE STREET
 ST. LOUIS, MO 63103
 CONTACT: DENNY CRAIN
 PH: 314-241-5151

**CLASSROOM
 LIBRARY COMPANY
 OFFICE/WAREHOUSE**

17970 EDISON AVE.
 CHESTERFIELD, MISSOURI 63005

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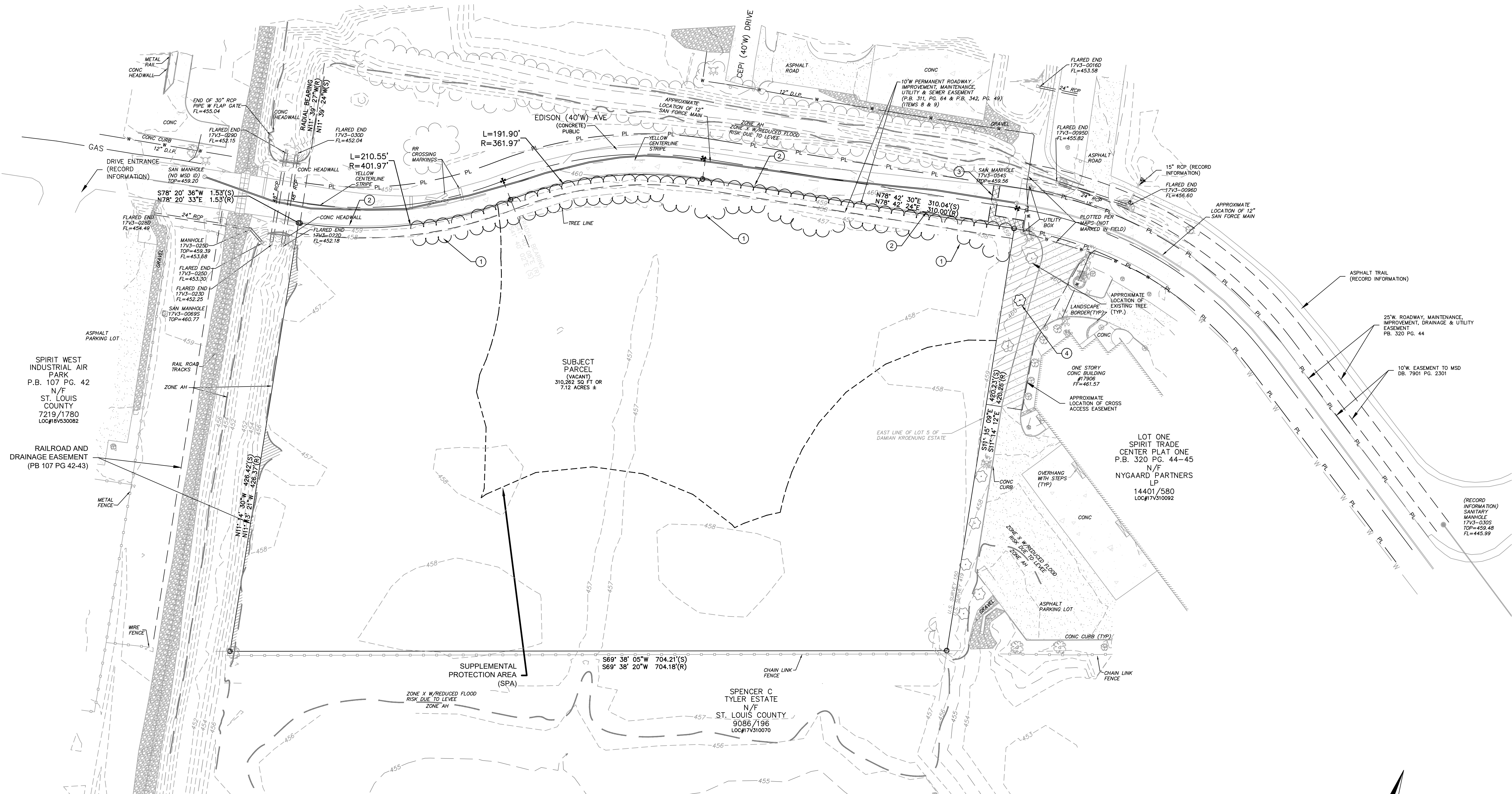
03/31/2023
 Sean M. Ackley
 MO# PE-2009018679

