

Planning Commission Staff Report

Meeting Date: February 27, 2023

From: Shilpi Bharti, Planner *SB*

Location: South side of Outer 40 Road and east side of Schoettler Road

Petition: **Legends at Schoettler Pointe (SDP):** A Site Development Plan, Landscape Plan, Tree Preservation Plan, and Tree Stand Delineation for a 9 acre tract of land zoned “PUD” Planned Unit Development located on the south side of Outer 40 Road and east side of Schoettler Road (19S640152 & 19S640657).

SUMMARY

Lombardo Homes of St. Louis, LLC has submitted a Site Development Plan, Landscape Plan, Tree Preservation Plan, and Tree Stand Delineation for a 9 acre tract of land zoned “PUD” Planned Unit Development to construct 13 single-family detached homes known as Legends at Schoettler Pointe. The site is accessed by Schoettler Road located southwest of the subject site. South Outer 40 Road runs along the north side of the property.

SITE HISTORY

The subject property was zoned “NU” Non-Urban District and “R1” Residential District by St. Louis County prior to the incorporation of the City of Chesterfield. In 2022, the site was rezoned to “PUD”-Planned Unit Development. The current ordinance governing the site is Ordinance 3191.



Figure 1: Subject Site Aerial

SURROUNDING LAND USE AND ZONING

The land use and zoning for the properties surrounding this parcel are as follows:

North: The subject site is bordered by Outer 40 Road and I-64 to the north. The site overlooks Delmar Gardens Subdivision which is zoned “NU” Non-Urban District and “PC” Planned Commercial District.

South: Across Schoettler Road to the south are several single-family residential subdivisions. The site overlooks Schoettler Estates which is zoned “R1-A” Residence District.

East: Property east of the site is zoned “NU” Non-Urban District.

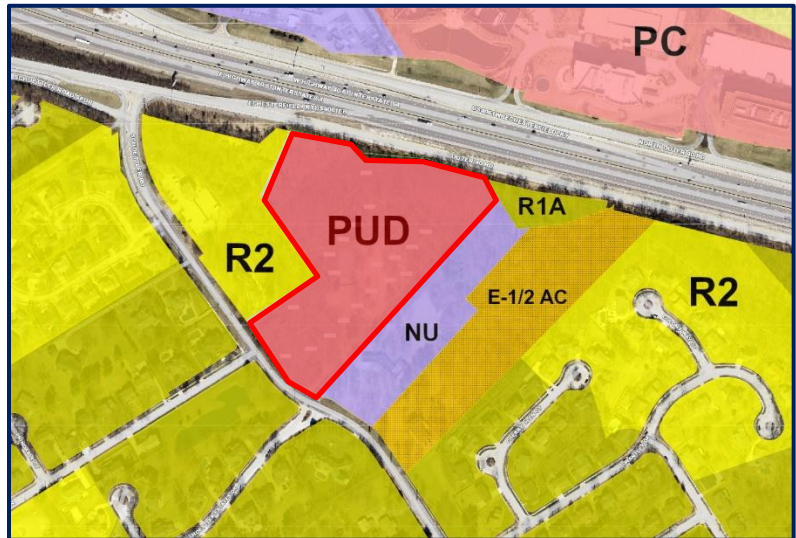


Figure 2: Surrounding Zoning

West: To the west is a single-family home which is zoned “R2” Residence District.

COMPREHENSIVE PLAN

The subject site is located within Ward 2 of the City of Chesterfield. The City of Chesterfield Comprehensive Plan contains the City of Chesterfield Land Use Plan, which is helpful in determining the future use of the site. As per the City of Chesterfield Land Use Plan, the subject site is within the Suburban Neighborhood district (single-family Residence). The subject site is surrounded by Suburban Neighborhood on the east and west, Business Office and Mixed Residential on the north, and Conservation and Suburban Neighborhood on the south. The Suburban Neighborhood land is land typically developed for single-family detached homes with uniform housing densities. Below are the development policies for Suburban Neighborhood as described in the City of Chesterfield Comprehensive Plan.

- Encourage preservation of existing residential neighborhood’s identity.
- New residential development should reinforce existing residential development patterns by continuing to reinforce high quality site and subdivision design, layout, and planning practices.
- Uncover the anticipated expense (cost of municipal infrastructure) for each new or re-developed residential development.

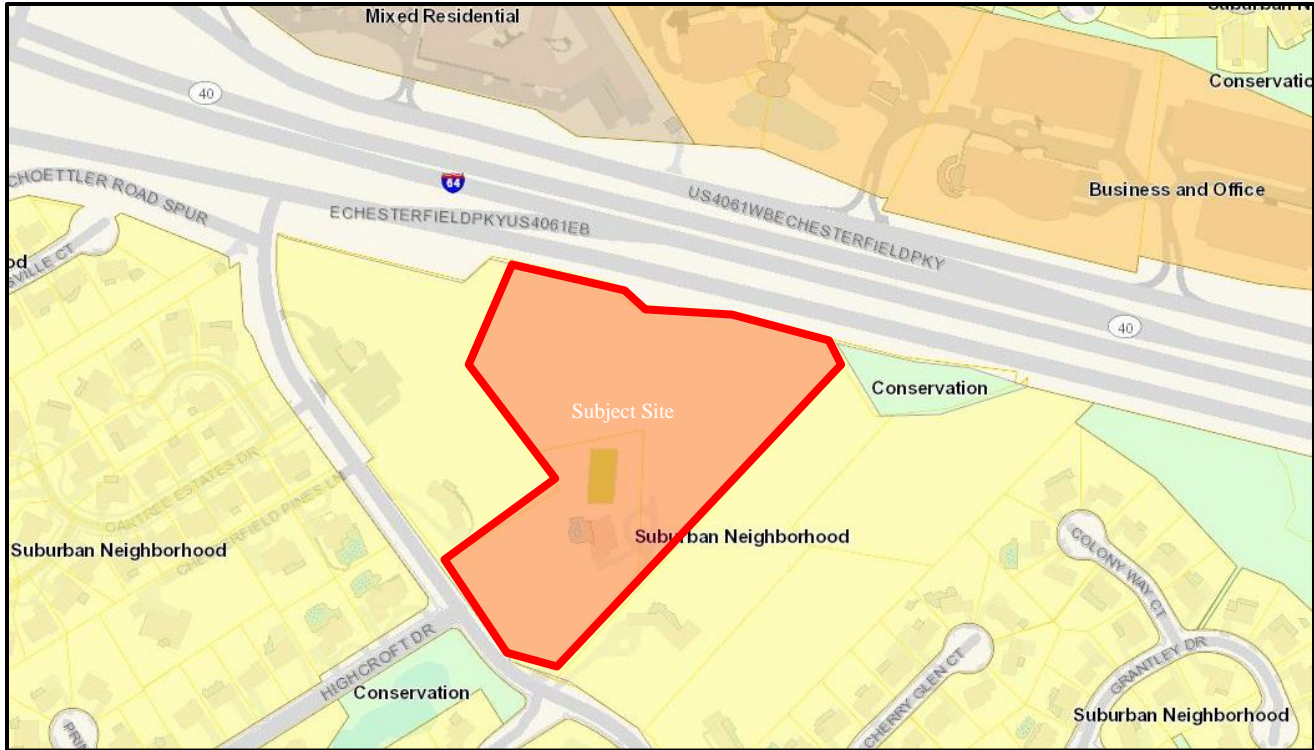


Figure 3: Comprehensive Land Use Plan

“PUD” DISTRICT REGULATIONS

The Unified Development Code Section 31-03-04.K states that “the purpose of the PUD District is to encourage flexibility to the density requirements and development standards of the zoning ordinance that will result in exceptional design, character, and quality of new homogenous and mixed use developments; to promote the most appropriate use of land; to facilitate the provision of streets and utilities; and to preserve the natural and scenic features and open space.”

The Unified Development Code also lists Design Features suggested to be used by developers when applying for PUD District zoning. Below is a list of some suggested Design Features from the City Code:

- Placement of structures on most suitable sites with consideration of maintaining existing site topography, soils, vegetation, slope, etc.;
- Preservation of natural and cultural areas, as well as the creation of open space through active and passive recreation areas to include greenways, landscape gardens, plazas, and walking and cycling trails that serve to connect significant areas and various land uses;
- Preservation of existing mature trees and trees deemed extraordinary by the City of Chesterfield Tree Specialist due to but not limited to the following: size, type, origin, grouping, or number of;
- Enhanced landscaping, deeper and opaque buffers, and increased planting along public rights-of-way, open space/recreational areas, and the overall perimeter to protect and ensure compatibility with adjacent land uses;

- Structures designed and constructed of an architectural vernacular that exceeds the typical building design and materials within the City of Chesterfield.

STAFF ANALYSIS

The Site Development Plan shows construction of thirteen (13) single family-detached homes, and preserving most of the existing wooded areas present on the northeast and northwest sides of the subject site that face South Outer 40 Road. There will be retaining walls on the north, northwest, and west sides that face 20'-40' deep slopes. The height of the retaining walls varies from 0.6' to 28.4' on the west and northwest of the subject site marked with wall "A" in the plan. Retaining walls on the north will be from 1' - 22' high marked with "B" in the plan. Detailed staff analysis is described in sub-sections below:

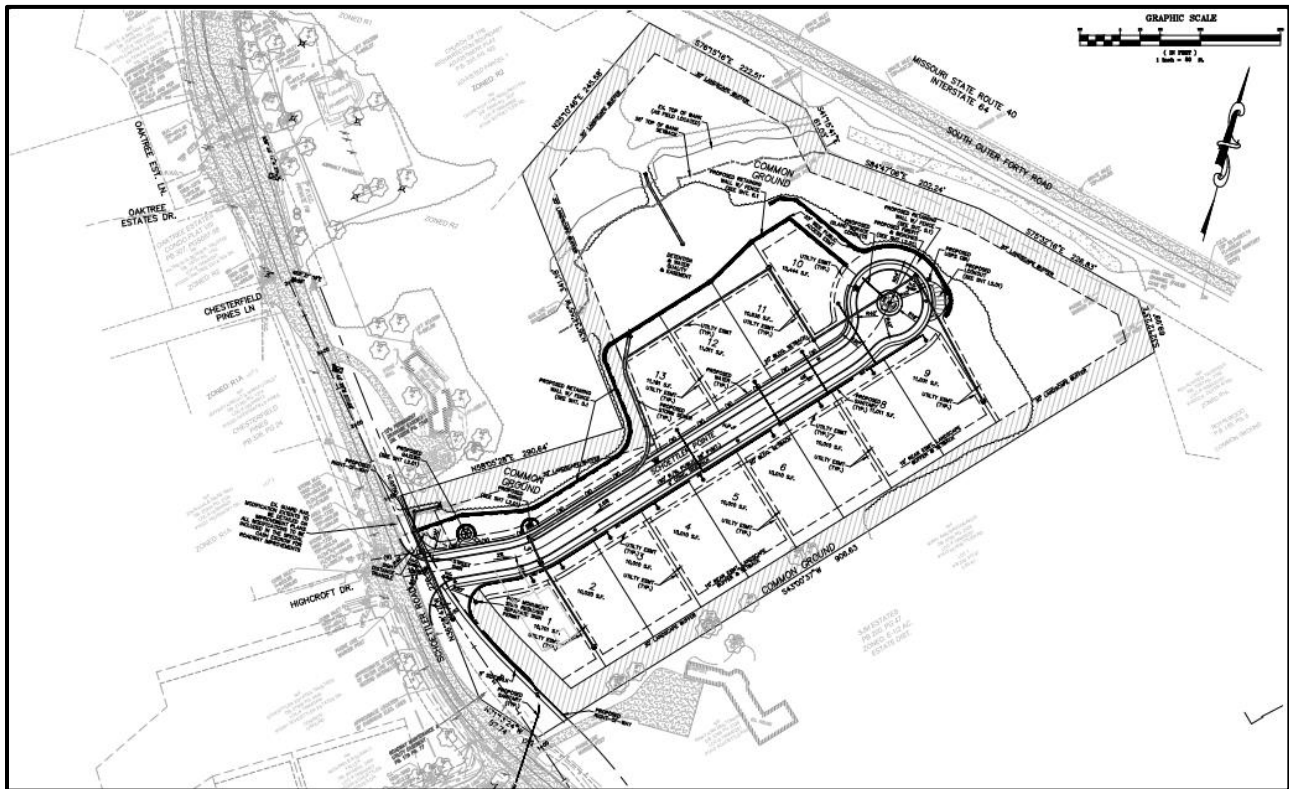


Figure 4: Site Development Plan

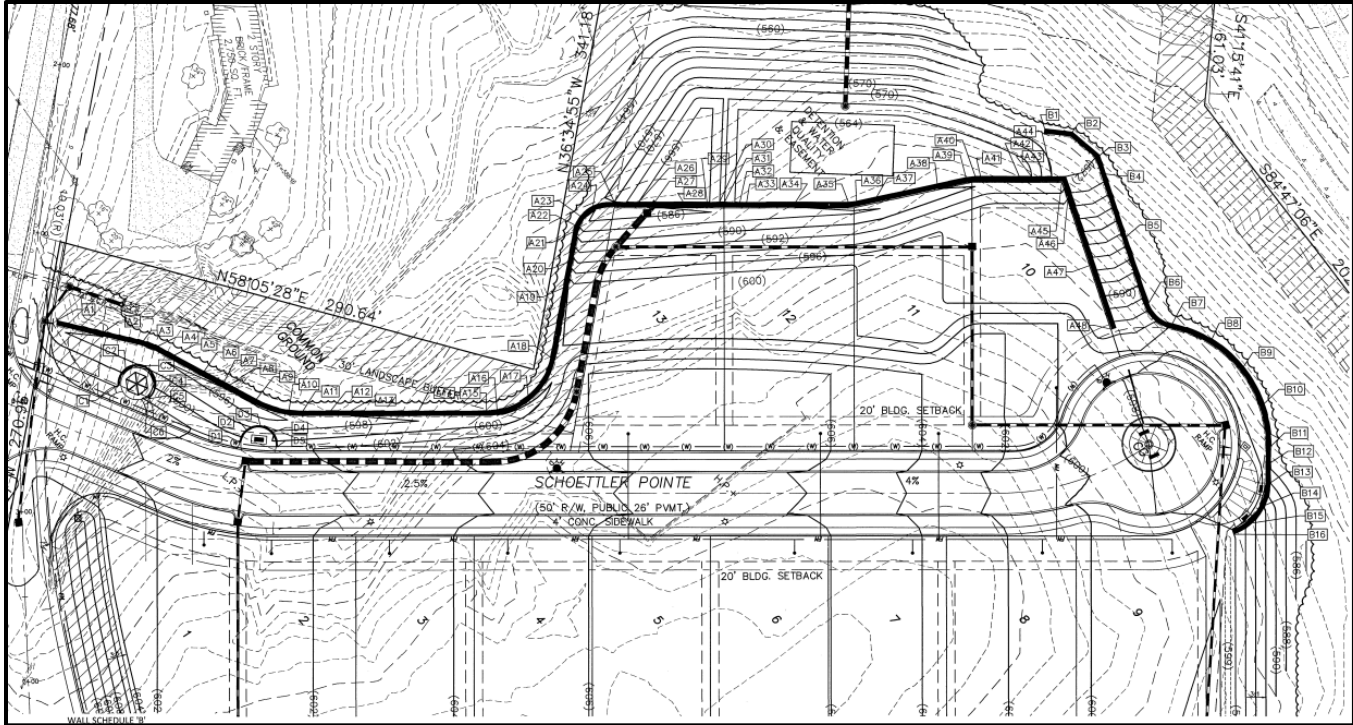


Figure 5: Retaining walls

Zoning

As previously stated, the site-specific ordinance governing the site is Ordinance 3191. The proposed plans comply with the development criteria contained within the site-specific ordinance by providing thirteen (13) single-family homes. The lot size varies from 10,010 square feet to 11,181 square feet, which meets the minimum lot size requirement of 10,000 square feet as mentioned in the site-specific ordinance. Individual lots will have a 20' front setback, 15' back setback and 6' side setback conforming to the ordinance setback requirements.

Access and Circulation

The development has one entrance/exit from Schoettler Road. The proposed road serving the single-family homes will be a public road ending in a cul-de-sac. The applicant has provided a Trip Generation study prepared by CBB. As per the study, the development trip estimates represent less than one new trip every four minutes, on average, added to the adjacent roadways, which is a nominal increase in traffic. As per CBB, the additional traffic would not have a noticeable impact upon current traffic conditions on the adjacent roadways.

Tree Preservation

A Tree Preservation Plan is provided for the proposed development. The plan exceeds the 30% tree preservation requirement by maintaining 38.99% of the existing tree canopies. The preservation includes the majority of the tree canopies from the existing wooded areas on the northeast and northwest sides of the subject site.

Landscape Installation

The site-specific ordinance requires a 30' Landscape Buffer from all four sides and an additional 15' Landscape Buffer from the eastern property line beyond the depicted 30' buffer. The applicant has met these requirements by depicting these landscape buffers in the Landscape Plan. Shade, ornamental and evergreen trees are proposed for the landscape buffer. Street trees consist of three types of shade trees.

Amenity

As public amenities, the applicant is proposing an octagon gazebo with ornamental plantings and couple swing to be located at the entrance of the site, a lookout pedestrian gathering space, and fire pit & benches in the proposed cul-de-sac. The octagon gazebo and couple swing is surrounded by 4.3' high retaining walls at the back, marked as wall "C" and "D" in the plan.

CBU

All residential developments are required to utilize cluster box units (CBUs) vs individual mail boxes for mail delivery by the United States Postal Service. Residential mail delivery locations are under the jurisdictional authority of the United States Postal Service. The CBU for the proposed development is provided near the cul-de-sac, marked in the plan.

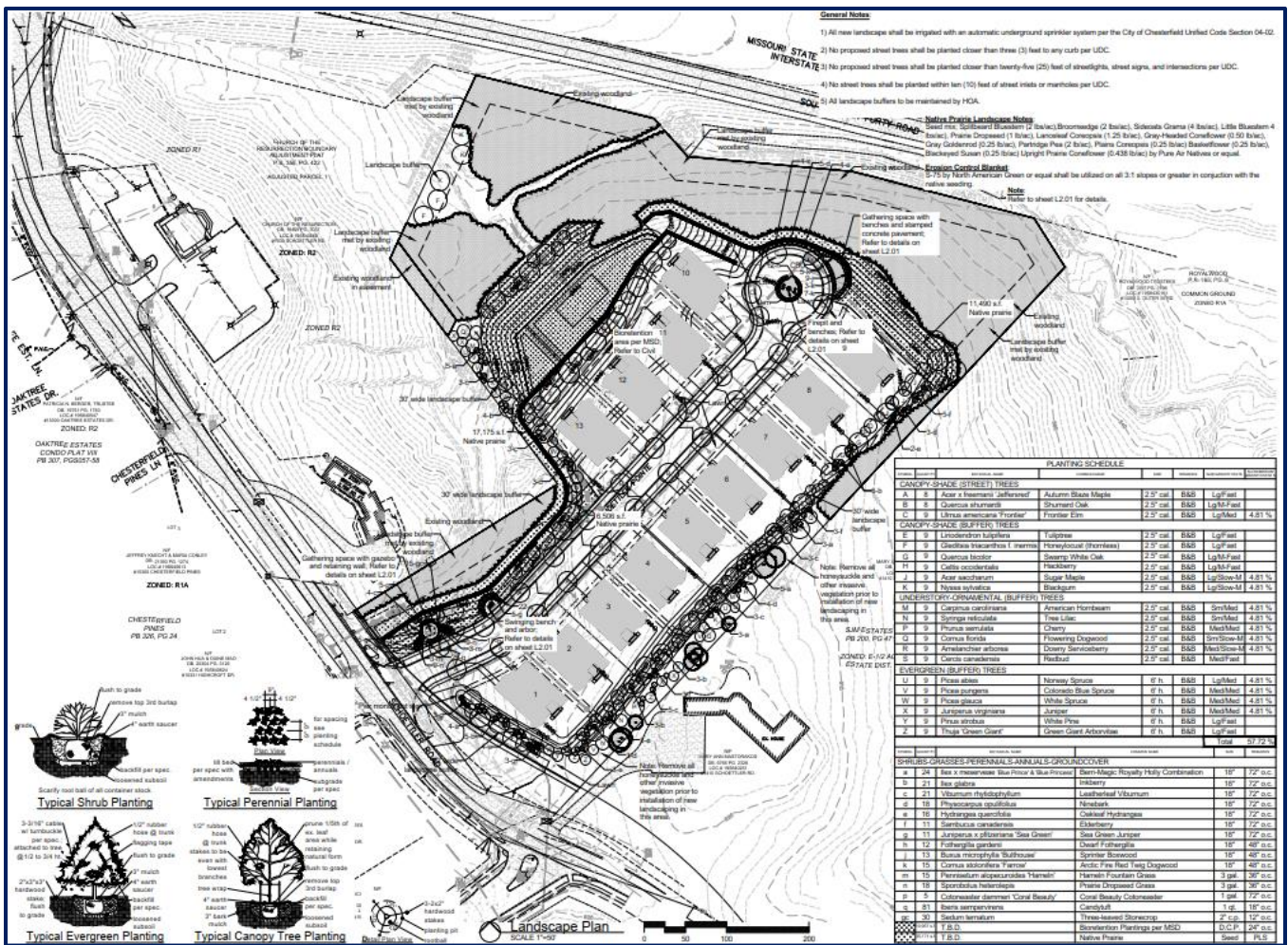


Figure 6: Landscape Plan

STAFF RECOMMENDATION

Staff has completed review of the proposed Site Development Plan. All agency comments have been received. The Site Development Plan meets all the requirements of the site-specific ordinance and the City's Unified Development Code. Staff recommends approval of the proposed Site Development Plan.

