

Architectural Review Board Staff Report

Project type: Site Development Section Plan

Meeting Date: December 08, 2022

From: Shilpi Bharti, Planner *SB*

Location: 950 Spirit of St. Louis Blvd.

Description: **Gateway Studios, Lot 2 (Spirit Hotel) ASDSP:** Amended Site Development Section Plan, Landscape Plan, Lighting Plan and Amended Architectural Elevations for a hotel building located on a 6.95-acre tract of land located east of Spirit of St. Louis Blvd., zoned “PC”-Planned Commercial.

PROPOSAL SUMMARY

Gateway Studios, LLC has submitted an Amended Site Development Section Plan, Landscape Plan, Lighting Plan, and Amended Architectural Elevations for a proposed hotel building located at 950 Spirit of St. Louis Blvd.

Proposed Development includes:

- 5,840 sq. ft. addition to approved hotel building with outdoor patio and seating area
- 212 parking spaces
- 4 loading zones
- Amended Architecture Elevations
- Landscape Plan
- Lighting Plan
- Photometric Plan



Figure 1: Subject Location

HISTORY OF SUBJECT SITE

The subject site is in the Gateway Studios subdivision. The subdivision is a 30.8-acre tract of land located at the northeast intersection of Chesterfield Airport Road and Spirit of St. Louis Blvd. The site was rezoned from “M3- Planned Industrial District” to “PC-Planned Commercial District” in 2007

following the City of Chesterfield Ordinance 2342. Following the approval of the Ordinance, a Lot Split and Boundary Adjustment Plat were approved in 2007. The Site Development Concept Plan for the site was approved in 2008.

Later in 2021, the Boundary Adjustment Plat for Lots 1 and 2 was approved. In the same year, the concept plan was amended to reflect the adjusted boundary, the Site Development Plan for Lot 1 was approved for a music studio building, and the Site Development Section Plan for Lot 2 was approved for a hotel building. Currently, Lot 2 sits vacant and Lot 1 is under construction.

In 2022, the Amended Concept Plan, Lot Split for Lot 1, and Amended Site Development Plan for Lot 1 were approved. The changes in the concept plan included updated boundaries and internal roads.

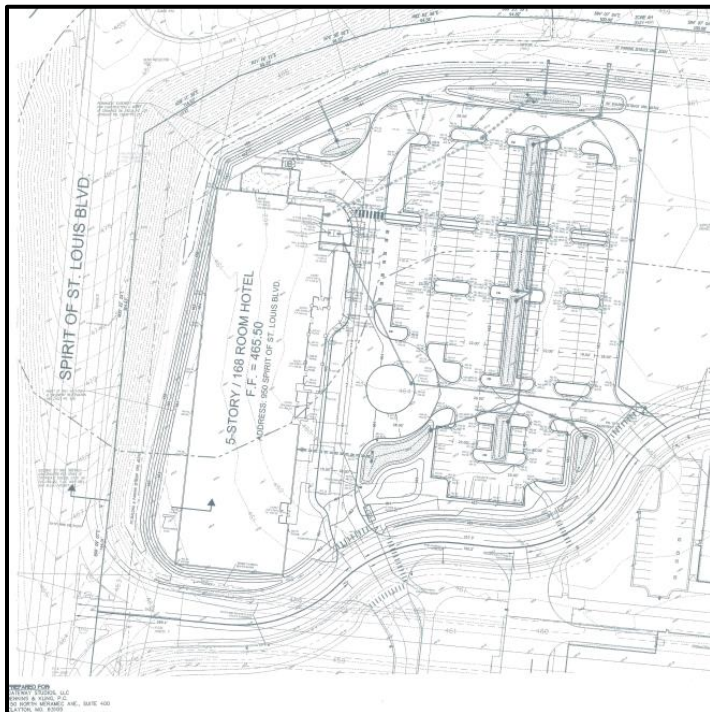


Figure 3: Previously approved plan from 2021

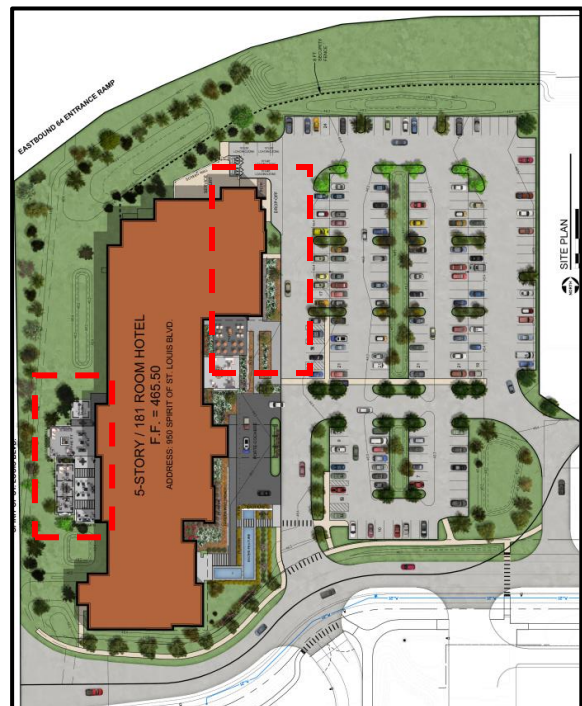


Figure 2: Proposed Site Plan

STAFF ANALYSIS

The applicant is amending the Site Plan to revise the building footprint and parking space. The proposed building addition will be 5,840 sq. ft. (shown in red box) with outdoor patio and seating area. Total of 52,783 square feet of hotel (179 units) building with restaurant and spa as an accessory use. There are no changes to the building location, orientation, and access. The 8' fence is proposed on the north side facing I-64. The City of Chesterfield Unified Development Code (UDC) has defined Site and Building design standards for buildings with different usages. Applicant is also revising the building elevation from previously approved elevations. The design standards for Commercial and Industrial Architecture are described in Table 1. The UDC also provides general requirements for building design and site design which are further described in the report.

	Access	Landscaping and Screening	Site Design
Commercial and Industrial Architecture	Locate service and loading areas away from public streets and out of the main circulation system and parking areas. Provide access for service vehicles, trash collection and storage areas from alleys when possible.	Screen utility meters, and surface transformer switching pads.	Design and locate building equipment and utilities to minimize visibility from public streets, surface parking lots, and neighboring properties.

Table 1: UDC Design Standards

Site Relationships

The proposed building is 52,783 square feet on 6.9 acres of land. The subject site is Lot 2 of Spirit Valley Business Park Subdivision. Lot 1 consists of an 80’ high music studio building which is under construction. The proposed building on Lot 2 will be a five-story hotel that will be 78 feet in height. The building will have restaurant and spa use as an accessory use. The trash enclosure will be located on the north of the subject site.

Circulation System and Access

The site access matches the Amended Concept Plan for Gateway Studios subdivision. The site is accessed through the subdivision’s principal street located south of the subject site. There is an existing shared cross access located on the east of the subject site. Internal driveways are 30’ wide with two-way access. The Applicant has submitted a Parking Study for the development in seeking a parking reduction. Total minimum parking required for the development is 258 spaces, and parking provided on site is 212 spaces. The Parking Study is still under review.

Scale, Topography, Retaining Wall and Screening

The site sits vacant and is surrounded by vacant land on the east and south. Interstate 64 runs north of the subject site and Spirit of St. Louis Blvd. runs west of the subject site. The site is relatively flat with a storm water channel present on the north. There is no retaining wall. An 8’ security fence is proposed on the north facing I-64. The roof top mechanical equipment will be screened by a parapet.

Materials and Color

The proposed building consists of 11 different materials. Charcoal gray color composite metal panel, two types of natural stone, pewter color brick, black color wood siding and charcoal gray color louver are some of the most dominant materials to be found on all four faces of the building. The proposed restaurant and spa area, located on the north and south corner of the front elevation, will have a façade

of stone, brick, channel glass and wood siding. The pergola proposed at the front entry will be covered by soke color large format tile.

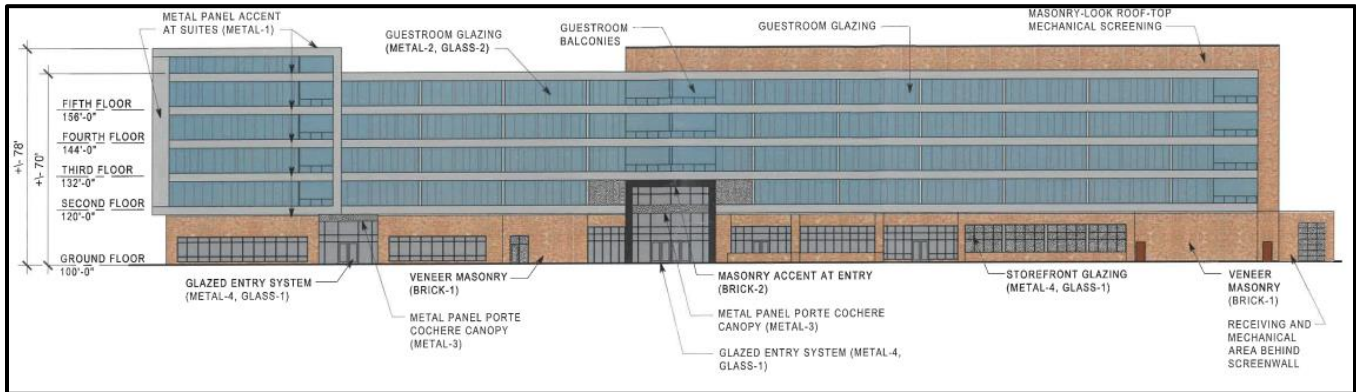


Figure 4: Previously approved east side elevation

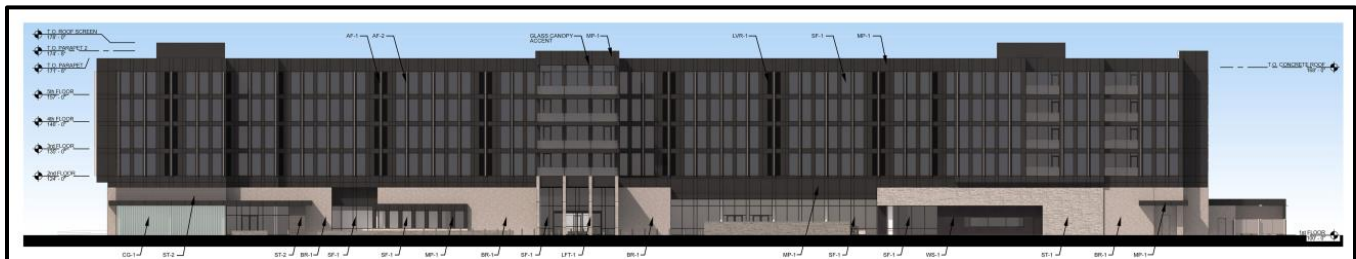


Figure 5: Proposed east side Elevation

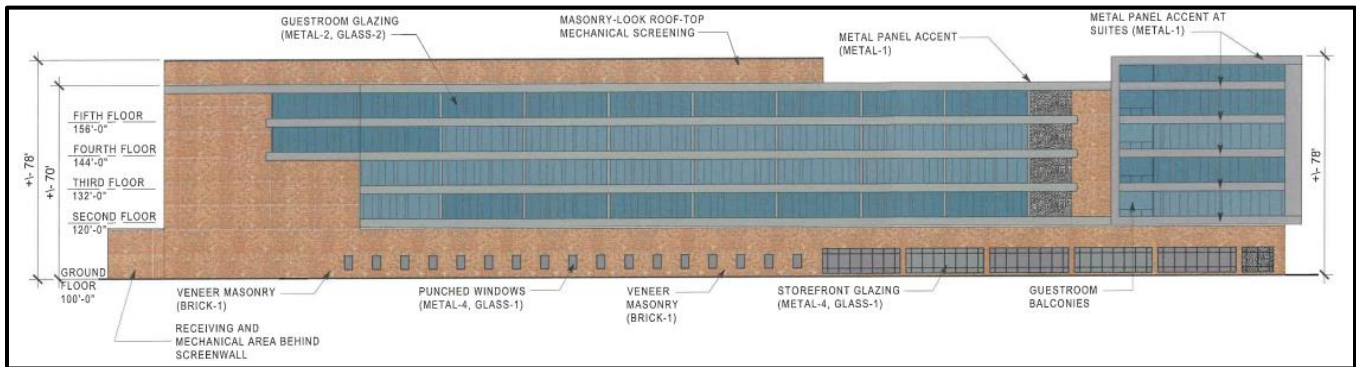


Figure 6: Previously approved west side elevation



Figure 7: Proposed west side Elevation (facing Spirit of St. Louis Blvd.)

