

## Planning Commission Staff Report

<b>Project type:</b>	Amended Site Development Plan
<b>Meeting Date:</b>	November 28, 2022
<b>From:</b>	Shilpi Bharti, Planner <i>SB</i>
<b>Location:</b>	1330 Schoettler Road
<b>Description:</b>	<b>1330 Schoettler Road (Church of the Resurrection):</b> Amended Site Development Plan and Amended Architectural Elevations for a church located on a 5.2-acre tract of land located east of Schoettler Road and south of South Outer 40 Road, zoned “R2” Residential District.

### PROPOSAL SUMMARY

Design Alliance Architects has submitted an Amended Site Development Plan and Amended Architectural Elevations for Church of the Resurrection. The Amended Site Development Plan proposes building an addition of nearly 2,670 square feet to the rear of the existing building. The existing building is 1,431 square feet. The proposed addition matches the existing structure.



Figure 1: Subject Location

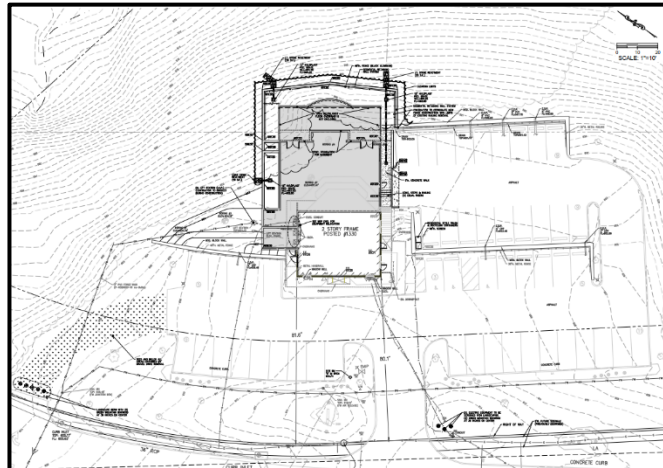


Figure 2: Site Plan

### HISTORY OF SUBJECT SITE

The subject site was developed prior to when the City was incorporated. In 2011, the site was rezoned from “NU” Non-Urban District to “R2” Residential District. There were two minor changes to the site in 2012 and 2014.

## STAFF ANALYSIS

The proposed 2 story addition is at the back of the building. A retaining wall is proposed on the side and rear of the site. The proposed retaining wall matches the existing retaining wall on site. As per the applicant, the fiber siding material to be used for the proposed building will replicate the existing look of the building. Applicant is also removing the existing gravel drive and doing landscaping around the existing utility meter along Schoettler Road to come in compliance with the City of Chesterfield Unified Development Code.

## Materials and Color

The existing building façade is a vertical pattern of weathered wood. The façade of three sides of the proposed building will have fiber cement siding material in a tone replicating the weathered wood exterior existing on the building. The siding will be installed vertically on the second level of the new stair / lift wing to match the vertical siding on the corresponding level of the existing church. On the first level and below, the siding will be horizontal. Brackets of matching profile to the originals will be installed under the eaves of the addition's roof as well as the roof of the stair wing.

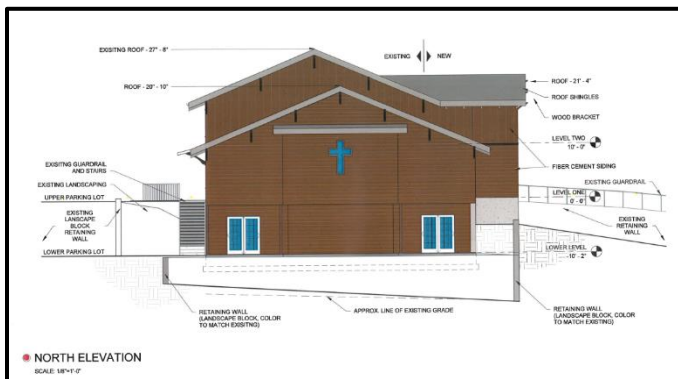


Figure 3: Proposed Rear side Elevation



Figure 4: Existing Building Front Elevation

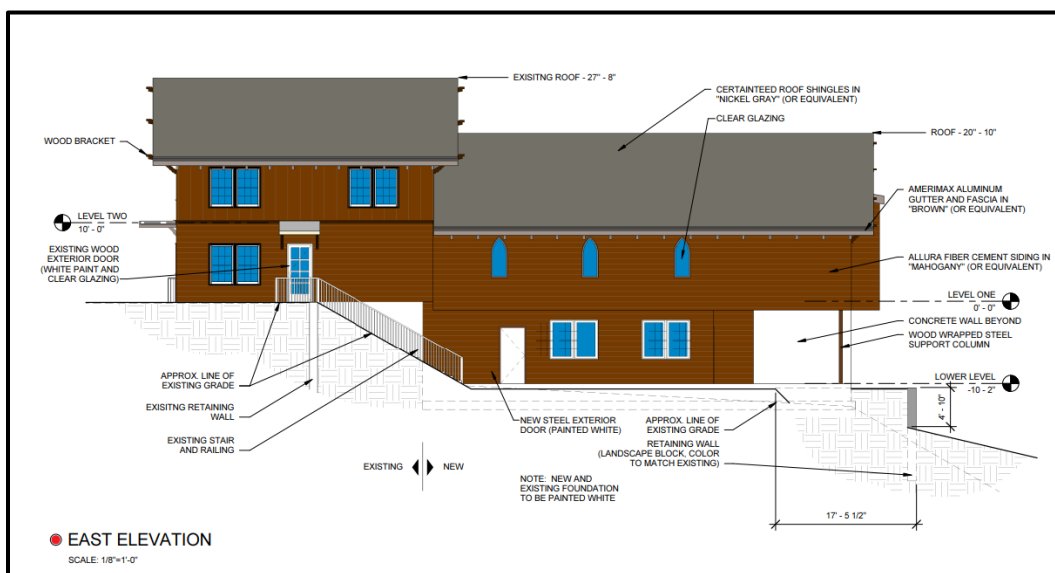


Figure 5: East elevation

### Lighting

There is one wall pack light proposed on the side of the building. The proposed light fixture matches the existing light fixture present on the site but requires Planning Commission approval.