MOTION

The following options are provided to the Planning Commission for consideration relative to the application:

- 1.) "I move to approve (or deny) the Site Development Plan, Landscape Plan, Tree Preservation Plan and Tree Stand Delineation for the Legends at Schoettler Pointe subdivision."

- 2.) " I move to approve the Site Development Plan, Landscape Plan, Tree Preservation Plan and Tree Stand Delineation for the Legends at Schoettler Pointe subdivision with the following conditions..."
(Conditions may be added, eliminated or modified)

Attachments

1. Traffic Study
2. Site Development Plan
3. Tree Stand Delineation
4. Tree Preservation Plan
5. Landscape Plan

October 28, 2022

Mr. Steve Valentine
Project Manager
Lombardo Homes
4 Research Park Drive, Suite 130
St. Charles, Missouri 63304

RE: Trip Generation Memo
Proposed Legends at Schoettler Point Residential Development
Schoettler Road opposite Highcroft Drive
Chesterfield, Missouri
CBB Job No. 100-22

Dear Mr. Valentine:

As requested, CBB has prepared a Trip Generation Letter related to the proposed Legends at Schoettler Point residential development in Chesterfield, Missouri. The site is located on the east side of Schoettler Road, opposite Highcroft Drive. The location of the site in relation to the surrounding road system is depicted in **Figure 1**.



Figure 1: Site Location Map



Based on the site plan prepared by you, the proposed development consists of 13 single-family residential lots. It is our understanding this development will be a “care-free-living” (maintenance included) ranch only community that is marketed towards empty nesters, but it will not be officially restricted. A schematic of the site plan for the proposed residential development is shown in **Figure 2**.



Figure 2: Excerpt of Preliminary Site Plan (Provided by You)

Access to the residential development is proposed via one full access driveway on Schoettler Road opposite Highcroft Drive.

It should be noted this Trip Generation Letter does not represent a full detailed traffic impact study, but rather an estimate of the anticipated traffic levels associated with the proposed development. No specific evaluations of operational levels of service are included in this work.



Sight Distance: Adequate sight distance is necessary at intersections to allow drivers to perceive potentially conflicting vehicles and allow those motorists sufficient time to adjust their speed to avoid a collision or make a choice of when to cross or enter the mainline traffic flow. All drivers approaching or stopped at the intersection should have an unobstructed view of the entire intersection so that potential collisions can be avoided.

A *Policy on Geometric Design of Highways and Streets* published by the American Association of State Highway and Transportation Officials (AASHTO), commonly referred to as the *Green Book*, provides guidance on the minimum sight distance at intersections. The *Green Book* method incorporates the design speed of the major road and the required gap time for a minor road vehicle to enter or cross the major road to define the minimum safe distance for entrance visibility. The design speed is generally assumed to be the posted speed limit plus five mph, unless detailed speed study data is available. Based on the *Green Book* method, the intersection sight distance (ISD) is computed according to the following formula:

$$ISD = 1.47 * Design Speed (mph) * Design Gap (sec)$$

$$ISD = 1.47 * 35 mph * 7.5 sec = 390 feet (rounded)$$

CBB recommends the AASHTO Green Book standards be used to provide adequate intersection sight distance and recommends the site design engineer verify adequate sight distance will be provided as the development plans move forward.

Careful consideration should be given to sight distance obstructions when planning access and future aesthetics enhancements, such as signs, berms, fencing and landscaping, to ensure that these improvements do not obstruct the view of entering and exiting traffic at the intersection of all drives with the public roadways. It is generally recommended that all improvements higher than 3 ½ feet above the elevation of the nearest pavement edge be held back at least 20 feet from the traveled roadway.

Trip Generation: Forecasts were prepared to estimate the amount of traffic the proposed 13 residential lots would generate during the weekday AM and PM peak hours. These forecasts were based upon information provided in the *Trip Generation Manual*, 11th Edition, published by the Institute of Transportation Engineers (ITE). This manual, which is a standard resource for transportation engineers, is based on a compilation of nationwide studies documenting the characteristics of various land uses. Estimates for the proposed uses were based on Land Use 210 (Single-Family Detached Housing).

The resulting trip generation estimate for the proposed 13 residential lots is summarized in **Table 1**. As shown in the table, the proposed 13 residential lots are estimated to generate 12 total trips during the weekday AM peak hour (3 in and 9 out) and 15 total trips during the weekday PM peak hour (9 in and 6 out). Based on the trip estimate, all turning movements at the subdivision entrance would be less than 10 vehicles per hour.



Table 1: Trip Generation Estimate – Legends at Schoettler Point

Land Use	Size	Daily	Weekday AM Peak Hour			Weekday PM Peak Hour		
			In	Out	Total	In	Out	Total
Single Family Detached Housing								
Single-Family Detached Housing (ITE 210)	13 homes	154	3	9	12	9	6	15

Although Schoettler Road is not owned or maintained by the Missouri Department of Transportation (MoDOT) or St. Louis County Department of Transportation (SLCDOT), both of their Access Management guidelines, indicate that auxiliary left or right-turn lanes are generally not needed on two-lane roads when turn volumes are less than 10 vehicles per hour.

The trip estimates represent less than one new trip every four minutes, on average, added to the adjacent roadways, which is a nominal increase in traffic. It is our belief the additional traffic would not have a noticeable impact upon current traffic conditions on the adjacent roadways.

We trust that you will find this information useful in evaluating the proposed Legends of Schoettler Point residential development in Chesterfield, Missouri. Should there be any questions regarding this information, please contact me at (314) 479-5022 or brensing@cbbtraffic.com.

Sincerely,

Brian Rensing, P.E., PTOE, RSP2I
Associate - Senior Transportation Engineer

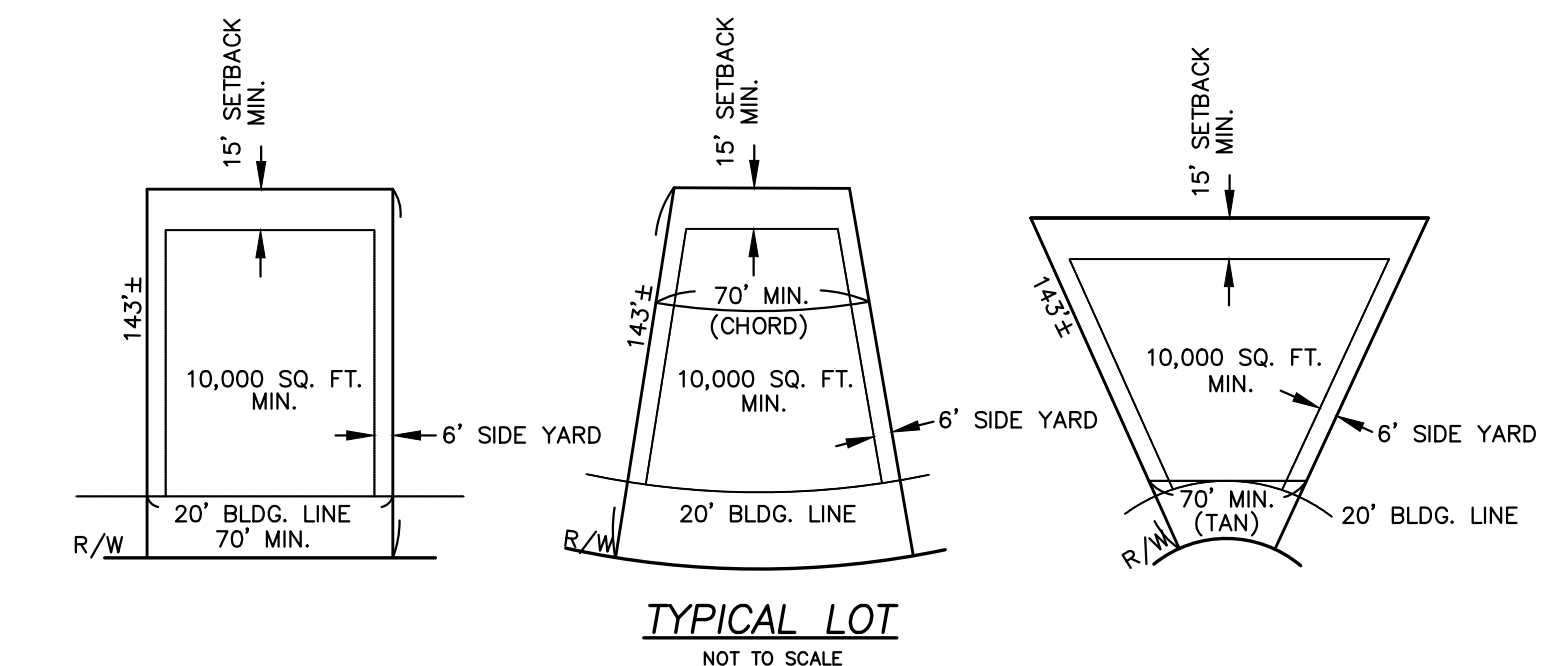
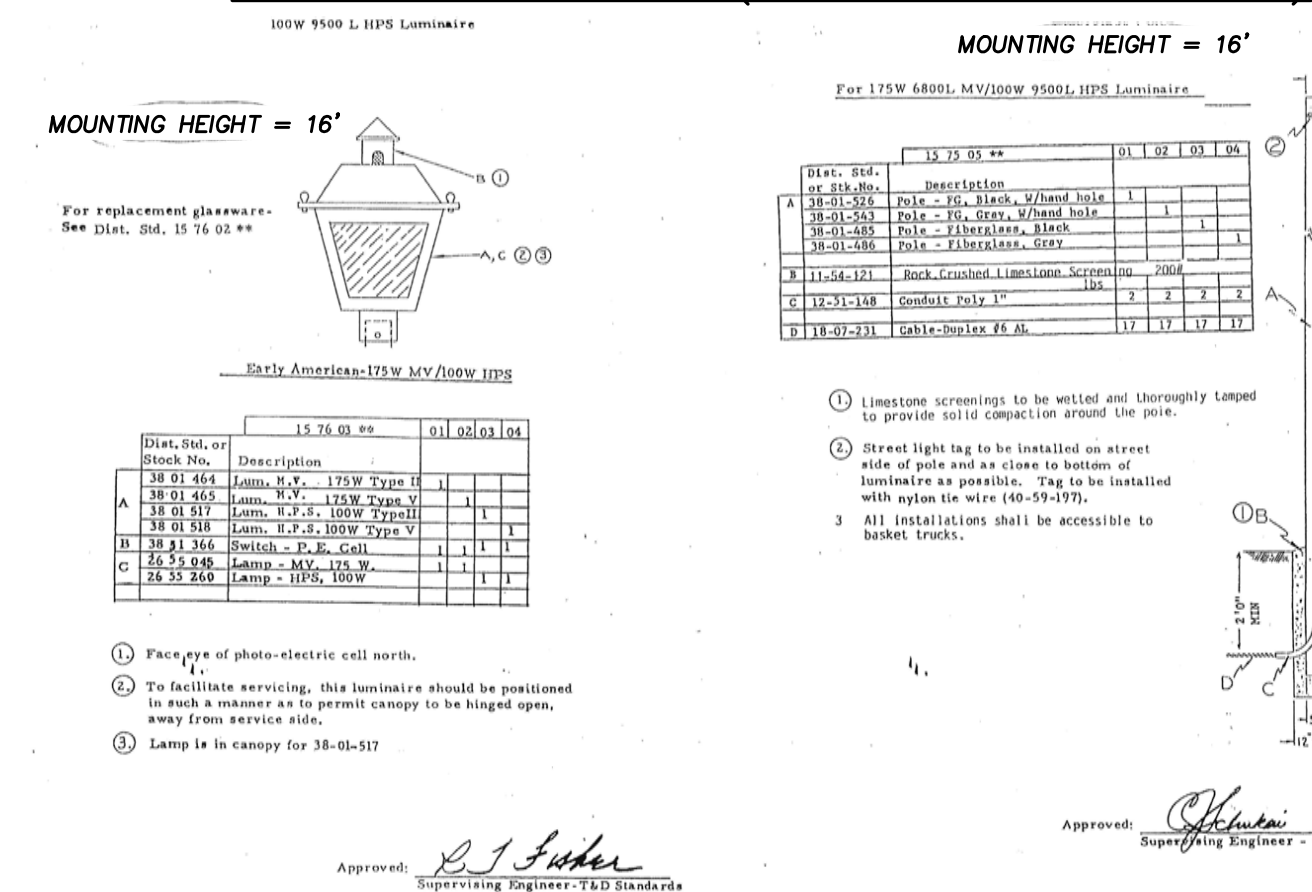
GENERAL NOTES:

- 1. THIS SITE IS IN THE FOLLOWING DISTRICTS: METROPOLITAN ST. LOUIS SEWER DISTRICT, MONARCH FIRE PROTECTION DISTRICT, PARKWAY SCHOOL DISTRICT.
2. THIS SITE IS IN THE FOLLOWING UTILITY SERVICE AREAS: MISSOURI AMERICAN WATER COMPANY, AMEREN UE, AT&T, SPIRE GAS COMPANY, CHARTER COMMUNICATIONS.
3. SANITARY SEWER CONSTRUCTION AND CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AND IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES.
4. STORM WATER SYSTEM SHALL BE DESIGNED PURSUANT TO THE CITY OF CHESTERFIELD AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT.
5. NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SLOPES IN EXCESS OF 3:1. STEEP SLOPES ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE GEOTECHNICAL ENGINEER. REVIEW OF THE PROPOSED STEEP SLOPE WILL BE CONCURRENT WITH THE REVIEW OF THE GRADING PERMIT OR IMPROVEMENT PLANS FOR THE PROJECT.
6. THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATION SHALL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE INDICATED ON THE IMPROVEMENT PLANS.
7. GRADING SHALL BE PER CITY OF CHESTERFIELD STANDARDS. TOPOGRAPHY HAS BEEN PROVIDED BY STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND UPDATE AND VERIFIED BY THE STERLING COMPANY USING CONVENTIONAL SURVEYING EQUIPMENT.
8. STREET TREES AND STREET LIGHTS (UNLESS OTHERWISE DEPICTED) SHALL BE PER CITY OF CHESTERFIELD STANDARDS.
9. NEAREST MAJOR INTERSECTION IS SOUTH OUTER 40 AND SCHOETTTLER ROAD.
10. ALL SIDEWALKS SHALL BE CONSTRUCTED TO ADA AND THE CITY OF CHESTERFIELD STANDARDS.
EXISTING OWNERS: LOMBARDO HOMES OF ST. LOUIS, LLC, 4 RESEARCH DRIVE, SUITE 130, ST. CHARLES, MO 63304.
11. SITE TO CONFORM TO THE CITY OF CHESTERFIELD TREE REQUIREMENTS.
12. MAXIMUM HEIGHT OF THE RESIDENCES WILL NOT EXCEED 45 FEET.
13. SITE PLAN WILL MEET ALL CITY OF CHESTERFIELD REQUIREMENTS.
14. LANDSCAPE EASEMENTS ARE ESTABLISHED AS A PROTECTED AREA FOR VEGETATIVE LANDSCAPING ONLY. STRUCTURES OF ANY SIZE, WHETHER TEMPORARY OR PERMANENT, ARE NOT PERMITTED WITHIN LANDSCAPE EASEMENTS. TRAILS SHALL BE ALLOWED WITHIN THE LANDSCAPE EASEMENTS. LANDSCAPING AS APPROVED BY THE CITY OF CHESTERFIELD DURING SITE PLAN REVIEW IS REQUIRED TO BE MAINTAINED AND PRESERVED INDEFINITELY BY THE RESIDENT OR A HOME OWNERS ASSOCIATION. FAILURE TO MAINTAIN OR PRESERVE LANDSCAPE EASEMENTS MAY RESULT IN INSPECTION AND ISSUANCE OF FINES BY THE CITY OF CHESTERFIELD. THIS LANGUAGE SHALL BE INCLUDED ON ALL PLANS, PLATS, ORDINANCES, SUBDIVISION INDENTURES, AND OTHER APPROPRIATE (WRITTEN) DOCUMENTS FOR THIS DEVELOPMENT.
15. ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
16. ANY MONUMENT SIGNS PROPOSED FOR THE DEVELOPMENT REQUIRES A SEPARATE APPROVAL PROCESS THRU THE CITY.
17. PARKING TO BE ALLOWED ON ONE SIDE OF STREET ONLY. SEE PLAN FOR SIGNAGE LOCATIONS.
18. ALL SIDEWALKS LOCATED WITHIN COMMON GROUND SHALL BE MAINTAINED BY THE SUBDIVISION HOMEOWNERS ASSOCIATION.
19. ALL ABOVE GROUND UTILITY FACILITIES LARGER THAN 2 FEET IN HEIGHT OR COVERING IN EXCESS OF 4 SQUARE FEET IN SIZE SHALL BE SCREENED FROM PUBLIC VIEW. IF SCREENING IS COMPLETED BY LANDSCAPE MATERIAL, A LANDSCAPE PLAN IDENTIFYING THE SIZE, LOCATION AND SPECIES SHALL BE SUBMITTED AND APPROVED BY THE CITY PRIOR TO INSTALLATION OF ANY FACILITY.
20. THE LOCATION OF AN EXISTING ON-SITE SANITARY SEPTIC SYSTEM AND/OR WELL IS UNKNOWN. THE SEPTIC SYSTEM AND WELL REMOVAL SHALL COMPLY WITH ANY AND ALL GOVERNING AUTHORITIES.
21. PER CITY CODE SECTION 405.04.100.I.4, MAXIMUM DRIVEWAY WIDTH IS 26'.

