



690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
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Architectural Review Board Staff Report

Meeting Date: December 8, 2022

From: Alyssa Ahner, Planner

Location: 17017 N. Outer 40 Road

Description: The District (ASDP): An Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design located on a 48.15-acre tract of land located north of N. Outer 40 Road and east of Boone's Crossing, zoned "PC" – Planned Commercial.

PROPOSAL SUMMARY

DLR Group Inc., on behalf of Aimwell Development, has submitted an Amended Site Development Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations, and Architect's Statement of Design for a proposed recreational facility/restaurant at the development referred to as The District.



Figure 1: Subject Site

CHANGES SINCE NOVEMBER ARCHITECTURAL REVIEW BOARD

This will be the second time Architectural Review Board will be reviewing this project. The applicant requested to hold the project after hearing concerns at the November 10th, 2022 meeting. The staff report for the November 10th meeting has the full details regarding the project and is attached for reference. This report details the changes that have been made since the last meeting.

Since the last time the project was reviewed, the applicant has made changes to materials on all elevations. The south elevation (facing I-64) of the main building was predominantly wood composite paneling. The wood composite paneling has been removed and replaced with a glass curtain wall. The west elevation of the main building, which also previously utilized the wood composite paneling, is now wood shingles. The wood shingles are also utilized on bands of the domed structures and the north elevation of the main building (facing the Levee trail).

The accessory building, seen attached to the east of the main building, was predominantly painted plaster. The applicant has chosen to utilize a variety of materials and the building now features painted plaster in addition to wood composite paneling, stone (split limestone) wainscot in summit grey, and stone (split limestone) veneer in white. The complete material ID can be found in the applicant's updated packet.

One of the concerns expressed at the previous meeting was that the development felt disconnected or not cohesive with the remainder of The District. The applicant stated they explored making modifications to the proposed gable roof to accommodate a more cohesive feel, however, the gable roof and the structural components associated with it are ideal for the intended use of the building. The updated south elevation (facing I-64) and the previously reviewed south elevation can be found below. The other three updated elevations can be found in the applicant's updated packet.

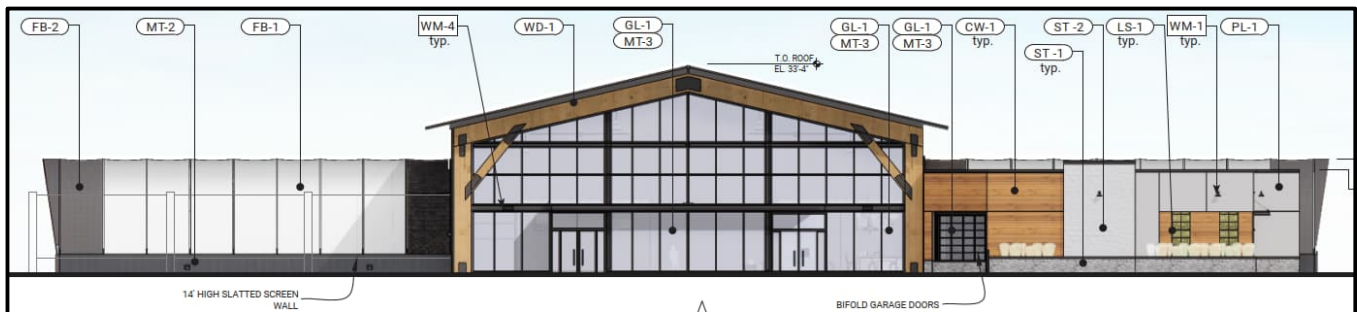


Figure 2: Updated South Elevation

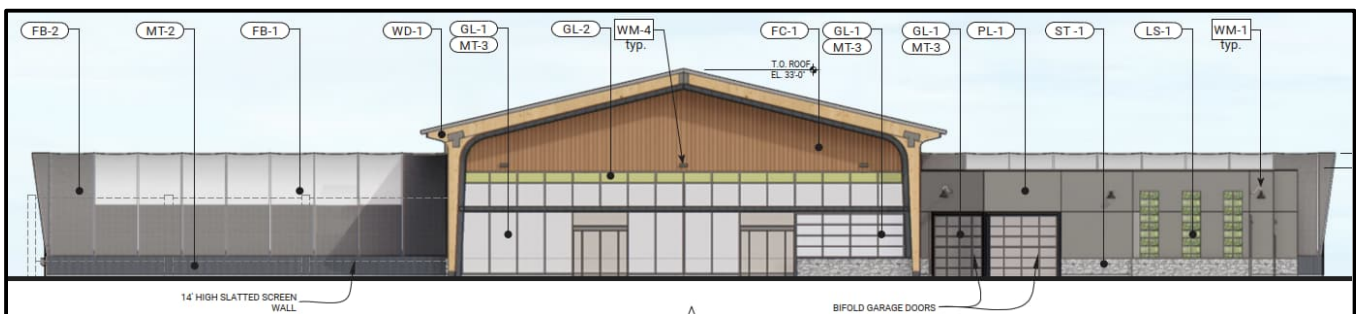


Figure 3: Previously Reviewed South Elevation

UPDATED RENDERING



PREVIOUSLY REVIEWED RENDERING



DEPARTMENT INPUT

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the Architectural Review Board will be included in Staff's report to the Planning Commission.

Staff requests review on the Amended Site Development Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations, and Architect's Statement of Design for The District (ASDP).

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations, and Architect's Statement of Design for The District (ASDP), as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations, and Architect's Statement of Design for The District (ASDP) to the Planning Commission with a recommendation for approval with the following conditions..."

Attachments:

1. Architectural Review Packet Submittal
2. November ARB Staff Report

REAL DILL®



CHESTERFIELD

17033 N Outer 40 Rd, Chesterfield, MO 63005

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October 30, 2022

Alyssa Ahner
Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

Re: Real Dill Pickleball Club – Architectural Design Review Board Architect’s Statement of Design
DLR Group Project No.: 13-22115-01

Dear Alyssa,

Our team is excited to have the opportunity to present The Real Dill Pickleball Club at The District to the Architectural Design Review Board. We believe that this is an exciting project that will bring the fastest growing sport in the country to your community while blending seamlessly into the broader aspirations of The District development. The Real Dill combines a vintage industrial aesthetic with the traditional architecture of the existing context to create a unique design that reflects The District’s future development while also enhancing its current surroundings.

When a guest arrives to the facility, they will notice that the building is set back from the sidewalk and existing parking lot providing a front patio for outdoor gathering and games. This is intended to create a very inviting experience from the moment one steps onto the site. Landscaping and a modern architectural fence define the site’s perimeter, while simultaneously allowing for a visual link to the activities beyond. The landscaping is similar to the rest of the development to further enhance the continuity throughout The District. Access to the front door is provided via paved walkways from the existing sidewalks from both the front and the sides of the site to connect The Real Dill to the rest of The District development. Along with the outdoor patio there will be two recreational areas which include the option for two outdoor pickleball courts or a wiffleball field. There is also a trellis element with landscaping for covered outdoor seating. These recreational areas will be lit in the evening to provide the proper ISE standard lighting for fun and safe play without light spillage onto the adjacent properties.

Due to the existing conditions the site will be flat with minor sloping at the outdoor recreational areas and away from the building to facilitate proper drainage. No retaining walls shall be required.

The building itself is broken down into three volumes as a guest approaches the front door, avoiding a linear repetitive streetscape. A tall barn-like structure with a gabled roof and steel connections at the center of the facility with a lower more traditional box structure to the right for an industrial look, and a domed membrane fabric structures to the left. The central volume is the focal point and main entry to the facility, while the scale and materiality of the lower side structures, which will house the kitchen (box structure) and indoor courts (domed structure), serve as a visual connection to the adjacent existing buildings. Elements such as raised planters and natural stone wainscot along the base of the lower side buildings serve as a unifying datum that ties the central structure, domed courts, and kitchen building into one cohesive design. The use of composite wood paneling with metal accents on the central create a vintage industrial aesthetic that is being carried throughout The District. Additionally, the primary structure for the main building will be sustainably sourced cross laminated heavy timber construction to further accentuate the natural raw materials and neutral palate of the facility. This heavy timber structure will support the gabled roof which includes an overhang to indicate the building entrance while providing protection for guests. Glazing along the entire southern facade of the central structure creates sense of blurring between indoor and outdoor while providing with ample natural daylighting to the indoor spaces. The use of the fabric membrane on the domed side

buildings not only creates visual variation from the main central building, but also serves a similar purpose to the glass at the front entry by providing a consistent, but diffused natural light to the indoor courts which is ideal for indoor pickleball play. To further enhance the site landscaping the use of vertical trellises with ivy at the low side structures will tie the buildings back to the landscape and soften the site.

The mechanical units for the facility will be located on the low box structure with a raised parapet to screen the mechanical units from view from the grade. No exterior storage is anticipated for this site.

By using durable natural materials, exposed structures and industrial accents on all sides of the facility, Real Dill creates a high quality architectural moment within The District while complimenting the surroundings.