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DATE: 02/23/2023
 SCALE:

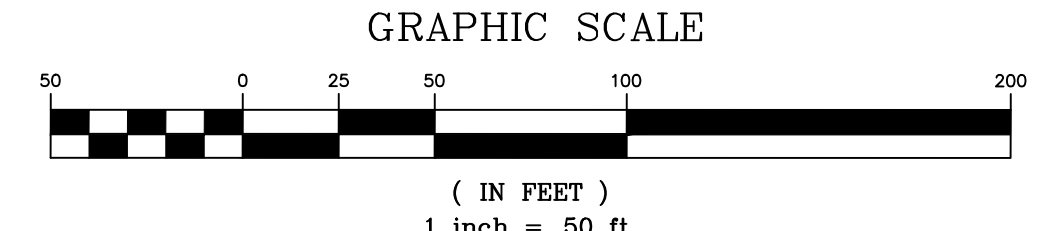
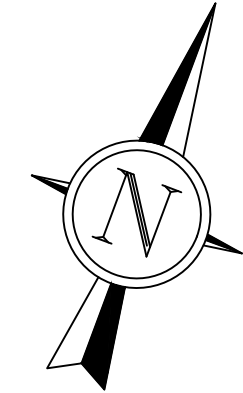
EXISTING CONDITIONS & DEMOLITION PLAN