SITE INFORMATION

LOCATOR NUMBERS: 19S640152, 19S640657
SITE ADDRESS: 1 & 15 HAY BARN LANE
EXISTING ZONING: PUD (PLANNED UNIT DEVELOPMENT)
GROSS AREA OF SITE: 9.05 ACRES
DENSITY CALCULATIONS: 9.05 AC. / 21,780 SQ.FT./AC. = 18 LOTS ALLOWED
MAXIMUM NUMBER OF UNITS ALLOWED PER ORDINANCE 3191: 18
NUMBER OF UNITS PROPOSED: 13
LOT DEVELOPMENT REQUIREMENTS: FRONT YARD SETBACK 20', SIDE YARD SETBACK 6', REAR YARD SETBACK 15'.
NUMBER OF PARKING SPACES REQUIRED: TWO PER UNIT = 26 SPACES
NUMBER OF PARKING SPACES PROVIDED: 26
PROPOSED STREETS SHALL BE PUBLIC 50' W. R.O.W. WITH 26' W. PVMT. AND BUILT TO THE CITY OF CHESTERFIELD STANDARDS.
RIGHT OF WAY AREA = 1.15 ACRES
COMMON GROUND = 4.78 ACRES WHICH EQUALS 52.8% OF THE SITE
TREE PRESERVATION INFORMATION: SEE TREE STAND DELINEATION

LIGHT STANDARD DETAIL (INTERNAL TO SUBDIVISION)



CITY APPROVAL SCRIPT:

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE CITY OF CHESTERFIELD PLANNING COMMISSION AND DULY VERIFIED ON THE DAY OF 2022, BY THE CHAIRPERSON OF SAID COMMISSION, AUTHORIZING THE RECORDING OF THIS SITE DEVELOPMENT PLAN PURSUANT TO CHESTERFIELD ORDINANCE NUMBER AS ATTESTED TO BY THE DEPARTMENT OF PLANNING DIRECTOR AND THE CITY CLERK.

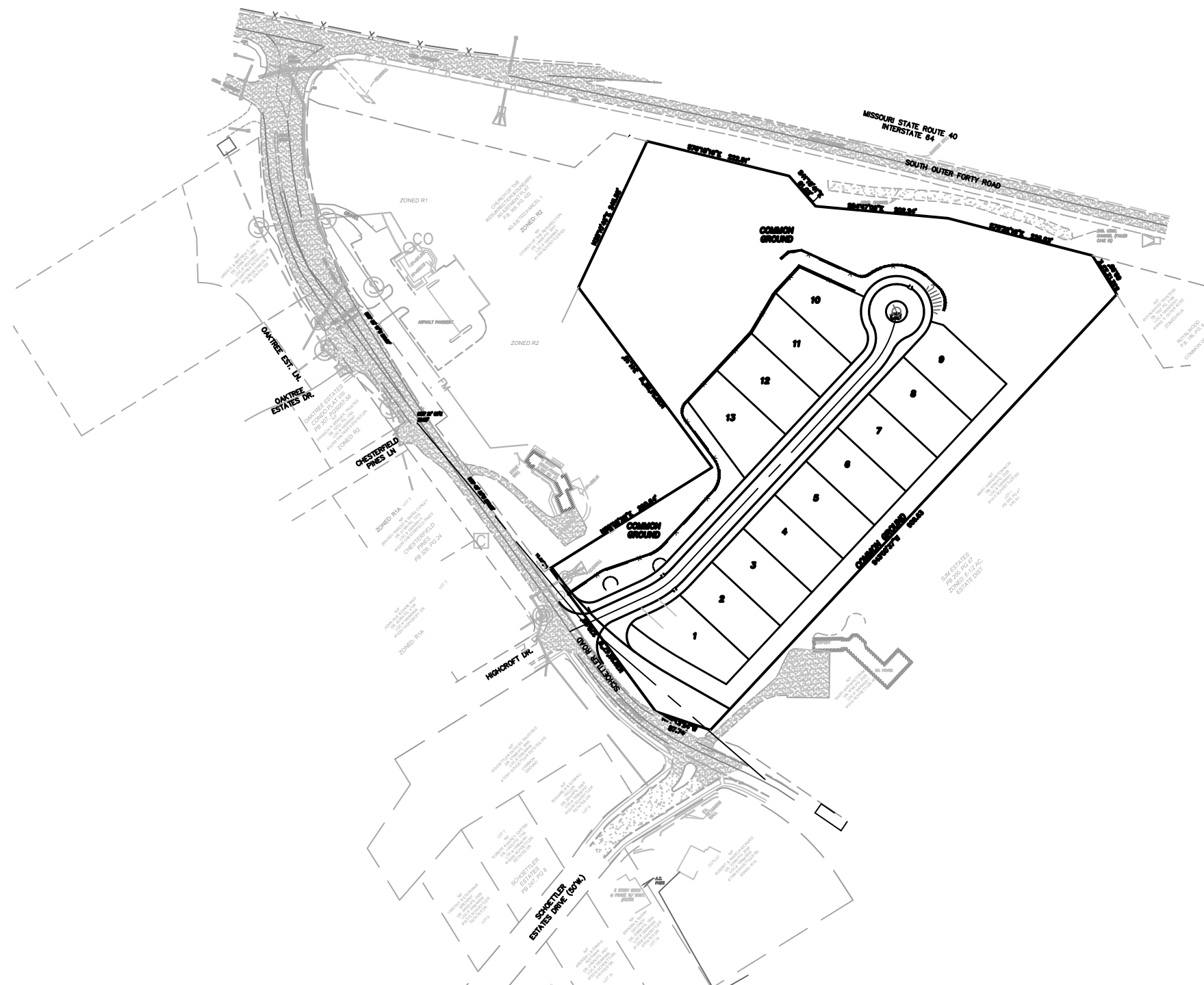
JUSTIN WYSE, AICP, DIRECTOR OF PLANNING, CITY OF CHESTERFIELD, MISSOURI

VICKIE MCGOWN, CITY CLERK, CITY OF CHESTERFIELD, MISSOURI

Legends at Schoettler Pointe

A TRACT OF LAND BEING LOT 1 AND 3 OF HAY BARN LANE (PB 179, PG 77) AND LOTS 1, 2, AND 3 OF HAY WAIN (PB 192, PG 1), U.S. SURVEY 307 AND 1978, TOWNSHIP 45 NORTH - RANGE 4 EAST, FIFTH PRINCIPAL MERIDIAN, ST. LOUIS COUNTY, MISSOURI

SITE DEVELOPMENT PLAN



FLOOD NOTE:

ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE COUNTY OF ST. LOUIS, MISSOURI, UNINCORPORATED AREAS (COMMUNITY PANEL NUMBER 2918900170K, DATED FEBRUARY 4, 2015), THIS PROPERTY LIES ENTIRELY IN FLOOD ZONE 'X' (UNSHADED).

PROJECT BENCHMARKS:

PROJECT BENCHMARK #1: ST. LOUIS COUNTY BM 12358 ELEVATION = 614.15' (NAVD 88)
PROJECT BENCHMARK #2: ST. LOUIS COUNTY BM 12340 ELEVATION = 636.80' (NAVD 88)
SITE BENCHMARK #1: ELEVATION = 600.60' (NAVD 88)

SITE BENCHMARK:

'RAILROAD SPIKE' IN POWER POLE ON THE EASTERN SIDE OF SCHOETTTLER ROAD, 31 FEET NORTHEAST OF THE CENTERLINE OF SCHOETTTLER ROAD, 133 FEET NORTHWEST OF THE CENTERLINE OF HIGHCROFT DRIVE, 249 FEET SOUTHEAST OF THE CENTERLINE OF CHESTERFIELD PINES LANE. (SHOWN HEREON)

SHEET INDEX

- 1.1 COVER SHEET
2.1 DEMOLITION PLAN
3.1 SITE / GRADING PLAN
4.1 SITE PLAN
5.1 RETAINING WALL PLAN
6.1 ORDINANCE SHEET
7.1 SIGHT DISTANCE STUDY
TSD TREE STAND DELINEATION
TPP TREE PRESERVATION PLAN
L1.01 LANDSCAPE PLAN
L2.01 LANDSCAPE PLAN DETAILS

PROPERTY DESCRIPTION

PARCEL ONE: LOT 1 OF HAY BARN LANE, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 179 PAGE 77 OF THE ST. LOUIS COUNTY RECORDS.
PARCEL TWO: TRACT I: LOTS 1, 2, AND 3 OF HAY WAIN, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 192 PAGE 1 OF THE ST. LOUIS COUNTY RECORDS. TRACT II: LOT 3 OF HAY BARN LANE, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 179 PAGE 77 OF THE ST. LOUIS COUNTY RECORDS.

LOMBARDO HOMES OF ST. LOUIS, LLC, THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN FOR AND IN CONSIDERATION OF BEING GRANTED A PERMIT TO DEVELOP PROPERTY UNDER THE PROVISIONS OF THE CITY OF CHESTERFIELD UNIFIED DEVELOPMENT CODE SECTION 03-04, FOR P.U.D.'S OF THE CITY OF CHESTERFIELD ORDINANCE # DO HEREBY AGREE AND DECLARE THAT SAID PROPERTY FROM THE DATE OF RECORDING THIS PLAN SHALL BE DEVELOPED ONLY AS SHOWN THEREON, UNLESS SAID PLAN IS AMENDED BY THE PLANNING COMMISSION, OR VOIDED OR VACATED BY ORDER OF ORDINANCE OF THE CITY OF CHESTERFIELD COUNCIL.

OWNER SIGNATURE

OWNER PRINTED NAME

STATE OF MISSOURI

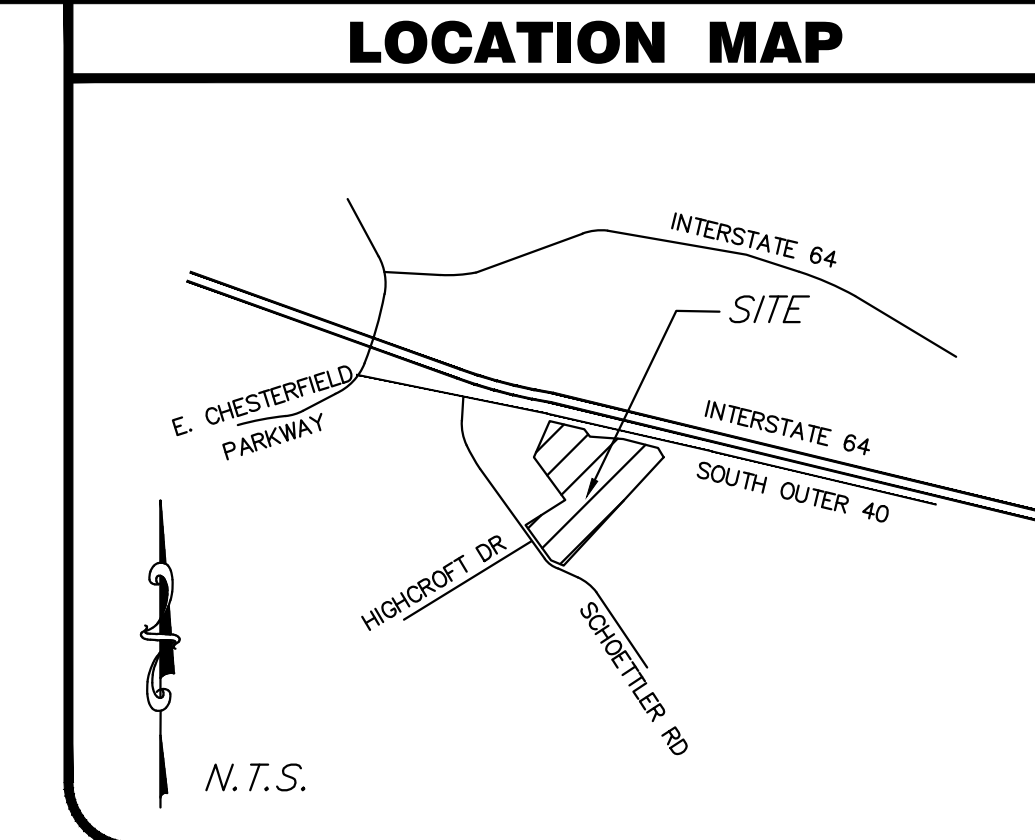
COUNTY OF ST. LOUIS

ON THIS DAY OF A.D., 2022, BEFORE ME PERSONALLY APPEARED, TO ME KNOWN, WHO, BEING BY ME SWORN IN, DID SAY THAT HE/SHE IS THE OF MCBRIDE BERRA LAND COMPANY LLC, A CORPORATION IN THE STATE OF MISSOURI, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENTS IS THE CORPORATE SEAL OF SAID CORPORATION, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND THE SAID ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL, THE DAY AND YEAR FIRST ABOVE WRITTEN.

MY COMMISSION EXPIRES

NOTARY PUBLIC



PROJECT ZIP CODE 63017

Legend table with columns: EXISTING, LEGEND, PROPOSED. Lists symbols for contours, spot elevations, center line, buildings, tree line, fence, storm sewers, sanitary sewers, catch basin, area inlet, grated inlet, storm manhole, sanitary manhole, flared end section, cleanout, lateral connection, utility or power pole, fire hydrant, test hole, pavement, gas main & size, water main & size, telephone, electric (u) underground, electric (o) overhead, flow line, to be removed, top of curb, swale, light standard, street sign, parking stalls, yard light.

GEOTECHNICAL STATEMENT

JACOBI GEOTECHNICAL ENGINEERING, INC. AND THE UNDERSIGNED ENGINEER HAVE NOT PREPARED ANY PART OF THESE PLANS. THE SEAL OF THE UNDERSIGNED PROFESSIONAL ENGINEER HAS BEEN AFFIXED AT THE REQUEST OF THE CITY OF CHESTERFIELD.

JACOBI GEOTECHNICAL ENGINEERING, INC. (JGE) HAS REVIEWED THESE PLANS AND IN OUR OPINION THE GRADINGS AND IMPROVEMENTS RELATIVE TO SLOPE CONSTRUCTION AND FOUNDATIONS, AS SHOWN ON THE PLANS, ARE COMPATIBLE WITH THE SOIL AND GEOLOGIC CONDITIONS AT THE SITE PURSUANT TO THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT TITLED: 'EXPLORATION OF SUBSURFACE CONDITIONS AND FOUNDATION RECOMMENDATIONS - HAYBARN LANE TRACT - CHESTERFIELD, MISSOURI, DATED DECEMBER 2013. JGE MUST BE INVOLVED DURING THE CONSTRUCTION PHASE OF THIS PROJECT TO OBSERVE SUBSURFACE CONDITIONS FOR COMPLIANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT. CONSTRUCTION MEANS AND METHODS FOR IMPLEMENTATION OF THE GRADING PLAN SHALL BE LEFT TO THE DEVELOPER/CONTRACTOR. OBSERVATIONS OF THE DEVELOPER/CONTRACTOR'S COMPLIANCE WITH THE APPLICABLE SPECIFICATIONS SHALL BE IDENTIFIED AND VERIFIED IN WRITING.

ALLEN G. MINKS, P.E., PROFESSIONAL ENGINEER E-22438

SURVEYOR'S CERTIFICATION:

THIS IS TO CERTIFY THAT WE HAVE, DURING THE MONTH OF AUGUST, 2022, AT THE REQUEST OF LOMBARDO HOMES, PREPARED A SITE DEVELOPMENT PLAN OF 'LEGENDS AT SCHOETTTLER POINTE', A TRACT OF LAND BEING LOT 1 AND 3 OF HAY BARN LANE (PB 179, PG 77) AND LOTS 1, 2, AND 3 OF HAY WAIN (PB 192, PG 1), U.S. SURVEY 307 AND 1978, TOWNSHIP 45 NORTH, RANGE 4 EAST, FIFTH PRINCIPAL MERIDIAN, ST. LOUIS COUNTY, MISSOURI AND DOES NOT MEET THE 'MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS' IN EFFECT AT THE DATE OF THIS PLAN.

THE STERLING COMPANY

JAMEY A HENSON, PLS MO.REG. PLS #2007017963

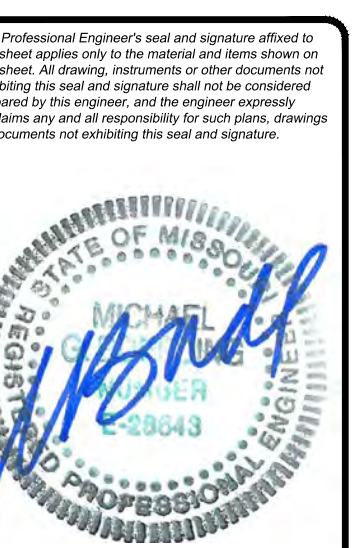
MSD Base Map 19S License No. MO E-28643 Professional Engineer Highways & Traffic #

REVISIONS table with columns: NO., DATE, REVISIONS. Includes entries for 2022-09-15 INITIAL SUBMITTAL, 2022-11-11 REVISED PER CITY COMMENTS, and 2022-12-29 REVISED PER CITY COMMENTS.

Lombardo Homes of St. Louis, LLC, 4 Research Park Drive, Suite 130, St. Charles, Missouri 63304, Ph. 636-265-2710

THE STERLING COMPANY ENGINEERS & SURVEYORS, 5055 New Baumgartner Road, St. Louis, Missouri 63120, Ph. 314-487-0440, Fax. 314-487-8944, www.sterling-eng-survey.com, Corporate Certificate of Authority #001348

Legends at Schoettler Pointe, CHESTERFIELD, MISSOURI, SITE DEVELOPMENT PLAN, Cover Sheet



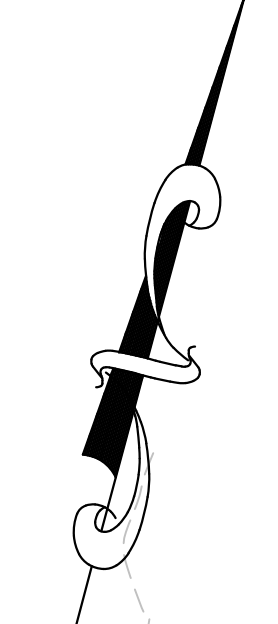
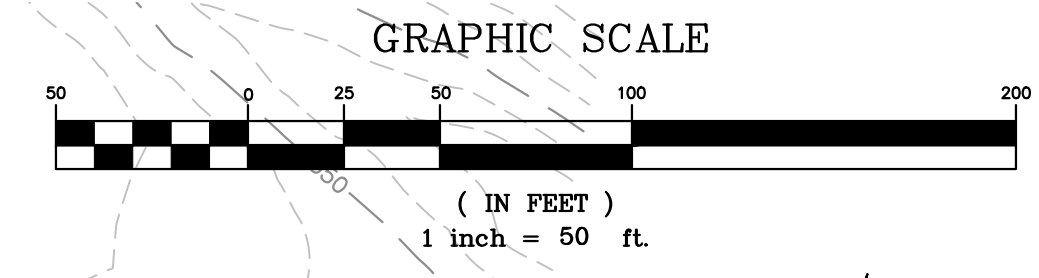
Date: 12-29-2022, MICHAEL G. BOERDING, License No. MO E-28643, Professional Engineer

Job Information table: Job Number 22-04-134, Date Dec. 29, 2022, Drawn: MTG, Sheet 1.1, Checked: JML, SDP

Drawing name: V:\2204134 Schoettler Pointe - Legends at Drawings\Engineering\Site Development\Plan\134_SDP.dwg Plotted on: Feb 10, 2023 - 11:58am Plotted by: jbeckhaus



NOTE:
 CONTRACTOR TO COORDINATE REMOVAL OF ALL ONSITE UTILITIES WITH EACH UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO ONSITE WATER/WATER SERVICE LINES, ONSITE GAS/GAS SERVICE LINES AND ONSITE ELECTRIC. ALL EXISTING UTILITY EASEMENTS THAT EFFECT THE PROPOSED DEVELOPMENT SHALL BE VACATED BY SAID UTILITY COMPANIES AND NEW EASEMENTS SHALL BE ESTABLISHED OVER PROPOSED UTILITIES.