Sincerely,
DLR Group

Mark Giles
Principal





VIEW 1 - EXTERIOR RENDERING | 4





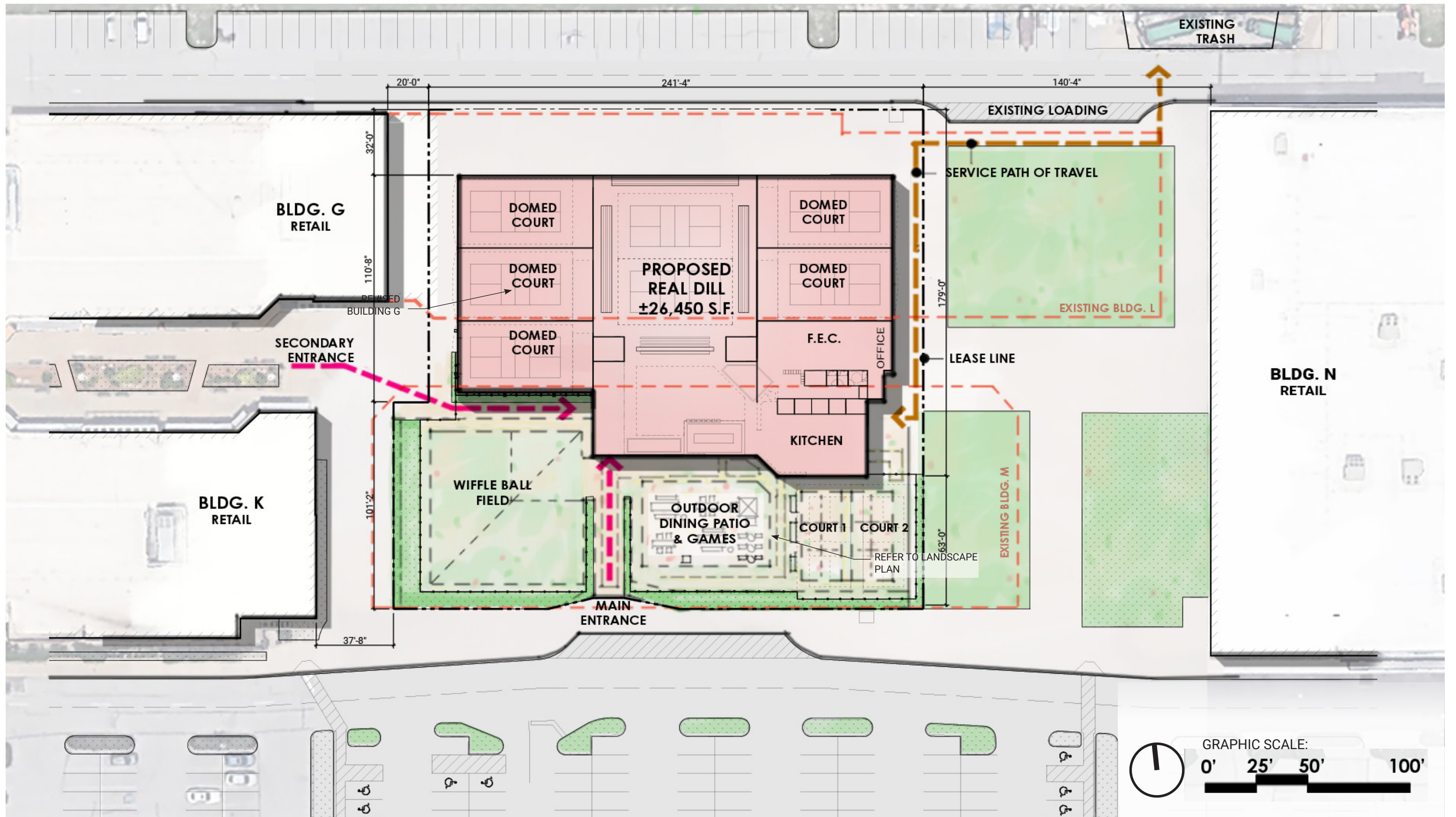
VIEW 2 - EXTERIOR RENDERING | 5





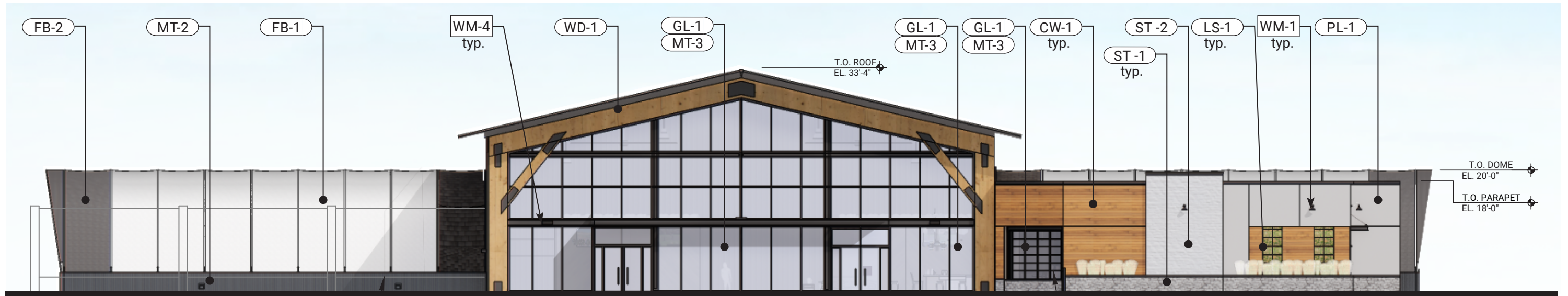
VIEW 3 - EXTERIOR RENDERING | 6





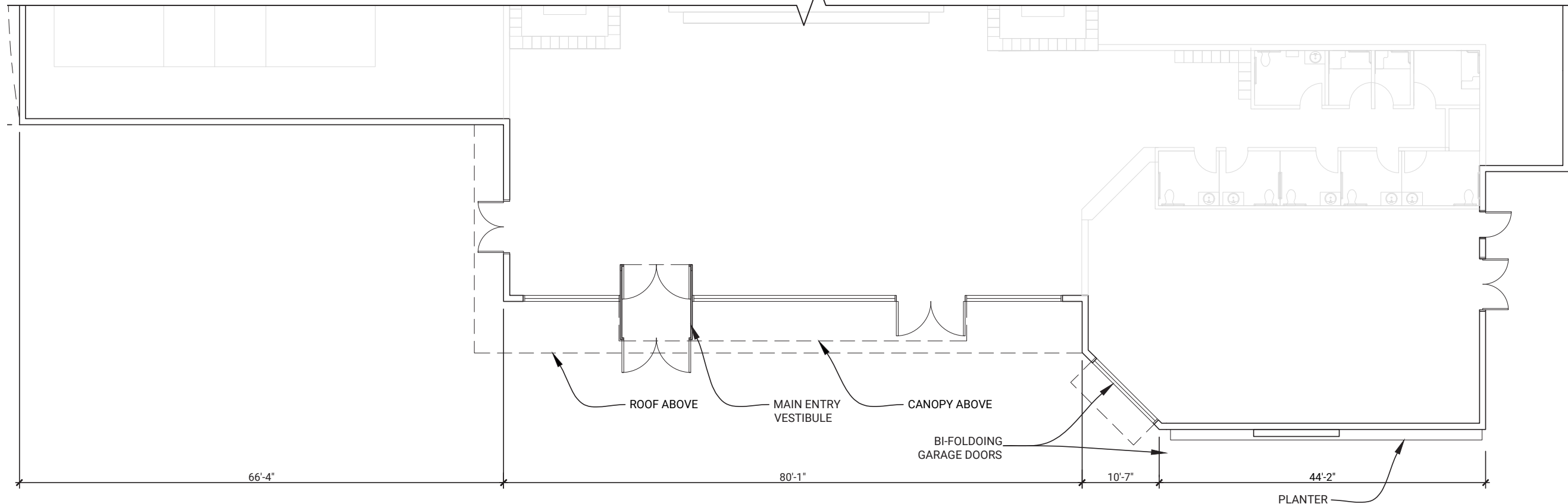
SITE PLAN





14' HIGH SLATTED SCREEN WALL

BIFOLD GARAGE DOORS



SOUTH ELEVATION (A) / PARTIAL PLAN scale: 1' = 1/16"

MATERIAL ID:

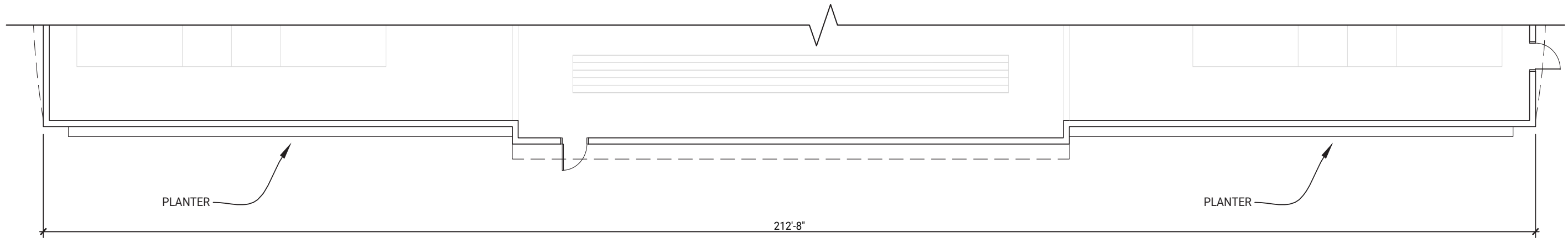
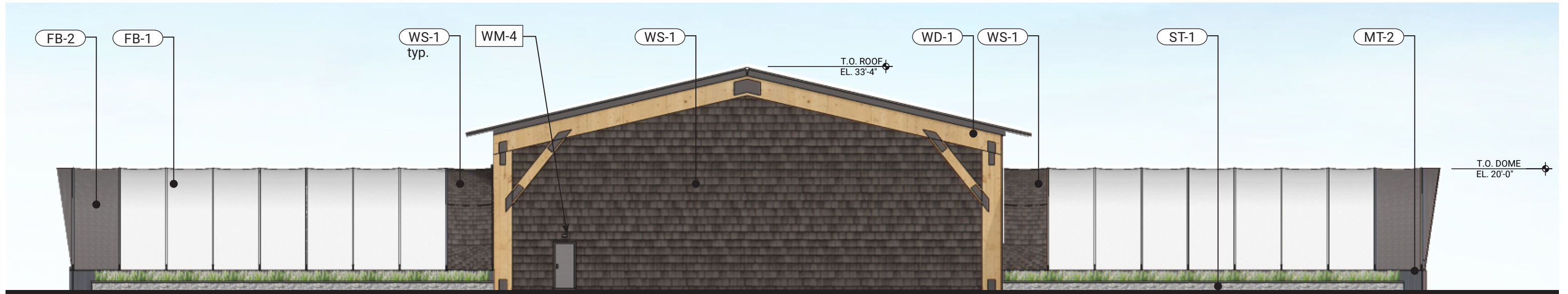
CW-1	COMPOSITE WOOD PANEL	WD-1	CROSS LAMINATED TIMBER
MT-1	METAL STANDING SEAM ROOF	LS-1	LANDSCAPE SCREEN
MT-2	CORRUGATED METAL SIDING	ST-1	STONE WAINSCOT
MT-3	ALUMINUM MULLIONS	ST-2	STONE VENEER
GL-1	CLEAR GLAZING	PL-1	PAINTED PLASTER
WS-1	WOOD SHINGLE	FB-1	TENSION FABRIC WHITE
		FB-2	TENSION FABRIC GREY

LIGHTING ID:

WM-1	WALL MOUNTED GOOSE NECK LAMP
WM-3	WALL MOUNTED EXTERIOR WALL PACK
WM-4	WALL MOUNTED EXTERIOR CUT-OFF WALL PACK

**refer to page 13 for material specifications
**refer to page 19 for lighting specifications*





NORTH ELEVATION (B) / PARTIAL PLAN scale: 1' = 1/16"

MATERIAL ID:

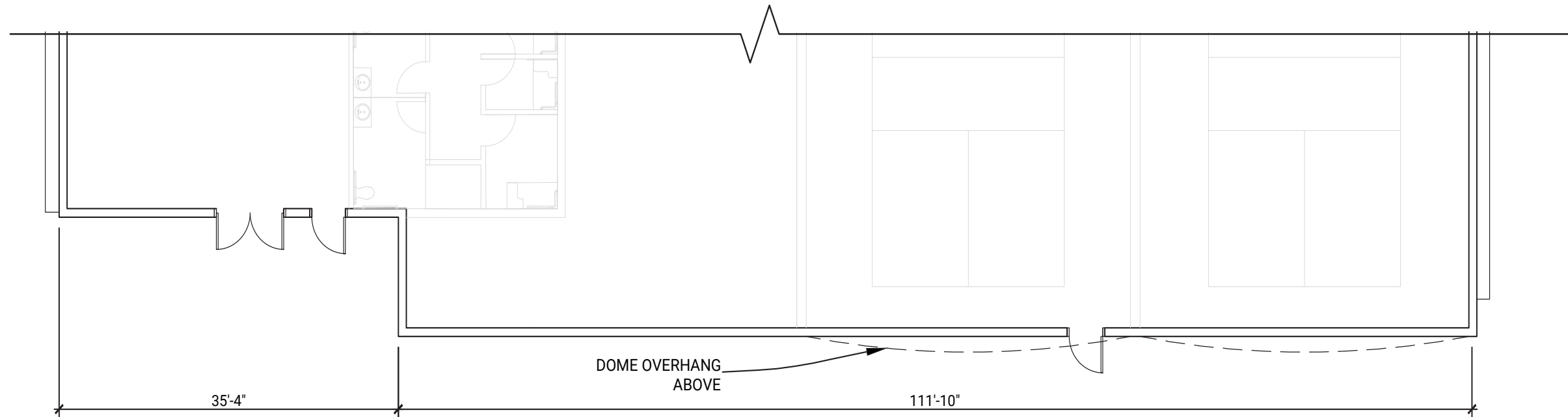
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MT-1	METAL STANDING SEAM ROOF	LS-1	LANDSCAPE SCREEN
MT-2	CORRUGATED METAL SIDING	ST-1	STONE WAINSCOT
MT-3	ALUMINUM MULLIONS	ST-2	STONE VENEER
GL-1	CLEAR GLAZING	PL-1	PAINTED PLASTER
WS-1	WOOD SHINGLE	FB-1	TENSION FABRIC WHITE
		FB-2	TENSION FABRIC GREY

LIGHTING ID:

WM-1	WALL MOUNTED GOOSE NECK LAMP
WM-3	WALL MOUNTED EXTERIOR WALL PACK
WM-4	WALL MOUNTED EXTERIOR CUT-OFFWALL PACK

**refer to page 13 for material specifications
**refer to page 19 for lighting specifications*





EAST ELEVATION (C) / PARTIAL PLAN scale: 1' = 1/16"

MATERIAL ID:

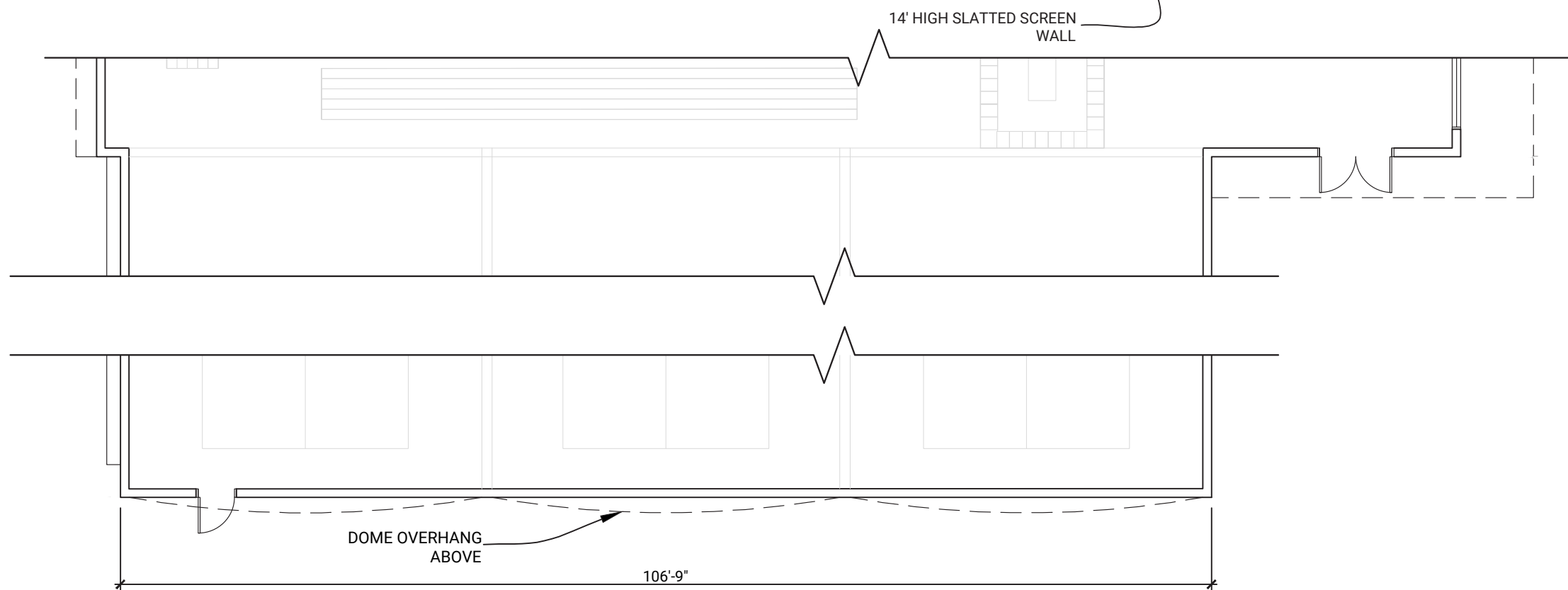
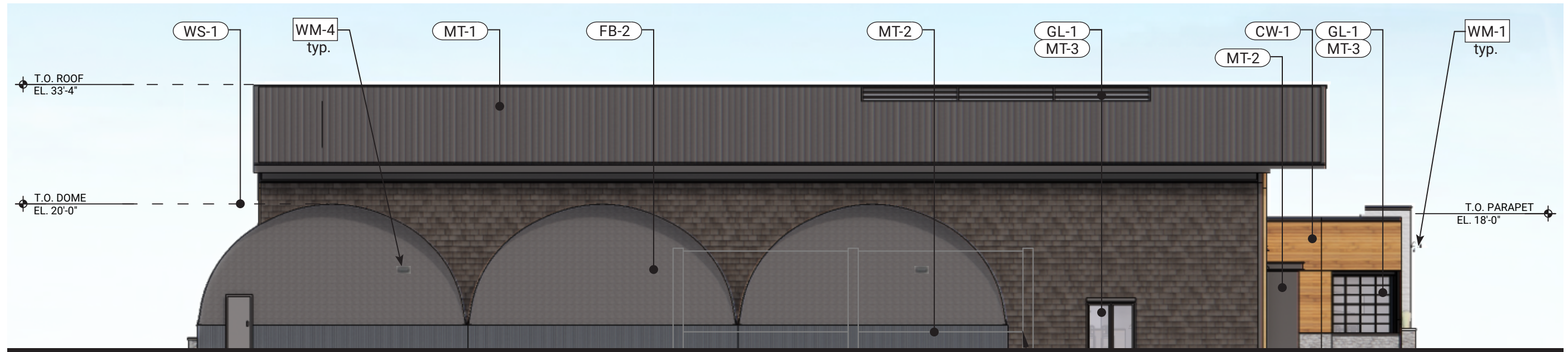
CW-1	COMPOSITE WOOD PANEL	WD-1	CROSS LAMINATED TIMBER
MT-1	METAL STANDING SEAM ROOF	LS-1	LANDSCAPE SCREEN
MT-2	CORRUGATED METAL SIDING	ST-1	STONE WAINSCOT
MT-3	ALUMINUM MULLIONS	ST-2	STONE VENEER
GL-1	CLEAR GLAZING	PL-1	PAINTED PLASTER
WS-1	WOOD SHINGLE	FB-1	TENSION FABRIC WHITE
		FB-2	TENSION FABRIC GREY

LIGHTING ID:

WM-1	WALL MOUNTED GOOSE NECK LAMP
WM-3	WALL MOUNTED EXTERIOR WALL PACK
WM-4	WALL MOUNTED EXTERIOR CUT-OFFWALL PACK

**refer to page 13 for material specifications
**refer to page 19 for lighting specifications*





WEST ELEVATION (D) / PARTIAL PLAN scale: 1' = 1/16"

MATERIAL ID:

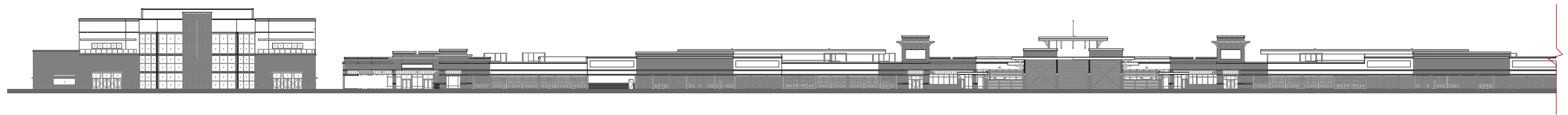
CW-1	COMPOSITE WOOD PANEL	WD-1	CROSS LAMINATED TIMBER
MT-1	METAL STANDING SEAM ROOF	LS-1	LANDSCAPE SCREEN
MT-2	CORRUGATED METAL SIDING	ST-1	STONE WAINSCOT
MT-3	ALUMINUM MULLIONS	ST-2	STONE VENEER
GL-1	CLEAR GLAZING	PL-1	PAINTED PLASTER
WS-1	WOOD SHINGLE	FB-1	TENSION FABRIC WHITE
		FB-2	TENSION FABRIC GREY

LIGHTING ID:

WM-1	WALL MOUNTED GOOSE NECK LAMP
WM-3	WALL MOUNTED EXTERIOR WALL PACK
WM-4	WALL MOUNTED EXTERIOR CUT-OFFWALL PACK

**refer to page 13 for material specifications
**refer to page 19 for lighting specifications*

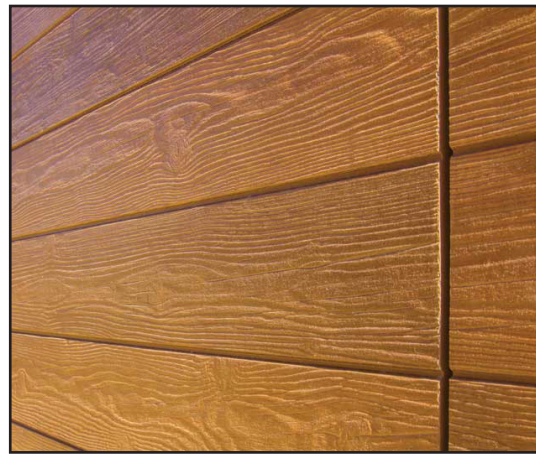




PROPOSED REAL DILL
ELEVATION

SOUTH ELEVATION scale: 1" = 80"