Lighting

There are twelve (12) different types of light fixtures proposed for this development. Light fixtures include different types of garden light, wall recessed light, light column bollard, accent light, recessed slot led, ground mount flood light, pole light, wall pack light and architectural light. Fixture details are included in the packet. Ground accent light, wall recessed light, recessed slot led and ground mounted flood lights are proposed for the front patio. Downlighting, recessed slot led, and wall recessed lights are proposed for the patio and seating area on the west facing Spirit of St. Louis Blvd. White static Linear LED luminaires (light fixture M) light bars are proposed on the building façade. The height of the light bar varies from 24' to 66'-4" above the first floor.

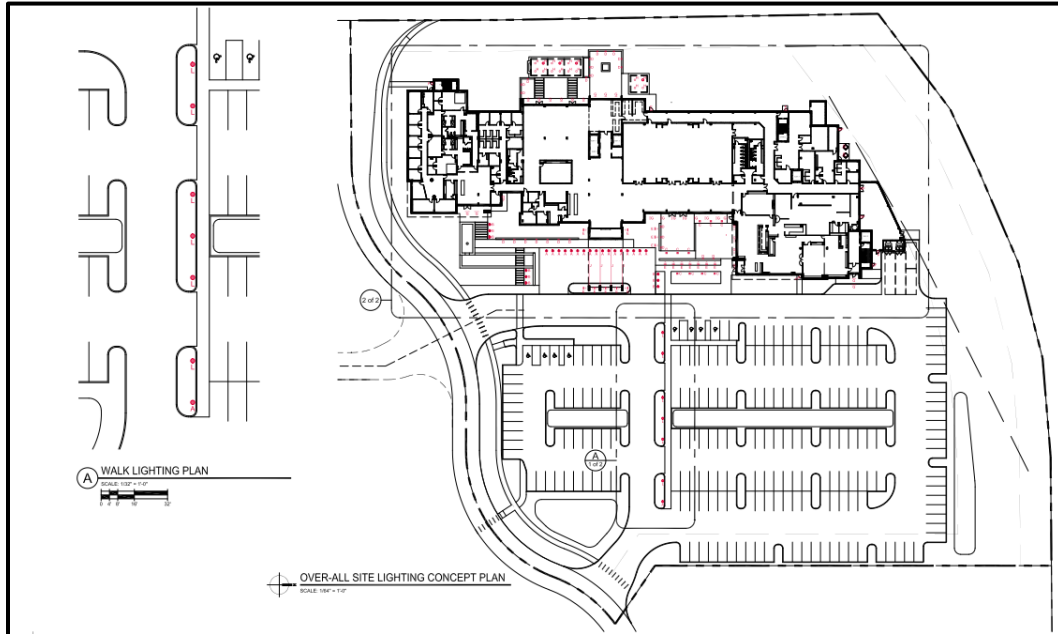


Figure 8: Lighting Plan



Figure 9: Front view of the building with installed light fixtures.

Landscaping

The revised landscape plan of the site consists of seventy-four (74) deciduous trees, thirty-three (33) evergreen trees, thirty-seven (37) ornamental trees and a 60% mix of perennials and ornamental grasses. There are seven bio-retention basins.

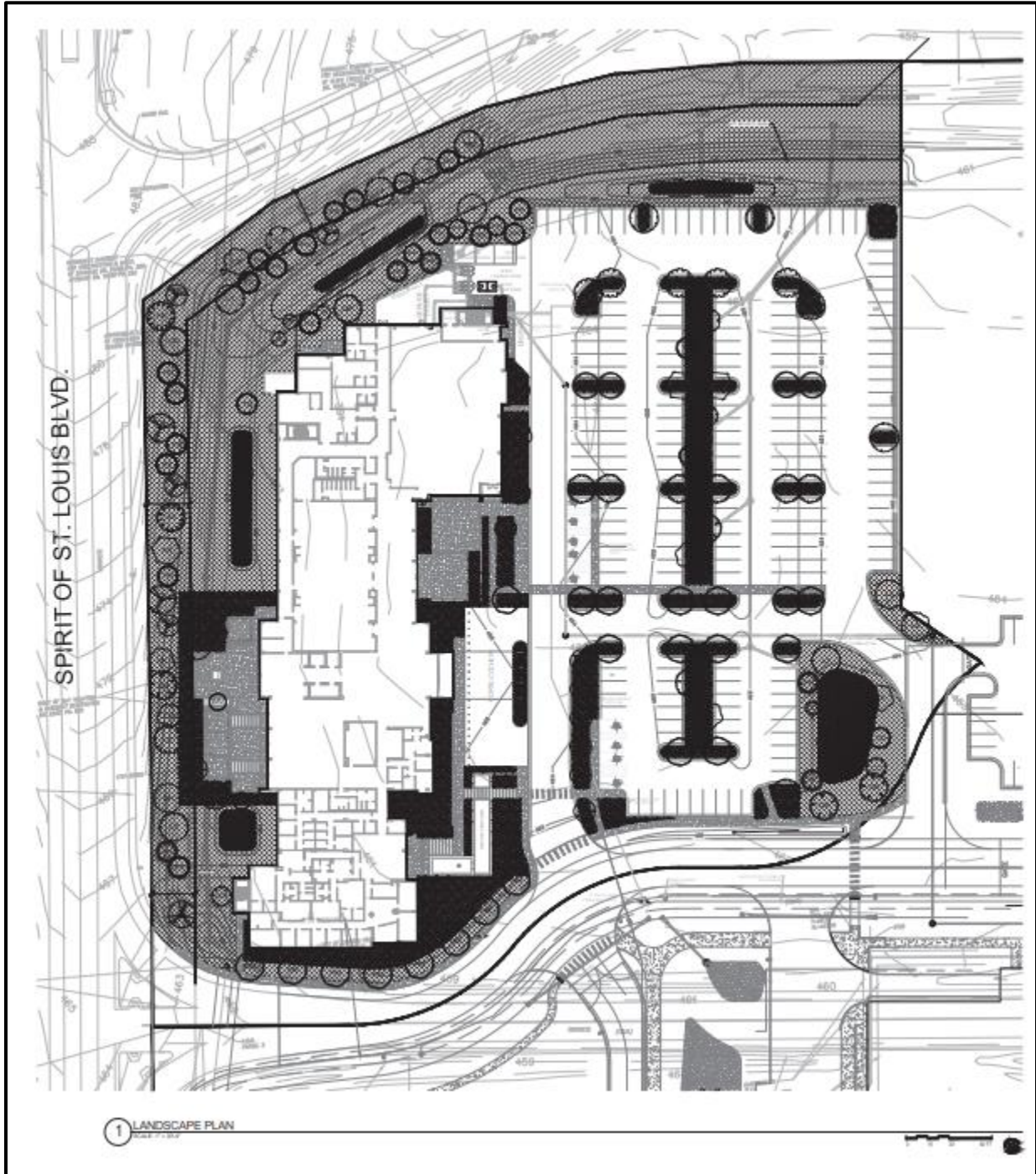


Figure 10: Proposed Landscaping

Rendering



Figure 8: View from internal drive



Figure 9: View from Spirit of St. Louis Blvd.

DEPARTMENTAL INPUT

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff's report to the Planning Commission.

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Section Plan, Landscape Plan, Lighting Plan, and Amended Architectural Elevations for Gateway Studios, Lot 2 (Spirit Hotel) ASDSP, as presented, with a recommendation for approval (or denial)."
- 2) "I move to forward the Amended Site Development Section Plan, Landscape Plan, Lighting Plan, and Amended Architectural Elevations for Gateway Studios, Lot 2 (Spirit Hotel) ASDSP, with a recommendation for approval with the following conditions..."

Attachments

1. Architectural Review Packet Submittal



**ARCHITECTURAL REVIEW BOARD
Project Statistics and Checklist**

Date of First Comment Letter Received from the City of Chesterfield 11-17-22

Project Title: Spirit Hotel **Location:** 950 Spirit of St. Louis Blvd.

Developer: N/F Gateway Studios, LLC **Architect:** TR,i Architects **Engineer:** Stock & Associates

PROJECT STATISTICS:

Size of site (in acres): 6.954 **Total Square Footage:** 209,000 +/- **Building Height:** 74'-8" TO Parapet

Proposed Usage: Hotel / Restaurant / Spa

Exterior Building Materials: Brick, Stone, Alum. Comp. Panels, Dekton, wood siding, & storefront / glass

Roof Material & Design: Flat TPO roof with parapet - Top of Roof Screen height is 78'-0"

Screening Material & Design: Aluminum Composite Panel @ roof screen and Brick at Trash enclosure

Description of art or architecturally significant features (if any): See attached architectural write-up

ADDITIONAL PROJECT INFORMATION:

Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- Details of screening, retaining walls, etc.
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
- Landscape Plan.
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be provided 1 week prior to ARB meeting)
- Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.



November 4, 2022

Shilpi Bharti
City Planner
City of Chesterfield

Re: The Spirit Hotel
TR,i Project #: 21-051
ARCHITECT'S STATEMENT OF DESIGN

To Whom it may concern,

As required by Chesterfield's Unified Development Code the following is our Architect's Statement of Design responding to the Architectural review design standards as they apply to our project.

General requirements for site design:

1. Site relationships: The proposed Spirit Hotel development is located at the southeast corner of Interstate 64 and Spirit of St. Louis Boulevard adjacent to the east bound I-64 on ramp. The project is part of the Gateway Studios Campus. The Gateway Studios building is currently under construction to the south of the proposed Spirit Hotel. The adjacent parcel to the east is currently un-development. Parcels to the west of Spirit of St. Louis Boulevard are also un-developed. There are two vehicular access points to the site via full-service curb cuts on Spirit Commerce Drive. Parking for the development will all be surface parking.
2. Circulation system and access: The site organization emphasizes pedestrian connectivity of uses. The development plan includes separation between vehicular circulation and pedestrian circulation with a network of public sidewalks within the development. The pedestrian circulation system connects street to building, parking areas to building and building use to building use. Upon arrival by car, the patron accesses the hotel entry via a covered motor court designed to be a plaza that is both vehicle and pedestrian friendly. Parking for the Hotel is located to the east of the building. As the visitor approaches the building from the parking, they pass through the exterior spaces with enhanced paving and landscaping to add interest to the pedestrian experience. To the south of the motor court is a water feature and landscaping that the pedestrian interacts with as they approach the hotel spa's exterior entry. To the north of the hotel entry is a large patio space shared by the restaurant and ballroom pre-function. Landscaping and garden walls buffer the activity of the patio from the hotel motor court and parking.

3. Topography: The existing topography is relatively level across the site. Modifications to the grade are being proposed without the use of site retaining walls. Handicapped pedestrian accessibility will be provided throughout the improved areas of the site. Extensive landscaping is used for screening, buffering, and enhancement to the site.
4. Retaining walls: No retaining walls are being proposed.

General requirements for building design:

1. Scale: The proposed Spirit Hotel is a part of the Gateway Studios campus and scaled appropriately to complement the Gateway Studios building. Other adjacent sites are currently undeveloped.
2. Design: The building design and finishes are coordinated on all sides. The project has a unique identity without the influence of any corporate identity. The architecture complements the adjacent Gateway Studios building rather than matching it. The music industry, for which the campus supports, is inspiration for the Spirit Hotel exterior design. Rhythm and variation are utilized throughout the design to create interest and three-dimensional character.



Concept Images



3. Building materials: The Spirit Hotel is proposed to be a sophisticated neutral color pallet. The high quality materials include brick, stone, composite metal panel, aluminum storefront, clear low-e glass, architectural windows and doors.
4. Landscape design and screening: Landscaping is used to enhance the pedestrian experience, screen the service areas, and soften the building's base where it meets the site. Along Spirit of St. Louis Boulevard, landscaping is used to provide buffering between the street and the patio space on the west side of the hotel.

City Planner
City of Chesterfield
ARCHITECT'S STATEMENT OF DESIGN
Page 3
November 4, 2022

5. Signage: It is understood that signage is reviewed separately.
6. Lighting: An Architectural Specialty Lighting Package will be required for this project and will be submitted under separate cover. Cut sheets of the lighting are included for review. The proposed lighting fixtures and lighting concept complement the buildings style.

I trust this information meets your needs. Please advise if you have any questions or comments.

Respectfully,

A handwritten signature in black ink, appearing to read "Daniel Tate". The signature is fluid and cursive, with a large initial "D" and "T".