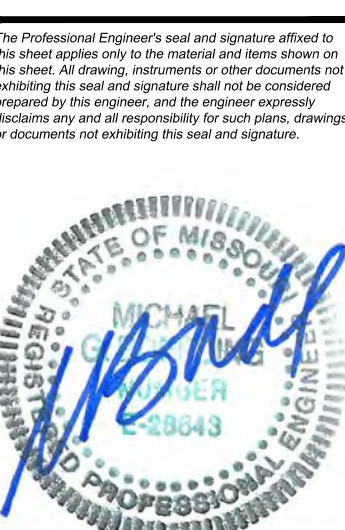


ISSUE	REMARKS/DATE
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Legends at Schoettler Pointe
 CHESTERFIELD, MISSOURI
 SITE DEVELOPMENT PLAN
 Demolition Plan

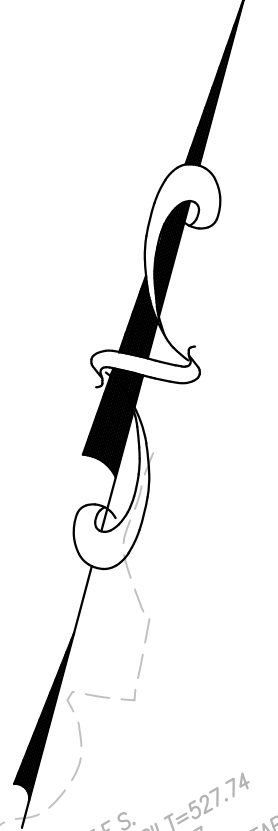
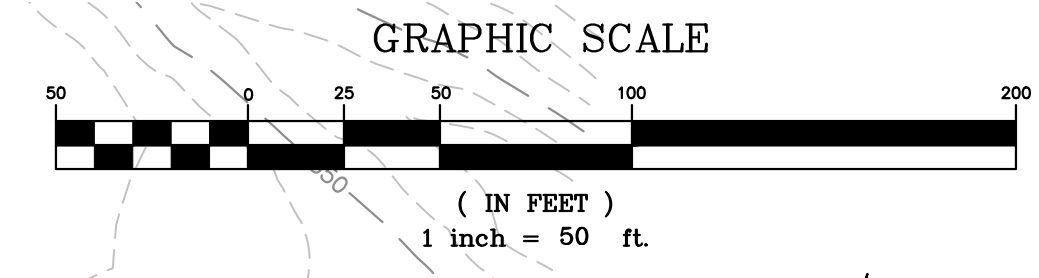
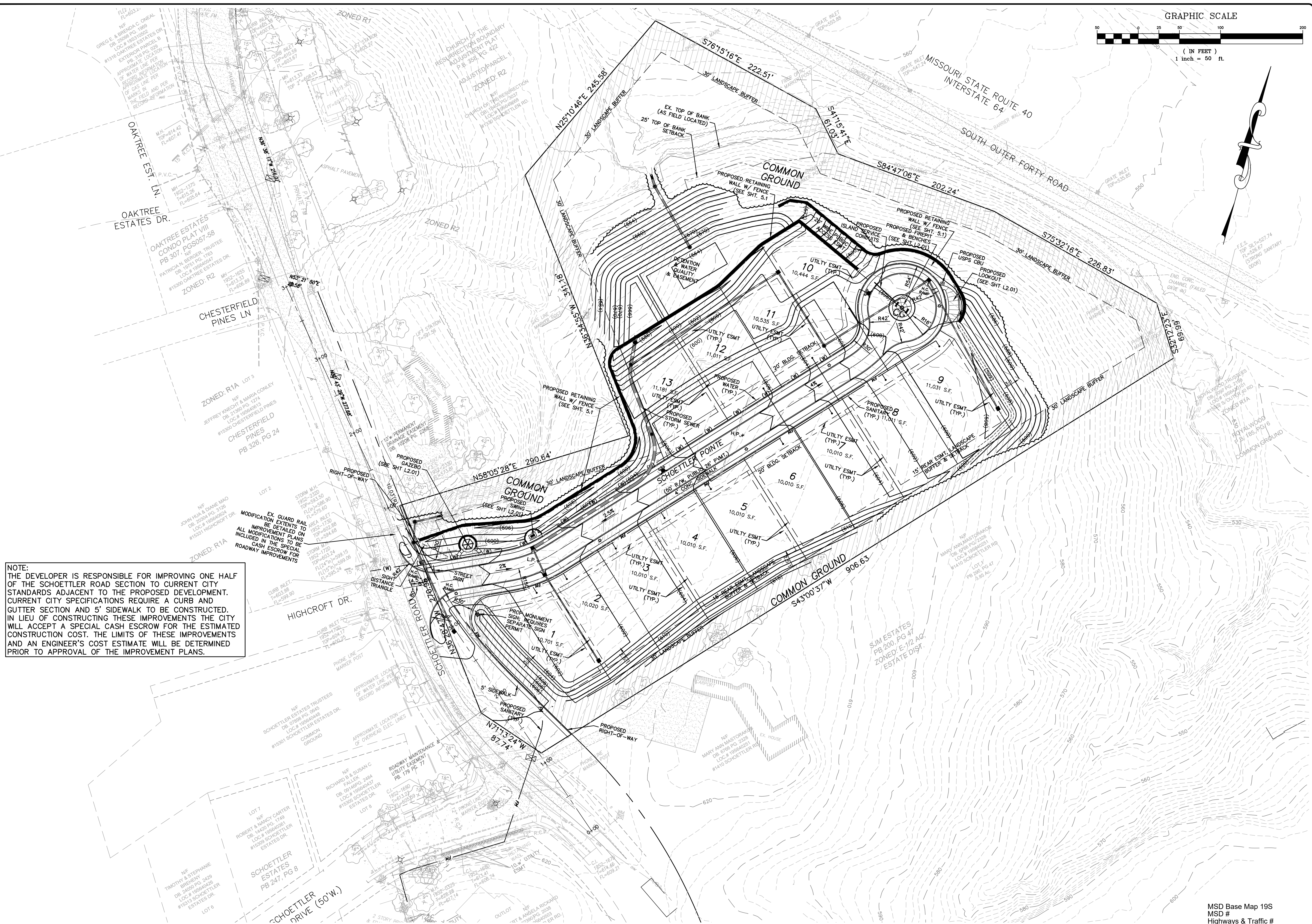


Date: 12-29-2022
MICHAEL G. BOERDING
 License No. MO E-28643
 Professional Engineer

Job Number: **22-04-134**
 Date: **Dec. 29, 2022**
 Designed: JML Sheet
 Drawn: MTG **2.1**
 Checked: JML SDP

MSD Base Map 19S
 MSD #
 Highways & Traffic #

Drawing name: V:\2204134 Schoettler Pointe - Legends atDrawings\Engineering\Site Development\Plan\134_SDP.dwg Plotted on: Feb 10, 2023 - 11:58am Plotted by: jacobhaus



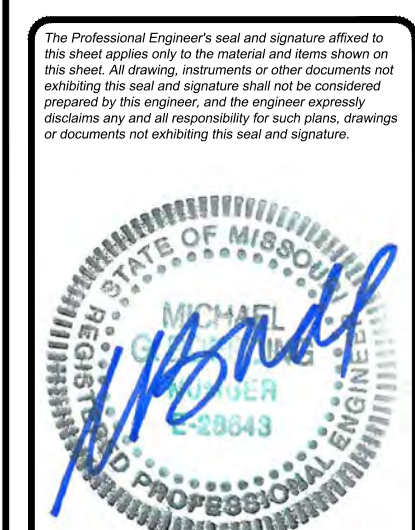
NOTE:
THE DEVELOPER IS RESPONSIBLE FOR IMPROVING ONE HALF OF THE SCHOETTLER ROAD SECTION TO CURRENT CITY STANDARDS ADJACENT TO THE PROPOSED DEVELOPMENT. CURRENT CITY SPECIFICATIONS REQUIRE A CURB AND GUTTER SECTION AND 5' SIDEWALK TO BE CONSTRUCTED. IN LIEU OF CONSTRUCTING THESE IMPROVEMENTS THE CITY WILL ACCEPT A SPECIAL CASH ESCROW FOR THE ESTIMATED CONSTRUCTION COST. THE LIMITS OF THESE IMPROVEMENTS AND AN ENGINEER'S COST ESTIMATE WILL BE DETERMINED PRIOR TO APPROVAL OF THE IMPROVEMENT PLANS.

ISSUE	REMARKS/DATE
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Legends at Schoettler Pointe
CHESTERFIELD, MISSOURI
SITE DEVELOPMENT PLAN
Site / Grading Plan

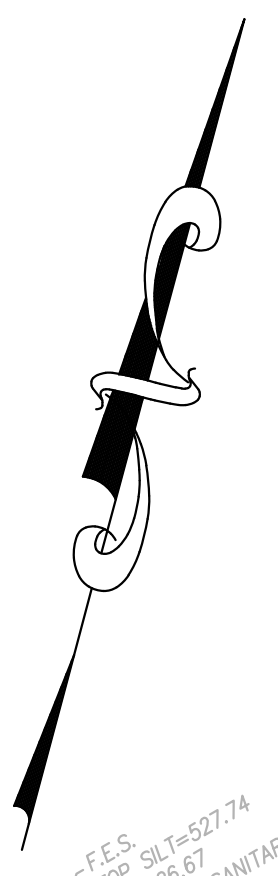
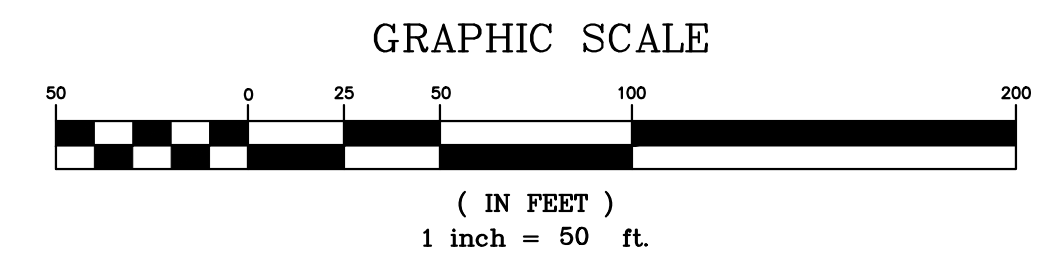
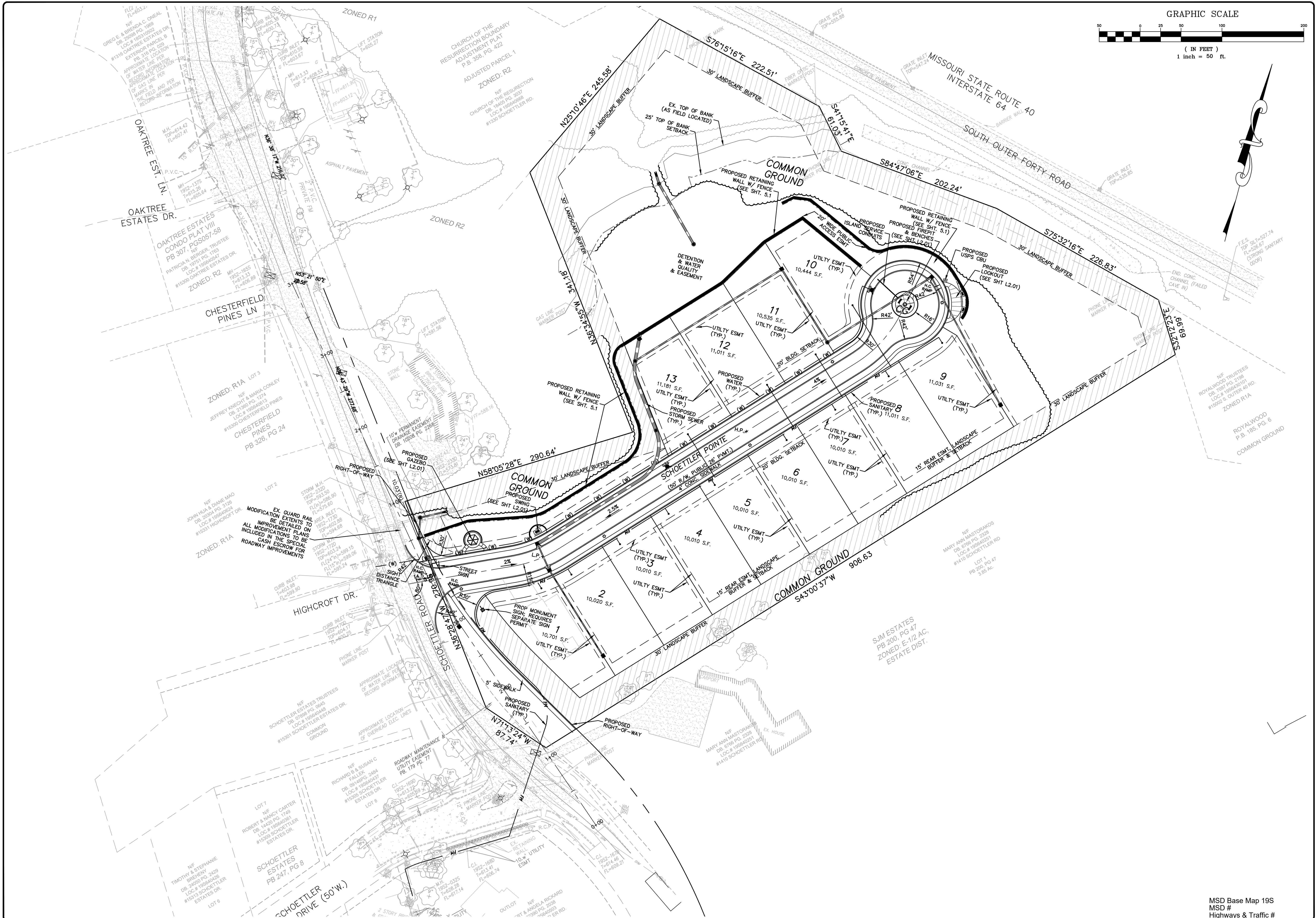


Date: 12-29-2022
MICHAEL G. BOERDING
License No. MO E-28643
Professional Engineer

Job Number	22-04-134
Date	Dec. 29, 2022
Designed: JML	Sheet
Drawn: MTG	3.1
Checked: JML	SDP

MSD Base Map 19S
MSD #
Highways & Traffic #

Drawing name: V:\2204134 Schoettler Pointe - Legends at Schoettler Pointe - Site Development Plan\134_SDP.dwg Plotted on: Feb 10, 2023 - 11:58am Plotted by: jbaekhaus

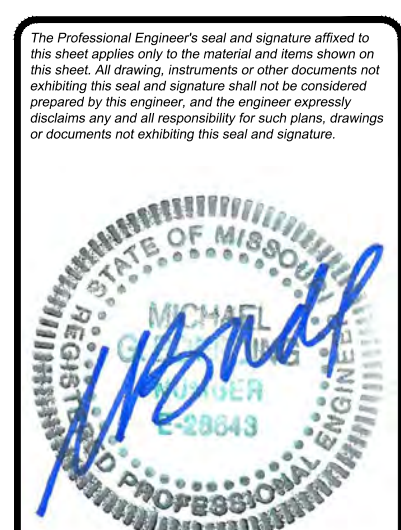


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Legends at Schoettler Pointe
 CHESTERFIELD, MISSOURI
 SITE DEVELOPMENT PLAN
 Site Plan



Date: 12-29-2022
 MICHAEL G. BOERDING
 License No. MO E-28643
 Professional Engineer

Job Number	22-04-134
Date	Dec. 29, 2022
Designed: JML	Sheet
Drawn: MTG	4.1
Checked: JML	SDP

MSD Base Map 19S
 MSD #
 Highways & Traffic #

WALL SCHEDULE 'A'

ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
A1	598.5	597.9	0.6	4.1	28.8	117
A2	598.0	590.5	7.5	12.6	23.6	297
A3	597.4	582.8	14.6	16.2	8.9	144
A4	597.2	579.5	17.7	18.8	11.2	211
A5	596.9	577.0	19.9	20.2	19.9	401
A6	596.4	576.0	20.4	24.4	13.4	327
A7	596.1	567.7	28.4	27.0	3.9	105
A8	596.0	570.4	25.6	22.3	17.9	399
A9	596.4	577.4	19.0	19.3	21	404
A10	597.0	577.5	19.5	19.8	8.5	168
A11	597.0	577.0	20.0	20.9	16.5	345
A12	597.7	575.9	21.8	21.6	12	259
A13	598.0	576.7	21.3	18.1	40.2	728
A14	599.0	584.1	14.9	12.6	40.2	505
A15	599.9	589.7	10.2	10.2	6.5	66
A16	600.0	589.9	10.1	10.1	19.8	200
A17	600.0	589.9	10.1	13.5	27.8	374
A18	600.9	584.1	16.8	20.3	41.7	847
A19	600.0	576.2	23.8	22.1	15.2	336
A20	595.0	574.6	20.4	17.2	18.2	312
A21	589.1	575.2	13.9	15.2	3.9	59
A22	588.0	571.6	16.4	16.3	5.7	93
A23	587.0	570.8	16.2	16.0	9.2	147
A24	586.0	570.3	15.7	15.9	6.3	100
A25	586.0	570.0	16.0	18.0	14.4	259
A26	586.0	566.0	20.0	20.1	9.5	191
A27	586.0	565.8	20.2	20.6	16.9	348
A28	586.5	565.5	21.0	21.2	14.1	299
A29	586.9	565.5	21.4	20.3	7.5	152
A30	587.1	568.0	19.1	19.2	3	57
A31	587.2	568.0	19.2	20.8	9	187
A32	587.3	565.0	22.3	22.6	4	90
A33	587.4	564.5	22.9	23.2	29.1	675
A34	588.0	564.5	23.5	23.8	31.2	743
A35	588.6	564.5	24.1	24.2	5.3	128
A36	588.7	564.5	24.2	24.4	12.3	300
A37	589.0	564.5	24.5	25.0	36.6	915
A38	590.0	564.5	25.5	25.6	17.4	445
A39	590.5	564.8	25.7	25.7	5.3	136
A40	590.6	564.9	25.7	25.8	3.1	80
A41	591.0	565.1	25.9	25.9	23	596
A42	591.4	565.5	25.9	25.8	7.2	185
A43	591.6	566.0	25.6	23.7	12	284
A44	591.8	570.0	21.8	20.9	7.5	156
A45	591.9	572.0	19.9	19.7	11.5	226
A46	594.0	574.6	19.4	9.7	41.5	403
A47	594.5	585.0	9.5	4.8	40	190
A48	595.0	595.0	0.0			
TOTALS					782	13987

WALL SCHEDULE 'B'