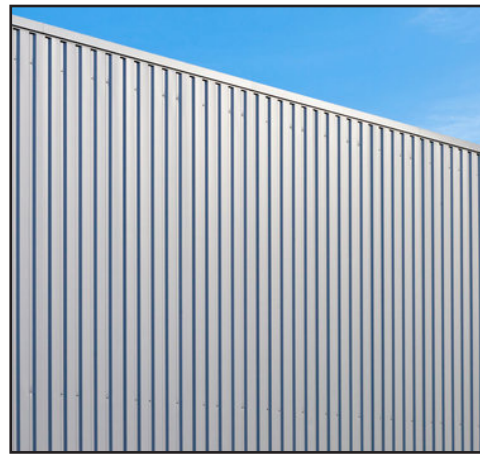




CW-1



MT-1



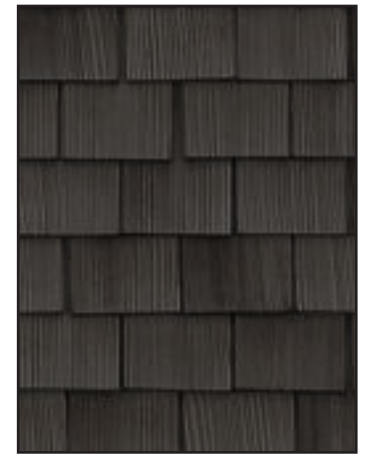
MT-2



MT-3



GL - 1



WS-1



WD-1



LS-1



PL-1



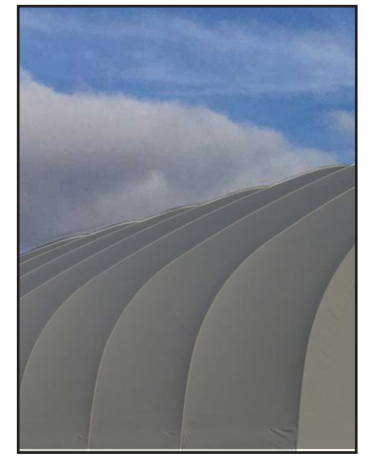
ST-1



ST-2



FB-1

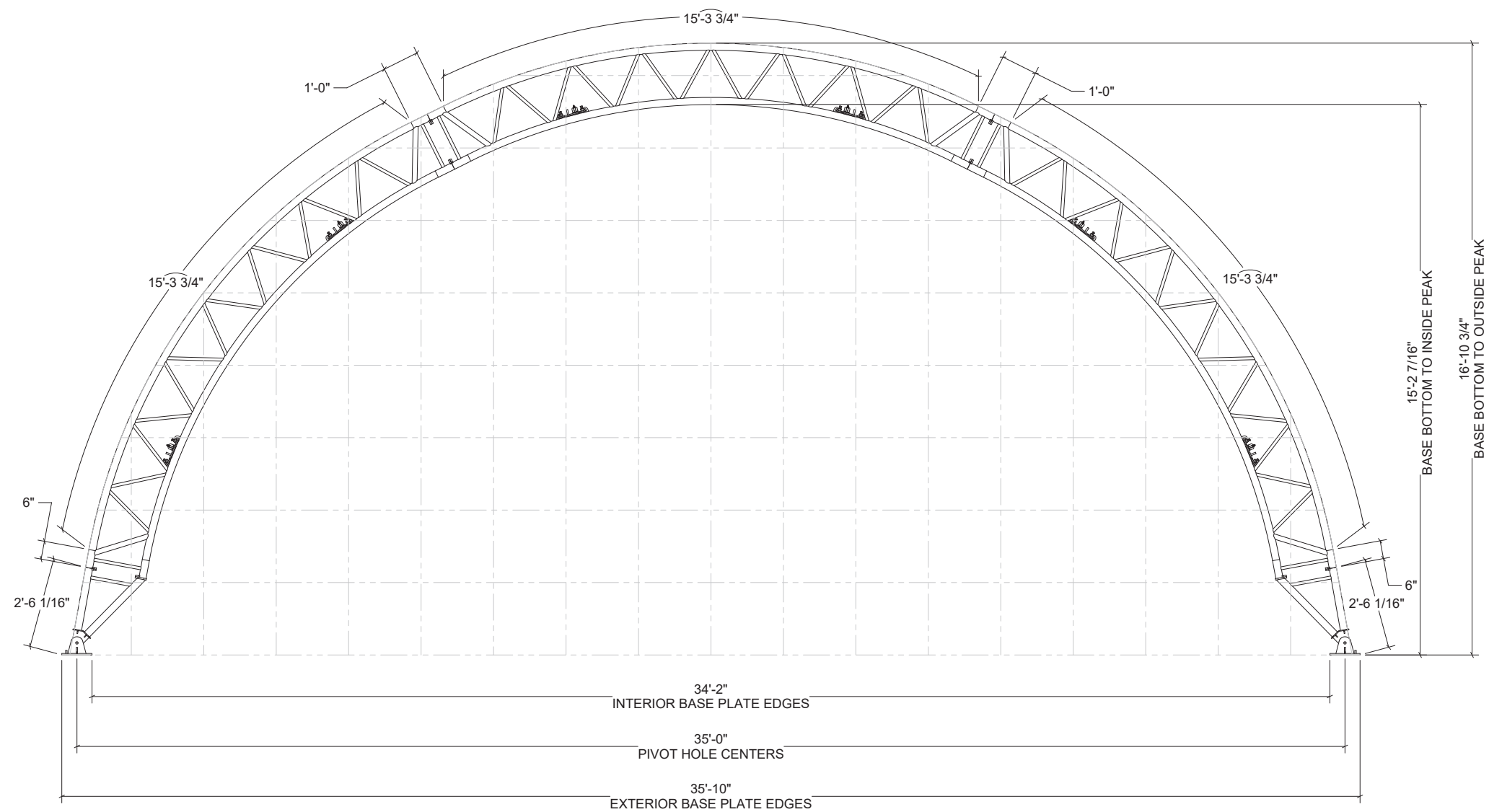


FB-2

MATERIAL SPECIFICATIONS:

TAG	MATERIAL ID	MANUFACTURER	FINISH
CW-1	composite wood panel	JamesHardie	Burma
MT-1	metal standing seam roof	ATAS	Anchor Grey
MT-2	corrugated metal siding	ATAS	Charcoal Grey
MT-3	aluminum mullions	Kawneer	anodized / black
GL-1	clear glazing	Vitro	clear
WS-1	wood shingles		
WD-1	cross laminated timber (CLT)	Structurecraft	natural
LS-1	landscape screen	GreenScreen	classic planter / bronze
PL-1	painted plaster	Benjamin Moore	smooth / HC-166 "Kendal Charcoal"
ST-1	stone wainscot	Coronado Stone	Split Limestone - Summit Grey
ST-2	stone veneer	Coronado Stone	Split Limestone -
FB-1	tension fabric	ClearSpan	white
FB-2	tension fabric	ClearSpan	grey



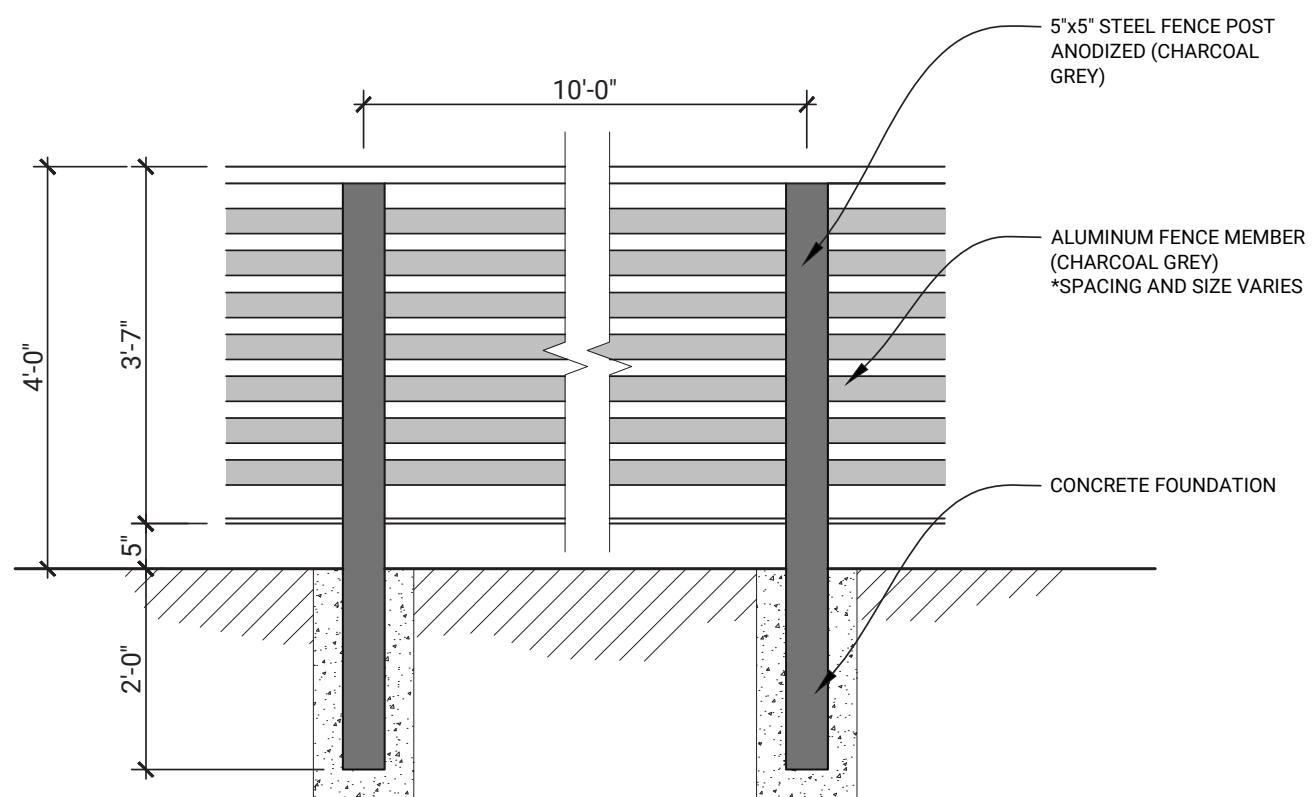


ARCH STRUCTURE - Front Profile Dimensions

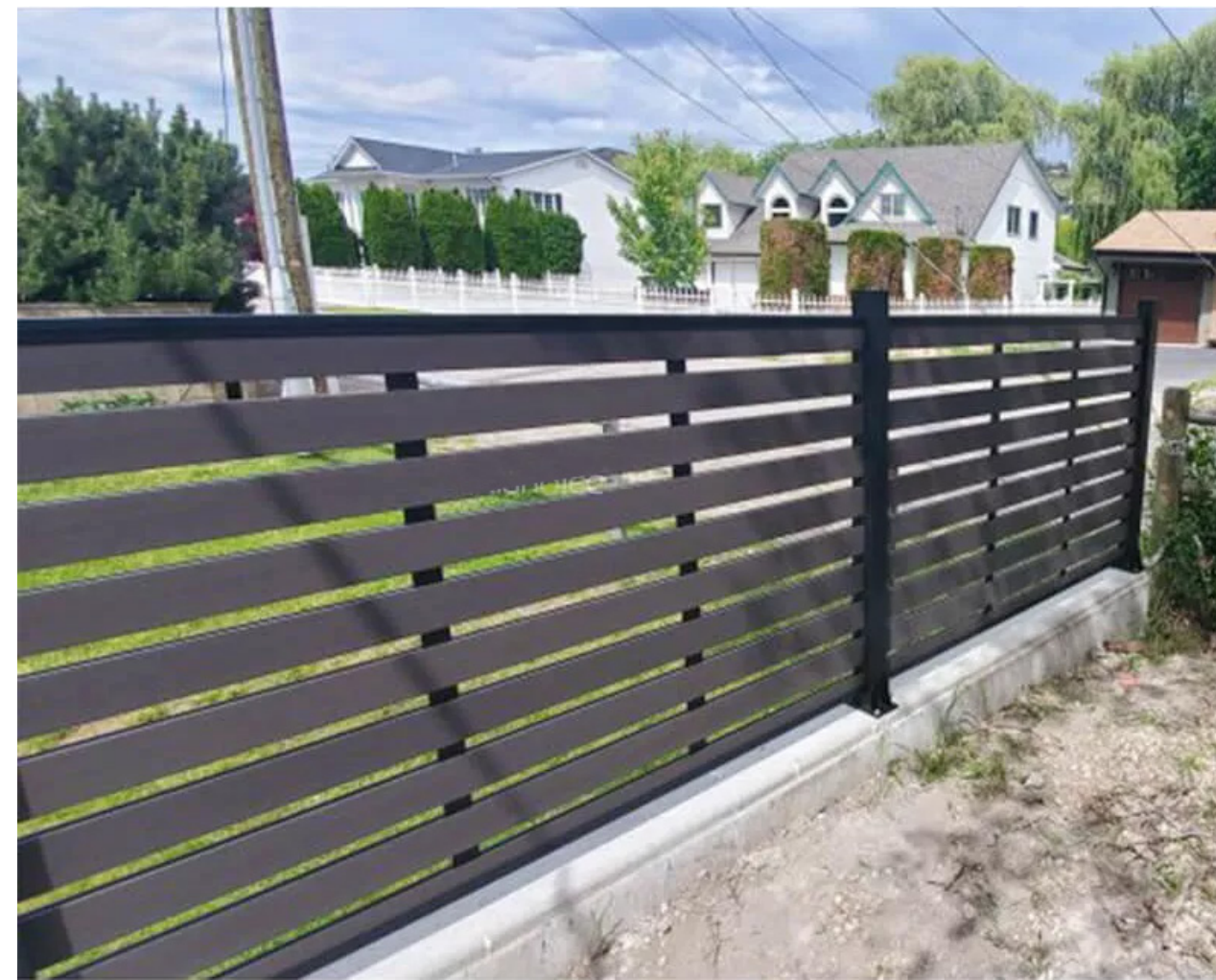


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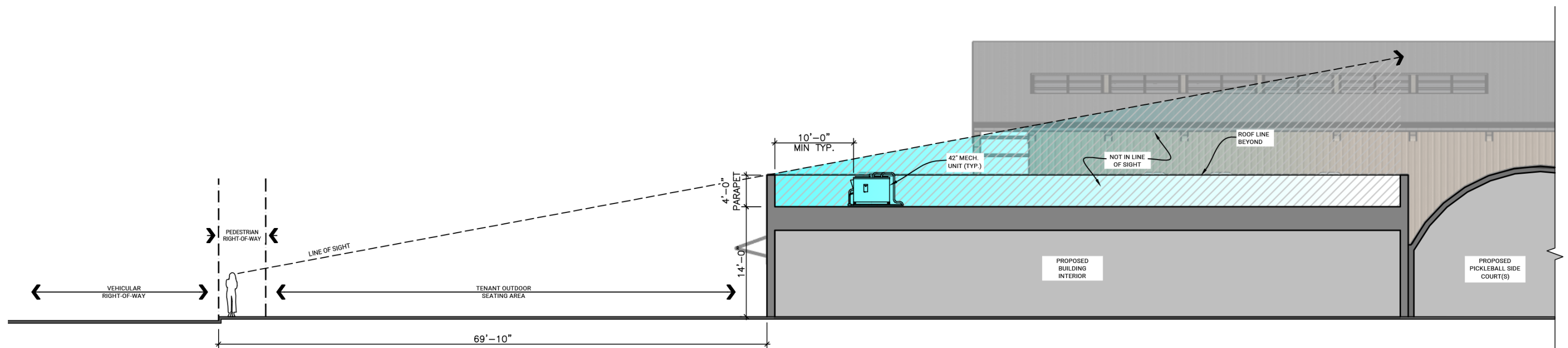