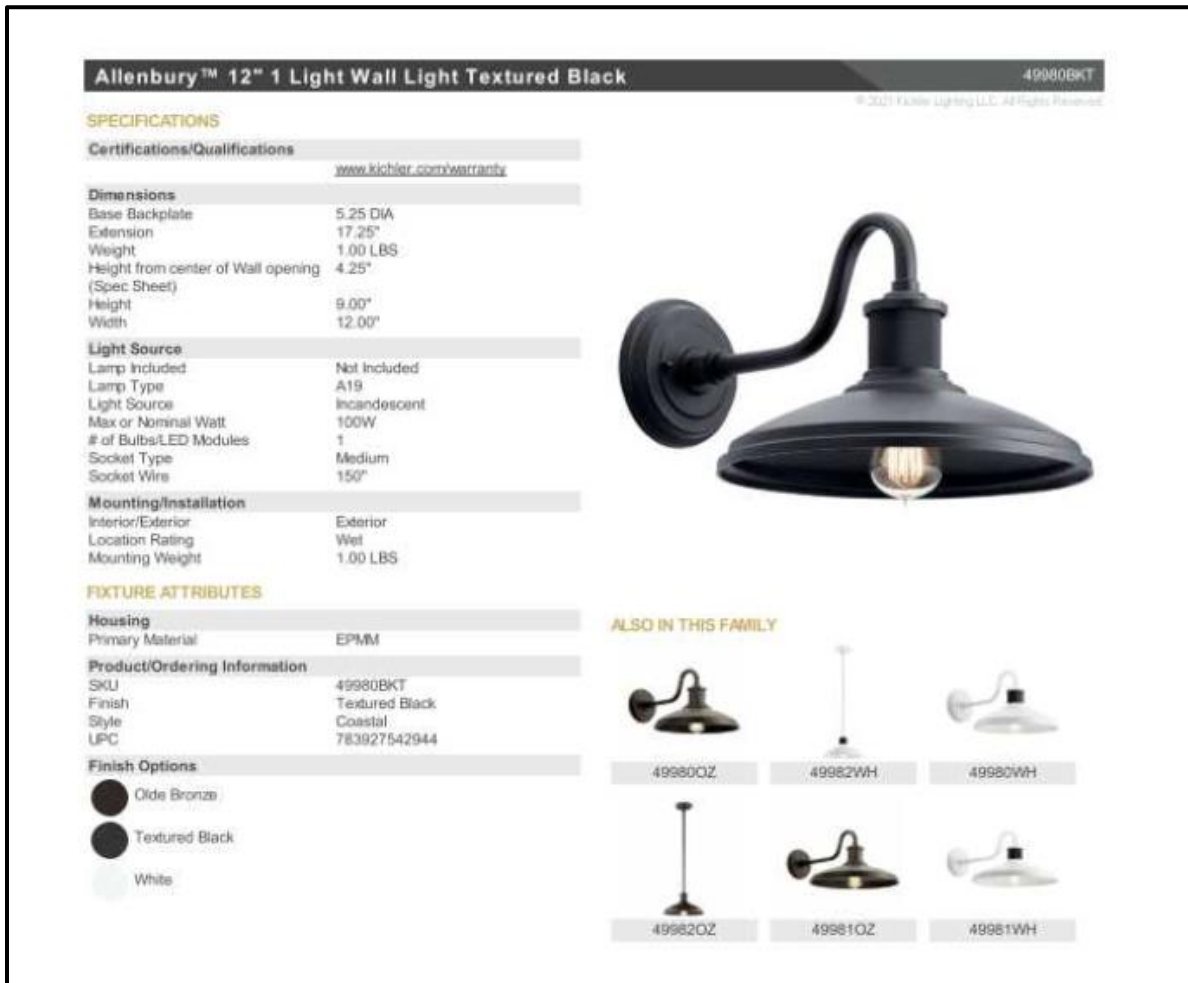


Figure 6: Proposed Light Fixture

### Landscape

There is no new landscaping proposed on the site. The applicant will be doing some landscaping to comply with approved landscape plan for the site. The building addition will necessitate removing a few trees from the rear side of the subject site. Tree preservation is more than 30% and complies with the Unified Development Code.

### Rendering



Figure 7: Rendering Northeast View

### ARB MEETING REPORT

The project was reviewed by the Architectural Review Board on October 14, 2022. At that time, the Board passed a motion to forward the Amended Site Development Plan and Architectural Elevations to the Planning Commission with a recommendation to approve with the following condition:

- Painting of the exposed concrete foundation walls.

Since then, the applicant has revised their submittal to address the ARB condition.