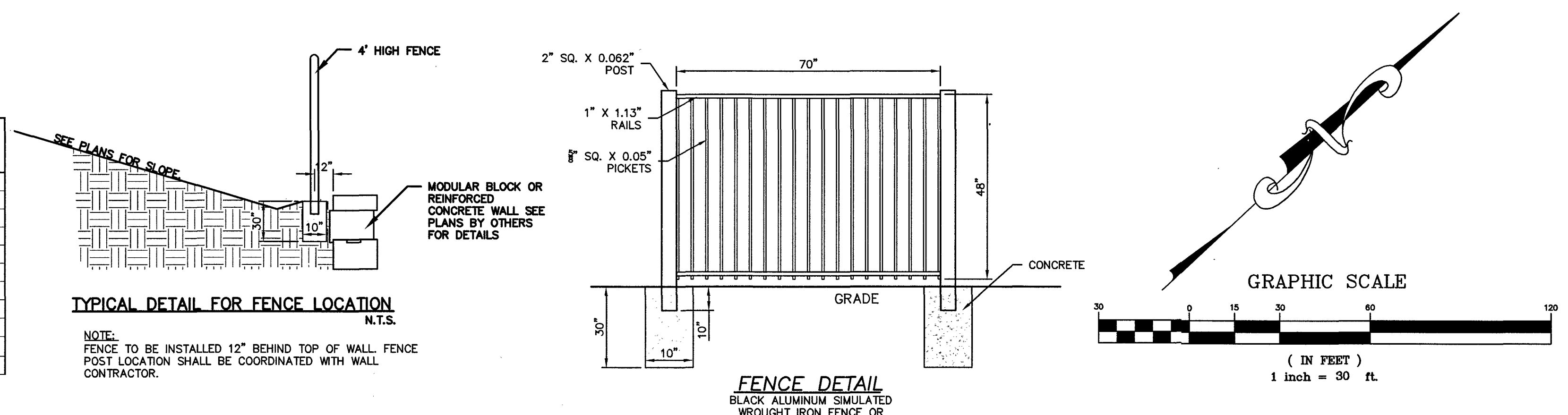
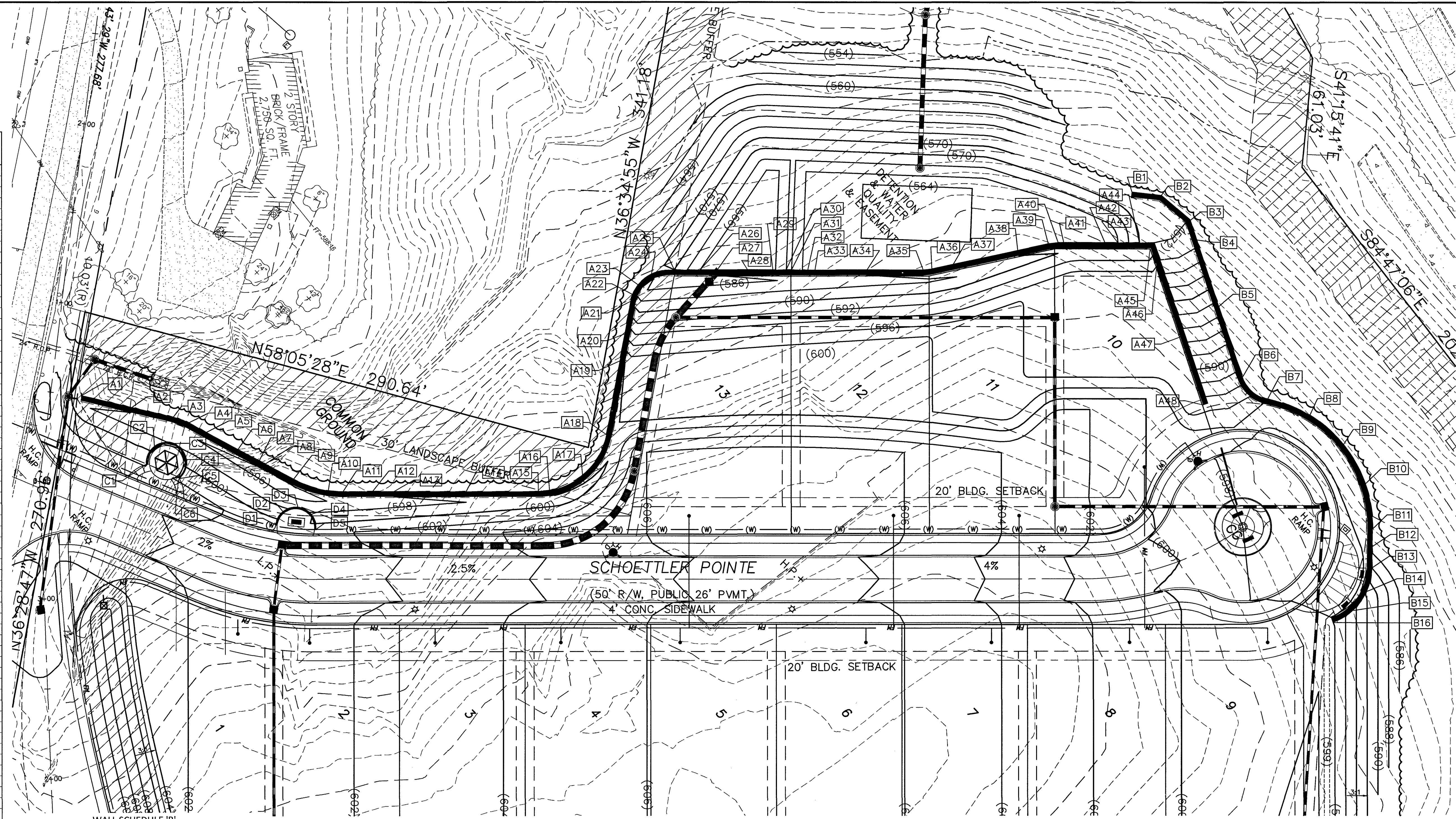
ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
B1	570.0	569.0	1.0	2.7	16.4	44
B2	571.0	566.6	4.4	4.1	20.2	83
B3	572.0	566.7	5.3	4.5	11.6	53
B4	573.0	569.2	3.8	5.0	38.5	193
B5	582.6	576.4	6.2	8.6	41.2	352
B6	593.0	582.1	10.9	14.2	36.9	524
B7	599.0	581.5	17.5	19.3	24.6	475
B8	599.0	577.9	21.1	21.9	24.7	541
B9	599.0	576.3	22.7	22.2	24.7	548
B10	599.0	577.3	21.7	19.4	24.6	476
B11	599.0	582.0	17.0	15.5	9.6	149
B12	599.0	585.0	14.0	12.6	12	151
B13	599.0	587.9	11.1	9.4	12.9	121
B14	599.0	591.3	7.7	6.1	12.6	77
B15	599.0	594.5	4.5	2.3	12.6	28
B16	598.0	598.0	0.0			
TOTALS					323	3815

WALL SCHEDULE 'C'

ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
C1	602.1	601.8	0.3	1.6	10.3	16
C2	602.1	599.2	2.9	3.0	10.3	31
C3	602.1	597.8	4.3	3.7	10.3	38
C4	602.1	599.0	3.1	1.8	10.3	18
C5	602.1	601.7	0.4	0.3	0.7	0
C6	602.1	601.9	0.2			
TOTALS					42	104

WALL SCHEDULE 'D'

ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
D1	601.7	601.0	0.7	1.9	8.5	16
D2	601.7	598.6	3.1	3.3	8.5	28
D3	601.7	597.4	4.3	3.9	8.5	33
D4	601.7	598.3	3.4	2.1	8.5	17
D5	601.7	601.0	0.7			
TOTALS					34	94



**THIS SHEET FOR REFERENCE ONLY.
FINAL WALL DESIGN SHALL BE BY OTHERS.
RETAINING WALL CONSTRUCTION WILL
REQUIRE A SEPARATE PERMIT**

Drawing name: V:\2204134_Schoettler Point - Legends at Schoettler Point.dwg Plotted on: Feb 10, 2023 - 1:08pm Plotted by: jbaubachhaus

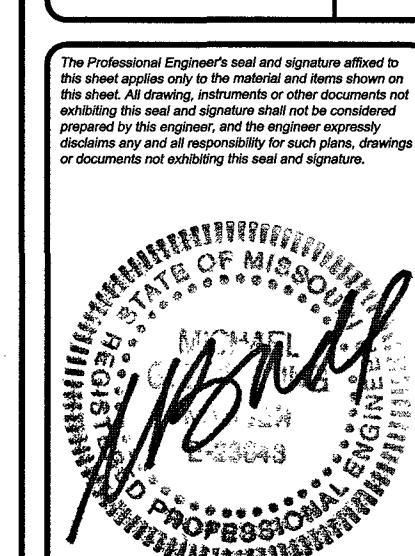
ISSUE REMARKS/DATE

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Legends at Schoettler Point
CHESTERFIELD, MISSOURI
SITE DEVELOPMENT PLAN
Retaining Wall Details



Date: 12-29-2022
MICHAEL G. BOERING
License No. MO E-28643
Professional Engineer
Job Number: 22-04-134
Date: Dec. 29, 2022
Designed: JML Sheet 5.1
Drawn: MTG IMP
Checked: JML IMP

MSD Base Map 19S
MSD #
Highways & Traffic #

ATTACHMENT A

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.

I. SPECIFIC CRITERIA

A. PERMITTED USES

- 1. The uses allowed in this PUD District shall be:
a. Single Family Residential
2. The above uses in the District shall be restricted as follows:
a. The total number of residential dwellings units shall not exceed thirteen (13)

B. LOT SIZE, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS

- 1. Lot size
a. Minimum lot size shall be 10,000 square feet.
2. Height
a. The maximum height of the building, exclusive of roof screening, shall not exceed forty-five (45) feet.
3. Building Requirements
a. A minimum of 30% Common Open Space.

C. SETBACKS

- 1. Lot criteria :
a. Twenty (20) feet from any right-of-way.
b. Six (6) feet from any side property line.
c. Fifteen (15) feet from any rear property.

D. PARKING AND LOADING REQUIREMENTS

- 1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.

E. LANDSCAPE AND TREE REQUIREMENTS

- 1. The development shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.
2. Thirty (30) feet Landscape Buffer from all four sides is required for this development.
3. Additional fifteen (15) feet landscape buffer shall be required from eastern property line beyond the depicted thirty (30) foot landscape buffer.

F. SIGN REQUIREMENTS

- 1. Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code or a Sign Package may be submitted for the planned district. Sign Packages shall adhere to the City Code and are reviewed and approved by the City of Chesterfield Planning Commission.
2. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield, for sight distance considerations prior to installation or construction.

G. LIGHT REQUIREMENTS

- Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

H. ARCHITECTURAL

- 1. The development shall adhere to the Architectural Review Standards of the City of Chesterfield Code.

I. ACCESS/ACCESS MANAGEMENT

- 1. Access to the development shall be as shown on the Preliminary Development Plan and adequate sight distance shall be provided, as directed by the City of Chesterfield.
2. If adequate sight distance cannot be provided at the access location(s), acquisition of right-of-way, reconstruction of pavement and other off-site

J. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION

- 1. Any request to install a gate at the entrance to this development must be approved by the City of Chesterfield. No gate installation will be permitted on public right of way.
2. If a gate is installed on a street in a development, the streets within the development or that portion of the development that is gated shall be private and remain private forever.
3. All roadway and related improvements in each plat or phase of the development shall be constructed prior to issuance of building permits exceeding 50% for that plat or phase. Delays due to utility relocation and/or adjustment, for which the developer is responsible monetarily, shall not constitute a cause to issue permits in excess of 60%.
4. Provide a 6-foot wide sidewalk, conforming to ADA standards, along the Schoettler Road property frontage. The sidewalk shall provide for future connectivity to adjacent developments and/or roadway projects. The sidewalk may be located within City right-of-way or on private property within a 6-foot wide sidewalk, maintenance and utility easement dedicated to the City of Chesterfield.
5. A street light is required at the intersection of Schoettler Road and Schoettler Pointe that will illuminate Schoettler Road.
6. Additional right-of-way and road improvements shall be provided, as required by the City of Chesterfield and other agencies as necessary.
7. Obtain approvals from the City of Chesterfield and other agencies as necessary for locations of proposed curb cut(s) and access points, areas of new right-of-way dedication, and roadway improvements.

K. TRAFFIC STUDY

- 1. Provide a traffic study as directed by the City of Chesterfield. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements required, as long as the density of the proposed development falls within the parameters of the City's traffic model. Should the density be other than the

density assumed in the model, regional issues shall be addressed as directed by the City of Chesterfield.

- 2. Provide a sight distance evaluation report, as required by the City of Chesterfield, for the proposed entrance onto Schoettler Road. If adequate sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield.

L. POWER OF REVIEW

The development shall adhere to the Power of Review Requirements of the City of Chesterfield Code.

M. STORM WATER

- 1. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or an adequate piped system.
2. Detention/retention and channel protection measures are to be provided in each watershed as required by the City of Chesterfield, Missouri Department of Transportation, and the Metropolitan St. Louis Sewer District. The storm water management facilities shall be operational prior to paving of any driveways or issuance of building permits exceeding sixty percent (60%) of the approved dwelling units in each plat, watershed or phase of residential developments. The location and types of storm water management facilities shall be identified on all Site Development Plans.
3. Emergency overflow drainage ways to accommodate runoff from the 100-year storm event shall be provided for all storm sewers, as directed by the City of Chesterfield.
4. Offsite storm water shall be picked up and piped to an adequate natural discharge point. Such bypass systems must be adequately designed.
5. The lowest opening of all structures shall be set at least two (2) feet higher than the one hundred (100) year high water elevation in detention/retention facilities. All structures shall be set at least 30 feet horizontally from the limits of the one hundred (100) year high water.
6. Locations of site features such as lakes and detention ponds must be approved by the City of Chesterfield, Missouri Department of Transportation, and the Metropolitan Saint Louis Sewer District.

N. SANITARY SEWER

- 1. Sanitary sewers shall be as approved by the City of Chesterfield and the Metropolitan St. Louis Sewer District.

O. GEOTECHNICAL REPORT

Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the Department of Public Services. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

P. MISCELLANEOUS

- 1. All utilities will be installed underground.
2. Prior to record plat approval, the developer shall cause, at his expense and prior to the recording of any plat, the reestablishment, restoration or appropriate witnessing of all Corners of the United States Public Land Survey located within, or which define or lie upon, the out boundaries of the subject tract in accordance with the Missouri Minimum Standards relating to the preservation and maintenance of the United States Public Land Survey Corners, as necessary.
3. Any retaining wall along public right of way shall be private and remain private forever and shall be located such that it is not necessary to support any public improvements.
4. Prior to final release of subdivision construction deposits, the developer shall provide certification by a registered Land Surveyor that all monumentation depicted on the record plat has been installed and United States Public Land Survey Corners have not been disturbed during construction activities or that they have been reestablished and the appropriate documents filed with the Missouri Department of Natural Resources Land Survey Program, as necessary.
5. Amenities including but not limited to Gazebo and pedestrian gathering space with benches, pavers, and ornamental plantings shall be required as delineated on the Preliminary Development Plan.

- 6. Road improvements and right-of-way dedication shall be completed prior to the issuance of an occupancy permit. If development phasing is anticipated, the developer shall complete road improvements, right-of-way dedication, and access requirements for each phase of development as directed by the City of Chesterfield. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.

II. GENERAL CRITERIA

A. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS

- The Site Development Plan shall include, but not be limited to, the following:
1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Outboundary plat and legal description of property.
3. Density calculations.
4. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
5. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
6. Provide Floor Area Ratio (F.A.R.).
7. A note indicating all utilities will be installed underground.
8. A note indicating signage approval is a separate process.
9. Depict the location of all buildings, size, including height and distance from adjacent property lines, and proposed use.
10. Specific structure and parking setbacks along all roadways and property lines.
11. Indicate location of all existing and proposed freestanding monument signs.
12. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site.
13. Floodplain boundaries.

- 14. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
16. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
17. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
18. Address trees and landscaping in accordance with the City of Chesterfield Code.
19. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
22. Compliance with Sky Exposure Plane.
23. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

III. TRUST FUND CONTRIBUTION

Trust Fund contributions shall be deposited with St. Louis County in the form of a cash escrow prior to the issuance of building permits.

A. ROAD

- 1. The developer shall be required to contribute a Traffic Generation Assessment (TGA) to the Route 40 (Interstate 64) Corridor Trust Fund (No. 553). This

contribution shall not exceed an amount established by multiplying the required parking spaces by the following rate schedule:

Table with 2 columns: Type of Development, Required Contribution. Row 1: Single Family, \$1,294.61/parking space

(Parking spaces as required by the City of Chesterfield Code.)

If types of development differ from those listed, rates shall be provided by the St. Louis County Department of Transportation.

If a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as a part of this development is mandatory.

Allowable credits for required roadway improvements will be awarded as directed by the Saint Louis County Department of Transportation and the City of Chesterfield. Sidewalk construction and utility relocation, among other items, are not considered allowable credits.

- 2. As this development is located within a trust fund area established by Saint Louis County, any portion of the traffic generation assessment contribution which remains following completion of road improvements required by the development shall be retained in the appropriate trust fund.

- 3. Traffic Generation Assessment contributions shall be deposited with Saint Louis County Department of Transportation. The deposit shall be made prior to the issuance of a Special Use Permit (S.U.P.) by Saint Louis County Department of Transportation or prior to the issuance of building permits in the case where no Special Use Permit is required. If development phasing is anticipated, the developer shall provide the traffic Generation Assessment contribution prior to the issuance of building permits for each phase of development. Funds shall be payable to Treasurer, Saint Louis County.

- 4. The amount of all required contributions, if not submitted by January 1, 2023, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the Saint Louis County Department of Transportation.

IV. RECORDING

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.

V. ENFORCEMENT

- A. The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.
B. Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.
C. Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.
D. Waiver of Notice of Violation per the City of Chesterfield Code.
E. This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

Table with 3 columns: ISSUE, REMARKS/DATE, INITIALS. Rows 1-3 with dates and initials.

Lombardo Homes of St. Louis, LLC
4 Research Park Drive, Suite 130
St. Charles, Missouri 63304
Ph. 636-265-2710

THE STERLING CO. ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63120
Ph. 314-487-0440 Fax. 314-487-8944
www.sterling-eng-sur.com
Corporate Certificate of Authority #001348

Legends at Schoettler Pointe
CHESTERFIELD, MISSOURI
SITE DEVELOPMENT PLAN
Ordinance

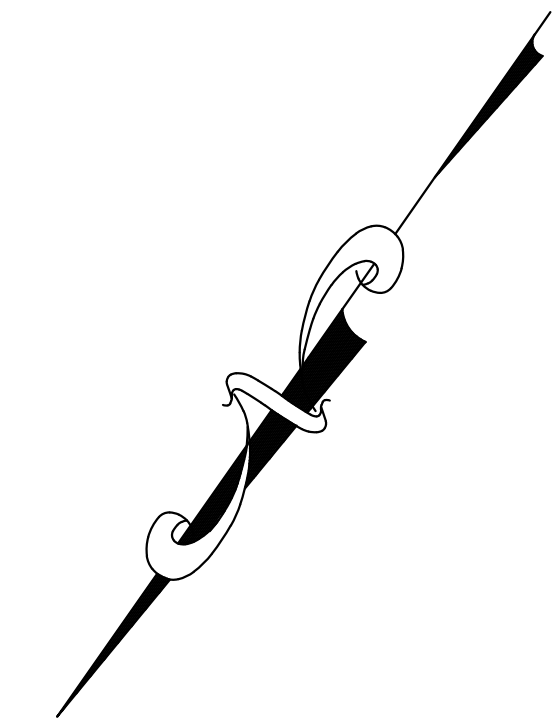
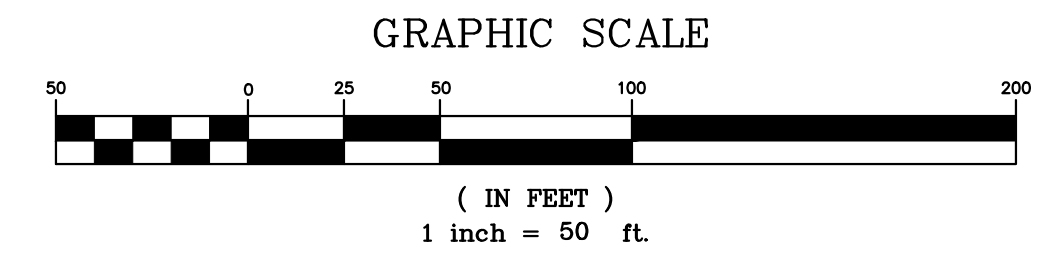
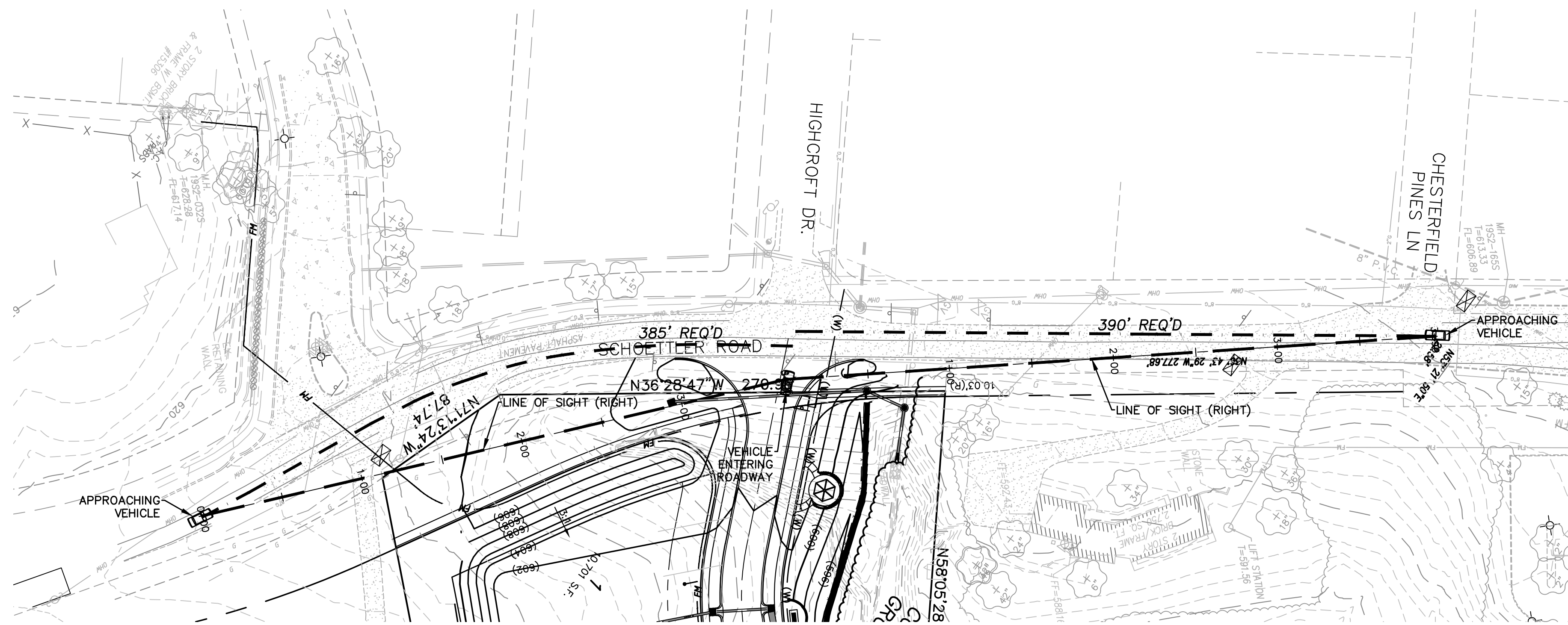
Professional Engineer seal and signature of Michael G. Boerding, Missouri State Board of Professional Engineers, License No. MO E-28643