Daniel Tate
Senior Design Architect

AMENDED SITE DEVELOPMENT SECTION PLAN

FOR SPIRIT HOTEL AT GATEWAY STUDIOS

A TRACT OF LAND BEING LOT 2 OF THE PROPOSED BOUNDARY ADJUSTMENT PLAT OF LOT A OF THE LOT SPLIT PLAT OF PART OF LOT 5 OF R.H. STEVENS FARM AS RECORDED IN PLAT BOOK 355, PAGE 329, PART OF VACATED RIGHT OF WAY OF SPIRIT OF ST. LOUIS BOULEVARD AS RECORDED IN BOOK 22621 PAGE 800, AND PART OF ADJUSTED LOT B OF THE BOUNDARY ADJUSTMENT PLAT AS RECORDED IN PLAT BOOK 355, PAGE 330, LOCATED IN TOWNSHIP 45 NORTH, RANGE 3 EAST OF THE 5TH PRINCIPAL MERIDIAN CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI ZONED "PC"



ARCHITECT
STRUCTURAL ENGINEER
CIVIL ENGINEER
GENERAL CONTRACTOR
LANDSCAPE ARCHITECT

TR | ARCHITECTS
SSC ENGINEERING
STOCK & ASSOCIATES
BRINKMANN CONSTRUCTORS
DG2 DESIGN



SPIRIT HOTEL

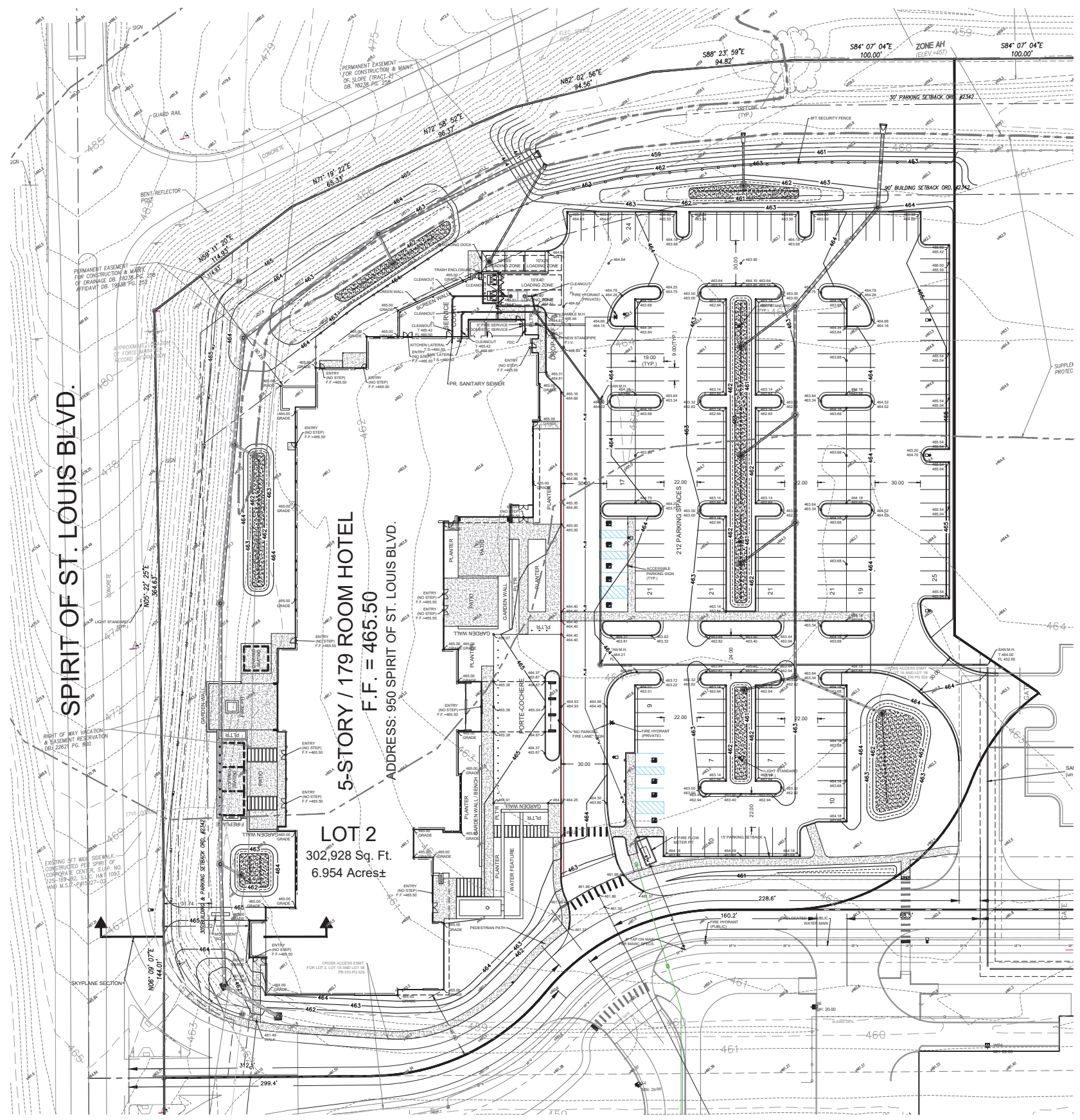
CHESTERFIELD, MISSOURI



DATE: 11-01-2022
REVISIONS: 1
City Comments: 11-28-2022

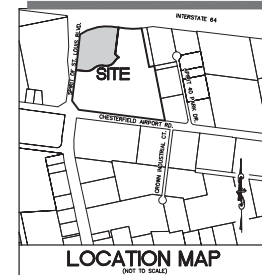
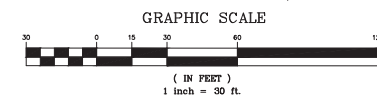
DWG BY: J.E.F.
PROJECT NO.: 2020-6874
SHEET NO.: SD-1.0

SITE DEVELOPMENT SECTION PLAN



GENERAL NOTES:

- BOUNDARY AND TOPOGRAPHICAL SURVEY BY STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. (BASIS OF BEARINGS: MISSOURI STATE PLANE, GRID NORTH)
- GRADING & STORM WATER PER THE CITY OF CHESTERFIELD, THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC AND MSD.
- SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "AH" (AREAS WITH FLOOD DEPTHS OF 1 TO 3 FEET, USUALLY AREAS OF PONDING, BASE FLOOD ELEVATIONS 457 FEET) AND FLOOD ZONE "X" (AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN ONE SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR THE ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS. THIS MAP IS IDENTIFIED AS MAP NO. 29189C0145 K WITH AN EFFECTIVE DATE OF FEB. 4, 2015.
- THE REGULATORY 100YR WATER SURFACE ELEVATION FOR SITE IS CONTROLLED BY THE CHESTERFIELD VALLEY MASTER STORM WATER PLAN MODEL. THE LOWEST FLOOR OF ANY BUILDING NEEDS TO BE AT LEAST 1 FOOT ABOVE THE ELEVATION OF THE 100YR WATER SURFACE OF ANY CHANNEL WITHIN 200 FEET OF THE BUILDING FOOTPRINT. THE 100YR HIGH WATER ELEVATION VARIES FROM 459.40 AT SOUTHWEST CORNER OF SITE TO 457.4 AT NORTHEAST CORNER OF SITE TO 457.2 AT NORTHEAST CORNER OF SITE. FOR BUILDINGS ALONG WESTERN PORTION OF SITE, 459.4 WILL BE THE CONTROLLING ELEVATION. FOR BUILDINGS ALONG NORTHERN PORTION OF SITE, 457.4 WILL BE THE CONTROLLING ELEVATION.
- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. SHOULD ANY CONFLICTS BE EVIDENT, THE CONTRACTOR SHALL NOTIFY THE OFFICE OF THE ENGINEER IMMEDIATELY.
- ARCHITECTURAL ELEVATIONS, SITE LANDSCAPING PLANS, SITE LIGHTING PLANS AND SITE SIGNAGE PLANS SHALL BE SUBMITTED TO THE CITY OF CHESTERFIELD AS INDIVIDUAL LOTS ARE DEVELOPED ON THEIR SITE DEVELOPMENT SECTION PLAN.
- ON-SITE STORM WATER DRAINAGE REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE CHESTERFIELD VALLEY MASTER STORM WATER DRAINAGE PLAN AND AS DIRECTED BY THE CITY OF CHESTERFIELD.
- OFF-SITE GRADING EASEMENTS, IF REQUIRED, SHALL BE EXECUTED AND RECORDED PRIOR TO THE COMMENCEMENT OF ANY OFF-SITE GRADING.
- CROSS-ACCESS EASEMENTS WHERE REQUIRED, SHALL BE EXECUTED AND RECORDED AS INDIVIDUAL LOTS ARE DEVELOPED.
- NO TREES AND LANDSCAPING MAY BE LOCATED WITHIN THE HIGH-WATER LIMITS OF THE CHESTERFIELD VALLEY MASTER STORM WATER DRAINAGE DITCHES.
- PRIOR TO SPECIAL USE PERMIT ISSUANCE BY THE SAINT LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LINE OF CREDIT, MUST BE ESTABLISHED WITH THE SAINT LOUIS COUNTY.
- ACCESS TO THIS DEVELOPMENT FROM CHESTERFIELD AIRPORT ROAD SHALL BE VIA TWO ENTRANCES. ENTRANCES ARE TO PROVIDE REQUIRED SIGHT DISTANCE AND CONSTRUCTED TO SAINT LOUIS COUNTY STANDARDS AS DIRECTED BY THE SAINT LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
- ALL BUILDINGS AND ROADWAYS SHALL BE ELEVATED A MINIMUM 1 FOOT ABOVE THE MAX. HIGH-WATER ELEVATION IN THE MASTER STORM WATER PLAN MODEL.
- MAXIMUM HEIGHT OF ALL BUILDINGS, EXCLUSIVE OF ROOF SCREENING SHALL NOT EXCEED FIVE (5) STORIES ON THE NORTHERN MOST LOT AND MAX. THREE (3) STORIES ON ALL OTHER LOTS. ANY RETAIL DEVELOPMENT ON ANY LOT SHALL NOT EXCEED TWO (2) STORIES IN HEIGHT.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY, MO DOT AND THE CITY OF CHESTERFIELD STANDARDS.
- ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE ST. LOUIS COUNTY, MO DOT AND CITY OF CHESTERFIELD STANDARDS.
- NO SLOPES WITHIN SAINT LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
- STORM WATERS SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- AN ELEVATION CERTIFICATE WILL NEED TO BE COMPLETED FOR ANY STRUCTURE LOCATED WITHIN THE SUPPLEMENTAL PROTECTION AREA (SPA) AS DEFINED BY SECTION 405.05, FLOOD DAMAGE PREVENTION, OF THE CITY CODE.
- A SIGN PACKAGE IS REQUIRED FOR THIS DEVELOPMENT AND MUST BE APPROVED BY THE PLANNING COMMISSION.
- SETBACKS:
A) BUILDING SETBACKS:
a.) 30 FEET FROM EASTERN BOUNDARY
b.) 30 FEET FROM R.O.W. SPIRIT OF ST. LOUIS BLVD.
c.) 30 FEET FROM R.O.W. CHESTERFIELD AIRPORT ROAD
d.) 90 FEET FROM R.O.W. INTERSTATE 64 (U.S. 40-61)
B) PARKING SETBACKS:
a.) 30 FEET FROM R.O.W. CHESTERFIELD AIRPORT ROAD
b.) 10 FEET FROM THE INTERNAL DRIVEWAYS OR ROADWAYS
c.) 15 FEET FROM PRINCIPAL INTERNAL STREET
d.) 30 FEET FROM THE EAST AND WEST PROPERTY LINES OF THIS DEVELOPMENT
e.) 30 FEET FROM THE R.O.W. INTERSTATE 64 (U.S. 40-61)
- LIGHT FIXTURES SHALL NOT EXCEED 20 FEET IN HEIGHT.
- PARKING CALCULATIONS:
HOTEL: 1:2 SPACE FOR EVERY UNIT (SECTION 405.04.040.D7)
HOTEL = 179 UNITS = 215 SPACES REQUIRED
ACCESSORY USES:
RESTAURANT/BAR: 5,600 S.F. AREA = 5.6 x 12 x .40 = 27 SPACES
SPA: 7,812 S.F. AREA = 7.8 x 12 x .40 = 18 SPACES
TOTAL REQUIRE: 233 SPACES
TOTAL PROVIDED: 212 SPACES
TOTAL SPACES PROVIDED PER PARKING STUDY REDUCTION: 212 SPACES
24. OPEN SPACE CALCULATION:
LOT AREA = 302,928 S.F.
BUILDING = 52,783 S.F. (17.42%)
PAVEMENT = 105,835 S.F. (34.94%)
OPEN SPACE = 144,309 S.F. (47.64%)
25. FLOOR AREA RATIO:
TOTAL FLOOR SPACE/LOT AREA
HOTEL = 208,789 S.F.
208,789 S.F./302,928 S.F. = 0.68 F.A.R.
TOTAL FLOOR SPACE/DEVELOPED PROPERTY
510,501 S.F./1,341,747 S.F. = 0.38 F.A.R.