FENCE DEETAIL - scale @ 1/2" = 1'



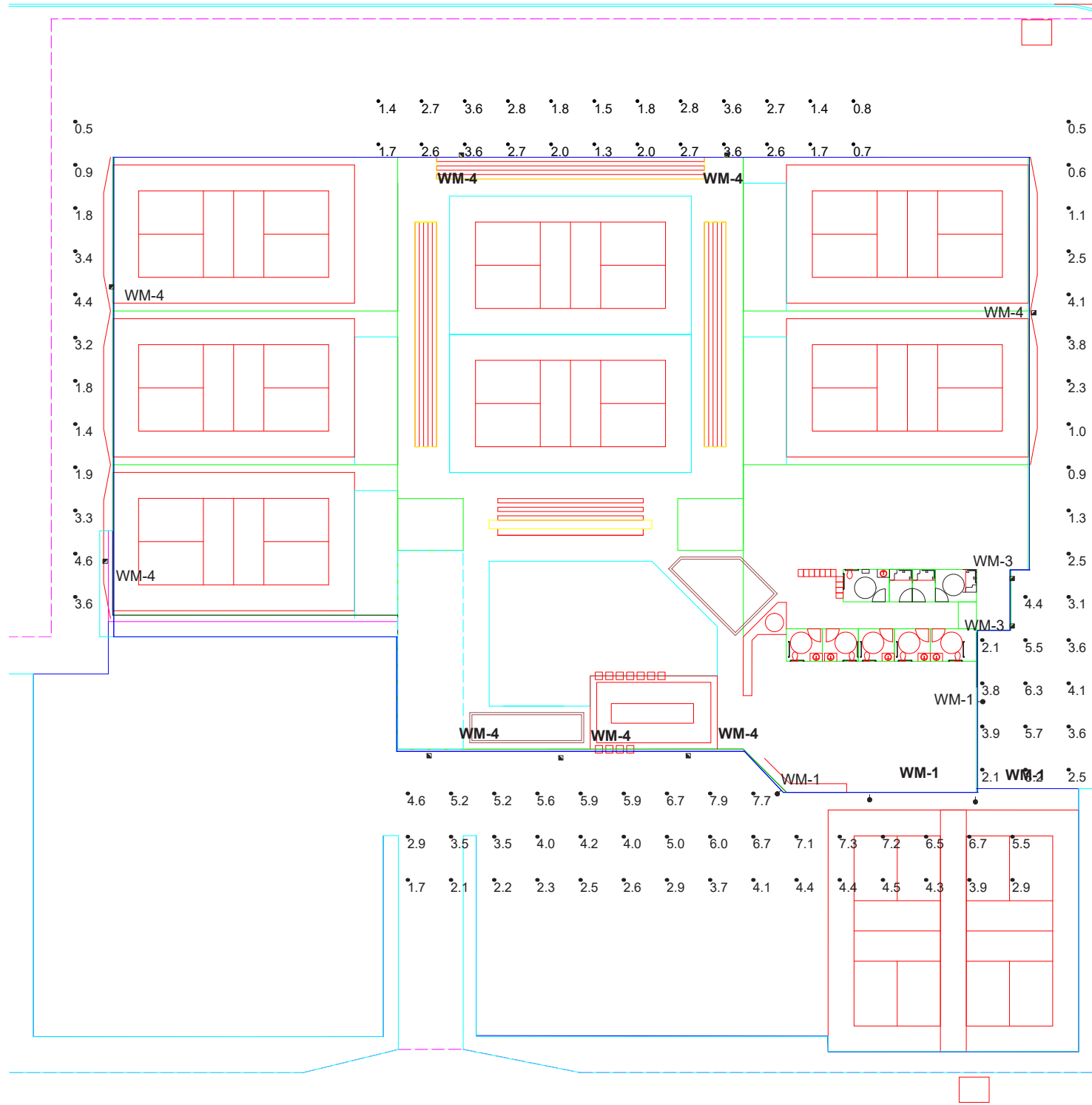
REFERENCE IMAGE





EAST ELEVATION / SECTION scale: n.t.s.



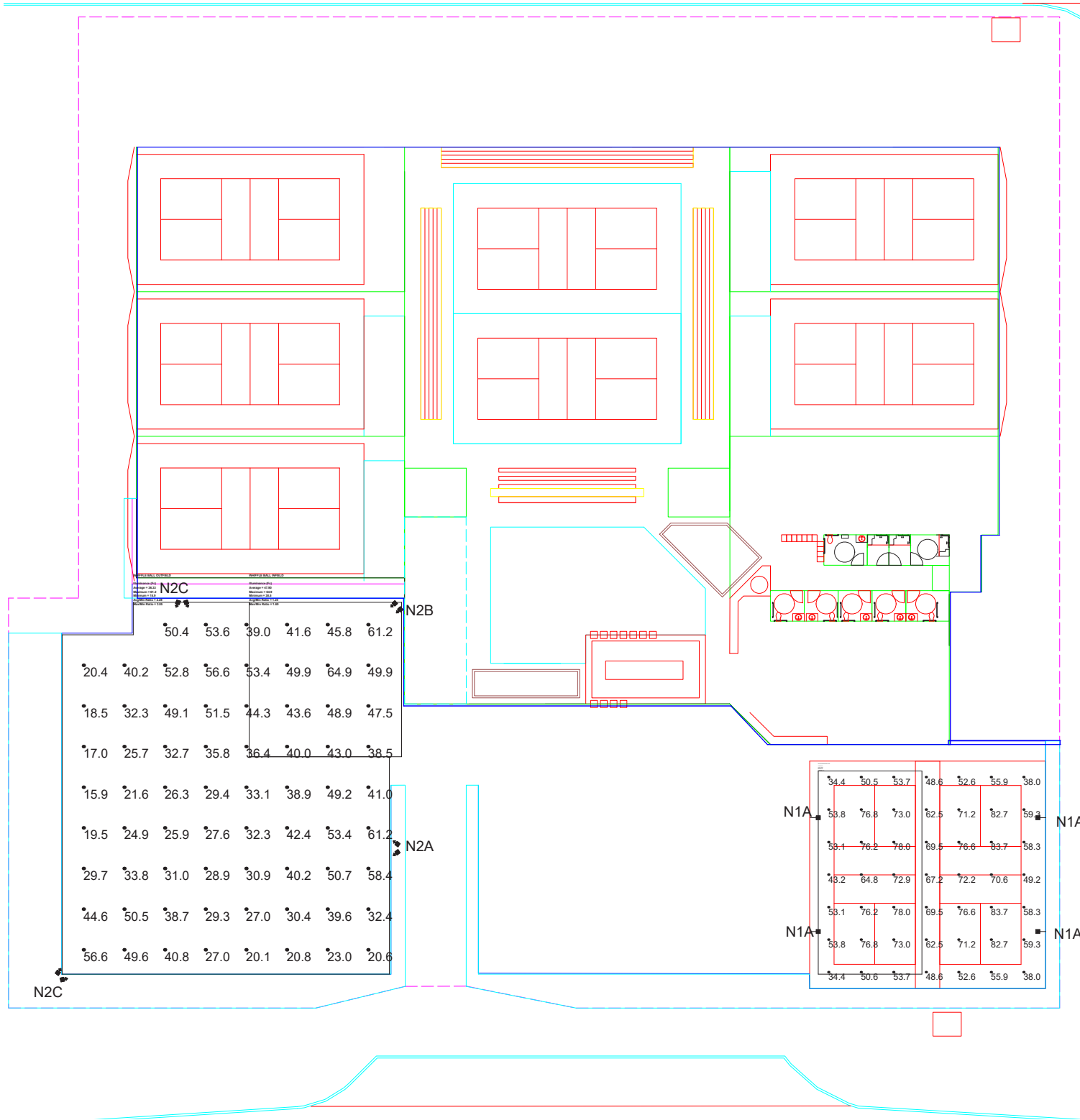


Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
	4	WM-1	SINGLE	1.000	CAL-S-T4-16L-1-30K-WM @ 14'	56
	2	WM-3	SINGLE	1.000	TWA-T4-16L-53-30K-WM @ 18'	28
	8	WM-4	SINGLE	1.000	TWA-T3-16L-1-30K-WM @ 21'	56

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BACK OF BUILDING	Illuminance	Fc	2.25	3.6	0.7	3.21	5.14
FRONT OF BUILDING	Illuminance	Fc	4.70	7.9	1.7	2.76	4.65
SIDE OF BUILDING	Illuminance	Fc	2.85	6.3	0.5	5.70	12.60

LIGHTING LAYOUT scale: 1/16" = 1' ⌚





Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
	4	N1A	SINGLE	1.000	VUE-3-TT-60-50K7-SINGLE @ 20' W/2' ARMS	609
	1	N2A	GROUP	1.000	VUE-3-TT-46-50K-FSS-TWIN CROSSARM @ 20' W/20 DEG TILT	N.A.
	1	N2B	GROUP	1.000	VUE-3-TT-46-50K-FSS-TWIN CROSSARM @ 20' W/20 DEG TILT	N.A.
	2	N2C	GROUP	1.000	VUE-3-TT-46-50K-FSS-TWIN CROSSARM @ 20' W/20 DEG TILT	N.A.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PICKLEBALL CALC POINTS	Illuminance	Fc	62.39	83.7	34.4	1.81	2.43
WHIFFLE BALL CALC POINTS	Illuminance	Fc	38.31	64.9	15.9	2.41	4.08
BOTTOM OUTDOOR PICKLEBALL COURT	Illuminance	Fc	60.95	78.0	34.4	1.77	2.27
WHIFFLE BALL INFIELD	Illuminance	Fc	47.90	64.9	38.5	1.24	1.69
WHIFFLE BALL OUTFIELD	Illuminance	Fc	36.33	61.2	15.9	2.28	3.85