Job Number: 22-04-134
Date: Dec. 29, 2022
Designed: JML
Drawn: MTG
Checked: JML
Sheet: 6.1
SDP

MSD Base Map 19S
MSD #
Highways & Traffic #

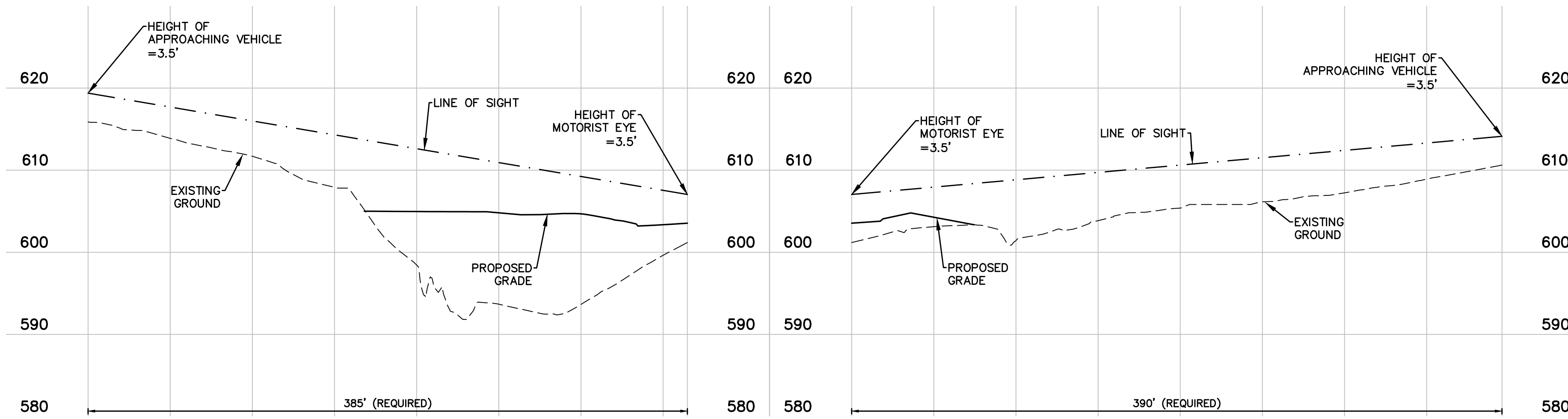
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Drawing name: V:\2204134 Schoettler Pointe - Legends at Drawings\Engineering\Site Development\Plan\134 SDP.dwg Plotted on: Feb 10, 2023 - 11:58am Plotted by: jbaekhaus



NOTES:

1. POSTED SPEED LIMIT: 30 M.P.H.
2. DESIGN SPEED: 35 M.P.H.
3. REQUIRED MINIMUM SIGHT DISTANCE: 385 FT.



ISSUE	REMARKS/DATE
1	2022-09-15 INITIAL SUBMITTAL
2	2022-11-11 REVISED PER CITY COMMENTS
3	2022-12-29 REVISED PER CITY COMMENTS

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 4 Research Park Drive, Suite 130
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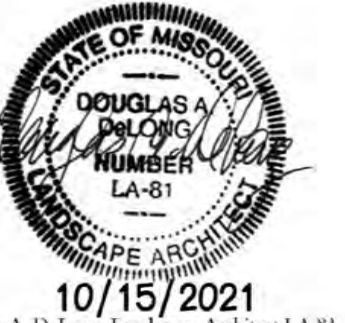
Legends at Schoettler Pointe
 CHESTERFIELD, MISSOURI
 SITE DEVELOPMENT PLAN
 SITE DISTANCE STUDY

The Professional Engineer's seal and signature affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments or other documents not exhibiting the seal and signature shall not be considered prepared by this engineer, and the engineer hereby disclaims any and all responsibility for such plans, drawings or documents not exhibiting the seal and signature.

Date: 12-29-2022
 MICHAEL G. BOERDING
 License No. MO E-28643
 Professional Engineer

Job Number: 22-04-134
 Date: Dec. 29, 2022
 Designed: JML Sheet
 Drawn: MTG 7.1
 Checked: JML SDP

MSD Base Map 19S
 MSD #
 Highways & Traffic #



10/15/2021
Douglas A. DeLong, Landscape Architect LA-81

Consultants:

Legends at Schoettler Pointe

1 & # 15 Haybarn Lane
Chesterfield, Missouri 63017

Revisions:

Date	Description	No.

Drawn: bad
Checked: dad

DeLong
 andscape
 Architecture
 7620 West Bruno Ave
 St. Louis, MO, 63117
 (314) 546-4856
 delong.la@gmail.com

Sheet Title: Tree Stand Delineation

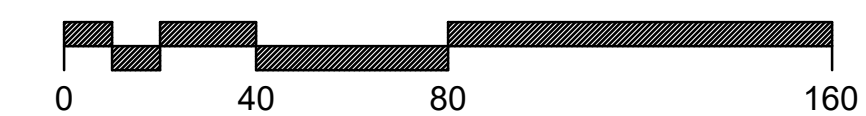
Sheet No: TSD

Date: 10/15/21
Job #: 1043.001



Number	Common Name	DBH Of Trunk	Canopy Area	Condition Rating	Comments
1	Red Cedar	8	113	3	
2	Green Ash	10	706	3	
3	Shingle Oak	12	706	3	
4	Hackberry	10	452	3	
5	Mulberry	12	0	0	Dead
6	Hackberry	14	452	3	
7	Hickory	10	0	0	Dead
8	White Pine	24	2425	3	Intertwined canopies 8-14
9	White Pine	21		3	
10	White Pine	18	0	0	Dead
11	Sassafras	12		3	
12	Dogwood	7		3	
13	Green Ash	22		2	
14	Dogwood	7		2	
15	Red Maple	24	1,017	3	
16	Red Maple	29	1,025	3	
17	Crab	14	615	2	
18	Red Maple	12	452	3	
19	Crab	14	615	1	
20	Crab	15	615	2	
22	Dogwood	6	200	1	
23	Silver Maple	20	452	2	
24	Red Cedar	10	200	3	
25	Dogwood	7	254	3	
26	Dogwood	7	1069	3	Intertwined canopies 26-30
27	Sassafras	14		3	
28	Sassafras	12		3	
29	Red Cedar	8		3	
30	Sassafras	10		3	
31	Mimosa	5	287	3	Intertwined canopies 31-33
32	Mimosa	5		3	
33	Mimosa	5		3	
34	Boxelder	8	153	1	Triple Trunk
35	Silver Maple	11	314	3	
36	Cottonwood	18	706	3	
37	Cottonwood	18	812	3	Intertwined canopies 37-39
38	Cottonwood	12		3	
39	Cottonwood	12		1	
40	Black Cherry	12	1360	3	Intertwined canopies 40-42
41	Black Cherry	10		3	
42	Black Cherry	19		3	
43	Elm	10	115	2	
44	Dogwood	8	452	4	
45	Black Cherry	7	78	2	
46	Elm	6	758	2	Intertwined canopies 46-50
47	Elm	9		2	
48	Walnut	7		3	
49	Elm	9		3	
50	Persimmon	8		3	
51	Mimosa	6	956	2	
52	Mimosa	6		2	Intertwined canopies 51-57
53	Mimosa	6		2	
54	Mimosa	6		2	
55	Black Cherry	12		2	
56	Black Cherry	6		1	
57	Black Cherry	12		2	
58	Redbud	12	452	2	
59	Dogwood	6	314	3	
60	Elm	14	314	2	
61	Black Cherry	12	200	3	
62	Black Cherry	19	1,017	3	
63	Red Cedar	6	78	3	
64	Dogwood	10	452	3	
65	Black Cherry	16	452	3	
66	Silver Maple	15	452	3	
67	Black Cherry	20	706	3	
68	Dogwood	5	113	3	
69	Green Ash	6	78	1	Topped
70	Green Ash	12	0	0	Dead
71	Green Ash	8	200	3	
72	Green Ash	5	50	3	
73	Alanthus	6	671	2	Intertwined canopies 73-75
74	Shingle Oak	12		3	
75	Shingle Oak	14		3	
76	Shingle Oak	12	0	0	Dead
78	Redbud	9	113	2	
79	Silver Maple	60	625	1	Half Dead
80	Black Cherry	12	314	3	
81	Mulberry	14	452	3	
82	Elm	11	314	2	
83	Norway Spruce	9	300	2	Vine Covered
Total			24,926		

Tree Stand Delineation
SCALE 1"=40'



WOODLAND A	=	1.40	Ac.	(61,254.5	sq. ft.)
WOODLAND B	=	2.14	Ac.	(93,291.0	sq. ft.)
WOODLAND C	=	1.90	Ac.	(83,914.2	sq. ft.)
WOODLAND D	=	0.58	Ac.	(25,501.3	sq. ft.)
INDIVIDUAL TREES	=	0.59	Ac.	(24,926.0	sq. ft.)
TOTAL	=	6.61	Ac.	(287,967.0	sq. ft.)

Tree Stand Delineation Narrative
October 4, 2021
The overall property comprises a total of 3.058 Ac and has a total of 6.65 Ac. of Woodland. The attached detailed Tree Stand Delineation map was completed by field inspection.

Woodland A: The woodland area covers a portion of southeastern lot between the existing house and Schoettler Road. The dominant canopy is comprised of primarily Shingle Oak, Ash, Hackberry and Elm that vary in size 5-12" DBH. The understorey is comprised of shrub honeysuckle.

Woodland B: This woodland area is to the North and West of the existing house along the upper portion of the ridge. This woodland is made up volunteer growth and the dominant canopy consisting of Sassafras, Elm, Black Cherry, and Juniper that vary in size from 3-8". Dogwood is a primary co-dominant understorey. Grape and other vines cover some of the trees. The understorey is shrub honeysuckle.

Woodland C: This woodland is on the north facing steep slope to the northern property line and a small portion of the Church property in the SW corner. The dominant canopy is comprised of Red Oak, Shingle Oak, Hickory, and Black Cherry. The size varies from 8-18" DBH. The understorey is shrub honeysuckle.

Woodland D: This woodland is located in the North West Corner of the property along the creases that bisect the parcel. The dominant canopy is made up of Cottonwood, Sycamore, and Boxelder. The size varies from 12-20" but would not classify any as Monarch status. The understorey is shrub honeysuckle.

RATING: 1=Poor Quality
2=Average Quality
3=Excellent Quality

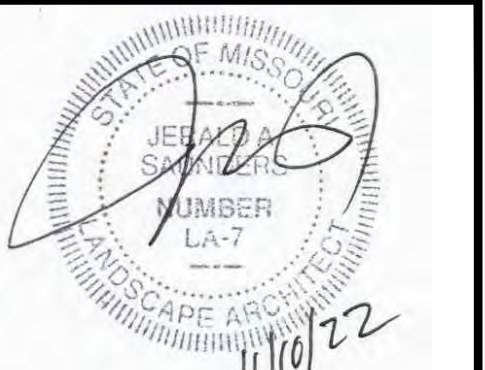
There are no state champion or rare trees found on the site.

Tree Stand Delineation Plan Prepared
Under Direction of
Colleen Baum
Certified Arborist MW-4777-A

Colleen Baum

PREPARED FOR:
Doug Nance
Lombardo Homes
4 Research Park Dr.
St. Charles, MO. 63304

Base Map Provided by: Stok & Associates

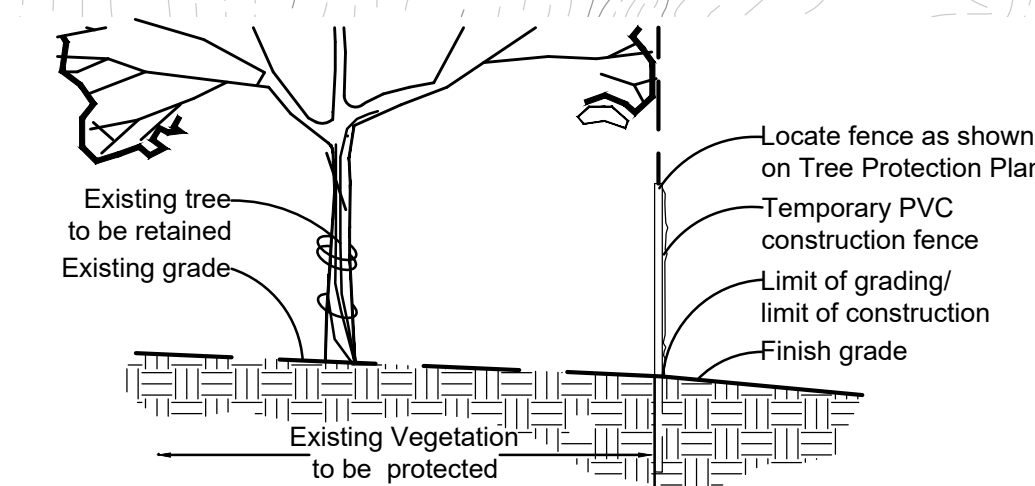
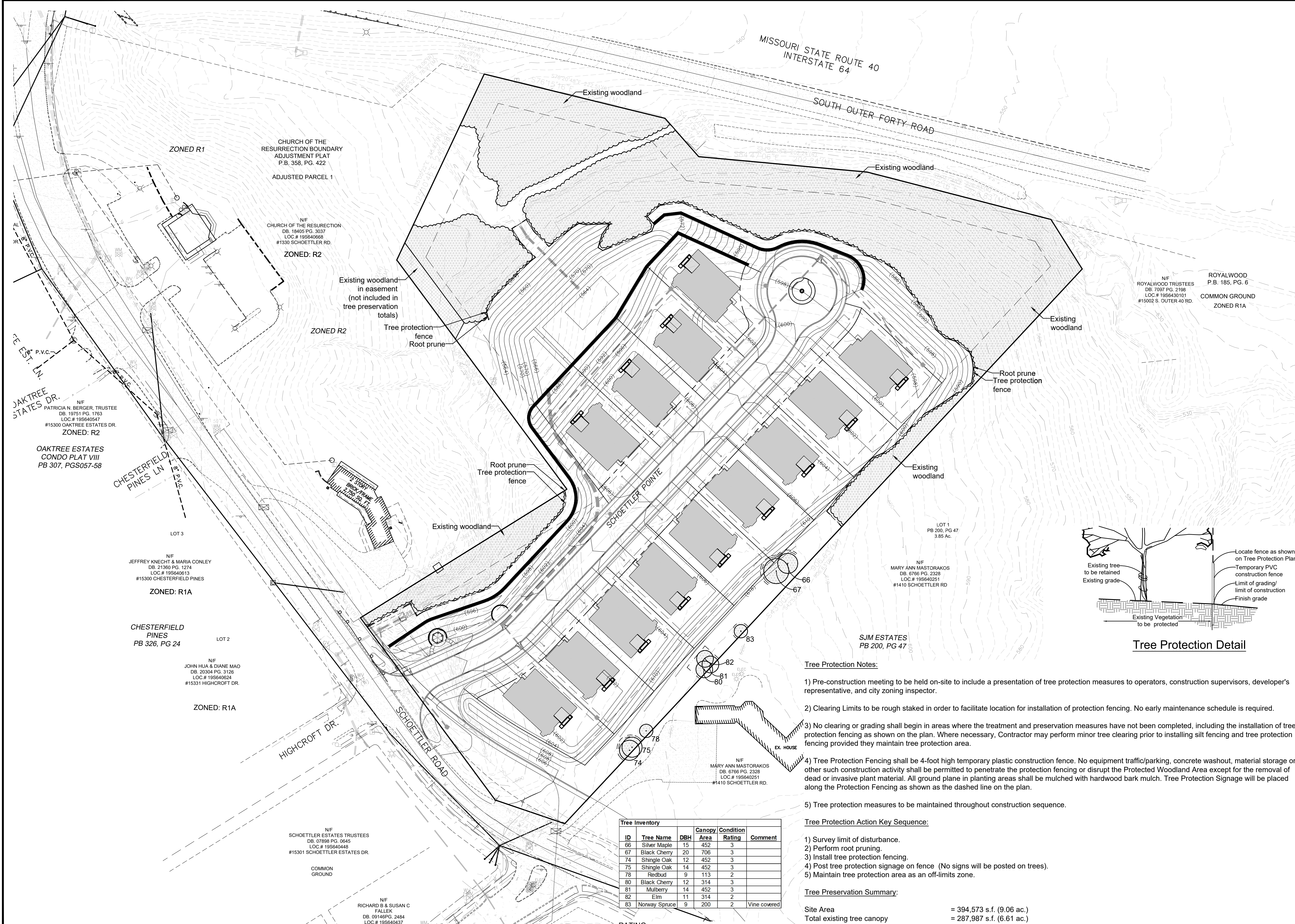


Jerald Saunders - Landscape Architect
MO License # LA-007

Consultants:

Legends at Schoettler Pointe

1 & # 15 Haybarn Lane
Chesterfield, Missouri 63017



Tree Protection Detail

Tree Protection Notes:

- 1) Pre-construction meeting to be held on-site to include a presentation of tree protection measures to operators, construction supervisors, developer's representative, and city zoning inspector.
- 2) Clearing Limits to be rough staked in order to facilitate location for installation of protection fencing. No early maintenance schedule is required.
- 3) No clearing or grading shall begin in areas where the treatment and preservation measures have not been completed, including the installation of tree protection fencing as shown on the plan. Where necessary, Contractor may perform minor tree clearing prior to installing silt fencing and tree protection fencing provided they maintain tree protection area.
- 4) Tree Protection Fencing shall be 4-foot high temporary plastic construction fence. No equipment traffic/parking, concrete washout, material storage or other such construction activity shall be permitted to penetrate the protection fencing or disrupt the Protected Woodland Area except for the removal of dead or invasive plant material. All ground plane in planting areas shall be mulched with hardwood bark mulch. Tree Protection Signage will be placed along the Protection Fencing as shown as the dashed line on the plan.
- 5) Tree protection measures to be maintained throughout construction sequence.

Tree Protection Action Key Sequence:

- 1) Survey limit of disturbance.
- 2) Perform root pruning.
- 3) Install tree protection fencing.
- 4) Post tree protection signage on fence (No signs will be posted on trees).
- 5) Maintain tree protection area as an off-limits zone.