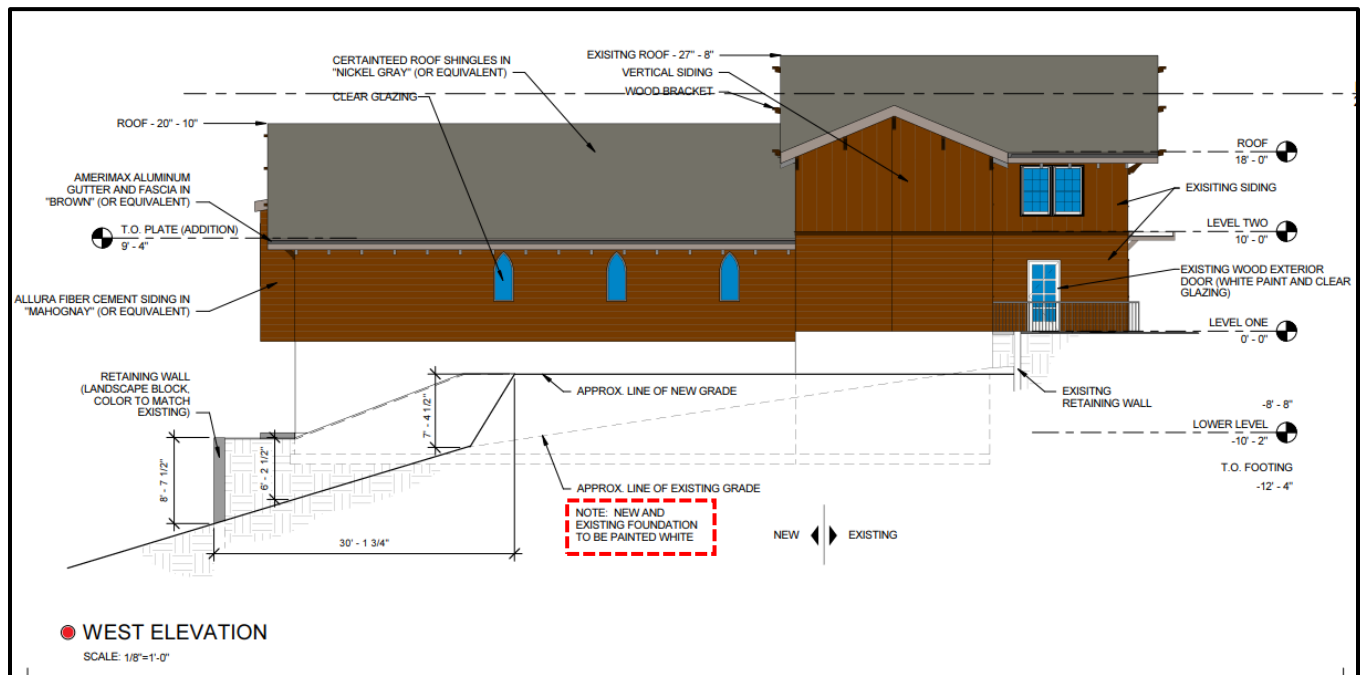


Figure 8: Exposed concrete foundation to be painted white.

## **DEPARTMENTAL INPUT**

Staff has reviewed this proposed development and found it to be in compliance with the City's Unified Development Code. All outstanding comments have been addressed at this time. Staff recommends approval of the Amended Site Development Plan and Amended Architectural Elevations for 1330 Schoettler Road, Church of the Resurrection.

## **MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to forward (or deny) the Amended Site Development Plan and Amended Architectural Elevations for 1330 Schoettler Road, Church of the Resurrection, as presented.
- 2) "I move to approve the Amended Site Development Plan and Amended Architectural Elevations for 1330 Schoettler Road, Church of the Resurrection, with the following conditions..."  
(Conditions may be added, eliminated, altered or modified)

Attachments: Site Development Section Plan Packet



# 3<sup>rd</sup> AMENDED SITE PLAN Church of the Resurrection Building Addition

ADJUSTED PARCEL 1 OF THE BOUNDARY ADJUSTMENT PLAT OF A TRACT OF LAND, BEING PART OF U.S. SURVEYS 370, 1911, 1978 AND FRACTIONAL SECTIONS 10 AND 15 TOWNSHIP 45 NORTH, RANGE 4 EAST, A PLAT RECORDED IN PLAT BOOK 358 PAGE 422 OF THE ST. LOUIS COUNTY LAND RECORDS OFFICE



## LOCATION MAP

## PROPERTY DATA

OWNER: CHURCH OF THE RESURRECTION  
 ADDRESS: 1330 SCHOETTLER ROAD  
 CHESTERFIELD, MO 63017  
 LOCATOR NO.: 19S640668  
 SITE AREA: 228,150 s.f. (5.24 ac.±)  
 EXISTING ZONING: R-2 (RESIDENCE DISTRICT)  
 SCHOOL DISTRICT: PARKWAY  
 SEWER DISTRICT: METROPOLITAN ST. LOUIS SEWER DISTRICT  
 WATER SHED: CREVE COEUR CREEK

## STORMWATER MANAGEMENT NOTE

PROJECT DISTURBANCE: 2,850 SQUARE FEET  
 PROJECT RUNOFF DIFFERENTIAL: 0.11 CFS  
 ANY FUTURE LAND DISTURBANCE AND/OR INCREASE IN IMPERVIOUS AREA ON THIS SITE MAY REQUIRE ADDITIONAL STORM WATER MANAGEMENT PER MSD REGULATIONS IN PLACE AT THAT TIME (INCLUDING TOTAL LAND DISTURBANCE AND/OR IMPERVIOUSNESS ADDED ON THIS PLAN, 22MSD-00345).

## AREA CALCULATIONS

TOTAL SITE AREA: 5.24 AC.  
 TOTAL SITE COVERAGE (INCLUDES PASTOR RESIDENCE)  
 BUILDINGS: 0.16 AC. (3.1%)  
 PAVEMENT: 0.51 AC. (9.7%)  
 TOTAL COVERAGE: 0.67 AC. (12.8%)  
 OPEN SPACE: 4.57 AC. (87.2%)  
 BUILDING ADDITION: 2,970 S.F.  
 TOTAL DISTURBED AREA: 6,885 S.F.  
 EXISTING TREE CANOPY (2022 TPP): 3.51 AC.  
 TREE CANOPY TO BE PRESERVED: 3.30 AC.

## LEGAL DESCRIPTION

ADJUSTED PARCEL 1 OF THE BOUNDARY ADJUSTMENT PLAT OF A TRACT OF LAND, BEING PART OF U.S. SURVEYS 370, 1911, 1978 AND FRACTIONAL SECTION 10 AND 15, TOWNSHIP 45 NORTH, RANGE 4 EAST, AS SHOWN ON PLAT RECORDED IN PLAT BOOK 358 PAGE 422.

## FLOOD ZONE NOTE

SUBJECT PROPERTY LIES WITHIN UNSHADED FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS. THE MAP IS IDENTIFIED AS PANEL 29189C0170 K WITH AN EFFECTIVE DATE OF 02/04/2015.

## BENCHMARKS

ST. LOUIS COUNTY BENCHMARK 12-358 ELEV. 614.15' NAVD 88 (ELEV. 614.33' NGVD 29)  
 CUT CIRCLE MARK ON TOP OF AND EAST OF THE CENTER OF A 6 FOOT DIAMETER CIRCULAR CONCRETE STORM WATER JUNCTION CHAMBER SITUATED WEST OF SCHOETTLER ROAD AND NORTH OF OAKTREE ESTATES DRIVE, 0.1 MILES MORE OR LESS SOUTH OF SOUTH OUTER FORTY ROAD; ROUGHLY 2 FEET WEST OF THE CURB ON SCHOETTLER ROAD, 30 FEET WEST OF THE CENTER OF SCHOETTLER ROAD, AND 60 FEET NORTH OF THE CENTER OF OAKTREE ESTATES DRIVE.