C100

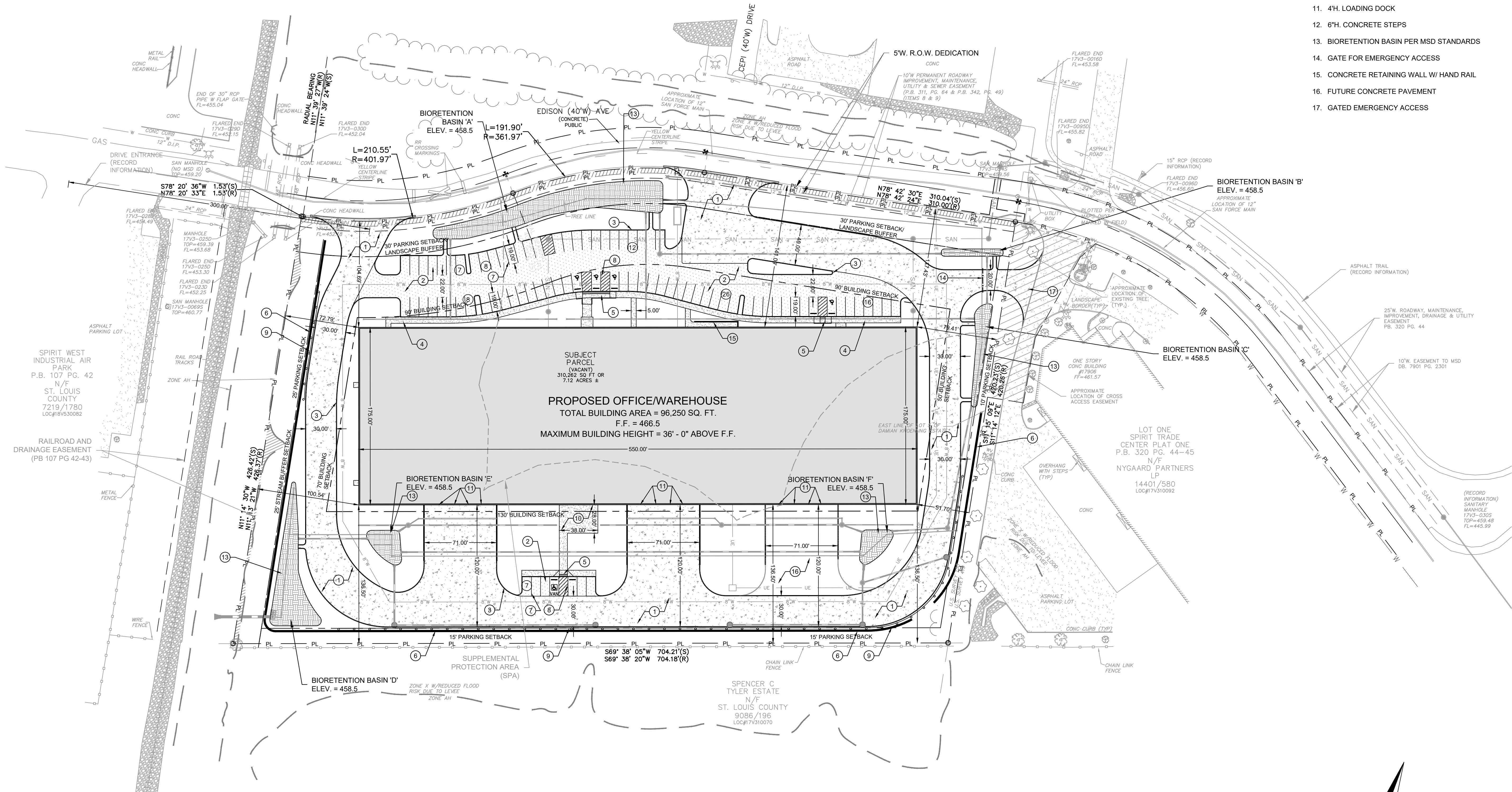


GENERAL NOTES

- THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, OR LOCATION OF THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS.
- THE EXISTING SITE CONDITIONS AND TOPOGRAPHY SHOWN ARE FROM A SITE SURVEY AS PREPARED BY THD DESIGN GROUP, DATED DECEMBER 2022.
- IF CONTRACTOR DETERMINES THAT ACTUAL EXISTING CONDITIONS DIFFER FROM THAT SHOWN ON THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER BEFORE COMMENCING AND DEMOLITION OR CONSTRUCTION WORK.



ST. LOUIS COUNTY HT#
 MSD PROJECT #:
 MSD BASEMAP:

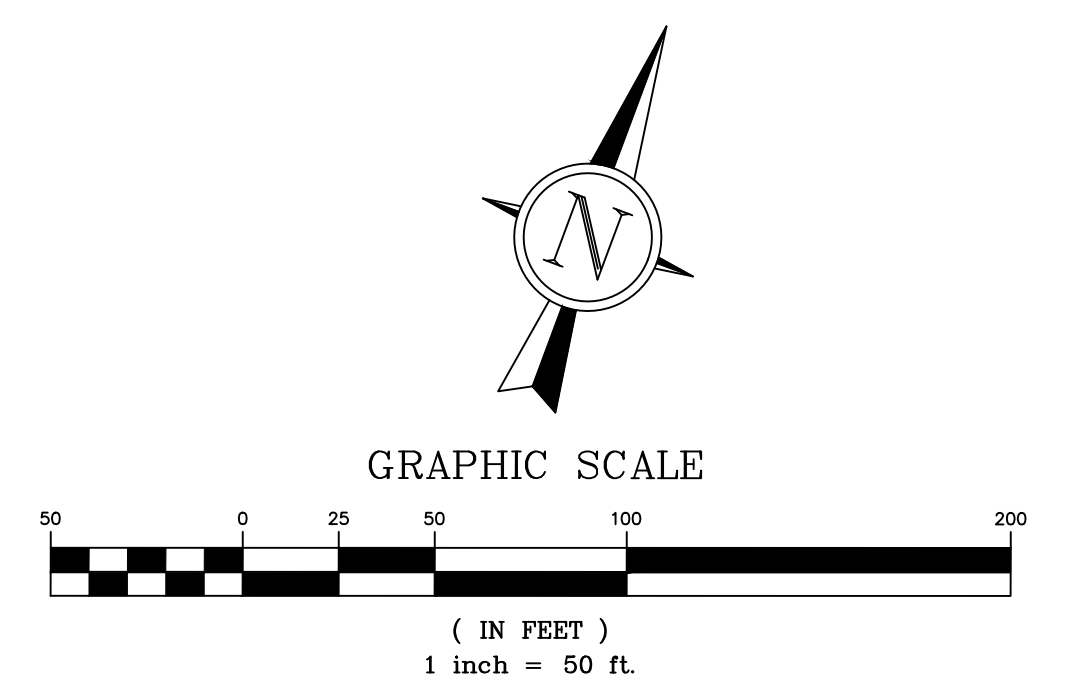


KEYED NOTES

1. CONCRETE PAVEMENT
2. ASPHALT PAVEMENT
3. 6" CONCRETE CURB
4. CONCRETE SIDEWALK PER CITY STANDARDS
5. ADA RAMP
6. MODULAR BLOCK RETAINING WALL (DESIGN BY OTHERS)
7. PAVEMENT MARKING - 4" WIDE WHITE PAINT
8. PAVEMENT MARKING - 4" WIDE BLUE PAINT (ADA SPACES)
9. GUARDRAIL
10. CONCRETE PATIO
11. 4"H. LOADING DOCK
12. 6"H. CONCRETE STEPS
13. BIORETENTION BASIN PER MSD STANDARDS
14. GATE FOR EMERGENCY ACCESS
15. CONCRETE RETAINING WALL W/ HAND RAIL
16. FUTURE CONCRETE PAVEMENT
17. GATED EMERGENCY ACCESS

GENERAL NOTES

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- B. THE EXISTING SITE CONDITIONS AND TOPOGRAPHY SHOWN ARE FROM A SITE SURVEY AS PREPARED BY THD DESIGN GROUP, DATED DECEMBER 2022.
- C. IF CONTRACTOR DETERMINES THAT ACTUAL EXISTING CONDITIONS DIFFER FROM THAT SHOWN ON THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER BEFORE COMMENCING AND DEMOLITION OR CONSTRUCTION WORK.



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 OFFICE/WAREHOUSE**
 17970 EDISON AVE.
 CHESTERFIELD, MISSOURI 63005

Project No:	22-0321	
No	Description	Date
1	City Submittal	02/23/2023
2	City Comments	03/20/2023
3	City Comments	03/31/2023

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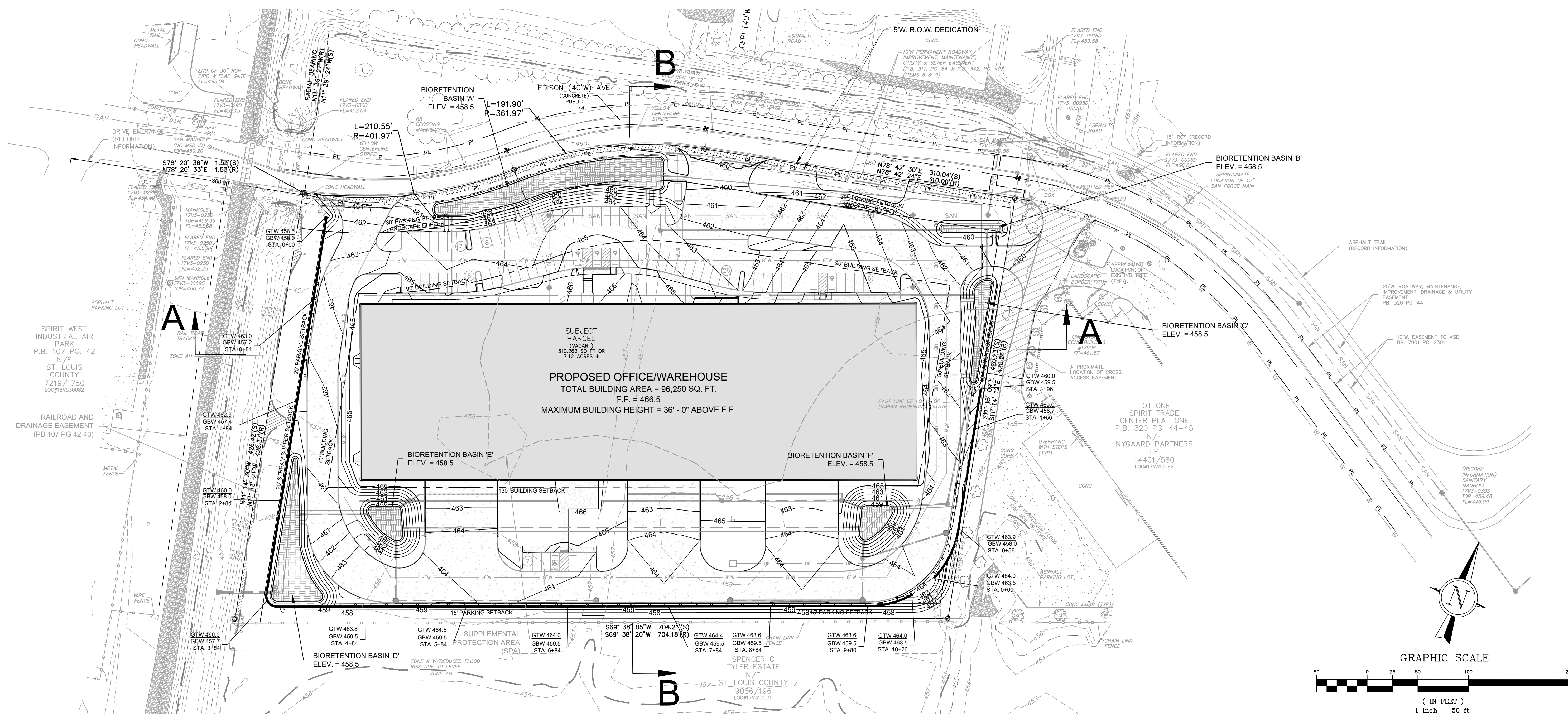
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SCALE:

SITE PLAN

C200

ST. LOUIS COUNTY HT#
 MSD PROJECT #:
 MSD BASEMAP:



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ST. LOUIS COUNTY HT#
 MSD PROJECT #:
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KEYED NOTES

1. STORM SEWER
2. 4" PVC UNDERDRAIN
3. TRENCH DRAIN
4. SANITARY SEWER (8" PVC @ 1% MIN. SLOPE)
5. COMBINED DOMESTIC WATER/FIRE SERVICE
6. TAP EXISTING MAIN PER MAWC SPECIFICATIONS
7. FIRE FLOW METER PER MAWC SPECIFICATIONS
8. ELECTRIC TRANSFORMER (COORDINATE W/ AMEREN)
9. 12" WATER MAIN EXTENSION PER MISSOURI AMERICAN WATER COMPANY SPECIFICATIONS
10. TIE-IN POINT TO BE COORDINATED W/ AMEREN
11. ROOF LATERAL

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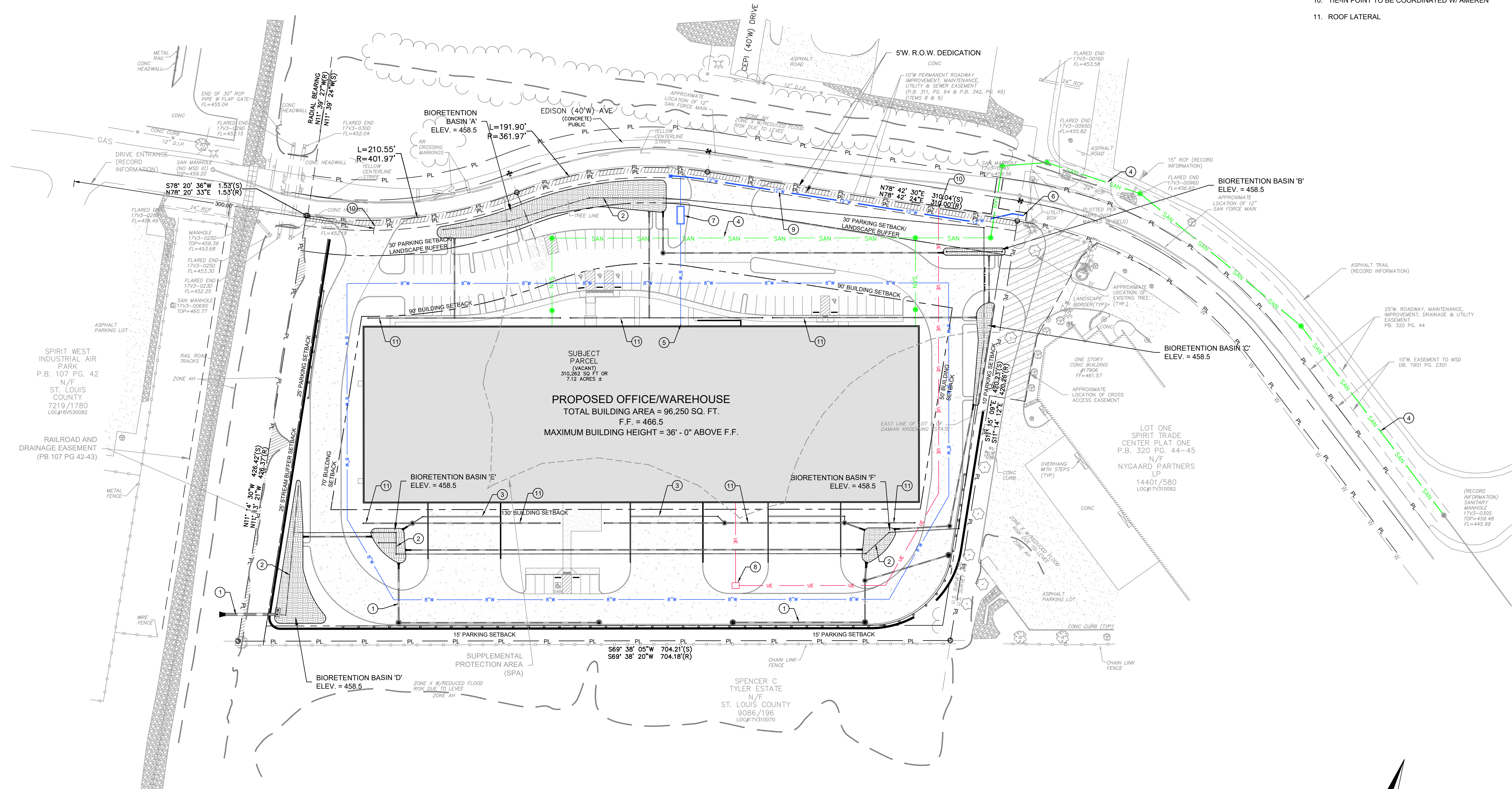