Tree Preservation Summary:

Site Area	= 394,573 s.f. (9.06 ac.)
Total existing tree canopy	= 287,987 s.f. (6.61 ac.)
Existing woodlands to be preserved	= 110,080 s.f. (2.52 ac.)
Existing individual trees to be preserved	= 2,202 s.f. (0.05 ac.)
Total existing tree canopy to be preserved	= 112,282 s.f. (2.57 ac.) (38.99 %)

Tree Inventory					
ID	Tree Name	DBH	Canopy Area	Condition Rating	Comment
66	Silver Maple	15	452	3	
67	Black Cherry	20	706	3	
74	Shingle Oak	12	452	3	
75	Shingle Oak	14	452	3	
78	Redbud	9	113	2	
80	Black Cherry	12	314	3	
81	Mulberry	14	452	3	
82	Elm	11	314	2	
83	Norway Spruce	9	200	2	Vine covered

RATING:
1=Poor Quality
3=Average Quality
5=Excellent Quality

Revisions:

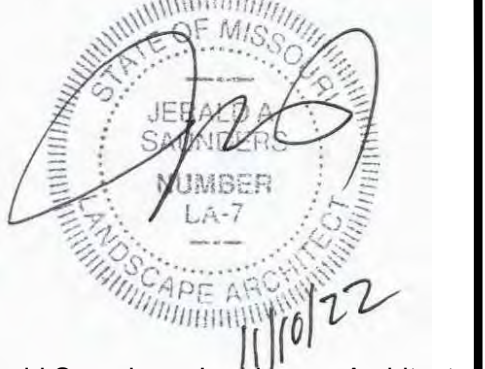
Date	Description	No.
9/15/22	City Submittal	1
11/10/22	City Comments	2

Drawn: KP
Checked: RS

LOOMIS ASSOCIATES
landscape architects + planners
750 spirit of park drive, chesterfield, missouri 63005
t. 636-519-8668
www.loomis-associates.com

Loomis Associates Inc.
Missouri State Certificate of Authority #: LAC#000019

Sheet Title:	Tree Preservation Plan
Sheet No.:	TPP
Date:	8/24/22
Job #:	1043.001



Jerald Saunders - Landscape Architect
MO License # LA-007

Consultants:

Legends at Schoettler Pointe
1 & # 15 Haybarn Lane
Chesterfield, Missouri 63017

Revisions:

Date	Description	No.
9/15/22	City Submittal	1
11/10/22	City Comments	2

Drawn: KP
Checked: RS



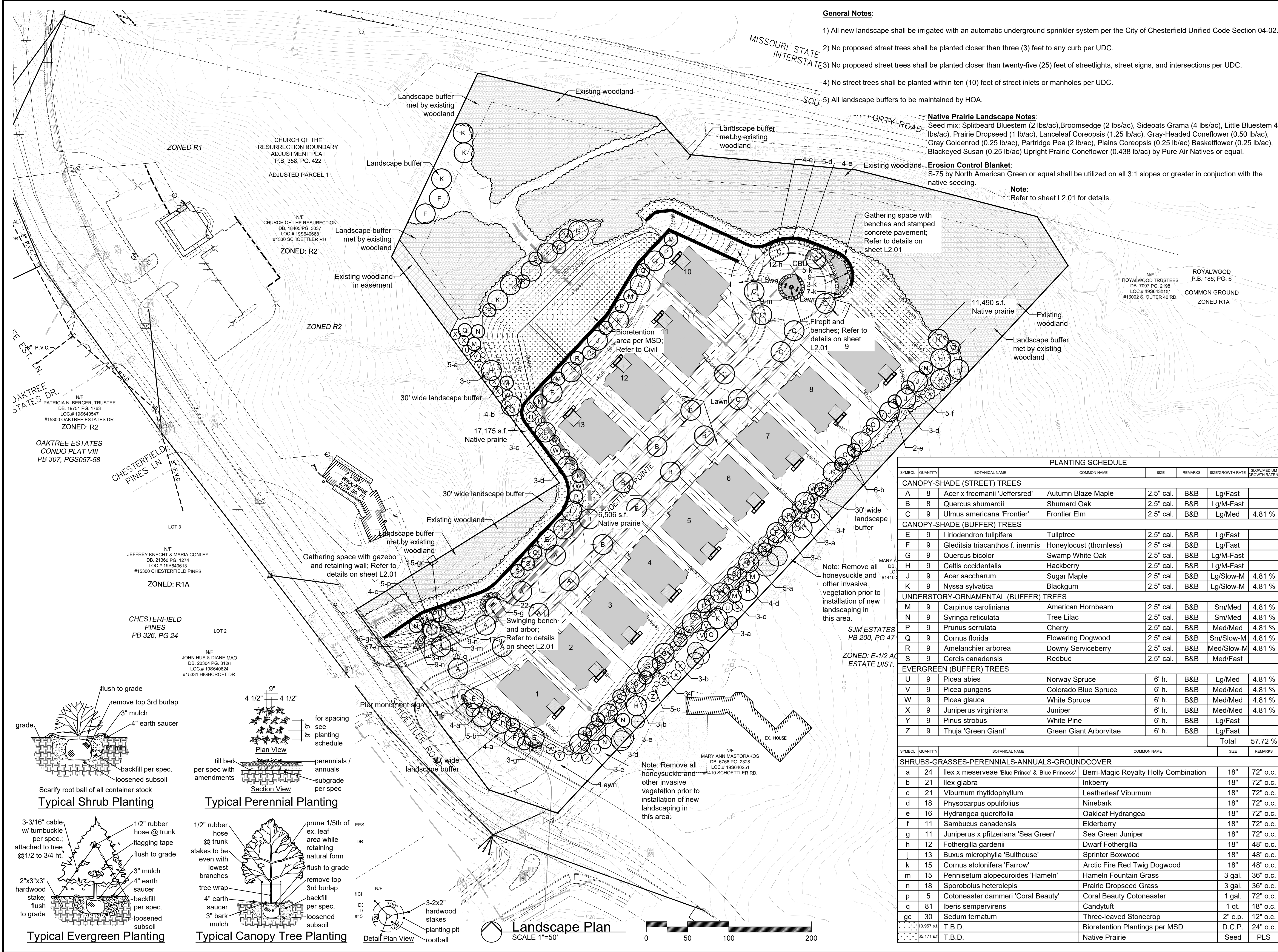
Sheet Title:	Landscape Plan
Sheet No.:	L1.01
Date:	8/24/22
Job #:	1043.001

- General Notes:**
- 1) All new landscape shall be irrigated with an automatic underground sprinkler system per the City of Chesterfield Unified Code Section 04-02.
 - 2) No proposed street trees shall be planted closer than three (3) feet to any curb per UDC.
 - 3) No proposed street trees shall be planted closer than twenty-five (25) feet of streetlights, street signs, and intersections per UDC.
 - 4) No street trees shall be planted within ten (10) feet of street inlets or manholes per UDC.
 - 5) All landscape buffers to be maintained by HOA.

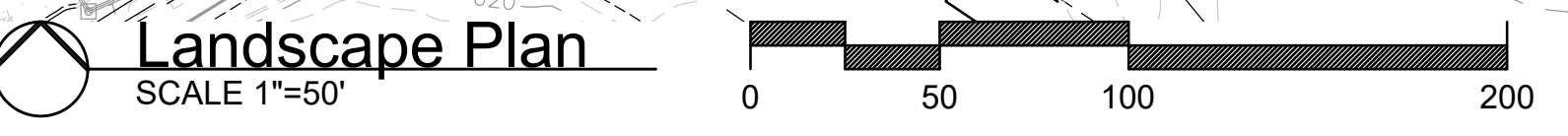
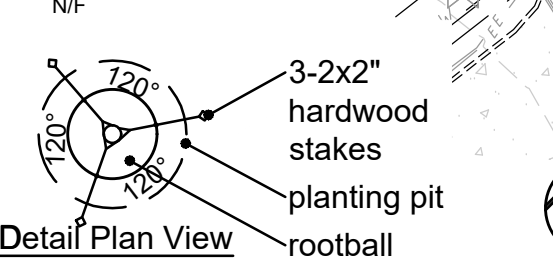
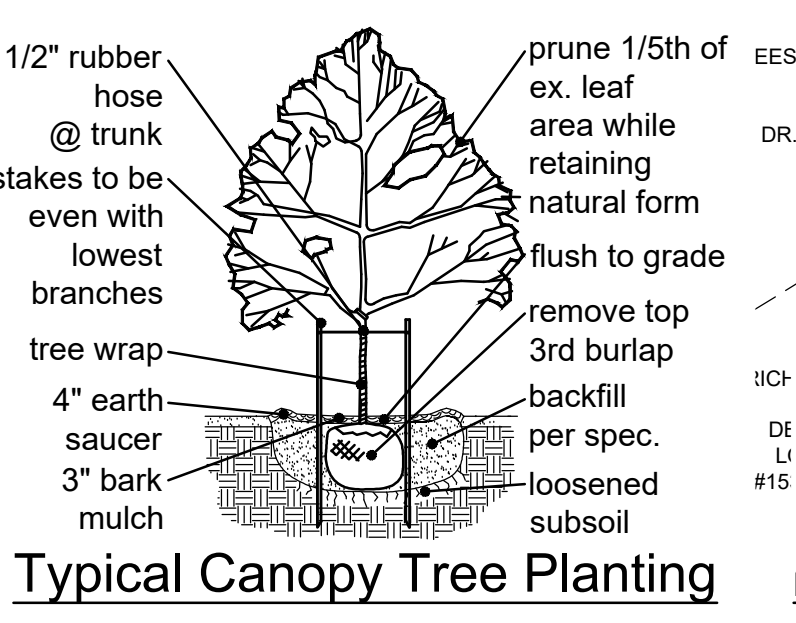
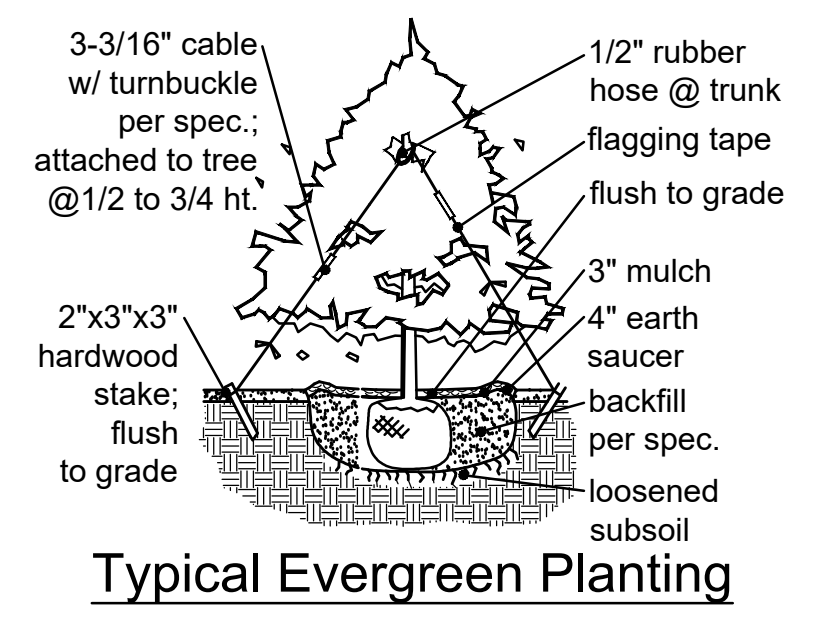
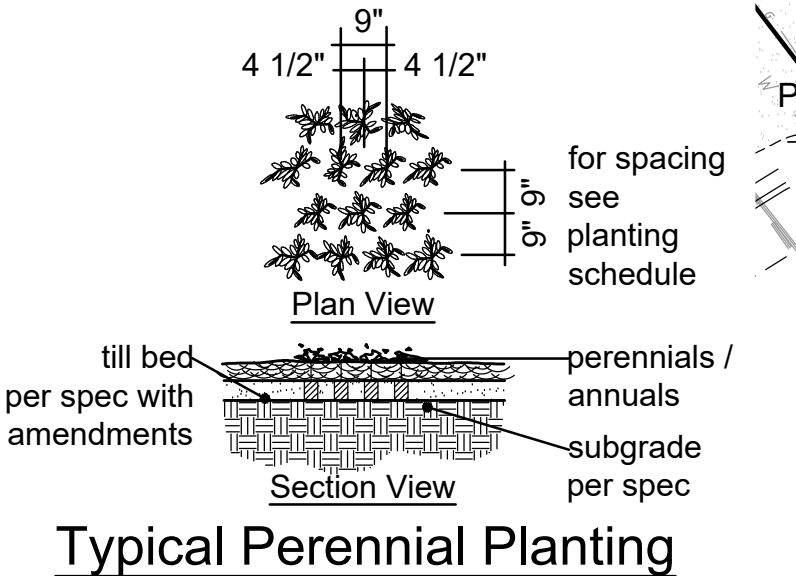
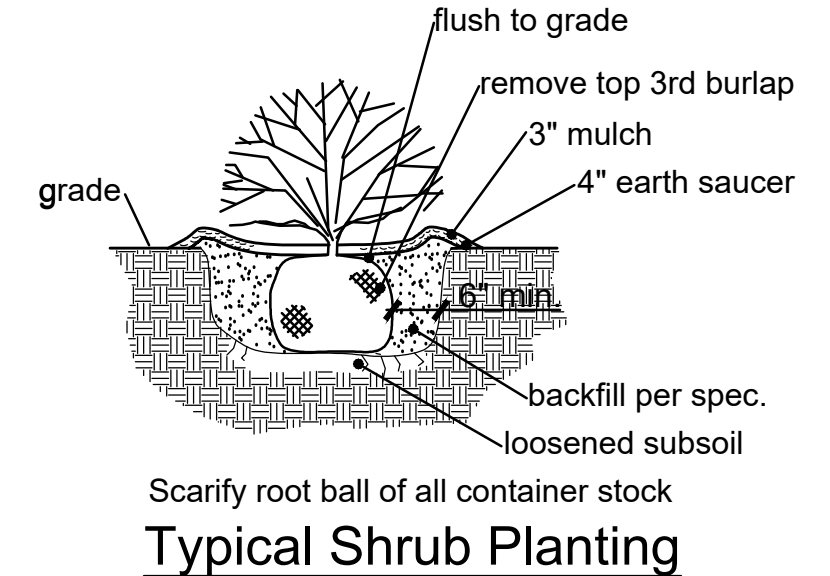
Native Prairie Landscape Notes:
Seed mix: Splitbeard Bluestem (2 lbs/ac), Broomsedge (2 lbs/ac), Sideoats Grama (4 lbs/ac), Little Bluestem 4 lbs/ac, Prairie Dropseed (1 lb/ac), Lanceleaf Coreopsis (1.25 lb/ac), Gray-Headed Coneflower (0.50 lb/ac), Gray Goldenrod (0.25 lb/ac), Partridge Pea (2 lb/ac), Plains Coreopsis (0.25 lb/ac) Basketflower (0.25 lb/ac), Blackeyed Susan (0.25 lb/ac) Upright Prairie Coneflower (0.438 lb/ac) by Pure Air Natives or equal.

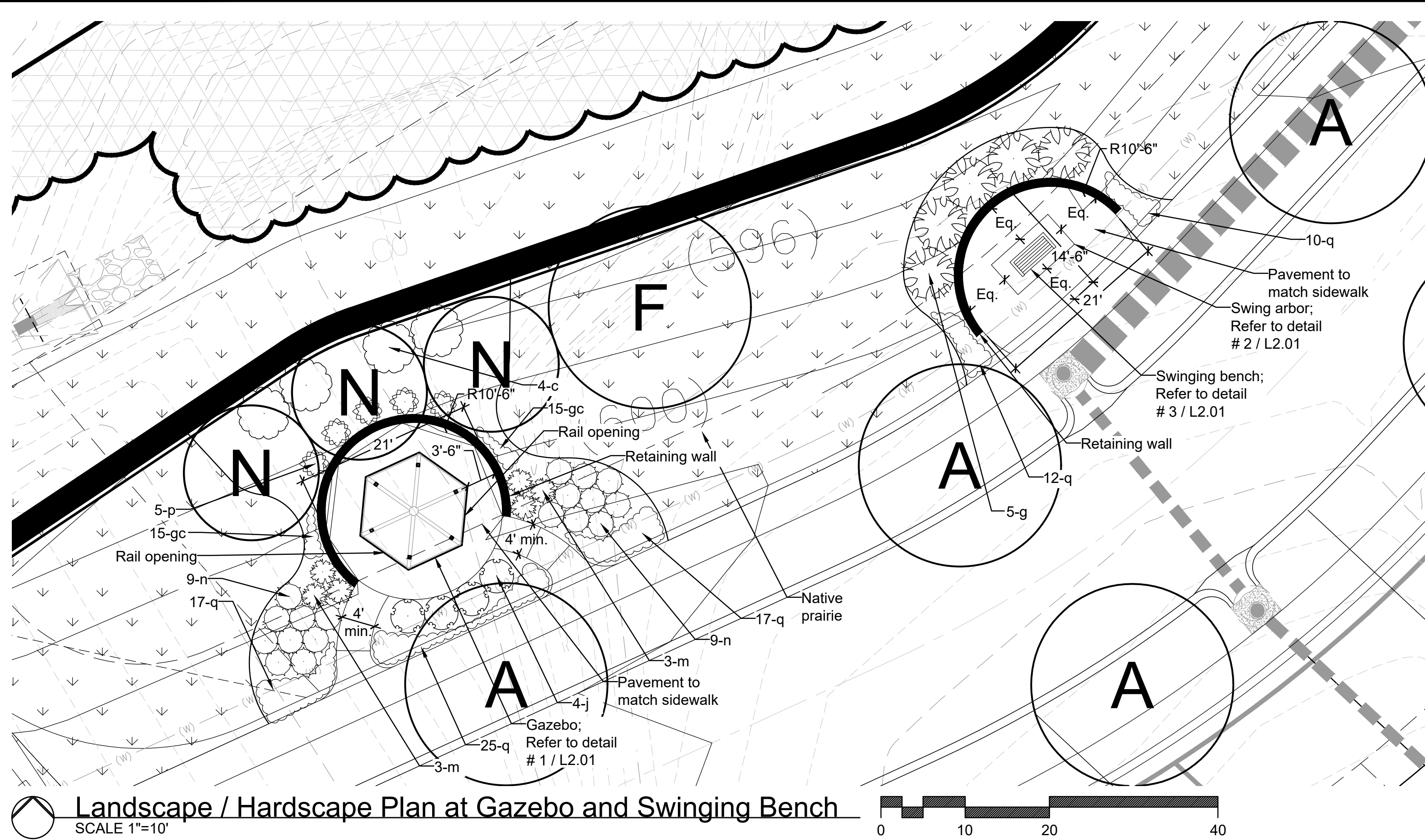
Erosion Control Blanket:
S-75 by North American Green or equal shall be utilized on all 3:1 slopes or greater in conjunction with the native seeding.

Note:
Refer to sheet L2.01 for details.