LIGHTING LAYOUT scale: 1/16" = 1' ⌚



Luminaire Schedule (Issue: September 20th, 2022)		Real Dill - Chesterfield, MO					
Contact Gabe Halcovich with Commercial Lighting Industries, 800-755-0155 x214, GHalcovich@Commercial-Lighting.net for pricing							
Note: If Lighting is owner supplied, the subcontractor on site is responsible for receiving the material, notifying of any damages within 72 hours and signing for missing items as Incomplete if they did not arrive.							
Fixture Type	Description	Dimming Interface	Product Registration ID	Lamps, CCT, Lumen, Optics, CRI	Input Voltage	Fixture Wattage	Mounting, Finishes, Remarks & Other Notes
ARCHITECTURAL FIXTURE TYPES							
N1A	Single Pole Mounted Area Fixture w/ 2' Arm	0-10V	CLI-VUE-3-TT-60-50K7-DPS6-XXX-2'ARM	Integral LED, 5000K, 70035Lm, Tennis Optic, 70CRI	UNV	609	Pole Mounted @ 20'-0" AFG. Verify Finish.
N1B	Single Pole Mounted Area Fixture w/ 2' Arm	0-10V	CLI-VUE-2-TT-96L-1-50K7-UNV-DPS6-XXX-2' ARM	Integral LED, 5000K, 33180Lm, Tennis Optic, 70CRI	UNV	316	Pole Mounted @ 20'-0" AFG. Verify Finish.
N2A	Twin Pole Mounted Area Fixtures w/ 20° Tilt	0-10V	CLI-VUE-3-TT-46-50K7-DPS16-XXX-FSS-ICARD	Integral LED, 5000K, 51438Lm, Tennis Optic, 70CRI	UNV	464/head	Pole Mounted @ 23'-0" AFG. Verify Finish.
N2B	Twin Pole Mounted Area Fixtures w/ 20° Tilt	0-10V	CLI-VUE-3-TT-46-50K7-DPS16-XXX-FSS-ICARD	Integral LED, 5000K, 51438Lm, Tennis Optic, 70CRI	UNV	464/head	Pole Mounted @ 23'-0" AFG. Verify Finish.
N2C	Twin Pole Mounted Area Fixtures w/ 20° Tilt	0-10V	CLI-VUE-3-TT-46-50K7-DPS16-XXX-FSS-ICARD	Integral LED, 5000K, 51438Lm, Tennis Optic, 70CRI	UNV	464/head	Pole Mounted @ 23'-0" AFG. Verify Finish.
WM-1	Decorative Wall Mounted Area Fixture	0-10V	CLI-CAL-S-TPX-SX-T4-32L-7-30K7-UNV-WM-XXX	Integral LED, 3000K, 7384Lm, Type 4, 70CRI	UNV	71	Wall Mounted @ 14'-0" AFG. Verify Finish, Top & Shade.
WM-3	Wall Mounted Area Fixture	0-10V	CLI-TWA-T4-16L-53-30K7-UNV-WM-XXX	Integral LED, 3000K, 3527Lm, Type 4, 70CRI	UNV	29	Wall Mounted @ 14'-0" AFG. Verify Finish.
WM-4	Wall Mounted Full Cut Off Wall Pack	0-10V	CLI-TWA-T3-16L-1-30K7-UNV-WM-XXX	Integral LED, 3000K, 6029Lm, Type 3, 70CRI	UNV	56	Wall Mounted @21'-0" AFG. Verify Finish.
		SUBSTITUTIONS ARE NOT ALLOWED AND VALUE ENGINEERING WILL NOT BE CONSIDERED WITHOUT EXPRESSED WRITTEN APPROVAL FROM THE ARCHITECT OR OWNER. NO EXCEPTIONS.					
CNTRL	Controls Package - TBD						
Notes, Exceptions, Clarifications							
PURCHASING: All Lighting is supplied by _____. Consult with the above listed Mfgs for pricing at pre-established customer pricing. The complete package is approved and available at established discounted pricing from Commercial Lighting Industries, 81161 Indio Blvd, Indio, CA 92201, 800-755-0155. Contact _____, ____@Commercial-Lighting.net, for purchase order placement, and coordinating delivery of the package.							
LTG SPEC VERIFICATION: Purchaser assumes responsibility for, and must verify with CLI the following prior to purchasing: Voltage, specific mounting details (including recessed downlight hanger bars if non-standard from the Mfg), NYC or Chicago codes, IC Rating, wind/gust pole factors, integral luminaire wiring gauge, custom reflector reflectances, Kelvin temperature, distribution, emergency use and dimming method. The above catalog #s may not be completely solidified at time of drawing issuance for construction.							
PHOTOMETRIC COMPLIANCE: A complete Photometric drawing for this project as currently drawn and specified, has been submitted to approving authorities a applicable. Any substitutions or changes nullify the report and compliance and are strictly forbid without writtent approval from the owner, architect or lighting designer - NO SUBSTITUTIONS ARE ALLOWED.							
ENERGY COMPLIANCE: The purchasing party is responsible for solidifying the lighting package in compliance with the State Energy Code, both with respect to Lighting Power Density (LPD) and the use of mandated controls (dimmers, photocells, occupancy sensors, etc.). Consult with Istvan Derzsi, Sr. Lighting Designer of Commercial Lighting Industries 323-905-2220 to ensure compliance prior to ordering.							
CONTROLS: The control system being implemented has been designed per meetings with the owner and architect, determining the complete requirements of the control system, and engineered to the exact specifications of the luminaires in this schedule, and in compliance with the State Energy Code. Any changes to the above would affect the Controls engineering and thus would require re-submission to all parties: Owner, Architect, Lighting Designer, Controls Manufacturer and the State Energy Compliance Department.							
DIMMING: The method of dimming each fixture type (generally either Non-Dim, ELV/MLV, 0-10v or DALI/Ecosystem) may not have been known at the time the of preliminary specifications submission. Some luminaires may be available with different dimming than is indicated - see the catalog cuts. When requesting a quotation, and ordering, the purchaser must verify the dimming method desired (to match the wiring and type of dimming that will get installed) of each type and request the quotation accordingly. Once product is on site, the dimming installed will have to be compatible with the luminaires. Note: the default dimming specifications are: For CA, US - all 0-10V wherever possible if using central Control System - same. Otherwise, any luminaire that is not 0-10V or combo ELV/120V, is specified as ELV because it cannot be assumed that LV wiring will be run.							
WIRING: 120V Leading Edge dimmers (old technology for mostly incandescent fixtures) aka Triac/120V dimming, and 120V Trailing Edge dimmers aka ELV dimming (utilizing standard 3 wire White/Black/Green) are not interchangeable with 0-10V dimming which has two additional low voltage wires (Grey/Violet) for analog control signal, using one volt increments from 0 to 10, thus dimming the LED fixtures down to 10% or even 1%. Each fixture must be ordered with the appropriate 120V or the 0-10V driver depending on which will dim it, they are NOT interchangeable. Do Not assume a fixture with 0-10V is "standard" and will thus dim correctly if only 120V dimming is available.							
VOLTAGE: Voltage to be verified. See Volt column: DV means Dual-Volt - fixtures come compatible for either 120 or 277V. MV means Multi-Volt - fixtures come compatible for either 120/208/240/277/347 volts. TBD means the fixture comes in 120 or 277 but not both and thus the voltage for these fixtures must be verified prior to ordering.							



N1A & N1B

Single Pole Mounted Area Fixture w/ 2' Arm

- 120-277 Volts (UNV) or 347-480 Volts (HV)
- 0-10V dimming driver
- Driver power factor at maximum load is $\geq .95$, THD maximum load is 15%
- All wiring UL certified for 600 VAC and 105°C
- CRI 70
- Color temperatures: 4000K, 5000K
- Surge Protection: 20KA supplied as standard



N2A, N2B & N2C

Twin Pole Mounted Area Fixture 20° tilt

- 120-277 Volts (UNV) or 347-480 Volts (HV)
- 0-10V dimming driver
- Driver power factor at maximum load is $\geq .95$, THD maximum load is 15%
- All wiring UL certified for 600 VAC and 105°C
- CRI 70
- Color temperatures: 4000K, 5000K
- Surge Protection: 20KA supplied as standard.



WM-1

Decorative Wall Mounted Area Fixture

- 120-277 Volts (UNV) or 347-480 Volts (HV)
- 0-10V dimming driver by Philips Advance
- Driver power factor at maximum load is $\geq .95$, THD maximum load is 15%
- All internal wiring UL certified for 600 VAC and 105°C
- Lumileds Luxeon MX LED's
- CRI 70, 80 or 90
- Color temperatures: 2700K, 3000K, 3500K, 4000K, 5000K
- Surge Protection: 20KA supplies as standard.



WM-3

Wall Mounted Area Fixture

- 120-277 Volts (UNV) or 347-480 (HV)
- 0-10V dimming driver by Philips Advance
- Driver power factor at maximum load is $\geq .95$, THD maximum load is 15%
- All drivers, controls, and sensors housed in enclosed compartment
- Lumileds Luxeon MX LED's
- CRI 70, 80, or 90
- Color temperatures: 2700K, 3000K, 3500K, 4000K, 5000K
- Surge Protection: 20KA optional



WM-4

Wall Mounted Full Cut Off Wall Pack

- 120-277 Volts (UNV) or 347-480 Volts (HV)
- 0-10V dimming driver
- Driver power factor at maximum load is $\geq .95$, THD maximum load is 15%
- All wiring UL certified for 600 VAC and 105°C
- CRI 70
- Color temperatures: 4000K, 5000K
- Surge Protection: 20KA supplied as standard



David L. Crawford

To Whom it may concern,

2/25/15

I am the Founder and retired CEO of the International Dark Sky Association. The IDA was created to protect the night time environment against light pollution. Tonight's battle is different in that lighting has converted to LED, and we are combatting color temperature, meaningless lumen outputs, and poorly designed outdoor lighting products.

This letter is intended to be a review of the VUE Series LED fixture by NLS Lighting. From a dark sky and light trespass standpoint, the "VUE" is an excellent choice for most any outdoor application. To begin with, the "VUE" is one of the only if not the only LED fixture I have seen which has the light source recessed two to three inches above the bottom plane of the housing. Additionally NLS has designed multiple optical choices to fit the application of almost any lighting design. The "VUE" hides its light source and reflects light where it is required without waste. The "VUE" is an excellent choice particularly considering that many fixtures are evaluated by total lumens regardless of whether or not they are targeted correctly. Also most other companies I have observed either use lensed optics located at or just below the bottom plane of the fixture and so are impossible to shield from long distances from any vantage point below the bottom plane of the fixture.

The President of NLS Lighting, Bill Hein, has been a devoted advocate to dark sky and full cutoff lighting fixtures. Mr. Hein was instrumental in the development of outdoor luminaires with flat lenses that outperformed convex lensed luminaires that were being used throughout the country. I am happy to see that Mr. Hein has designed a new patent pending optical system once again (The "Star Power Optical System") that has high application efficiency performance while hiding the light source deep within the fixture housing.

If you have any questions whatsoever regarding this letter please do not hesitate to write or to call myself.

Sincerely,

Dave Crawford

Dave Crawford

1088 Laguna, Suite A-310, Carlsbad, CA 92008
Ph (520) 906-0445 | F (760) 434-9261 | idasony@aol.com

PHOTOMETRICS - LIGHT TRESPASS TESTIMONY | 20



Regarding; Real Dill Pickle

To Whom it May Concern

NLS has lit over 300 Multi-Court Tennis Clubs and Pickleball Clubs across the United States. We are among, if not the largest lighting manufacturer in the nation of Full Cutoff Tennis and Pickle Ball specific Luminaires. Our Full Cutoff Court luminaire is known as the VUE Series. The "VUE" Luminaires, tennis arms, and their lighting poles are completely made in the USA.

The VUE Series has its LED Boards recessed and concealed two to four inches above the bottom plane of the fixture housing making it the least glary and most environmentally sensitive court fixture in the nation. Our lack of night sky, neighborhood, and player glare have garnished us an dark sky sensitivity endorsement that is attached from Dr David Crawford who is the Founder of the International Dark Sky Association. The VUE fixtures we are specifying on the Pickle and Dill facility will all be rated "Full Cutoff".

In terms of the proper light levels the US Pickleball Association states that there are three categories of light levels depending on the ability of the players competing. Note also that pickleball is a faster eye hand sport than tennis because the game is played typically with all four players at the net most of the time.

The US Pickleball Classifications are as follows;

- Category 1- Professional (75 Foot Candles)
- Category 2- Club (50 Foot Candles)
- Category 3- Recreational (30 Foot Candles)

The Real Dill facility is designed at 60 and 62 foot candles initial light levels and 50 foot candles maintained which qualifies the design for Club Level. These are perfect light levels for a facility where Pickleball is one of the Main Attractions which will showcase many competitors, spectators, and photography.

With respect to Wiffleball the average on the design is 38 foot candles which is a range between Recreational light levels and Club levels. The Wiffle Ball fixtures are full cutoff as well.

If you have any questions regarding the intent of the Pickleball Court and Wiffleball Field designs please do not hesitate to call.