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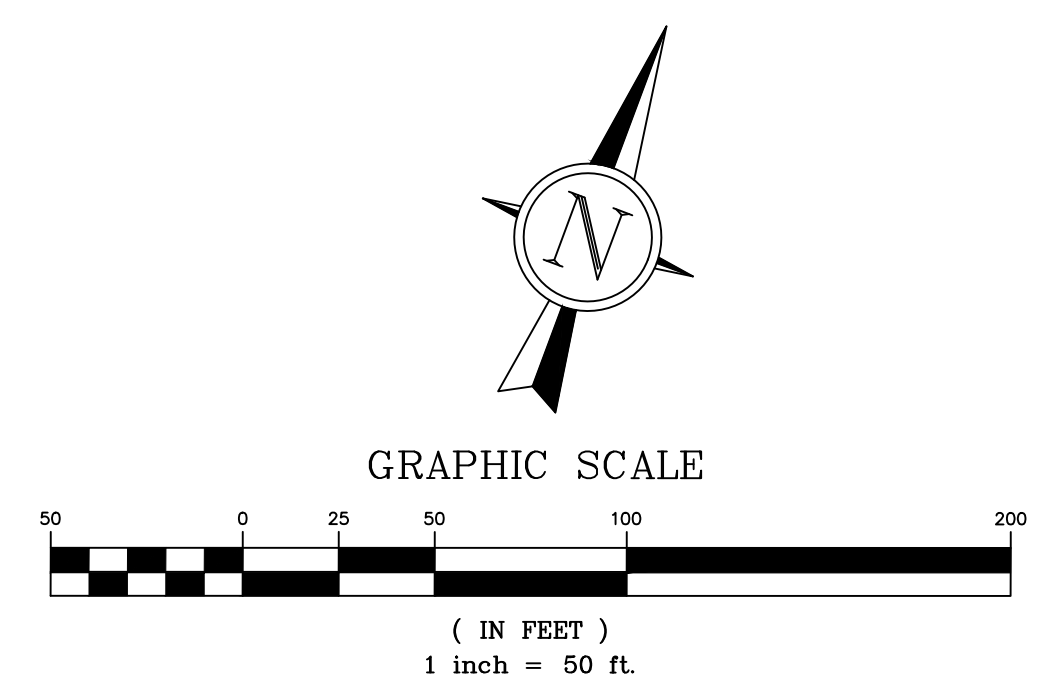
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 SCALE:

UTILITY PLAN
 C400



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