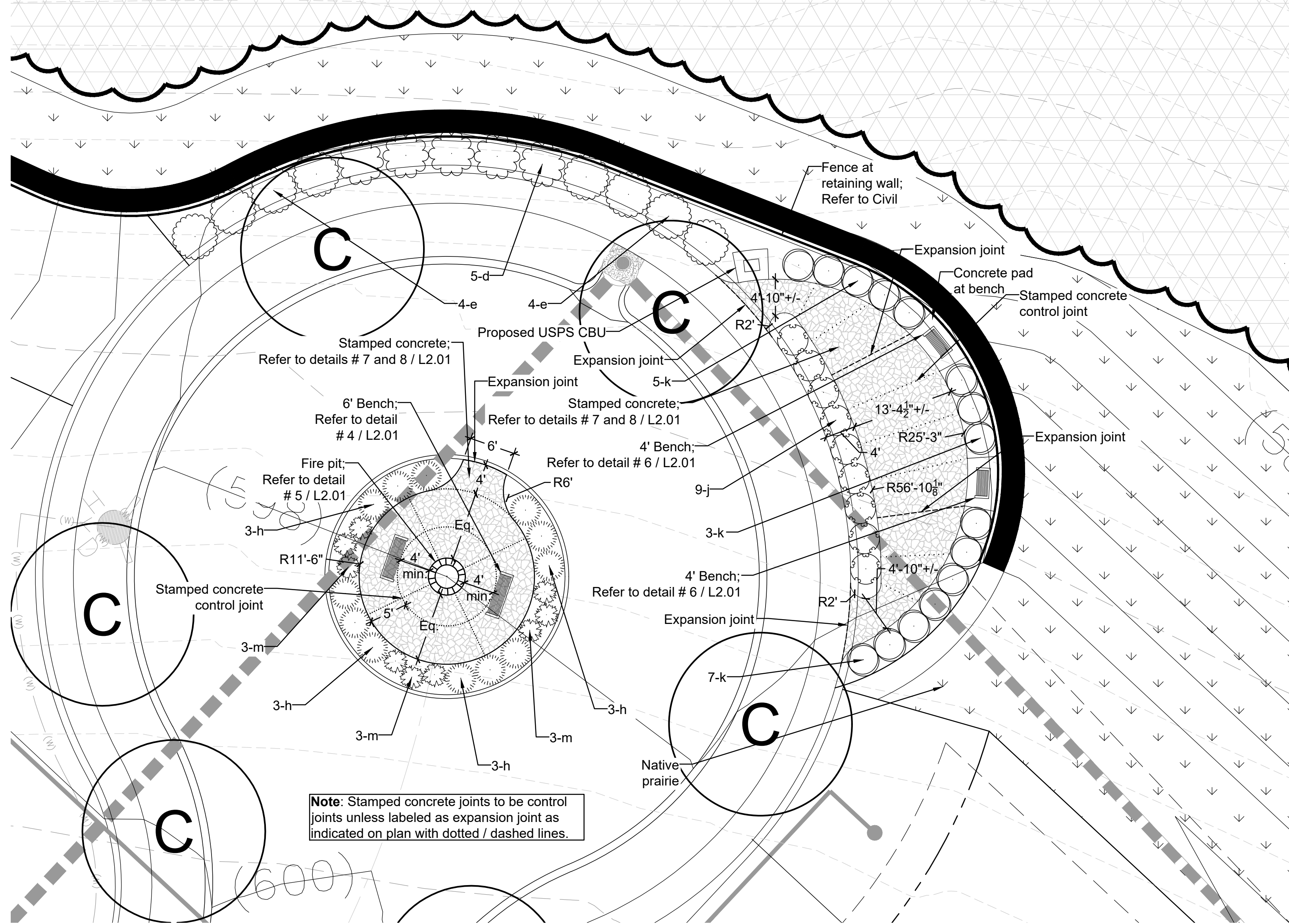


SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SIZE/GROWTH RATE	SLOWMEDIUM GROWTH RATE %
PLANTING SCHEDULE							
CANOPY-SHADE (STREET) TREES							
A	8	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2.5" cal.	B&B	Lg/Fast	
B	8	Quercus shumardii	Shumard Oak	2.5" cal.	B&B	Lg/M-Fast	
C	9	Ulmus americana 'Frontier'	Frontier Elm	2.5" cal.	B&B	Lg/Med	4.81 %
CANOPY-SHADE (BUFFER) TREES							
E	9	Liriodendron tulipifera	Tuliptree	2.5" cal.	B&B	Lg/Fast	
F	9	Gleditsia triacanthos f. inermis	Honeylocust (thornless)	2.5" cal.	B&B	Lg/Fast	
G	9	Quercus bicolor	Swamp White Oak	2.5" cal.	B&B	Lg/M-Fast	
H	9	Celtis occidentalis	Hackberry	2.5" cal.	B&B	Lg/M-Fast	
J	9	Acer saccharum	Sugar Maple	2.5" cal.	B&B	Lg/Slow-M	4.81 %
K	9	Nyssa sylvatica	Blackgum	2.5" cal.	B&B	Lg/Slow-M	4.81 %
UNDERSTORY-ORNAMENTAL (BUFFER) TREES							
M	9	Carpinus caroliniana	American Hornbeam	2.5" cal.	B&B	Sm/Med	4.81 %
N	9	Syringa reticulata	Tree Lilac	2.5" cal.	B&B	Sm/Med	4.81 %
P	9	Prunus serrulata	Cherry	2.5" cal.	B&B	Med/Med	4.81 %
Q	9	Cornus florida	Flowering Dogwood	2.5" cal.	B&B	Sm/Slow-M	4.81 %
R	9	Amelanchier arborea	Downy Serviceberry	2.5" cal.	B&B	Med/Stow-M	4.81 %
S	9	Cercis canadensis	Redbud	2.5" cal.	B&B	Med/Fast	
EVERGREEN (BUFFER) TREES							
U	9	Picea abies	Norway Spruce	6' h.	B&B	Lg/Med	4.81 %
V	9	Picea pungens	Colorado Blue Spruce	6' h.	B&B	Med/Med	4.81 %
W	9	Picea glauca	White Spruce	6' h.	B&B	Med/Med	4.81 %
X	9	Juniperus virginiana	Juniper	6' h.	B&B	Med/Med	4.81 %
Y	9	Pinus strobus	White Pine	6' h.	B&B	Lg/Fast	
Z	9	Thuja 'Green Giant'	Green Giant Arborvitae	6' h.	B&B	Lg/Fast	
				Total			57.72 %
SHRUBS-GRASSES-PERENNIALS-ANNUALS-GROUNDCOVER							
a	24	Ilex x meserveae 'Blue Prince' & 'Blue Princess'	Berri-Magic Royalty Holly Combination	18"		72" o.c.	
b	21	Ilex glabra	Inkberry	18"		72" o.c.	
c	21	Viburnum rhytidophyllum	Leatherleaf Viburnum	18"		72" o.c.	
d	18	Physocarpus opulifolius	Ninebark	18"		72" o.c.	
e	16	Hydrangea quercifolia	Oakleaf Hydrangea	18"		72" o.c.	
f	11	Sambucus canadensis	Elderberry	18"		72" o.c.	
g	11	Juniperus x pfitzeriana 'Sea Green'	Sea Green Juniper	18"		72" o.c.	
h	12	Fothergilla gardenii	Dwarf Fothergilla	18"		48" o.c.	
j	13	Buxus microphylla 'Bulthouse'	Sprinter Boxwood	18"		48" o.c.	
k	15	Cornus stolonifera 'Farrow'	Arctic Fire Red Twig Dogwood	18"		48" o.c.	
m	15	Pennisetum alopecuroides 'Hamel'	Hamel Fountain Grass	3 gal.		36" o.c.	
n	18	Sporobolus heterolepis	Prairie Dropseed Grass	3 gal.		36" o.c.	
p	5	Cotoneaster dammeri 'Coral Beauty'	Coral Beauty Cotoneaster	1 gal.		72" o.c.	
q	81	Iberis sempervirens	Candytuft	1 qt.		18" o.c.	
gc	30	Sedum ternatum	Three-leaved Stonecrop	2" c.p.		12" o.c.	
				10,957 s.f.	T.B.D.	Bioretention Plantings per MSD	D.C.P.
				35,171 s.f.	T.B.D.	Native Prairie	Seed





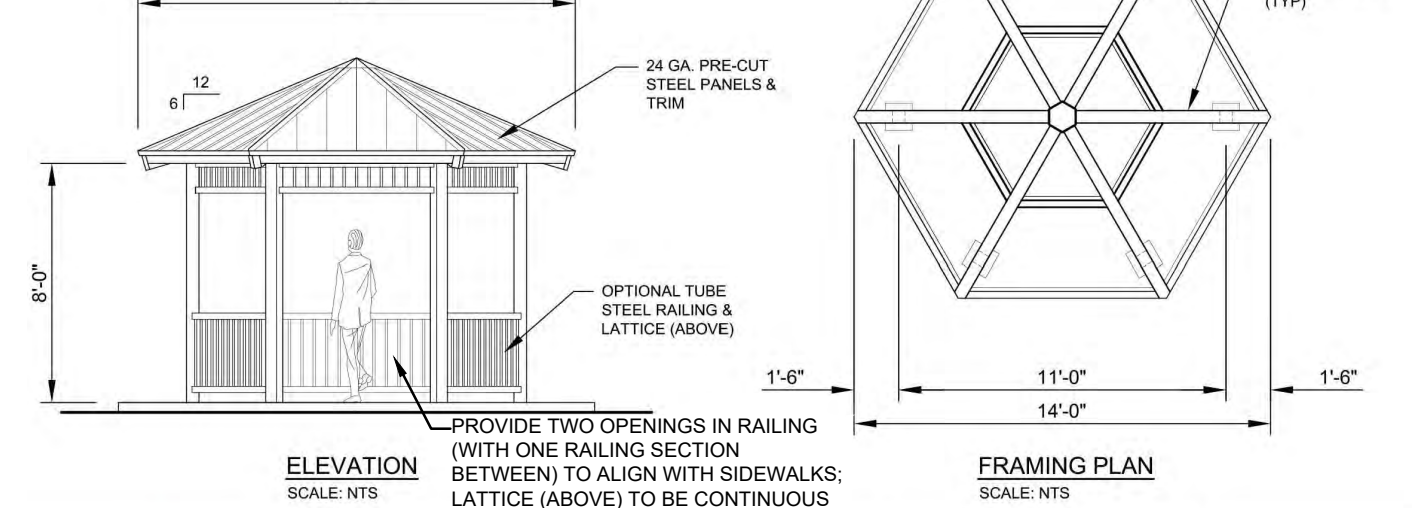
Landscape / Hardscape Plan at Gazebo and Swinging Bench
SCALE 1"=10'



Landscape / Hardscape Plan at Fire Pit and Patio with Benches
SCALE 1"=10'

Coverworx Gazebo Notes:

Roof Finish: Copper Penny
 Frame Powder Coat Finish: Regal White
 Additional Options: Decorative tube steel railing and lattice (above)
 Foundation: All columns need to be anchored to concrete footings. Columns can be surface mounted to footings with anchor bolts at or below finish slab elevation or they can be embedded directly into the footing without base plates upon request. Anchor bolts and bracing templates are included. Optional base plate covers are available at an additional cost. All structural hardware and roofing fasteners are included.



Steelworx Hexagonal - 14'
 Model: HX-14-SW-612
 DESIGN SPECIFICATIONS

1 Gazebo Detail
L2.01 N.T.S.

Swinging Bench Notes:

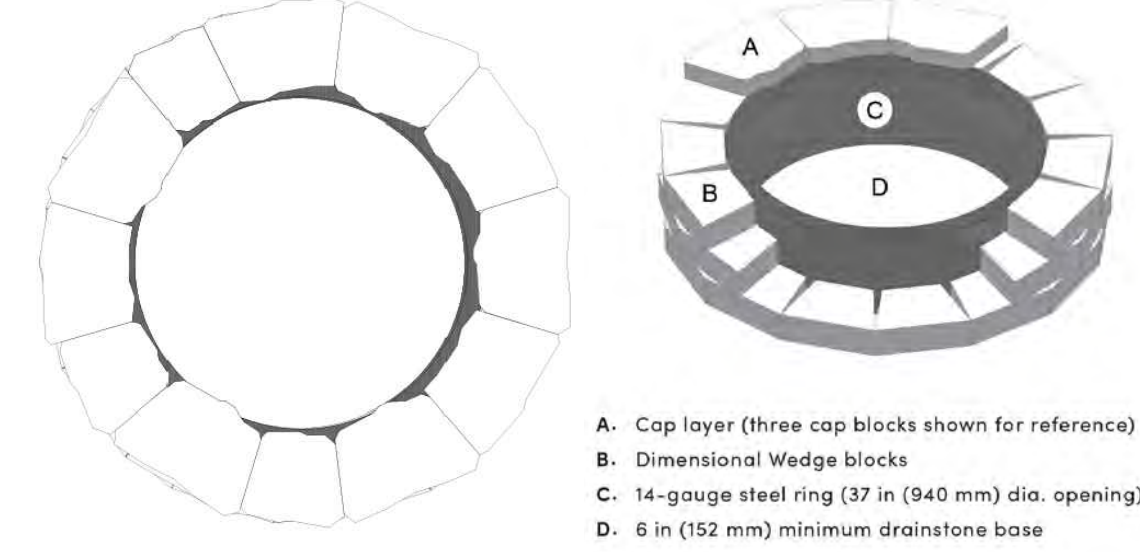
Product: Casual Back 3 Seat Swing by Berlin Gardens
 SKU: PLTS0000
 Top Color Finish: Cedar
 Bottom Color Finish: White
 Dimensions: 63.75" wide x 27.5" long x 28" high



3 Swinging Bench Detail
L2.01 N.T.S.

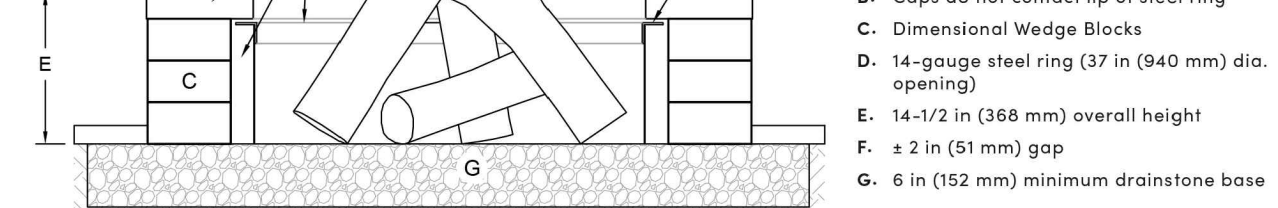
Fire Pit Notes:

Product: Dimensional Wedge Fire Pit by Rosetta Hardscapes
 Contact: Midwest Block and Brick
 Finish: T.B.D. per local availability; Coordinate finish with stamped concrete pavement
 Pallet Dimensions: 42" x 42" x 30"
 Finished Dimensions: 58" diameter x 14 1/2"
 Installation: Install per manufacturer recommendations; Provide 58" inch diameter by a minimum 6" depth of 1" clean limestone aggregate drainstone base below fire pit

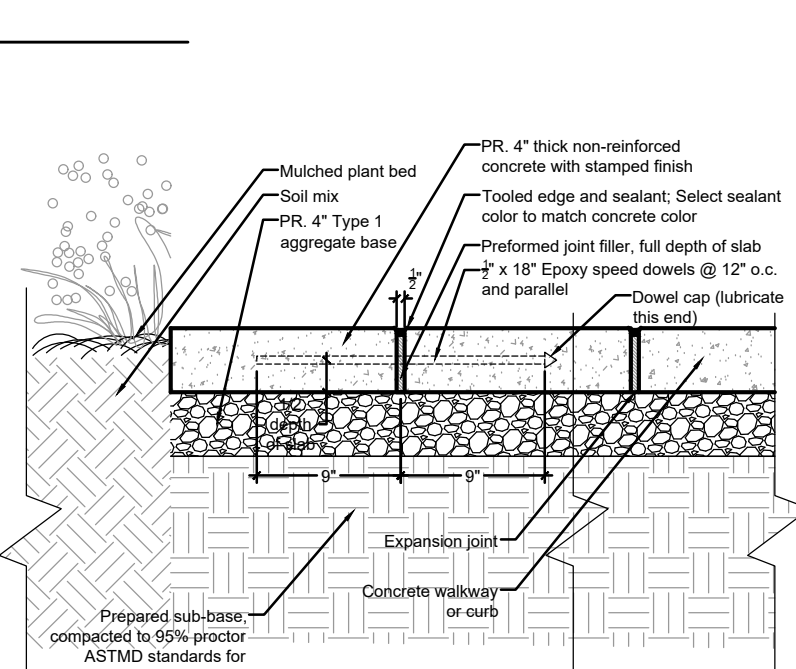
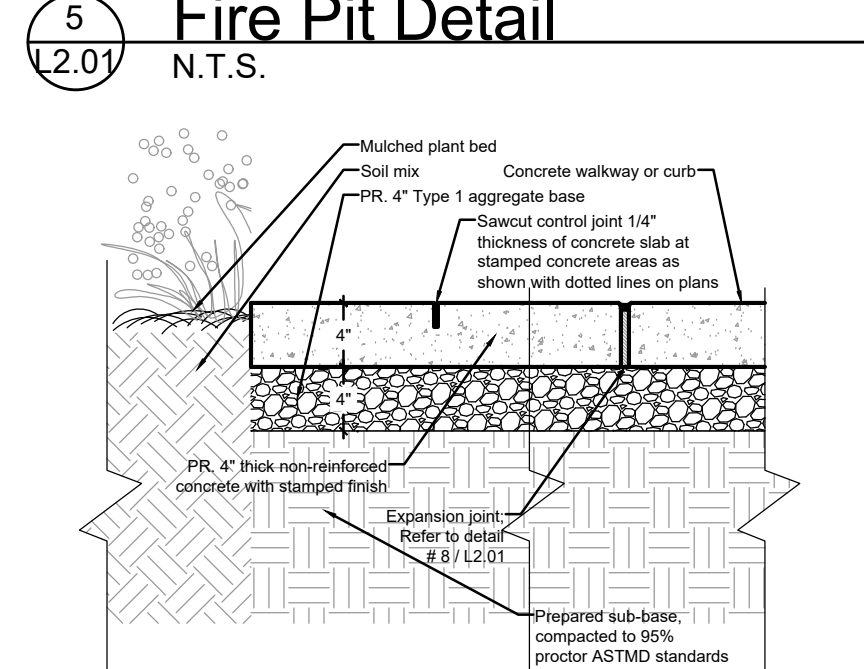


5 Fire Pit Detail
L2.01 N.T.S.

Cross Section



7 Concrete Detail
L2.01 1"=1'-0"



8 Concrete Detail
L2.01 1"=1'-0"

Swinging Bench Arbor Notes:

Product: Vinyl Swing Arbor by Berlin Gardens
 SKU: VSA900CA
 Finish: White
 Dimensions: 57" wide x 108" long x 84" high
 Installation: All four legs of the Swing Arbor shall be mounted on a 30" inch deep frost protected footing with appropriate structural connections to prevent movement of the Arbor while bench is swinging



2 Swinging Bench Arbor Detail
L2.01 N.T.S.

6' Bench Notes:

Product: Avanti Bench by Tree Top Products
 SKU: 22K2615
 Finish: Teak
 Dimensions: 72" long x 16.5" wide x 17.25" high
 Installation: Surface mount installation per manufacturer recommendations



4 6' Bench Detail
L2.01 N.T.S.

4' Bench Notes:

Product: Avanti Bench by Tree Top Products
 SKU: 22K2614
 Finish: Teak
 Dimensions: 48" long x 16.5" wide x 17.25" high
 Installation: Surface mount installation per manufacturer recommendations



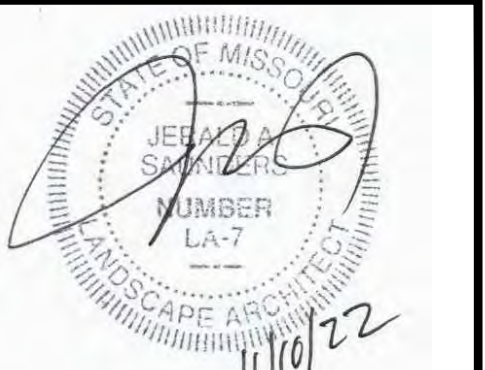
6 4' Bench Detail
L2.01 N.T.S.

Stamped Concrete Notes:

Finish: Multi-color tan / beige; Coordinate finish with fire pit blocks
 Sample: Contractor to provide 3' foot x 3' foot mock up samples of flagstone style stamped concrete in proposed tan / beige finish colors for review and approval by Landscape Architect prior to installation; Refer to image below for proposed flagstone pattern and finish color
 Installation: Install stamped concrete pattern and finish color at fire pit and gathering space locations followed with sawcut joint patterns as shown on plans



Amenity Notes: All amenity products including gazebo, swinging bench, benches, and fire pit shall be provided per the details shown on this sheet or approved equivalent products. Owner / Developer to approve final selections. Refer to Landscape Plan on sheet L1.01 for proposed planting schedule.



Jerald Saunders - Landscape Architect
 MO License # LA-007

Consultants:

Legends at Schoettler Pointe
 # 1 & # 15 Haybarn Lane
 Chesterfield, Missouri 63017

Revisions:

Date	Description	No.
11/10/22	City Comments	2

Drawn: KP
 Checked: RS



Sheet Title:	Landscape Plan - Details
Sheet No.:	L2.01
Date:	11/10/22
Job #:	1043.001