Sincerely,

Bill Hein

Bill Hein

Founder, Partner

IES Security and Crime Committee

701 Kingshill Place, Carson, CA 90746

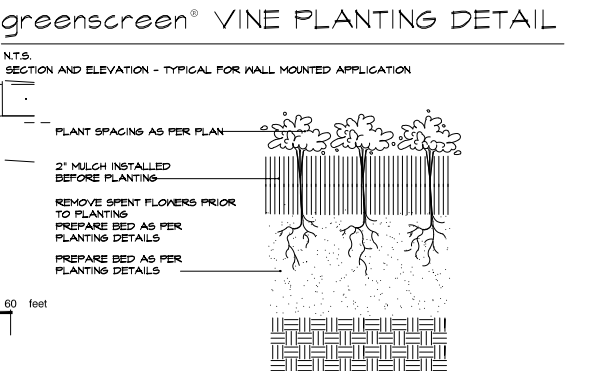
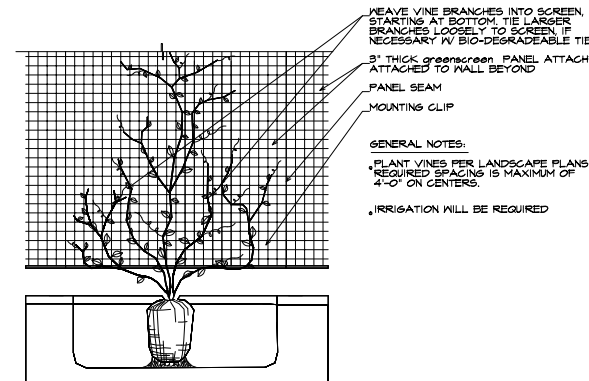
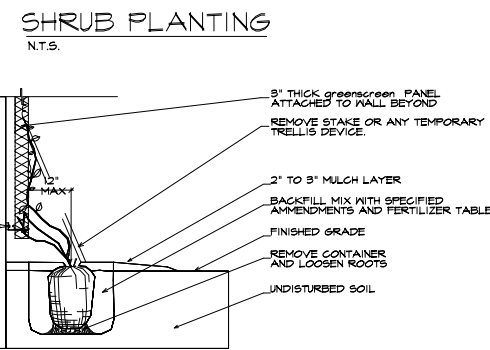
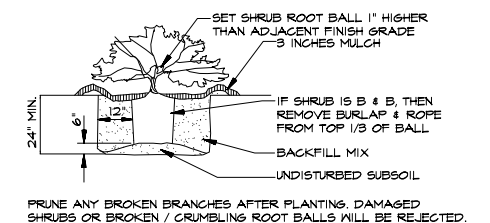
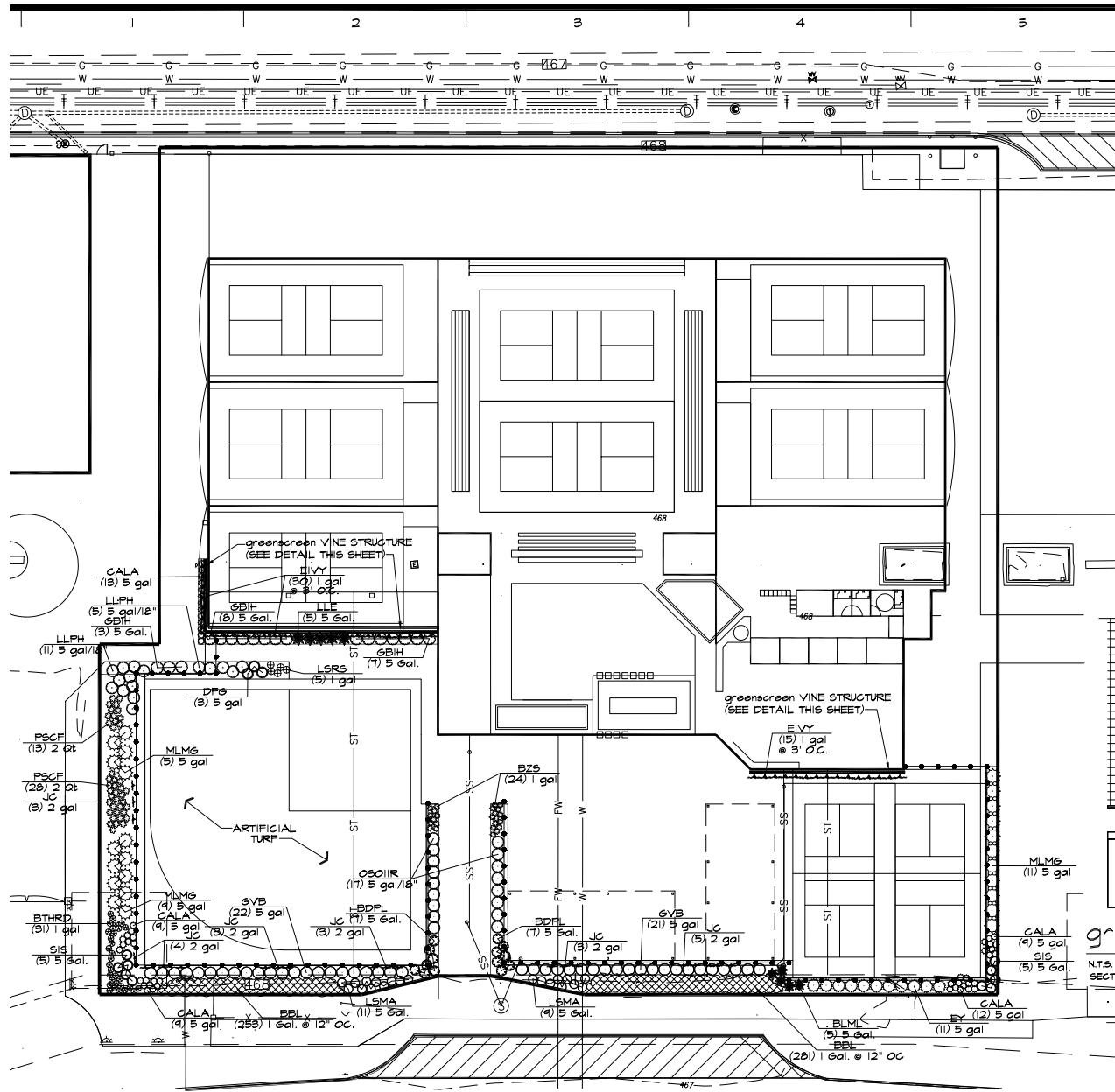
M: 310.345.7954 | O: 310.341.2037 X 1015

E: bhein@nlsighting.com | WWW.nlsighting.com

Commercial Lighting Industries
81161 Indio Blvd, Indio, CA 92201

10-3-22





PERENNIAL / ANNUAL PLANTING N.T.S.

SPACING "D"	ROW "A"	# OF PLANTS PER SQ. FT.
30"	26"	0.16
24"	20 5/8"	0.25
18"	15 6/8"	0.45
15"	15"	0.64
12"	10 4/4"	1.00
10"	8 6 6/8"	1.44
8"	6 9 3/8"	2.25

SEE PLANTING PLAN FOR SPACING

ROTO-TILL BED TO DEPTH PER NOTES

SET AT ORIGINAL PLANTING DEPTH

2" DEEP MULCH - KEEP MULCH AWAY FROM CROWN OF PLANT

PLANTING SOIL MIX

SUBGRADE

GROUND COVER PLANTING DETAIL N.T.S.

1-800-DIG-RITE

LANDSCAPE GUIDELINE SPECS:

- GENERAL:
- Base map information is accurate as of the date of drawing printed in this package.
 - It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect per (10) days prior to installation.
 - The contractor shall be in compliance with all codes applicable to this work.
 - Clean all planting beds of debris, rock, building material, etc. prior to adding / spreading topsoil or mulch.
 - All annual and/or perennial beds are to be rototilled to a depth of 12" and amended with peat moss or organic material prior to planting. All grass and/or weeds shall be killed / removed from new planting beds of any kind.
 - Remove all debris and rock in parking lot islands shall be removed / disposed and new topsoil provided to a depth of 8" with a berm 4" higher than the adjacent curbing.
 - All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
 - The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Any damage to the existing improvements shall be the responsibility of the contractor. It shall be the responsibility of the contractor to restore all areas of the site where disturbed by said contractor. Refer to additional drawings for further coordination of work to be done.
 - Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
 - Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 8" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
 - Plant material shall be typical in shape and form for species specified. Plants planted in groupings and masses shall also be matched. Container grown plant material shall not be root-bound and balled-and-wrapped material shall have root balls as dictated by American Standard for Nursery Stock.
 - Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
 - Provide single-stem trees unless otherwise noted in plant schedule.
 - All plant material shall comply with the recommendations and requirements of ANSI Z602 "American Standards for Nursery Stock".
 - It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owner's Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
 - All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
 - Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
 - All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
 - Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
 - All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
 - Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
 - All substitutions of plant material shall be submitted to landscape architect for approval.
 - Tree protection fencing is to be installed prior to any grading operations and inspected daily / maintained in place until completion of the project.
 - No parking, storage of materials or any other construction activities are to occur within tree protection areas.
- PRUNING:
- Lightly prune trees at time of planting. Prune only the crossover limbs, intertwined leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds or branches that extend to the edge of the crown.
 - All pruning shall comply with ANSI A500 standards.
- INSURANCE:
- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.
- MULCH:
- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
 - No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Mirafi fabric shall be used beneath all gravel mulch beds. Lap fabric 6" over adjacent coverages.
 - Edge all beds with spade-cut edge unless otherwise noted.
- WARRANTY:
- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price. All plant material deemed unhealthy, unsightly or having undue amounts of dead branches by the landscape architect shall be replaced under this warranty.
 - Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
 - Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
 - Landscape contractor shall not be liable due to acts of God or vandalism.
 - Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
 - A written guarantee shall be provided to the owner per conditions outlined in #1 above.
- TURF:
- All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (18# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
 - Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND irrigation system is operating.
 - Gravel or pelleted fertilizer consisting of 50% water-insoluble slow release nitrogen, phosphorus and potassium in a 12-12-12 composition.
 - The turf contractor shall be responsible for protection of finished grade, restore and repair any erosion or water damage and obtain owners approval prior to seeding or sod installation.
 - Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted.
 - Any points carrying concentrated water loads and all slopes of 1% or greater shall be sodded.
 - All sod shall be placed a maximum of 24 hours after harvesting.
 - Restoration of existing lawn areas damaged by Contractor's operations including equipment, material storage and movement of vehicles.
 - Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.

PLANT SCHEDULE:

SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE
BLML	5	Bloemerang Dwarf Purple Lilac / Syringa x 'SMS_EBPT' TM	5 gal.
BDPL	4	Bloemerang Dwarf Purple Lilac / Syringa x 'SMNURPU' TM	5 gal.
EY	11	Everlong Yew / Taxus x media 'Everlong'	5 gal.
GBIH	8	Gem Box Inkberry Holly / Ilex glabra 'Gem Box'	5 gal.
GVB	43	Green Velvet Boxwood / Buxus 'Green Velvet'	5 gal.
LLE	5	Lemony Lace Elderberry / Sambucus racemosa 'SMNDR4' TM	5 gal.
LLPH	6	Little Lime Punch Hydrangea / Hydrangea paniculata 'SMNHPH'	5 gal/1/8"
LSMA	20	Lawn Scape Mound Chokeberry / Aronia melanocarpa 'Lawn Scape Mound'	5 gal.
SIS	0	Scintillia Sweetspire / Itea virginica 'SMNVDPC' TM	5 gal.
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE
BZS	24	Blue Zinger Sedge / Carex flacca Blue Zinger'	1 gal.
DFS	3	Dwarf Fountain Grass / Pennisetum alopecuroides 'Honey'	5 gal.
CALA	32	Foerster's Reed Grass / Calamagrostis acutifolia 'Karl Foerster'	5 gal.
MLMS	25	Morning Light Maiden Grass / Miscanthus sinensis 'Morning Light'	5 gal.
ANNUALS/PERENNIALS	QTY	COMMON / BOTANICAL NAME	SIZE
BTHRD	31	Day Lily / Hemerocallis x 'Big Time Happy'	1 gal.
LSRS	5	Little Spire Russian Sage / Perovskia atriplicifolia 'Little Spire' TM	1 gal.
PSCF	41	Prairie Splendor Coneflower / Echinacea purpurea 'Prairie Splendor'	2 qt.
ROSES	QTY	COMMON / BOTANICAL NAME	SIZE
OSOIR	17	Oso Easy Italian Ice Rose / Rosa x 'Chennisebell' TM	5 gal/1/8"
VINE/ESPALIER	QTY	COMMON / BOTANICAL NAME	SIZE
JC	21	Jackman Clematis / Clematis x 'Jackmanii Superba'	2 gal.
EIVY	45	English Ivy / Hedera helix hibernica	1 gal.
GROUND COVERS	QTY	COMMON / BOTANICAL NAME	SIZE
	534	Big Blue Lilyturf / Liriope muscari 'Big Blue'	1 gal. @ 12" OC