PERTINENT DATA

- SITE ACREAGE = 6.954 ACRES
- EXISTING ZONING = "PC-C" (ORD. #2342)
- FIRE DISTRICT = MONARCH
- SCHOOL DISTRICT = ROCKWOOD
- SEWER DISTRICT = METROPOLITAN ST. LOUIS SEWER DIST.
- WATER SERVICE = MISSOURI AMERICAN WATER CO.
- GAS SERVICE = SPIRE
- ELECTRIC SERVICE = AmerenUE
- PHONE SERVICE = AT&T
- LOCATOR NUMBER = 17V440133
- OWNER = N/F GATEWAY STUDIOS, LLC
- ADDRESS = 950 SPIRIT OF ST. LOUIS BLVD.
- WUNNENBERG'S = PAGE 20, GRID 11-18

LEGEND

- EXISTING CONTAINERS
- PROPOSED CONTAINERS
- EXISTING SANITARY SEWERS
- PROPOSED SANITARY SEWERS
- EXISTING STORM SEWERS
- PROPOSED STORM SEWERS
- CENTERSLINE
- EASEMENT
- PROPOSED SPOT ELEVATION

ABBREVIATIONS

- C.O. - CLEANOUT
- DB - DEED BOOK
- E - ELECTRIC
- FL - FLOWLINE
- FT - FEET
- FND. - FOUND
- G - GAS
- M.H. - MANHOLE
- N/F - NOW OR FORMERLY
- PLAT BOOK
- P.C. - PAGE
- P.V.C. - POLYVINYL CHLORIDE PIPE
- R.E. - RADIAL BEARING
- R.F.C.P. - REINFORCED CONCRETE PIPE
- SQ. - SQUARE
- V.C.P. - VERTICED CLAY PIPE
- W - WATER
- (N/F) - RIGHT-OF-WAY WIDTH

LEGEND

- BENCH MARK
- FOUND IRON ROD
- FOUND IRON PIPE
- RIGHT OF WAY MARKER
- UTILITY POLE
- SUPPORT POLE
- UTILITY POLE WITH LIGHT
- EX. LIGHT STANDARDS
- ELECTRIC METER
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC SPUR BOX
- GAS DROP
- GAS METER
- GAS VALVE
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- TELEPHONE SPUR BOX
- CABLE TV PEDESTAL
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- WATER MANHOLE
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- CLEAN OUT
- STORM MANHOLE
- GRADED MANHOLE
- STORMWATER INLET
- GRADED STORMWATER INLET
- SANITARY MANHOLE
- TREE
- BUSH
- TRAFFIC SIGNAL
- PARKING METER
- STREET SIGN
- SPRINKLER
- MAIL BOX

ST. LOUIS COUNTY BENCHMARK

BENCHMARK 11122
NGVD29 Elev = 465.47
Cut "1" in the northernmost corner of the concrete base for a metal traffic signal control box situated southeast of the right turn lane from northbound Spirit of St. Louis Boulevard onto eastbound Chesterfield Airport Road roughly 76 feet east of the centerline of Spirit of St. Louis Boulevard, 79 feet South of the centerline of Chesterfield Airport Road, and 23 feet west of the southwest corner of Spirit Airport entrance sign.

SITE BENCHMARK

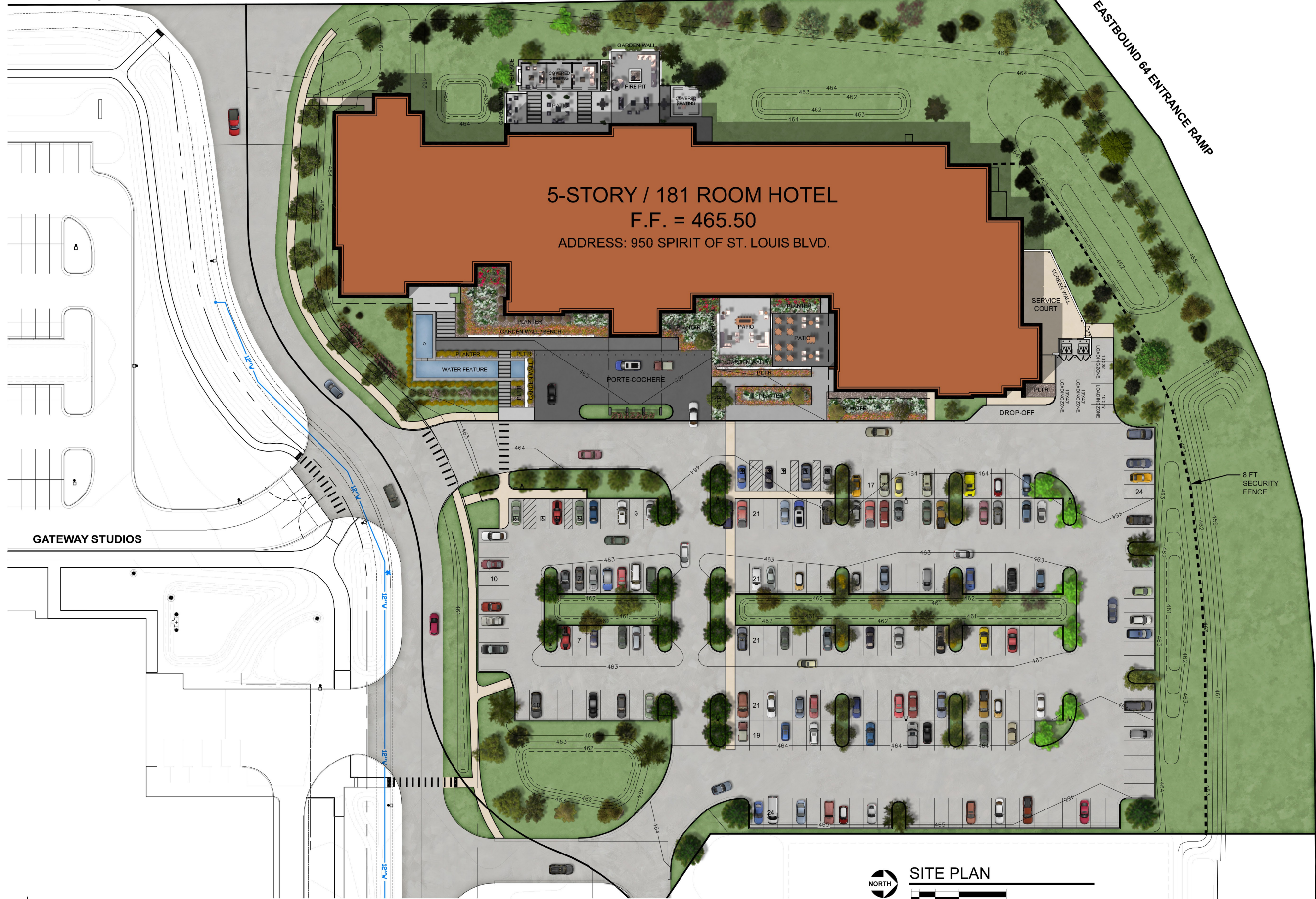
ELEV = 462.38
FND. CUT CROSS AT THE NORTHWEST INTERSECTION OF CHESTERFIELD AIRPORT ROAD AND SPIRIT COMMERCE DRIVE AS SHOWN HEREON.



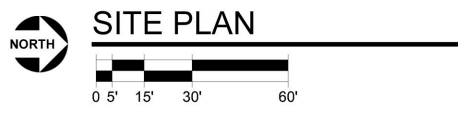
SPIRIT OF ST. LOUIS BLVD.

EASTBOUND 64 ENTRANCE RAMP

5-STORY / 181 ROOM HOTEL
F.F. = 465.50
ADDRESS: 950 SPIRIT OF ST. LOUIS BLVD.



GATEWAY STUDIOS

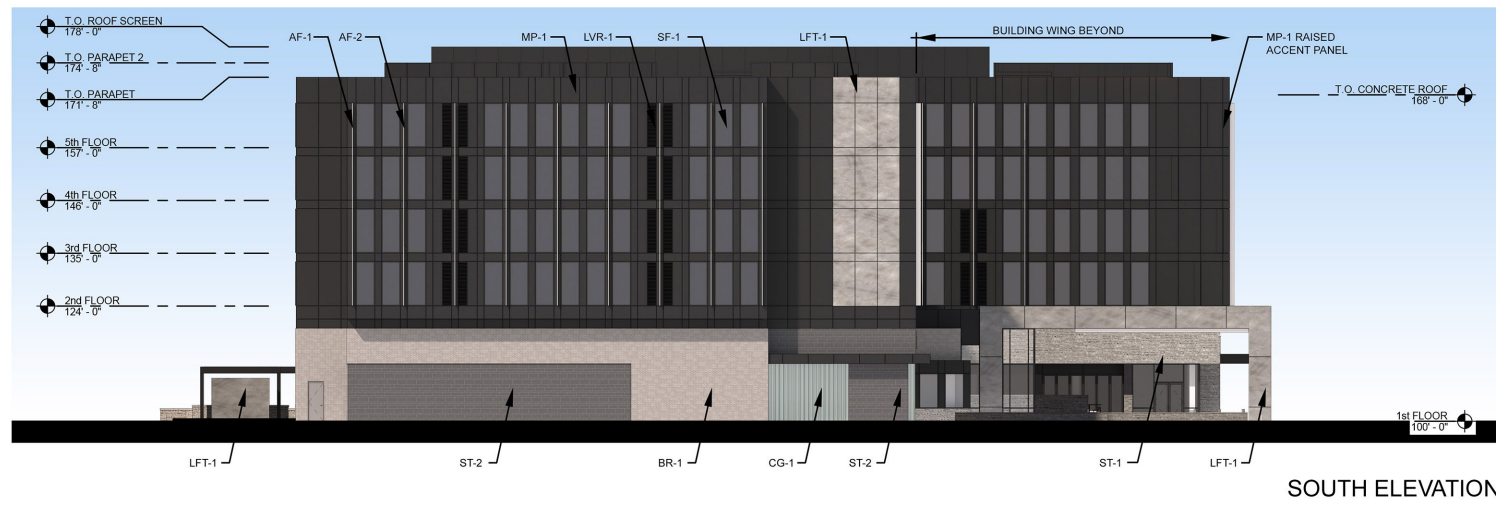


SPIRIT HOTEL & SPA

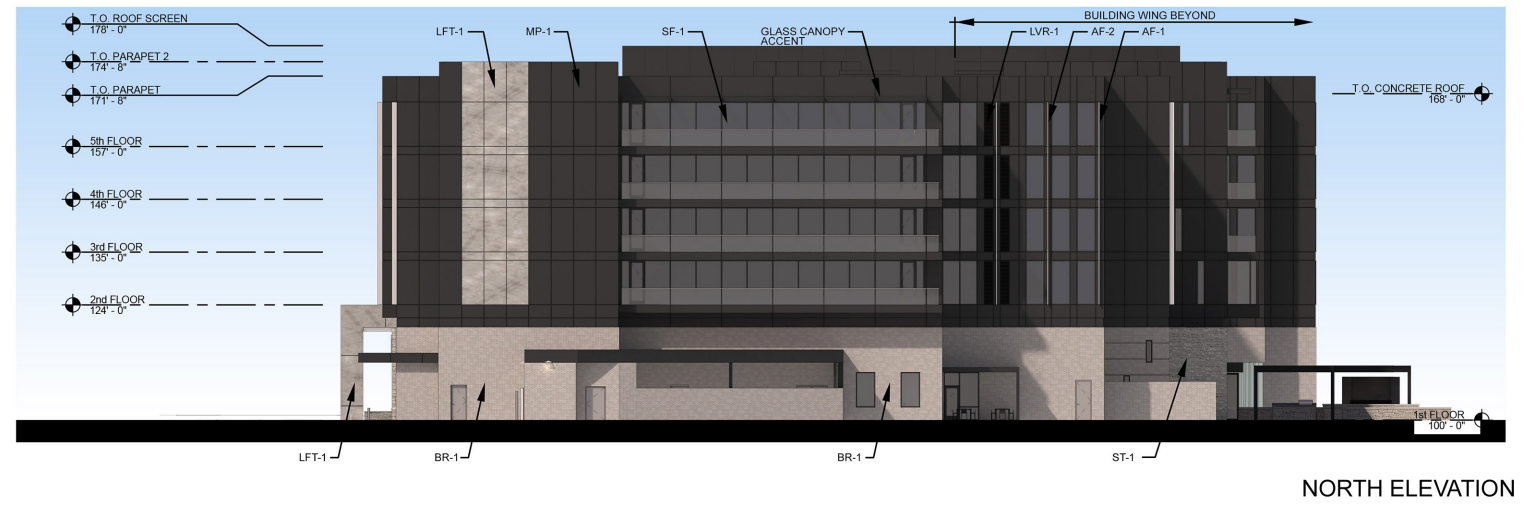
TRI
ARCHITECTS
1790 S. Brentwood Blvd.
St. Louis, Missouri 63144
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CHESTERFIELD
21-051