SITE BENCHMARK  
 NAVD88 ELEV. = 614.74' FTUS  
 '0' IN OPEN ON FIRE HYDRANT ±50' WEST OF THE BUILDING  
 ON THE NORTH SIDE OF THE DRIVE ENTRANCE

## LEGEND

EXISTING CONTOURS	---433---
PROPOSED CONTOURS	---433---
EXISTING STORM SEWER	---□---
PROPOSED STORM SEWER	---ST---ST---
EXISTING SANITARY SEWER	---○---
PROPOSED SANITARY SEWER	---SAN---SAN---
RIGHT-OF-WAY	--- ---
EASEMENT	--- ---
CENTERLINE	--- ---
EXISTING TREE	⊕
EXISTING SPOT ELEVATION	+ 433.28
PROPOSED SPOT ELEVATION	433.28
SWALE	--- ---
TO BE REMOVED	T.B.R.
TO BE REMOVED & RELOCATED	T.B.R. & R.
TO BE USED IN PLACE	U.P.
ADJUST TO GRADE	A.T.G.
BACK OF CURB	B.C.
FACE OF CURB	F.C.
WATER MAIN	---W---
GAS MAIN	---G---
UNDERGROUND TELEPHONE	---T---
OVERHEAD WIRE	---OHE---
UNDERGROUND ELECTRIC	---E---
SILTATION CONTROL	---X---
FIRE HYDRANT	⊕
POWER POLE	⊕
WATER VALVE	⊕
LIGHT STANDARD	⊕

## SHEET INDEX

C1	TITLE SHEET
C2	SITE PLAN
C3	SITE PLAN (10 SCALE)

## GENERAL NOTES

- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
- ALL ELEVATIONS ARE BASED ON BENCHMARK SHOWN.
- BOUNDARY AND TOPOGRAPHIC SURVEY BY MARLER SURVEYING, INC.
- ALL ON-SITE MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF CHESTERFIELD AND MSD.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF CHESTERFIELD AND MSD.
- SIDEWALKS ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1"V:20'H. SLOPES GREATER THAN 1"V:20'H MUST BE DESIGNED AS A RAMP. SIDEWALKS TO BE CONSTRUCTED TO ST. LOUIS COUNTY ADA STANDARDS.
- SIDEWALKS, CURB RAMP, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ADA GUIDELINES AND THE INFORMATION ON THE PLANS, THE ADA GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
- ADEQUATE TEMPORARY OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES SHALL BE PROVIDED. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEES' VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
- CONTRACTOR TO COORDINATE CONSTRUCTION PARKING WITH OWNER. NO PARKING ALLOWED IN PUBLIC RIGHT OF WAY.
- ALL SEWER CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT (LATEST EDITION).
- NO ON-SITE ILLUMINATION SOURCE SHALL BE SO SITUATED THAT LIGHT IS CAST DIRECTLY ON ADJOINING PROPERTIES OR ROADWAYS. ILLUMINATION LEVELS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF CHESTERFIELD. THE SITE LIGHTING STANDARDS AND LOCATIONS SHALL BE REVIEWED AND APPROVED PER THE REQUIREMENTS OF THE CITY OF CHESTERFIELD. LIGHTING DESIGN SUBJECT TO FINAL DESIGN OF LIGHTING ENGINEER.
- LANDSCAPING (IF REQUIRED) SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF CHESTERFIELD.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF CHESTERFIELD STANDARDS.
- NO ROOF TOP MECHANICAL EQUIPMENT IS PROPOSED.
- SETBACKS (SEC. 405.03.030 (H)3d)  
 BUILDING  
 FRONT = 25'  
 SIDE = 10'  
 REAR = 15'  
 PARKING (SEC. 405.04.040(4))  
 FRONT = 10' MINIMUM  
 SIDE = 10' MINIMUM  
 REAR = 10' MINIMUM
- PARKING CALCULATIONS  
 CHURCH (200 SEATS)  
 REQUIRED PARKING:  
 1 SPACE FOR EVERY 4 SEATS IN THE LARGEST ASSEMBLY AREA (MIN.)  
 1 SPACE FOR EVERY 3 SEATS IN THE CHAPEL OR ASSEMBLY AREA (MAX.)  
 TOTAL SPACES REQUIRED:  
 MINIMUM: 50 SPACES  
 MAXIMUM: 67 SPACES  
 TOTAL SPACES PROVIDED: 51 SPACES (INCLUDES 3 ACCESSIBLE SPACES)  
 (NO NEW PARKING IS PROPOSED)

## GEOTECHNICAL ENGINEER'S STATEMENT

The undersigned has not prepared these plans. The seal of the undersigned has been affixed at the request of the City of Chesterfield and is a professional opinion to indicate that the undersigned has reviewed the plans and that in their opinion the improvements as shown on these plans are compatible with the soil and geologic conditions at the site as described in the geotechnical report for the development, Church of the Resurrection Addition, Chesterfield, Missouri, prepared by THD Design Group, Inc. dated August 2019; and Supplemental Geotechnical Report, Church of the Resurrection Addition, Chesterfield, Missouri prepared by THD Design Group, Inc. and dated September 2022.

THD Design Group, Inc. and the undersigned assume no responsibility for services by others. Construction means and methods for implementation of these improvements shall be left to the developer/contractor. Observations of the developer/contractor's compliance with applicable specifications shall be identified and verified in writing.

THD DESIGN GROUP, INC.

T. Michael McMillen, PE, D.GE  
 Director of Geotechnical Services

## NOTE:

THE UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SOURCES AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE ACTUAL LOCATIONS OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THIS DRAWING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE LOCATED PRIOR TO GRADING OR CONSTRUCTION OF IMPROVEMENTS.

MISSOURI ONE CALL TICKET NUMBER 192330781

THE UTILITIES CONTACTED BY MISSOURI ONE CALL HERE AMEREN MISSOURI ELECTRIC, ATT DISTRIBUTION, CHARTER COMMUNICATIONS, MISSOURI AMERICAN WATER COMPANY, SPIRE AND ST. LOUIS METROPOLITAN SEWER DISTRICT.



Call BEFORE you DIG  
 TOLL FREE  
 1-800-DIG-RITE  
 MISSOURI ONE-CALL SYSTEM, INC.

I, the owner of the property shown on this plan for and in consideration of being granted a permit to develop property under the provisions of Chapter 1003, of City of Chesterfield Unified Development Code, do hereby agree and declare that said property from the date of recording of this plan shall be developed only as shown thereon, unless said plan is amended by the Planning Commission, or voided or vacated by order of ordinance of the City of Chesterfield Council.