PHOTO 1



PHOTO 2



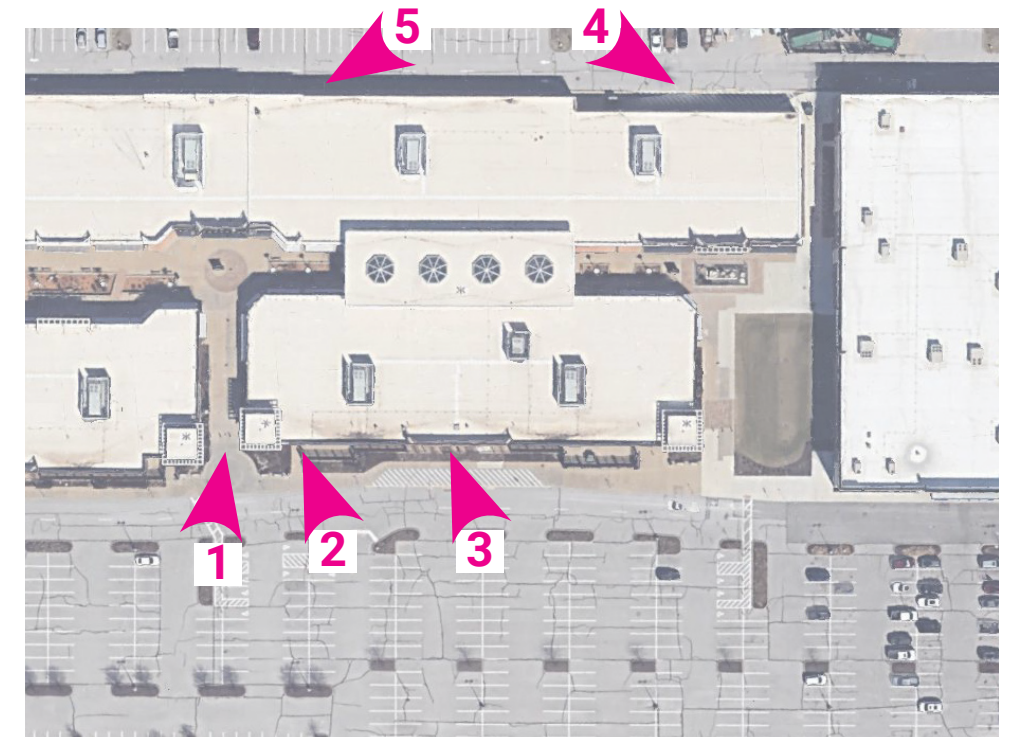
PHOTO 3



PHOTO 4



PHOTO 5



KEY PLAN







THANK YOU



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Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Architectural Review Board Staff Report

Meeting Date: November 10, 2022

From: Alyssa Ahner, Planner

Location: 17017 N. Outer 40 Road

Description: The District (ASDP): An Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations located on a 48.15-acre tract of land located north of N. Outer 40 Road and east of Boone's Crossing, zoned "PC" – Planned Commercial.

PROPOSAL SUMMARY

DLR Group Inc., on behalf of Aimwell Development, has submitted an Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for a proposed recreational facility/restaurant at the development referred to as The District.



Figure 1: Subject Site

HISTORY OF SUBJECT SITE

Pre-1988: Subject site zoned "NU" Non-Urban.

2011: Subject site rezoned from "NU" Non-Urban to "PC" Planned Commercial under governing Ordinance 2682.

2012: A Site Development Plan for a 472,282 square foot outlet retail center was approved.

2019: The current governing Ordinance 3049 was approved. An Amended Site Development Plan for Phase 1 of The District was approved subsequently.

2020: An Amended Site Development Plan was approved to remove the office component of the development thus eliminating the need for the proposed parking garage.

2021: An Amended Site Development Plan was approved for the realignment of the westernmost entrances.

2022: An Amended Site Development Plan was approved to remove Building "J" of the development and create an open-air entertainment space referred to as "The Hub".

STAFF ANALYSIS

The Unified Development Code's Architectural Review Design Standards are broken down into two (2) areas of review: Site Design and Building Design.

General Requirements for Site Design are further broken down into the following categories:

- Site Relationship
- Circulation and Access
- Topography and Parking
- Retaining Walls

General Requirements for Building Design are further broken down into the following categories:

- Scale
- Design
- Materials and Color
- Landscape Design and Screening
- Signage
- Lighting

The UDC also includes specific site and building design criteria for Shopping Center and Office Complex uses, shown in the table below:

Shopping Center and Office Complex	Create separate circulation routes for truck deliveries and customers. Access for deliveries shall be from the least traveled or impacted street. Avoid when possible, large parking areas adjacent to the street.	Provide consistent design styles, details and palettes throughout the development including outlot buildings. Design outdoor retail sales areas, if allowed, to be complementary and integrated into the overall building design.	Screen or architecturally incorporate outdoor shopping cart storage into the design.	See "General Requirements for Building Design" Section 405.04.010(D) of this Article.	Provide outdoor gathering areas. Outdoor retail sales space must be shown and approved on the site plan if allowed.
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A. Site Relationships

The proposed recreational facility/restaurant is located on the eastern side of The District (see Figure 2). This would be to the east of the recently approved "The Hub" and west of Main Event. The existing buildings (shown in the red shading in Figure 2) would be demolished.



Figure 2: General Location of Proposed Project

The District is surrounded by the Monarch Levee Trail to the north, a hotel and Topgolf facility to the east, I-64/40 to the south and 28,000 square feet of bank/office to the west.

B. Circulation System, Parking and Access

The proposed development will be utilizing the existing circulation system, parking, and access points. The District is classified as a Retail Center which would adhere to the parking requirements of Section 405.04.040 (D)(12)(a) of a center size of 100,001 to 400,000 GFA with a restaurant use of 11-20%. The District as a whole, including this proposed project, would be required 2,076 parking spaces – 1,326 for the retail center use and 750 for the indoor theater use. There are currently 2,436 parking spaces on site today.

C. Topography

The development will be utilizing the existing topography. The current topography is relatively flat with a slight grade change east to west and north to south for drainage. There are no retaining walls proposed for this project.

D. Scale

The main building consisting of recreation space, kitchen space, and office space is proposed at a maximum height of thirty-three (33) feet. The five (5) domed structures to be used as additional recreation space are proposed at a maximum height of twenty-one (21) feet. This is similar in scale to the remainder of The District development with exception to the building referred to as The Factory which is taller at a height of forty-nine (49) feet at the main roof. The full south elevation of The District can be found in the applicant's packet. The square footage of the building and domed structures are roughly 26,450 square feet which does not include the outdoor playing field or patio area.

The main building and domed structures are proposed to be set back from the existing sidewalk and parking area to accommodate room for a patio and playing fields. This will be different from the existing buildings in the aspect of how they are built up to the sidewalk. The applicant has stated that this will help create an inviting atmosphere.

E. Materials & Design

The applicant is proposing a mixture of composite wood panel and painted plaster for the main building. It will also feature accents of stone veneer around the base and glass garage doors on the south façade facing I-64/40.

There is a total of five (5) proposed domed structures that are designed for recreational use. The structures are proposed as a mixture of corrugated metal siding around the base and tension fabric, white and grey, for the structure itself. The tension fabric, which is not typically seen around Chesterfield, is an ideal material for the applicant as it allows natural light to enter for indoor play during the day. The applicant is also proposing a fourteen (14) foot high slatted fence in front of the twenty-one (21) foot tall westernmost domed structure to provide partial screening. The fence is proposed in an oak brown aluminum with charcoal grey steel fence posts. A reference photo may be found in the applicant's packet. The easternmost domed structures are partially screened by an eighteen (18) foot tall section of the main building.

The patio and outdoor playing field will be surrounded by a four (4) foot high aluminum fence in oak brown with steel fence posts in a charcoal grey. This is the same material/color fencing to be used to screen the westernmost domed structures.

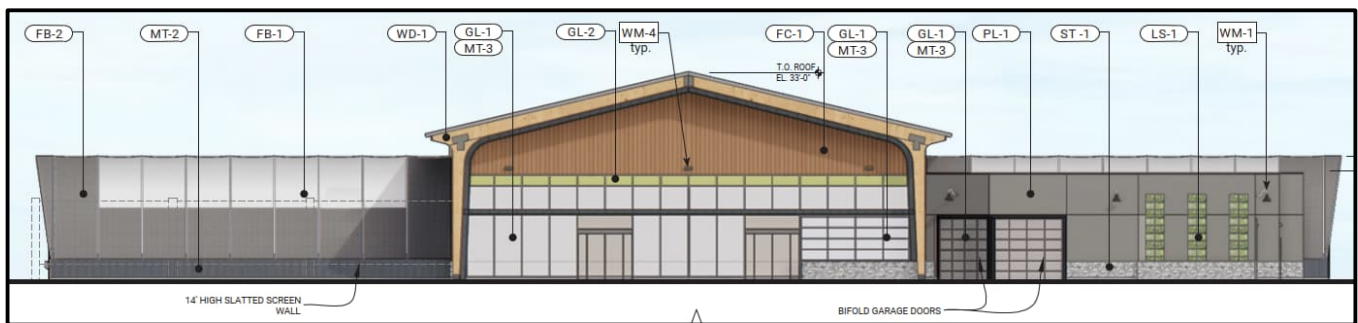


Figure 3: South Elevation (as seen from I-64/40)

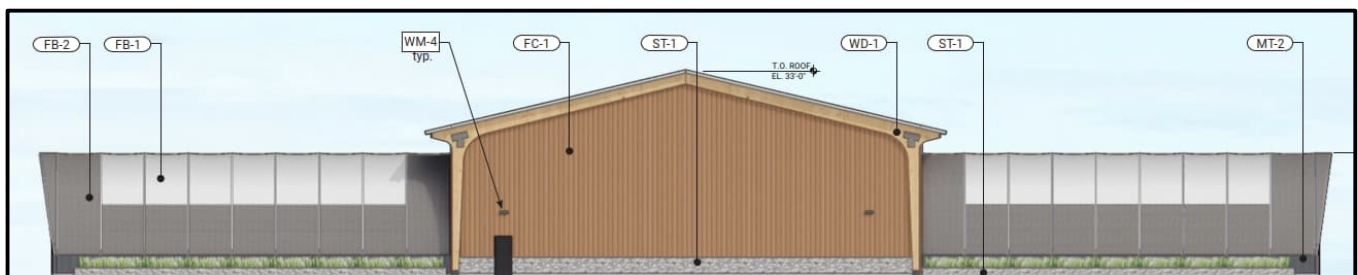


Figure 4: North Elevation (as seen from Levee Trail)

F. Landscape Design & Screening

The applicant is proposing a mixture of plantings for the development. The patio and outdoor playing field will be surrounded by shrubs, grasses, and annuals. The south façade of the domed structures and main building will feature a Greenscreen™ vine structure. There are no trees proposed as there are limitations to what can be planted in the seepage berm for the adjacent levee.

The rooftop mechanical equipment will be fully screened by the parapet of the main building. A sight line diagram is available in the applicant's packet.

G. Lighting

The south façade facing I-64/40 will feature four (4) decorative wall mounted fixtures. The west and north facades will feature fully cut off wall packs while the east façade will utilize a similar wall pack but is not described as being fully cut off. The illumination levels of all wall mounted fixtures are code compliant.

The patio and outdoor playing field will utilize twenty (20) foot tall pole mounted fixtures. There are four (4) surrounding the outdoor playing field and four (4) surrounding the patio area. The applicant is requesting lighting that exceeds the allowable illumination levels in the Unified Development Code. The applicant has stated this is in order to provide a safe playing experience in the evening. The Unified Development Code states that the maximum initial level five (5) feet from the base of a light standard is 8.0 foot-candles for commercial properties. The provided photometric plan shows proposed maximum levels of 83.7. The applicant has provided a statement from a qualified lighting designer to detail the request which can be found in the applicant's packet.

RENDERING



DEPARTMENT INPUT

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the Architectural Review Board will be included in Staff's report to the Planning Commission.

Staff requests review on the Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for The District (ASDP).

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for The District (ASDP), as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for The District (ASDP) to the Planning Commission with a recommendation for approval with the following recommendations..."

Attachments:

1. Architectural Review Packet Submittal