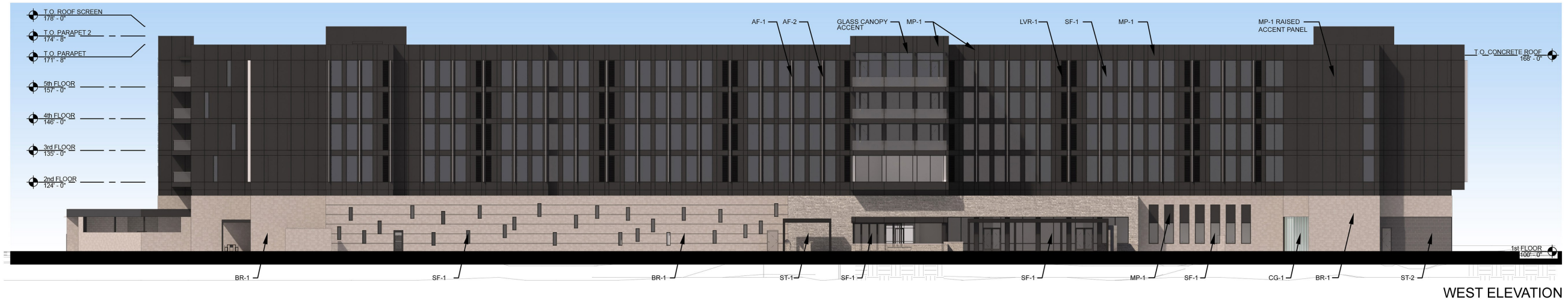
MISSOURI
11-28-2022



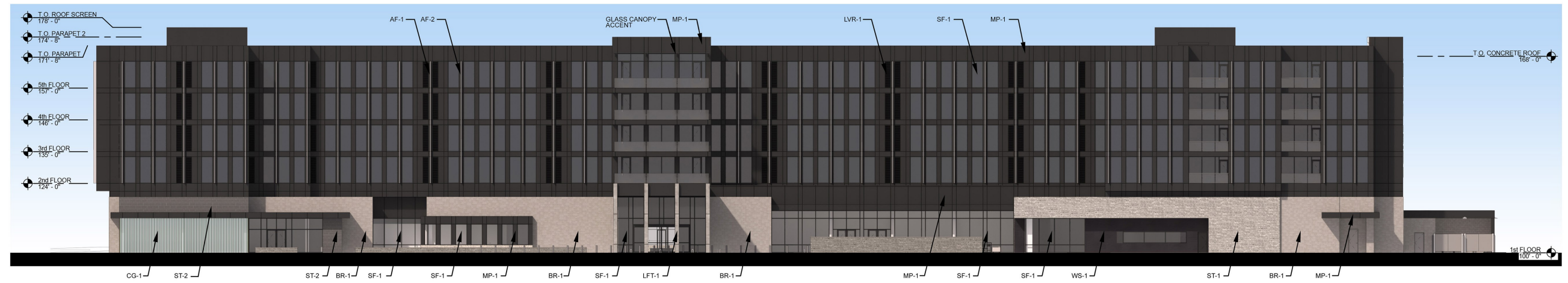
SOUTH ELEVATION



NORTH ELEVATION



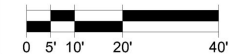
WEST ELEVATION



EAST ELEVATION

EXTERIOR MATERIAL LIST		
CODE	MATERIAL	COLOR / TYPE
AF-1	ALUMINUM	ALUMINUM FIN, COLOR: SILVER METALLIC
AF-2	ALUMINUM	ALUMINUM FIN, COLOR: SILVER METALLIC, W/ LINEAR WHITE LED STATIC LIGHT, WITH NO CHANGE IN COLOR, LIGHT HEIGHT VARIES BETWEEN 24" & 36" & 48" & 60"
BR-1	BRICK	MANUF: INTERSTATE, COLOR: TOWER, TEXTURE: WIRE CUT, SIZE: MODULAR
CG-1	CHANNEL GLASS	MANUF: PULKINGTON, SERIES: PROFILIT
LFT-1	LARGE FORMAT TILE	MANUF: DEKTON, COLOR: SOKI
LVR-1	LOUVER	ARCHITECTURAL LOUVER, COLOR: CHARCOAL GRAY TO MATCH MP-1
MP-1	COMPOSITE METAL PANEL	MANUF: ALPOLIC, SERIES: 2000R, COLOR: M7691 CHARCOAL GRAY (530)
SF-1	STOREFRONT	ALUMINUM STOREFRONT SYSTEM W/ CLEAR INSULATED GLASS W/ LOW-E COATING, COLOR: CHARCOAL GRAY TO MATCH MP-1
ST-1	NATURAL STONE	MANUF: MASON MADE, TYPE: PIERREUX-VEIN CUT DIMENSIONAL, TEXTURE: SPUFFFACE
ST-2	NATURAL STONE	MANUF: MASON MADE, TYPE: ALTO DIMENSIONAL, TEXTURE: SMOOTH
WS-1	WOOD SING	MANUF: THERORY, SERIES: SINTH SPRUCE GLASSING, COLOR: BLACK

BUILDING ELEVATIONS



SPIRIT HOTEL and SPA



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SOUTHEAST CORNER PERSPECTIVE

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ENTRY PLAZA PERSPECTIVE

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SOUTHWEST CORNER PERSPECTIVE

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WEST PATIO PERSPECTIVE

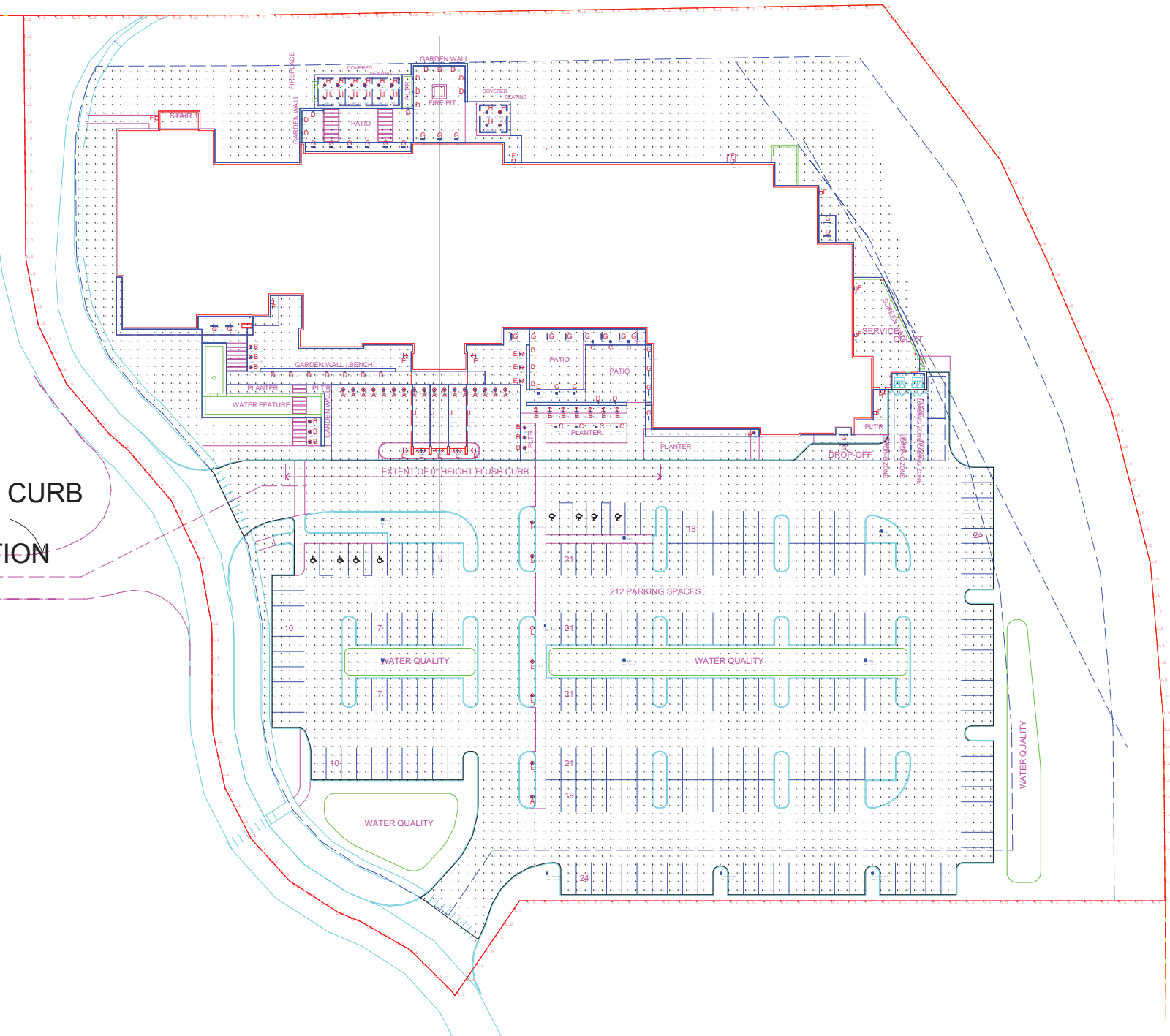
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PROPOSED CURB CUT
CUT
MODIFICATION



SPIRIT HOTEL

NOTES:

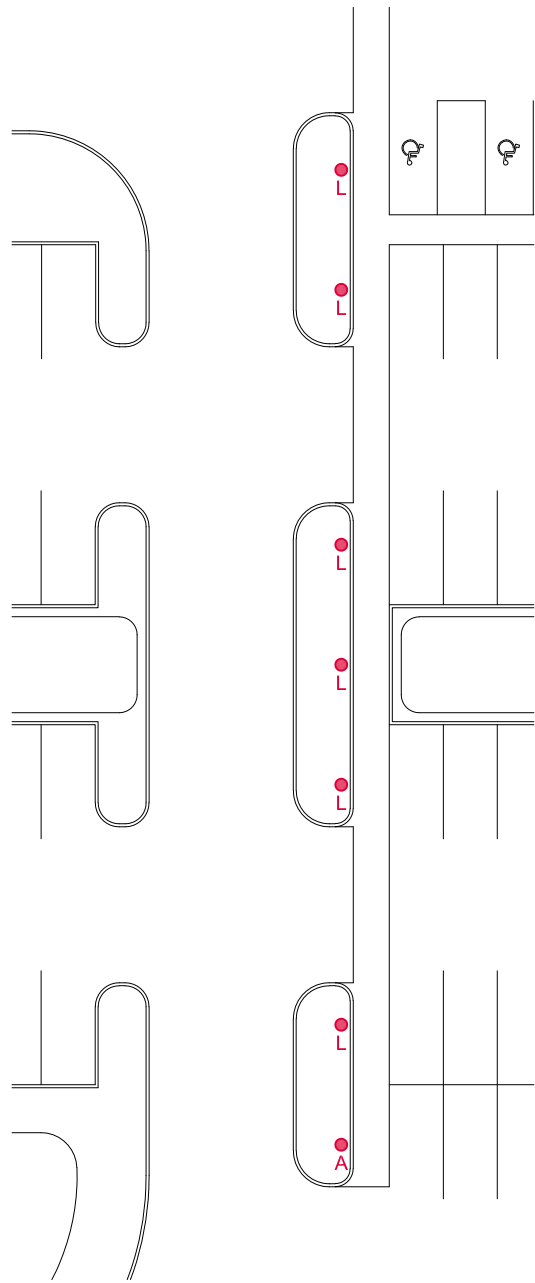
CALCULATION POINTS: EVERY 5' ON GROUND
ALL FIXTURE MOUNTING HEIGHT ARE "MH=**"

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST. ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP WATTAGE, LAMP TYPE AND EXISTING FIELD CONDITIONS THAT AFFECT ANY OF THE PREVIOUSLY MENTIONED, WILL VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.

Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
⊕	17	A	Single	LBHLO-603-360	0.900	424	38.3	651.1
⊕	9	B	Single	LBLCB-504	0.900	1006	9.5	85.5
⊕	10	C	Single	S6346W 14	0.900	1425	42.1	421
⊕	24	D	Single	S6320W 14	0.900	347	12.4	297.6
⊕	20	E	Single	303-61-LED81-4000-UNV-T4-DIM10	0.900	638	9.4	168
⊕	8	F	Single	131-9424	0.900	378	8.5	68
⊕	13	G-2'	Single	FSM2L-FL-375LF-35K-1C-UNV-Lxx-Gx Tx -WH 2FT	0.900	1438	13.3	172.9
⊕	8	G-3'	Single	FSM2L-FL-375LF-35K-1C-UNV-Lxx-Gx Tx -WH 3FT	0.900	1438	13.3	106.4
⊕	6	G-4'	Single	FSM2L-FL-375LF-35K-1C-UNV-Lxx-Gx Tx -WH 4FT	0.900	1438	13.3	79.8
⊕	17	H	Single	HC810D010-HM60525840-61WDC	0.900	1320	9.9	168.3
⊕	4	J-36"	GROUP	FSM2L-FL-375LF-35K-1C-UNV-Lxx-Gx Tx -WH 36FT	0.900	N.A.	N.A.	478.8
⊕	7	L	Single	LBHLO-603-360	0.900	424	38.3	268.1
⊕	6	SI-5WQ	Single	GLEON-S44A-740-U-5WQ	0.912	19801	129	774
⊕	3	SI-T4W-HSS	Single	GLEON-S44A-740-U-T4W-HSS	0.912	13626	129	387

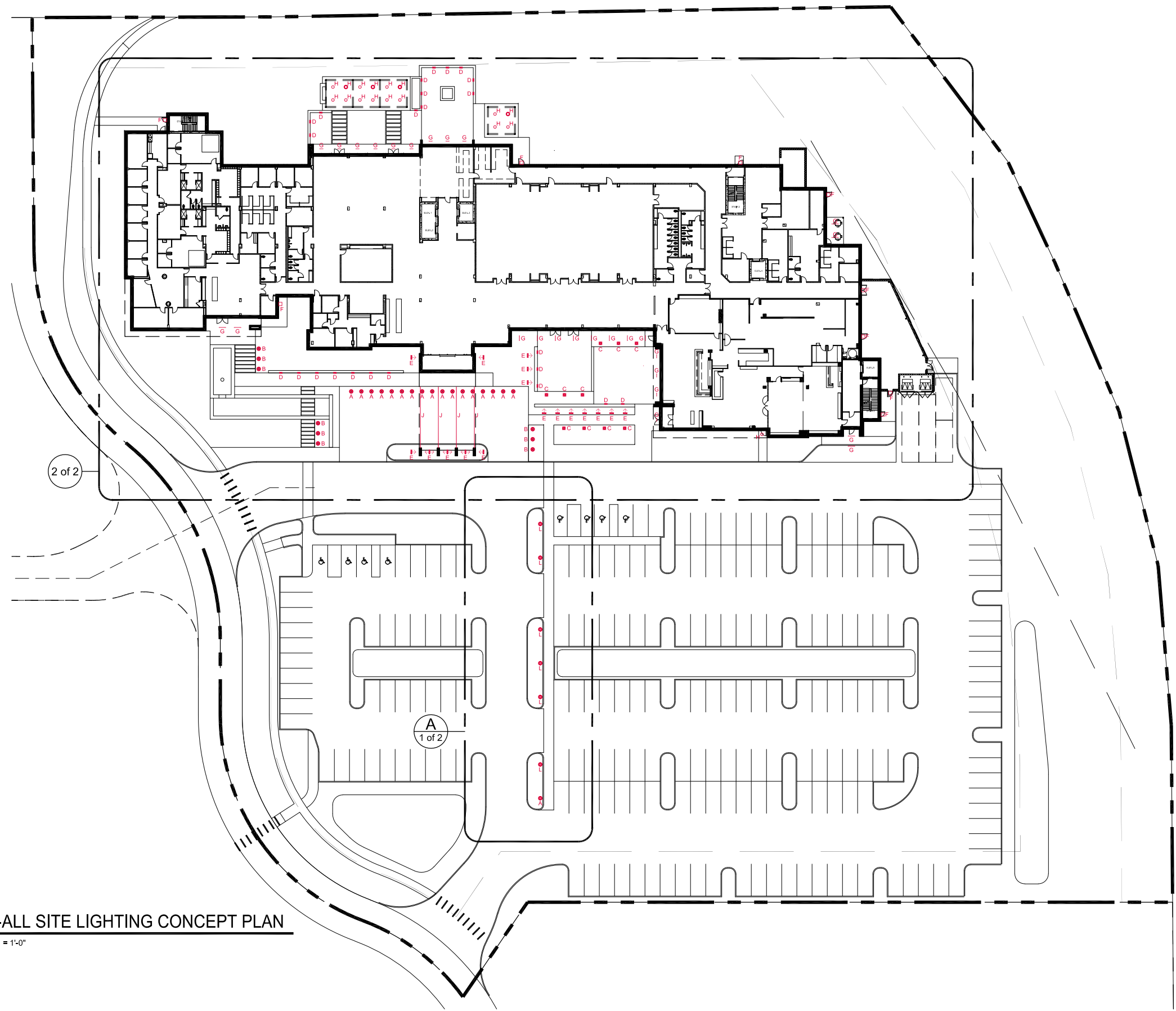
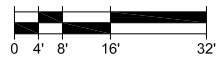
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE	Illuminance	Fc	0.03	0.3	0.0	N.A.	N.A.
SERVICE COURT	Illuminance	Fc	0.28	1.1	0.0	N.A.	N.A.
SITE	Illuminance	Fc	1.59	41.2	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	1.27	9.4	0.0	N.A.	N.A.





A WALK LIGHTING PLAN

SCALE: 1/32" = 1'-0"



OVER-ALL SITE LIGHTING CONCEPT PLAN

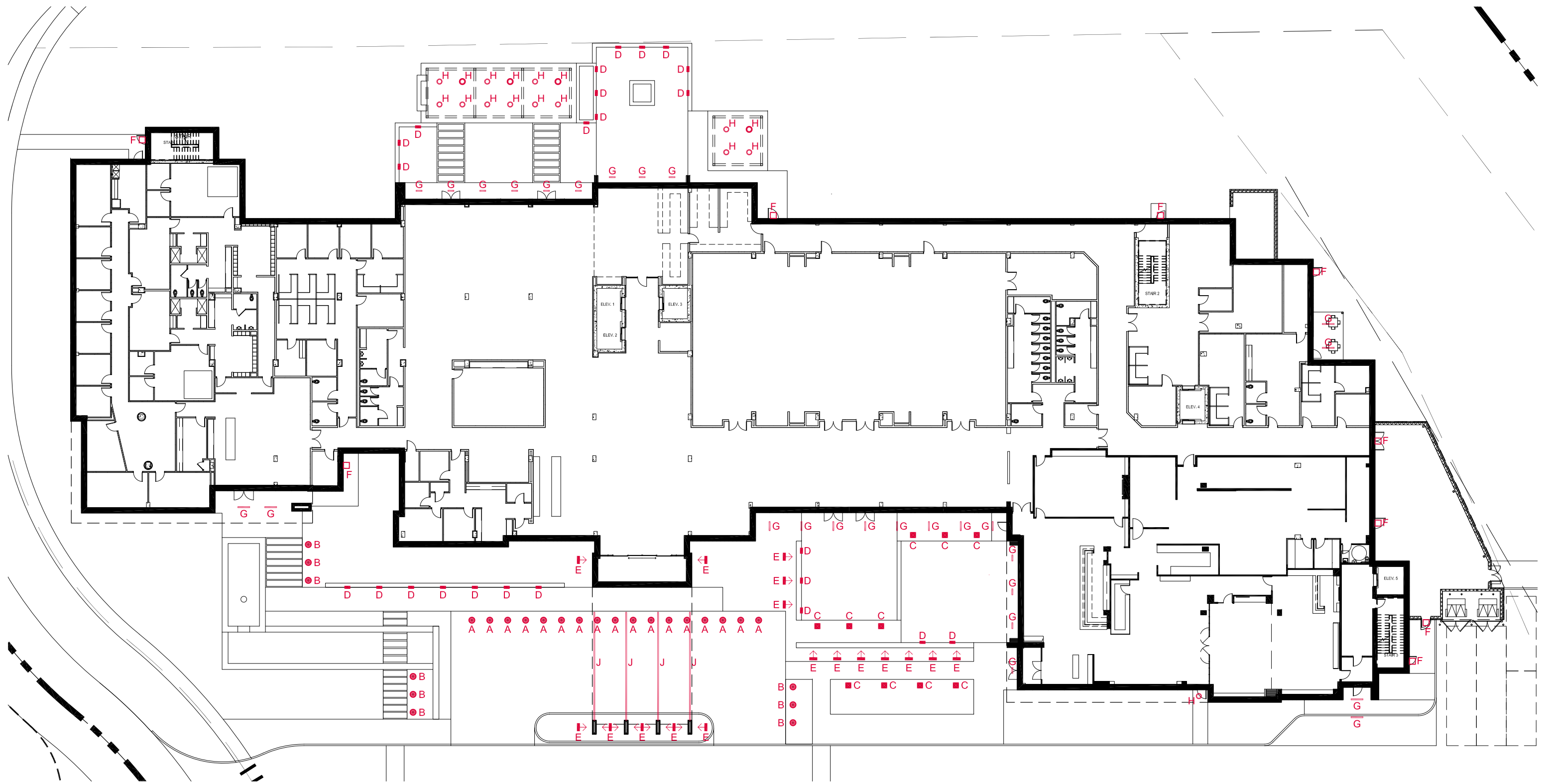
SCALE: 1/64" = 1'-0"

SPIRIT HOTEL

CHESTERFIELD,
21.051

1 of 6

MISSOURI
11.04.2022




ARCHITECTURAL SITE LIGHTING CONCEPT PLAN
 SCALE: 1/32" = 1'-0"



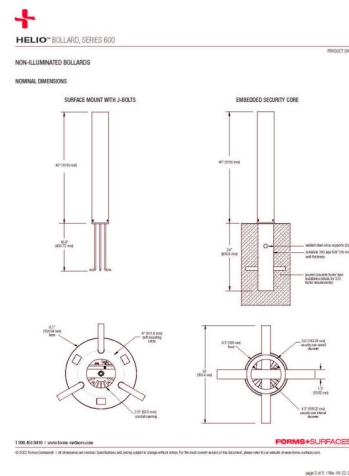

HELIO™ BOLLARD, SERIES 600

PRODUCT DATA



FORMS+SURFACES®

FIXTURE TYPE A & L



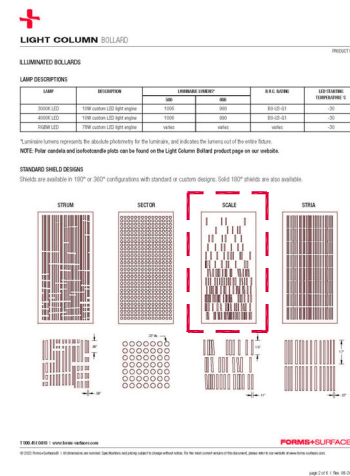
LIGHT COLUMN BOLLARD

PRODUCT DATA



FORMS+SURFACES®

FIXTURE TYPE B



KUBE BOLLARD

Type: _____ SPECIFICATION SHEET
Project: _____ Page: 1 of 4



Collection of bollards for commercial and institutional application, the KUBE is an object of urban design that can be integrated into any context and is particularly suitable for paths, parks and landscape areas. Exceptional European build quality with high corrosion resistant finish. Robust marine grade die-cast aluminum construction, with stainless steel fasteners and factory sealed glass diffuser.

Luminaire characteristics:

Power input: 45W
Lumens: 1100lm to 1425 lm (for 3000K, 90CRI)
Luminaire efficacy: Up to 31lm/W

Source: White LED (LM-80 tested)
 2700K: 90CRI,
 3000K: 90CRI,
 4000K: 90CRI

Lumen maintenance: 80% of initial lumens at 70 000 hours (L80)(LM-T9)

Optics: Accent light

Material: Body: Die-cast and extruded aluminum
 Diffuser: Toughened glass
 Hardware: Stainless steel screws and silicone gaskets

Mounting: Install with flange accessory or fasten to ground

Electrical: High efficiency electronic LED driver, rated 50 000 hours, 120V-277V

Dimming: 0-10V (120-277V), down to 15%

Finish: White or aluminum gray painted finish, following a double powder paint in 3 step process: surface treatment containing ceramic nano particles (Bondite). Epoxy primer paint. Polyester powder paint with high resistance against UV rays and harsh weather conditions.