State of Missouri  
 County of St. Louis

On this day of A.D., 2022, before me personally appeared to me known, who, being by me sworn in, did say that is the President of a corporation in the State of Missouri, and that the seal affixed to the foregoing instruments is the corporate seal of said Corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said acknowledged said instrument to be the free act and deed of said corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my notarial seal, the day and year last above written.

My Commission expires

(Notary Public)

This Amended Site Plan was approved by the City of Chesterfield Planning Department and duly verified on the day of 2022, by the Director of Planning, authorizing the recording of this Amended Site Development Plan, pursuant to Chesterfield Ordinance Number 200 as attested by the Director of Planning and the City Clerk.

CITY OF CHESTERFIELD, MISSOURI

By: Justin Wyse  
 Director of Planning

By: Vickie McGowan  
 City Clerk

## PREPARED FOR:

Church of the Resurrection  
 1330 Schoettler Road  
 Chesterfield, MO 63017  
 (636) 536-6420

## PREPARED BY:

**CEDC**  
 CIVIL ENGINEERING  
 DESIGN CONSULTANTS  
 10820 Sunset Office Drive  
 Suite 200  
 St. Louis, Missouri 63127  
 314.729.1400  
 Fax: 314.729.1404  
 www.cedc.net

10820 Sunset Office Drive  
 Suite 200  
 Saint Louis, Missouri 63127  
 314.729.1400  
 Fax: 314.729.1404  
 www.cedc.net

Amended Site Plan for  
**CHURCH OF THE RESURRECTION**  
 1330 Schoettler Road  
 Chesterfield, Missouri 63017

Proj. #	1971.1
No.	Description
	City submittal 07/14/2022
	City comments 09/15/2022
	City comments 11/18/2022

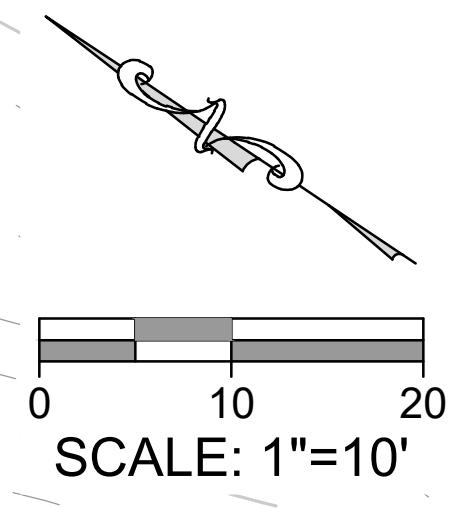
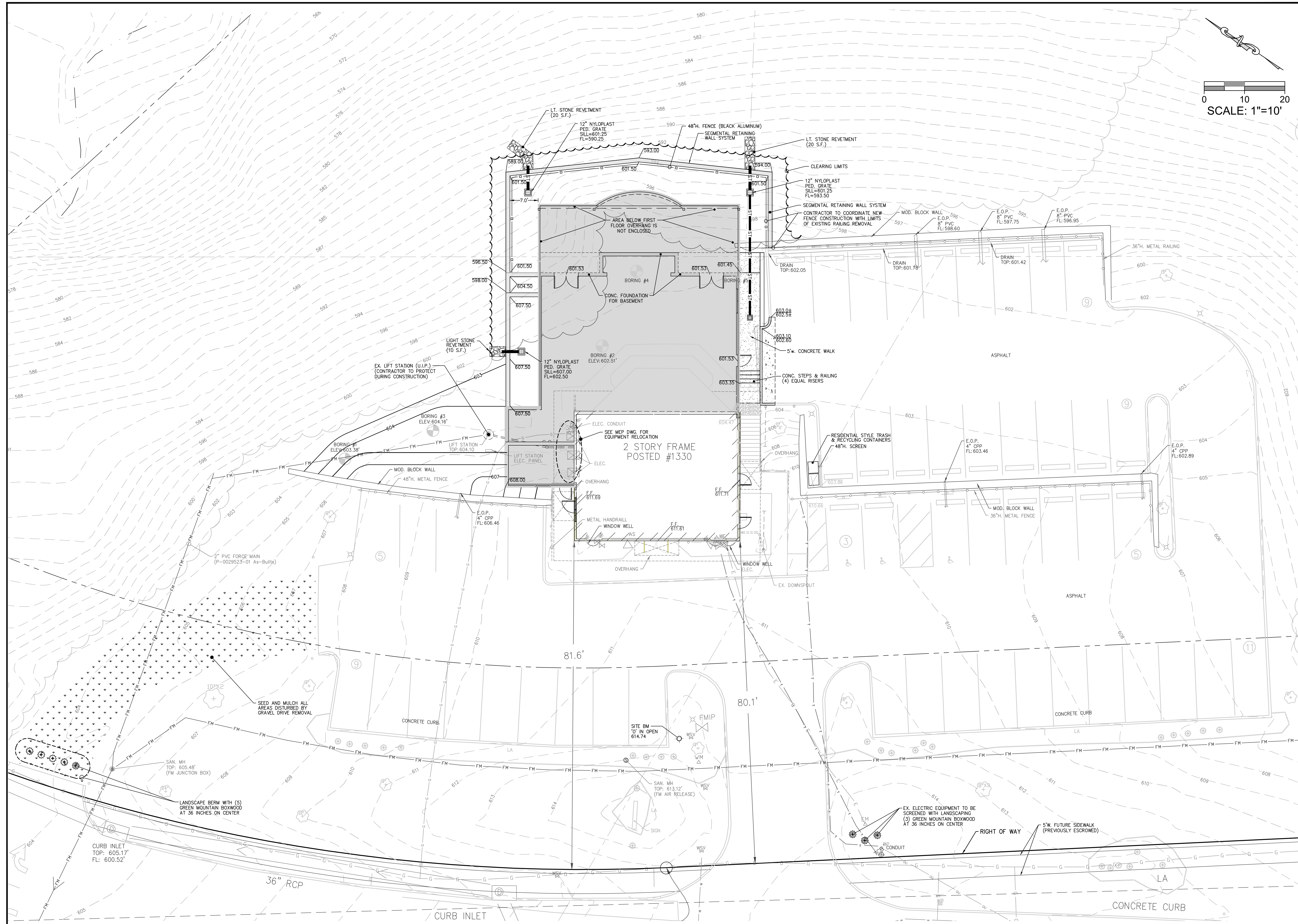
Title Sheet

C1









10820 Sunset Office Drive  
 Suite 200  
 Saint Louis, Missouri 63127  
 314.729.1400  
 Fax: 314.729.1404  
 www.cedc.net

**CEDC**  
 CIVIL ENGINEERING  
 DESIGN CONSULTANTS

Amended Site Plan for  
**CHURCH OF THE RESURRECTION**  
 1330 Schoettler Road  
 Chesterfield, Missouri 63017

Proj. # 1971.1

No.	Description	Date
1	City submittal	07/14/2022
2	City comments	09/15/2022
3	City comments	11/18/2022

Site Plan

**C3**





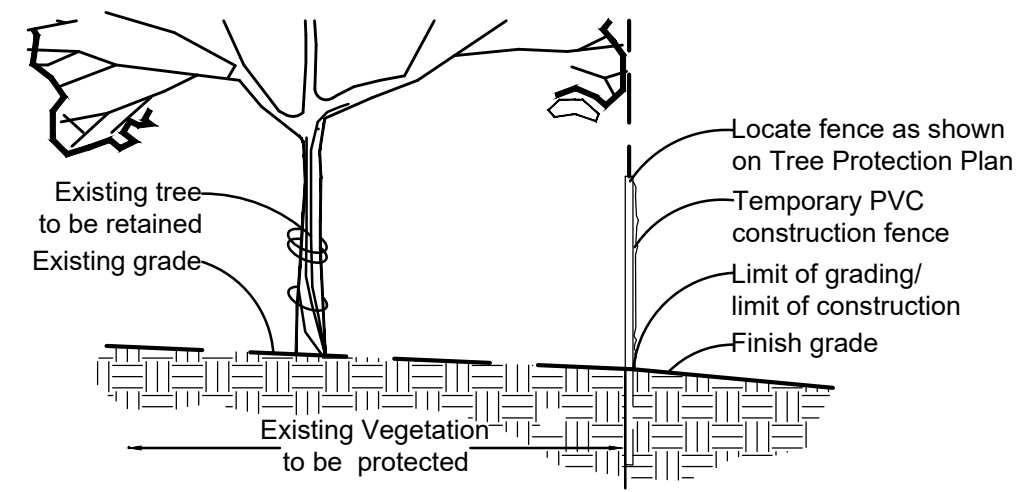


**Tree Protection Notes:**

- 1) Pre-construction meeting to be held on-site to include a presentation of tree protection measures to operators, construction supervisors, developer's representative, and city zoning inspector.
- 2) Clearing Limits to be rough staked in order to facilitate location for installation of protection fencing. No early maintenance schedule is required.
- 3) No clearing or grading shall begin in areas where the treatment and preservation measures have not been completed, including the installation of tree protection fencing as shown on the plan. Where necessary, Contractor may perform minor tree clearing prior to installing silt fencing and tree protection fencing provided they maintain tree protection area.
- 4) Tree Protection Fencing shall be 4-foot high temporary plastic construction fence. No equipment traffic/parking, concrete washout, material storage or other such construction activity shall be permitted to penetrate the protection fencing or disrupt the Protected Woodland Area except for the removal of dead or invasive plant material. All ground plane in planting areas shall be mulched with hardwood bark mulch. Tree Protection Signage will be placed along the Protection Fencing as shown as the dashed line on the plan.
- 5) Tree protection measures to be maintained throughout construction sequence.

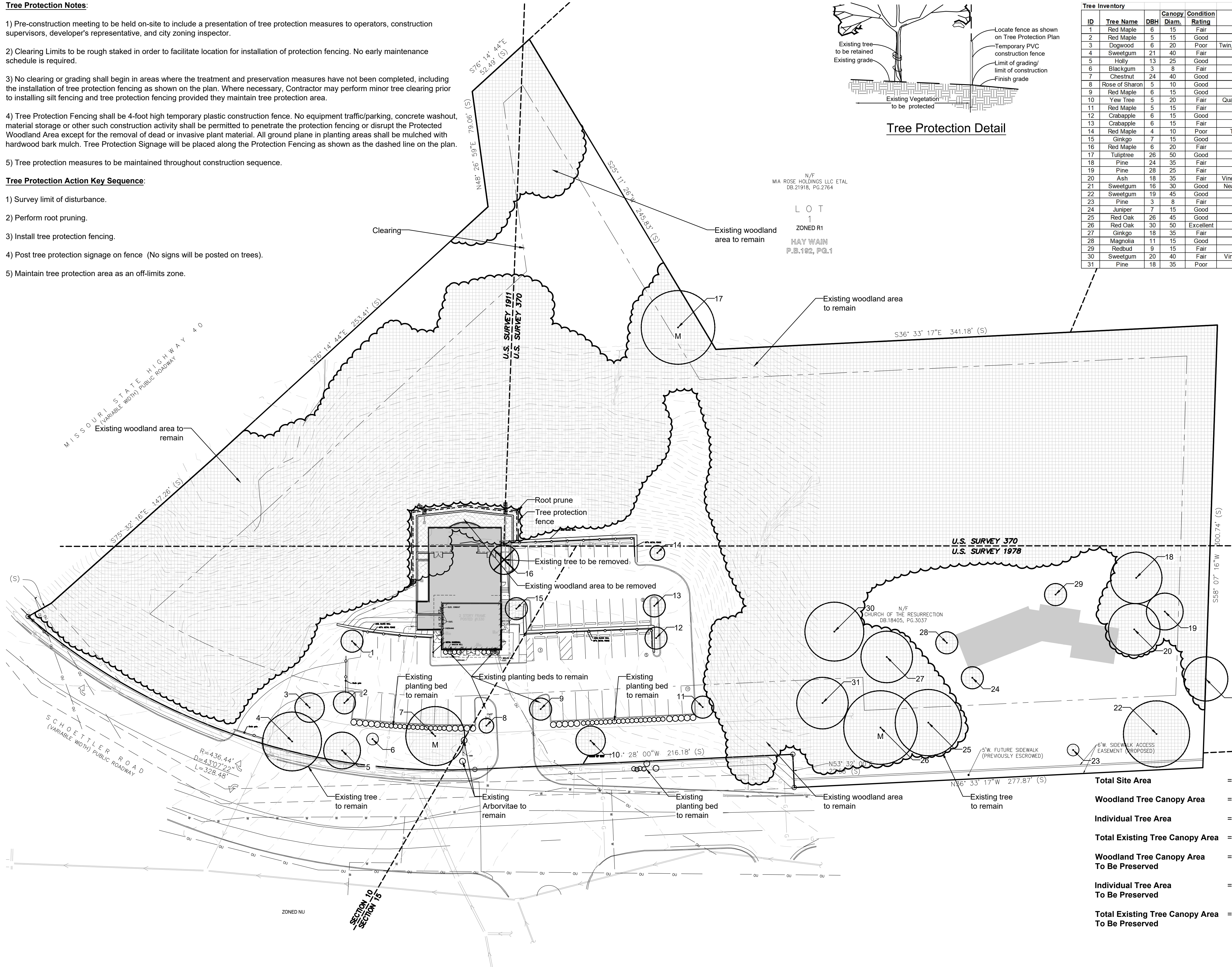
**Tree Protection Action Key Sequence:**