Weight: S6340 13.09lbs (5.94 kg)
 S6346 19.58lbs (8.42 kg)
 S6347 43.60lbs (19.78 kg)

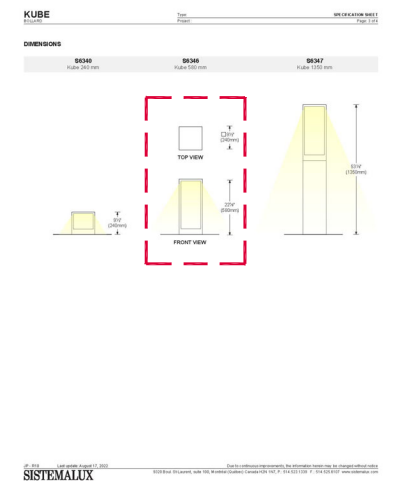
Warranty: 5 year limited warranty.

Ratings: IP54, IK06

Certification: cULus listed for wet location

JP - R10 Last update: August 17, 2022 Due to continuous improvements, the information herein may be changed without notice
SISTEMALUX 9320 Boul. St-Laurent, suite 100, Montreal (Quebec) Canada H2N 1N7, P. : 514.523.1339 F. : 514.525.6107 www.sistemalux.com

FIXTURE TYPE C



WALKER

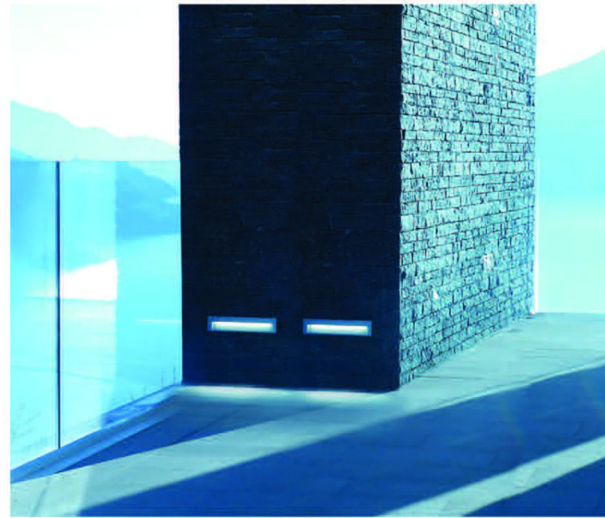
CONSTRUCTION
 Die-cast aluminum housing (copper free) with high corrosion resistance
 Stainless steel fasteners
 Tempered glass diffuser
 Silicone gaskets

FINISH SYSTEM
 Double powder paint in 3 step process:
 • surface treatment containing ceramic nano particles (Bonderite)
 • epoxy primer paint
 • polyester powder paint with high resistance against UV rays and harsh weather conditions

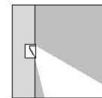
IP65

 Supplied with LM80 tested LEDs
 L70>50,000 hours

COLORS
 White (code 01)
 Aluminum grey (code 14)

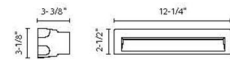


WALKER
 Wall recessed



CODE	W	LUMENS	KELVIN
S.6320W	12.5W	346 lm	3000K

Also available in 4000K



48

SISTEMALUX

FIXTURE TYPE D

Project	Catalog #	Type
Prepared by	Notes	Date



Lumière
EON 303-A1-LEDB1

Accent
 Ground Mount

Typical Applications
 • Hospitality • Commercial Landscape • Outdoor Area/Site • Residential
 • Architectural

Interactive Menu
 • Order Information page 2
 • Product Specifications page 2
 • Lumen Maintenance page 3
 • Product Warranty

Product Certification

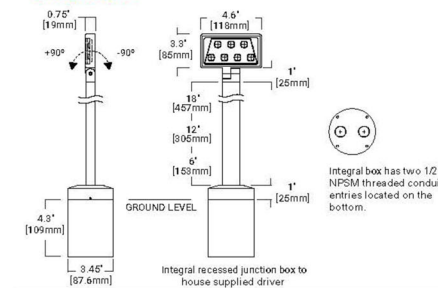


Product Features



- Top Product Features**
- 180° x 360° Adjustable
 - 2700K, 3000K, 3500K or 4000K Color Temperature and Amber (585-595nm)
 - Forward/Lateral Throw or Flood Optics with diffuse glass sealed lens
 - Patented AccuLED Optics™ System
 - Universal Input LED Driver Included (120 - 277V, 50/60 Hz)
 - ELV or 0-10 Dimming

Dimensions



TECHNICAL DATA
 50°C Maximum Temperature Rating
 External Supply Wiring 90°C Minimum

COOPER
 Lighting Solutions

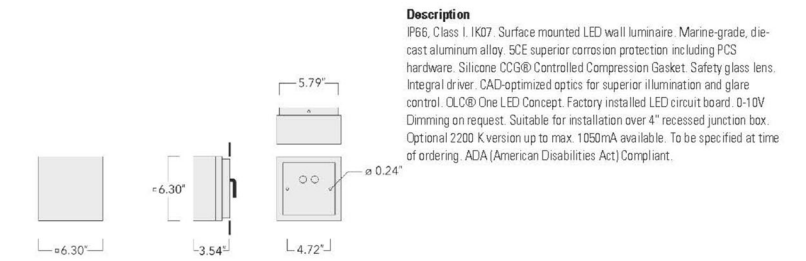
PSS26022EN page 1
 April 22, 2020 2:31 PM

FIXTURE TYPE E

QLS410 LED
 Surface Mounted Wall Luminaires



1/8



WE-EF LIGHTING USA LLC
 Spec Support Hotline: +1 412 783 0949 | 410-D Keystone Drive | Warrandale PA 15088 U.S.A. | Tel +1 724 742 0030 | info.usa@we-ef.com | www.we-ef.com | 02-11-2022 18:07
 Technical modifications and errors excepted

FIXTURE TYPE F

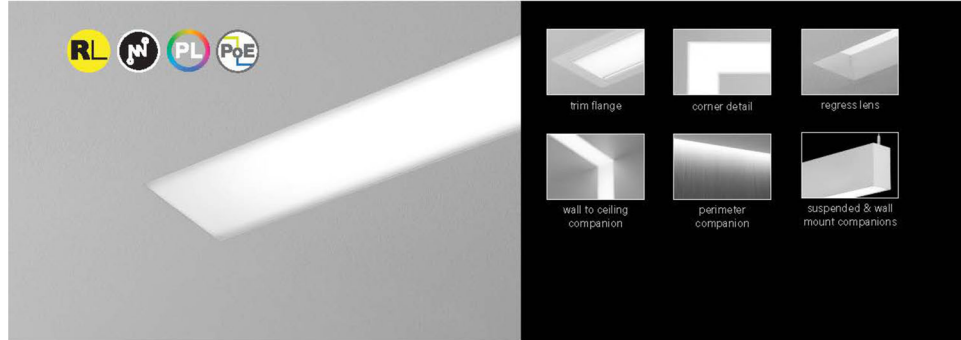
SPIRIT HOTEL

CHESTERFIELD,
 21.051

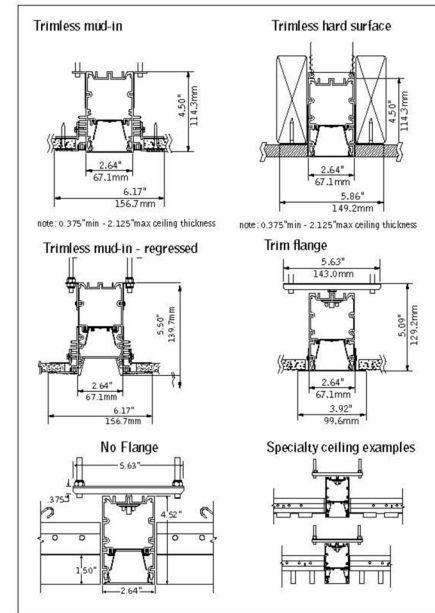
4 of 6

MISSOURI
 11.04.2022

Seem® 2 Drywall/Hard/Specialty Ceiling LED



DIMENSIONAL DATA



FEATURES

Narrow extruded aluminum 2.5° aperture recessed slot LED. Integrates with ceiling or wall in a variety of mounting styles for a clean, unobtrusive aesthetic. Individual units and continuous runs in 1" increments. Frosted acrylic lens provides uninterrupted illumination, without pixels or shadows. LED position and lens material optimized to provide the perfect blend of high performance and visual comfort. Connected Solutions: Integrates with wired and wireless building lighting control systems. Preferred Light: Lighting for better color rendition and human preference. PoE compatible: Integrates with Power over Ethernet lighting systems via standard, low-voltage wires.

PERFORMANCE

4" Flush Lens
Nominal output: 260 Lumens per foot
Delivered Lumens: 1000lm
Total System Watts: 16W

PRODUCT OVERVIEW	
Lumen Output:	500-2600lm
Wattage:	7-43W
LPW:	71-89
SDCM:	3

Photometric performance is measured in accordance with IESNA LM-79. Visit focalpointlights.com for complete photometric data.

A brand of **Legend** | Focal Point LLC | 4141 S Pulaski Rd, Chicago, IL 60632 | 773.247.9494 | focalpointlights.com | September 2022 F

FIXTURE TYPE G & J

Project	Catalog #	Type
Prepared by	Notes	Date



HALO ML4 Canless Downlighting System

A LED fixture fitting with remote driver suitable for direct mount without a housing or junction box can be used with round and square open lens and lens wall wash trims providing various downlight and wall wash distributions.

Typical Applications
Residential • Hospitality • Retail

Interactive Menu

- Order Information page 2
- Product Specifications page 3
- Energy Data page 3
- Photometric Data page 4
- Product Warranty
- Dimming Guide

Product Certification



Refer to ENERGY STAR Certified Products List. Click the link to view the requirements. The ENERGY STAR requirements. Certified to California Appliance Efficiency Database under 20A.

Product Features



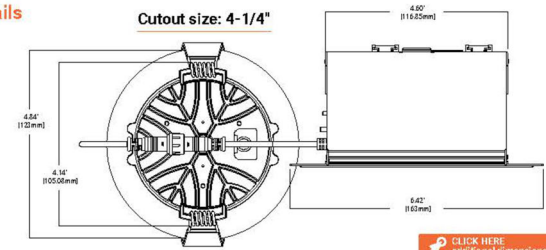
Top Product Features

- Field selectable 2700, 3000, 3500, 4000 or 5000K CCT, 90 CRI minimum
- Optional full spectrum color, 95 CRI minimum
- Optional warm dimming, field selectable 2700 – 1800 or 3000 – 1800K CCT ranges
- Field selectable 600, 800 or 1000 lumens
- Field interchangeable 25°, 40°, 55° or wall wash distribution patterns, ships with 40 degree installed
- Installs from below, does not require a recessed housing or junction box
- Remote driver / junction box
- 120V LE/TE phase cut or 120-277V 0-10V dimming to 5% with select controls

Dimensional and Mounting Details



Cutout size: 4-1/4"



[CLICK HERE](#) additional dimensions



PSS1828222 page 1
September 23, 2022 4:30 PM

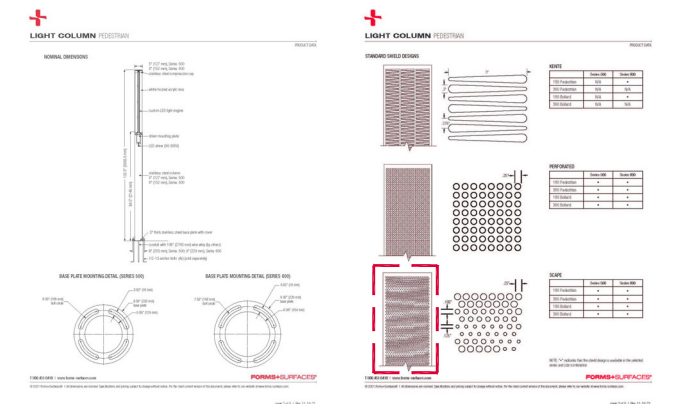
FIXTURE TYPE H



LIGHT COLUMN PEDESTRIAN



FIXTURE TYPE K NOT USED



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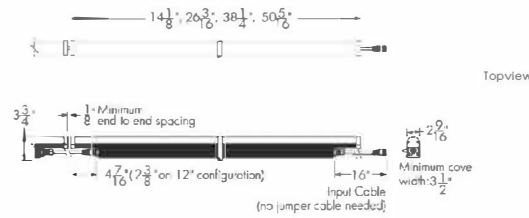
5 of 6

MISSOURI
11.04.2022

Specification Sheet

lumencove
Lumencove XT Direct View
LXTD
WHITE AND STATIC COLORS

Project Name _____ Qty _____
Type _____ Catalog / Part Number _____



Front and side views

Optic



Colors and Color Temperatures



Controls



Rating

IP66

Certifications



Description

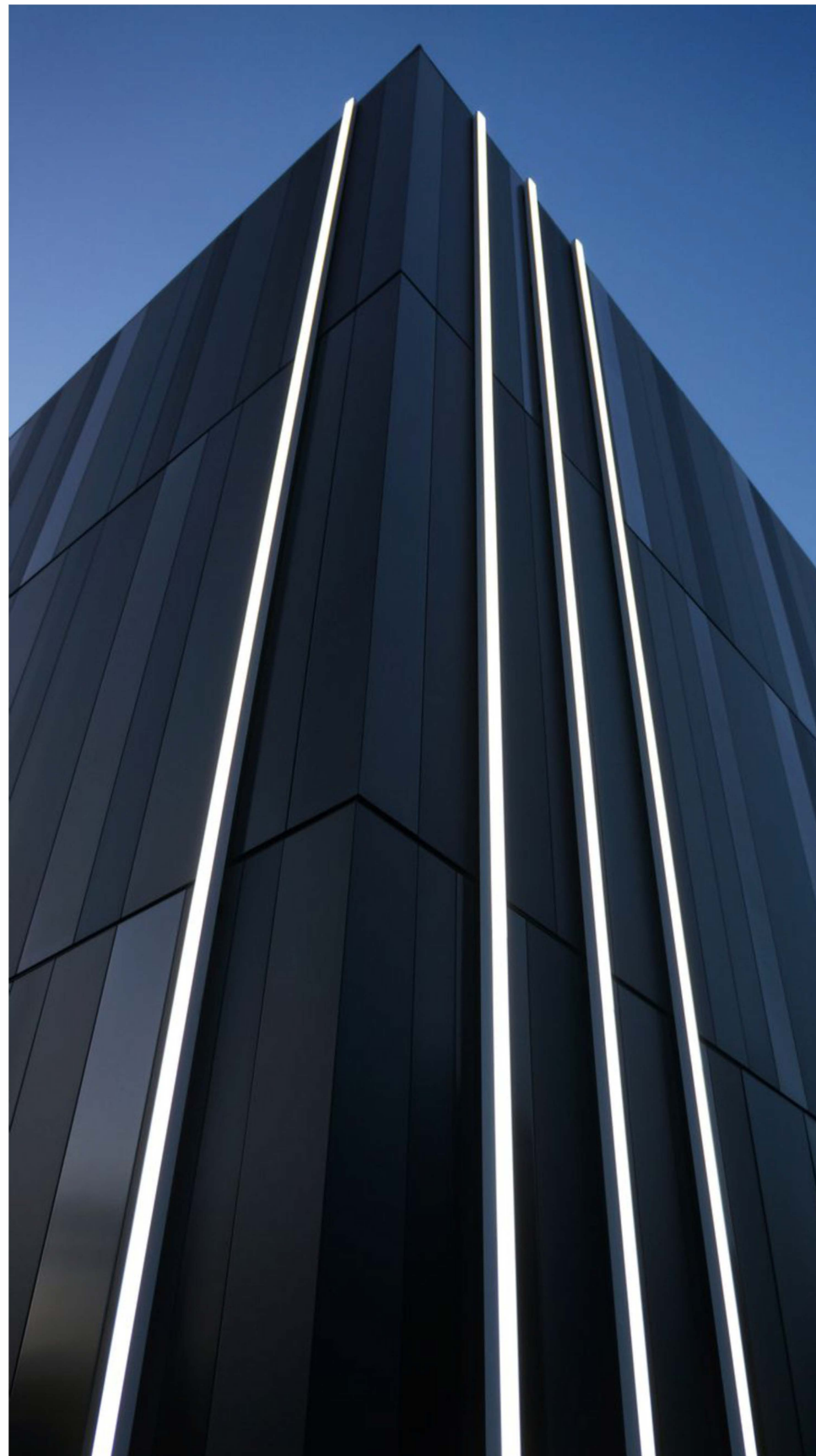
The Lumencove XT Direct View is a system of direct view linear LED luminaires for media façades and delineation of large-scale structures such as bridges and towers. IP66-rated for sustained outdoor use, Lumencove XT Direct View luminaires can be arranged in patterns or in long continuous lines of light. A domed acrylic diffuser lens produces perfectly uniform and saturated light that can be controlled with up to 12 in resolution for dynamic shows and monochrome video effects. The luminaire is available in 12 in, 24 in, 36 in and 48 in sections, with a choice of color temperatures, controls, finishes and mounting options.

Features

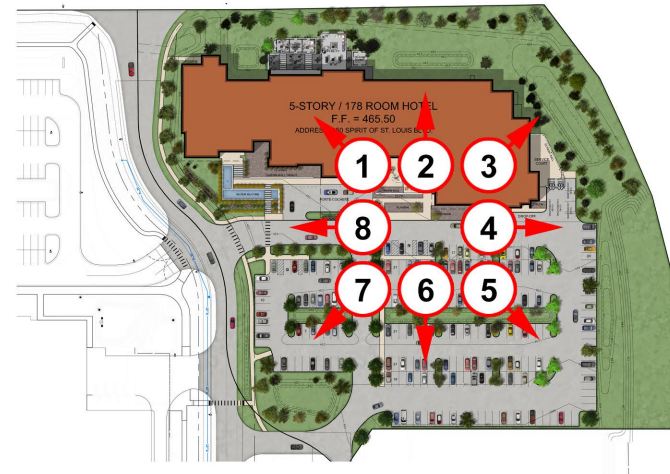
Color and Color Temperature	2200K, 2700K, 3000K, 3500K, 4000K, Red, Green, Blue
Length (nominal)	12 in, 24 in, 36 in, 48 in
Optics	Direct view
Options	Corrosion-resistant coating for hostile environments, 3G ANSI C136.31-2010 Vibration Rating for bridge applications, CE (certification covers European Economic Area), Clear end caps
Power Consumption	5 W/ft
Warranty	5-year limited warranty
Performance	
Maximum Delivered Output	850 lm (4000K, 48 in fixture)
Color Consistency	2 SDCM
Color Rendering	Minimum CRI 80
Lumen Maintenance	L70 126,000 hrs (Ta 25 °C and Ta 40 °C), L95 19,000 hrs (Ta 25 °C and Ta 40 °C)
Physical	
Housing Material	Low copper content extruded aluminum

lumenpulse 1228 Mate-Victoria Blvd., Longueuil, QC, J4G 2M9, CA info@lumenpulse.com www.lumenpulse.com United States 617.307.5700 | Canada 1.877.937.3003 | 514.937.3003 www.lumenpulse.com/products/2514
LMPG Inc. reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately. 2022.07.29 copyright © 2022 LMPG Inc. EM - R14

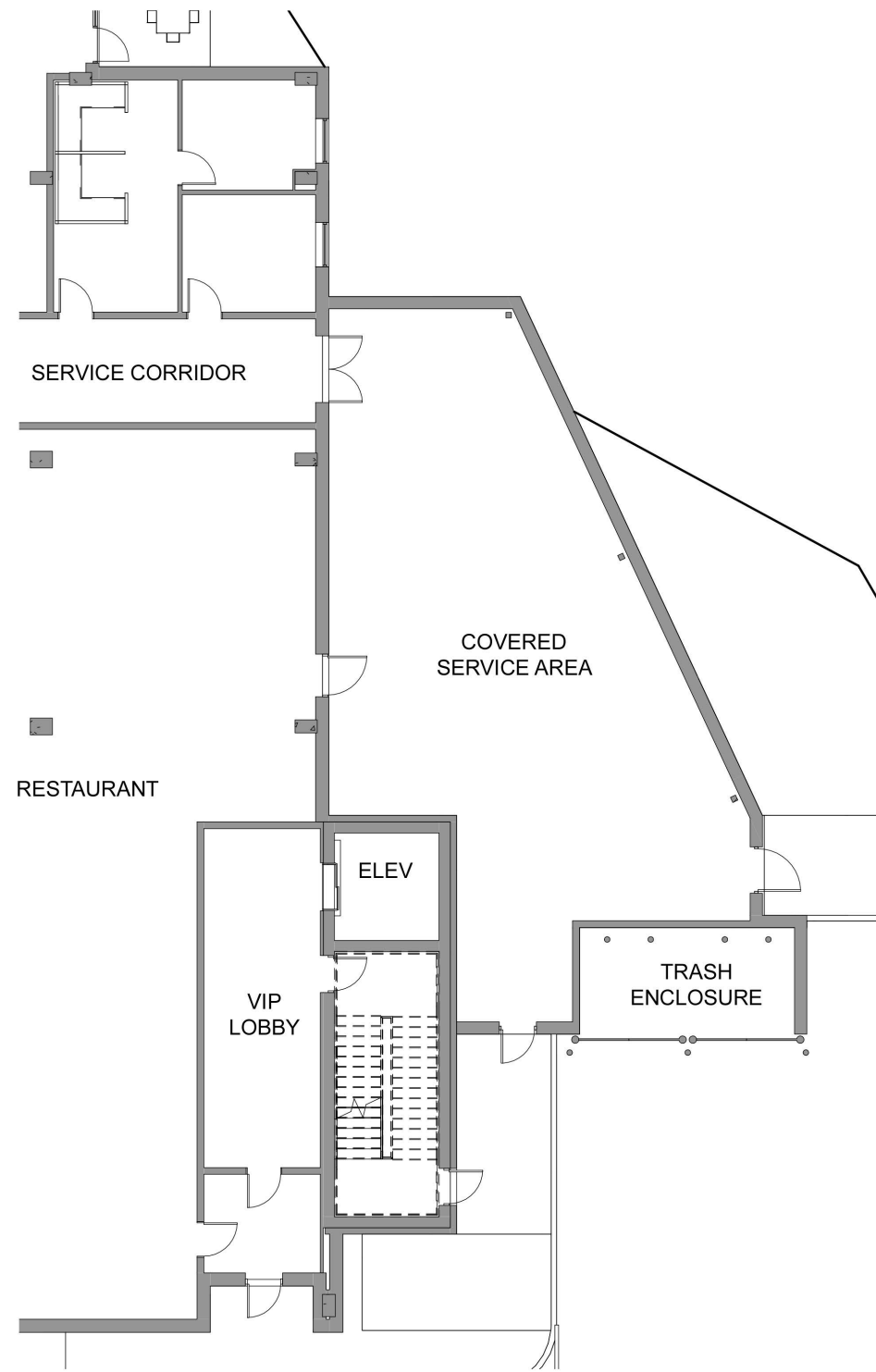
FIXTURE TYPE M



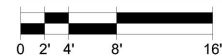
SPiRiT HOTEL



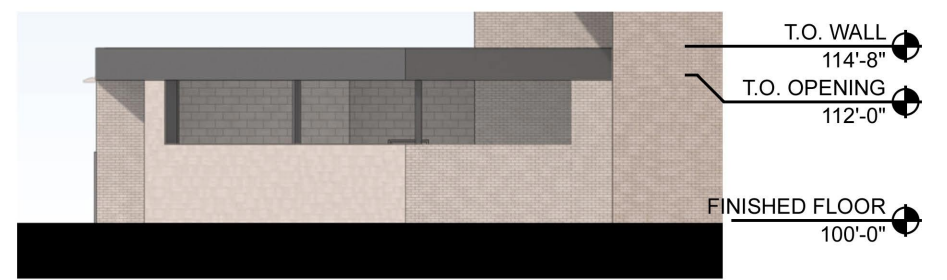
SPIRIT HOTEL



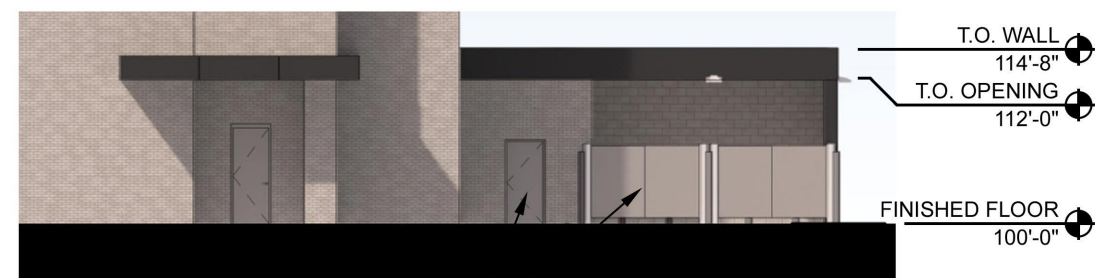
TRASH ENCLOSURE PLAN



NORTH ELEVATION



WEST ELEVATION



PAINT DOORS
TO MATCH BRICK

EAST ELEVATION

TRASH ENCLOSURE ELEVATIONS



SPIRIT HOTEL