- 1) Survey limit of disturbance.
- 2) Perform root pruning.
- 3) Install tree protection fencing.
- 4) Post tree protection signage on fence (No signs will be posted on trees).
- 5) Maintain tree protection area as an off-limits zone.



**Tree Protection Detail**

ID	Tree Name	DBH	Canopy Diam.	Condition Rating	Comment	Preserved	To Be Removed
1	Red Maple	6	15	Fair	Trunk scald	X	
2	Red Maple	5	15	Good	Trunk scald	X	
3	Dogwood	6	20	Poor	Twin, borers, heavily pruned	X	
4	Sweetgum	21	40	Fair	Broken branches	X	
5	Holly	13	25	Good	Watersprouts	X	
6	Blackgum	3	8	Fair		X	
7	Chestnut	24	40	Good	Monarch	X	
8	Rose of Sharon	5	10	Good	Staked	X	
9	Red Maple	6	15	Good		X	
10	Yew Tree	5	20	Fair	Quad, one stem removed	X	
11	Red Maple	5	15	Fair	Trunk scald	X	
12	Crabapple	6	15	Good		X	
13	Crabapple	6	15	Fair		X	
14	Red Maple	4	10	Poor	Trunk scald, borers	X	
15	Ginkgo	7	15	Good		X	
16	Red Maple	6	20	Fair	Trunk scald		X
17	Tuliptree	26	50	Good	Monarch	X	
18	Pine	24	35	Fair	Vines	X	
19	Pine	28	25	Fair	Vines	X	
20	Ash	18	35	Fair	Vines, dead limbs, borers	X	
21	Sweetgum	16	30	Good	Near property line, vines	X	
22	Sweetgum	19	45	Good	Vines	X	
23	Pine	3	8	Fair	Poor structure	X	
24	Juniper	7	15	Good		X	
25	Red Oak	26	45	Good	Dead limbs	X	
26	Red Oak	30	50	Excellent	Monarch	X	
27	Ginkgo	18	35	Fair		X	
28	Magnolia	11	15	Good		X	
29	Redbud	9	15	Fair		X	
30	Sweetgum	20	40	Fair	Vines, broken branches	X	
31	Pine	18	35	Poor	Vines, dead limbs	X	



N/F  
MIA ROSE HOLDINGS LLC ETAL  
DB.21918, PG.2764

LOT 1  
ZONED R1  
HAY WAIN  
P.B.182, PG.1

N/F  
CHURCH OF THE RESURRECTION  
DB.18405, PG.3037

<b>Total Site Area</b>	=	228,150 s.f. (5.24 acres)
<b>Woodland Tree Canopy Area</b>	=	145,673 s.f. (3.34 acres)
<b>Individual Tree Area</b>	=	7,523 s.f. (0.17 acres)
<b>Total Existing Tree Canopy Area</b>	=	153,196 s.f. (3.51 acres)
<b>Woodland Tree Canopy Area To Be Preserved</b>	=	136,733 s.f. (3.14 acres)
<b>Individual Tree Area To Be Preserved</b>	=	7,208 s.f. (0.16 acres)
<b>Total Existing Tree Canopy Area To Be Preserved</b>	=	143,941 s.f. (3.3 acres) (93.96 %)

Tree Preservation Plan Prepared under direction of:  
Kristin Provinse  
Certified Arborist MW-6075A

*Kristin Provinse*



Consultants:

**Church Of The Resurrection**  
1330 Schoettler Road  
Chesterfield, Missouri 63017

Revisions:

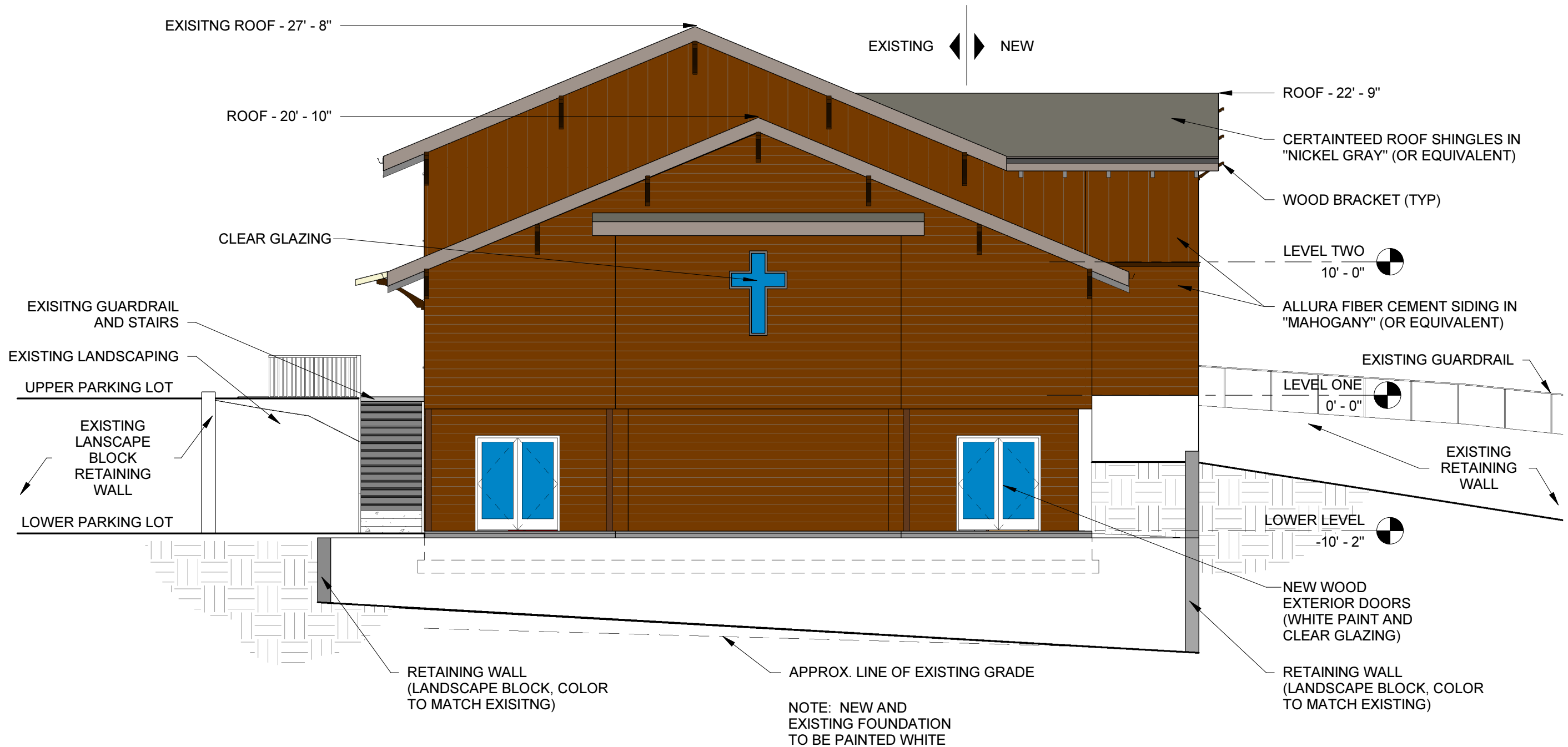
Date	Description	No.

Drawn: KP  
Checked: RS

**LOOMIS ASSOCIATES**  
landscape architects + planners  
750 spint 40 park drive, chesterfield, missouri 63005  
t. 636-519-8666 www.loomis-associates.com

Sheet Title:	Tree Preservation Plan
Sheet No:	TPP
Date:	9/21/22
Job #:	687.020





● NORTH ELEVATION

SCALE: 1/8"=1'-0"

2019041



SAINT LOUIS DESIGN ALLIANCE

6014 DELMAR BLVD.  
314.863.1313

SAINT LOUIS, MO 63112  
www.stlida.com

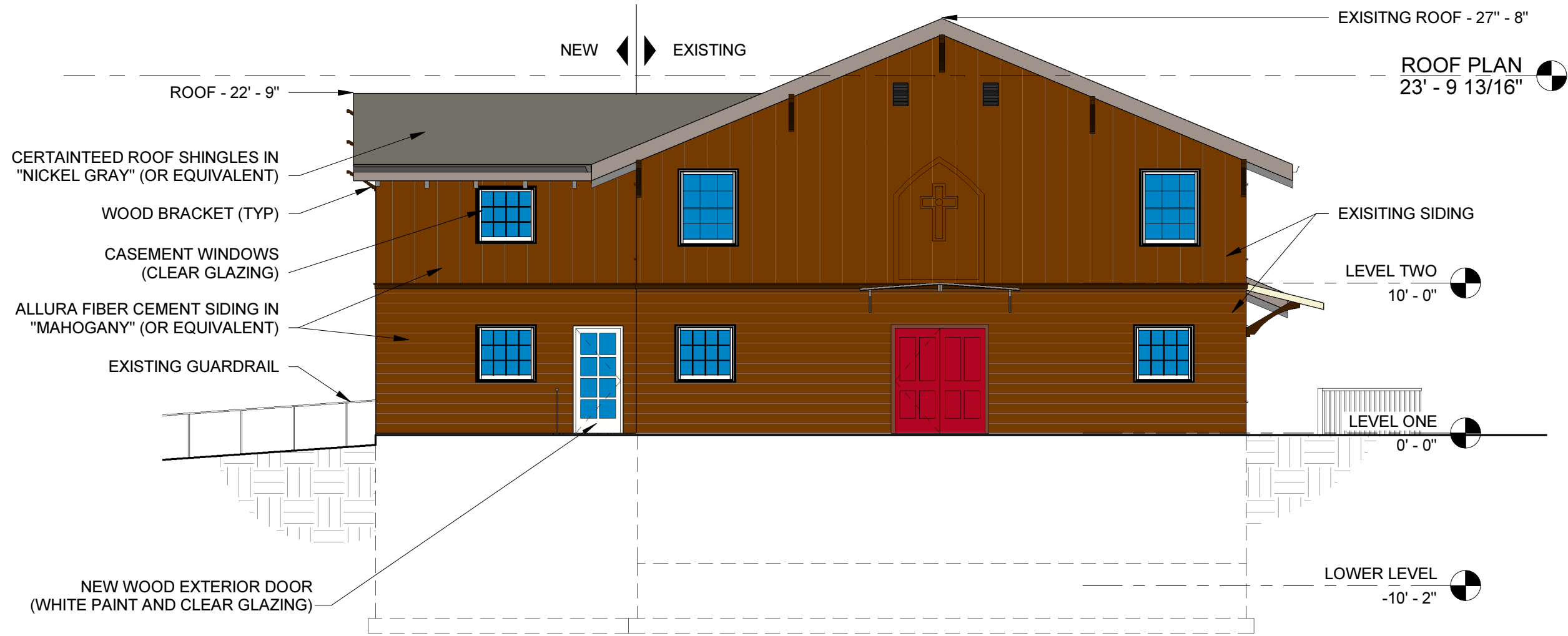
# CHURCH OF THE RESURRECTION

1330 SCHOETTLER RD., CHESTERFIELD, MO, 63107

A4

06/20/22





● SOUTH ELEVATION

SCALE: 1/8"=1'-0"

2019041



SAINT LOUIS DESIGN ALLIANCE

6014 DELMAR BLVD.  
314.863.1313

SAINT LOUIS, MO 63112  
www.stlida.com

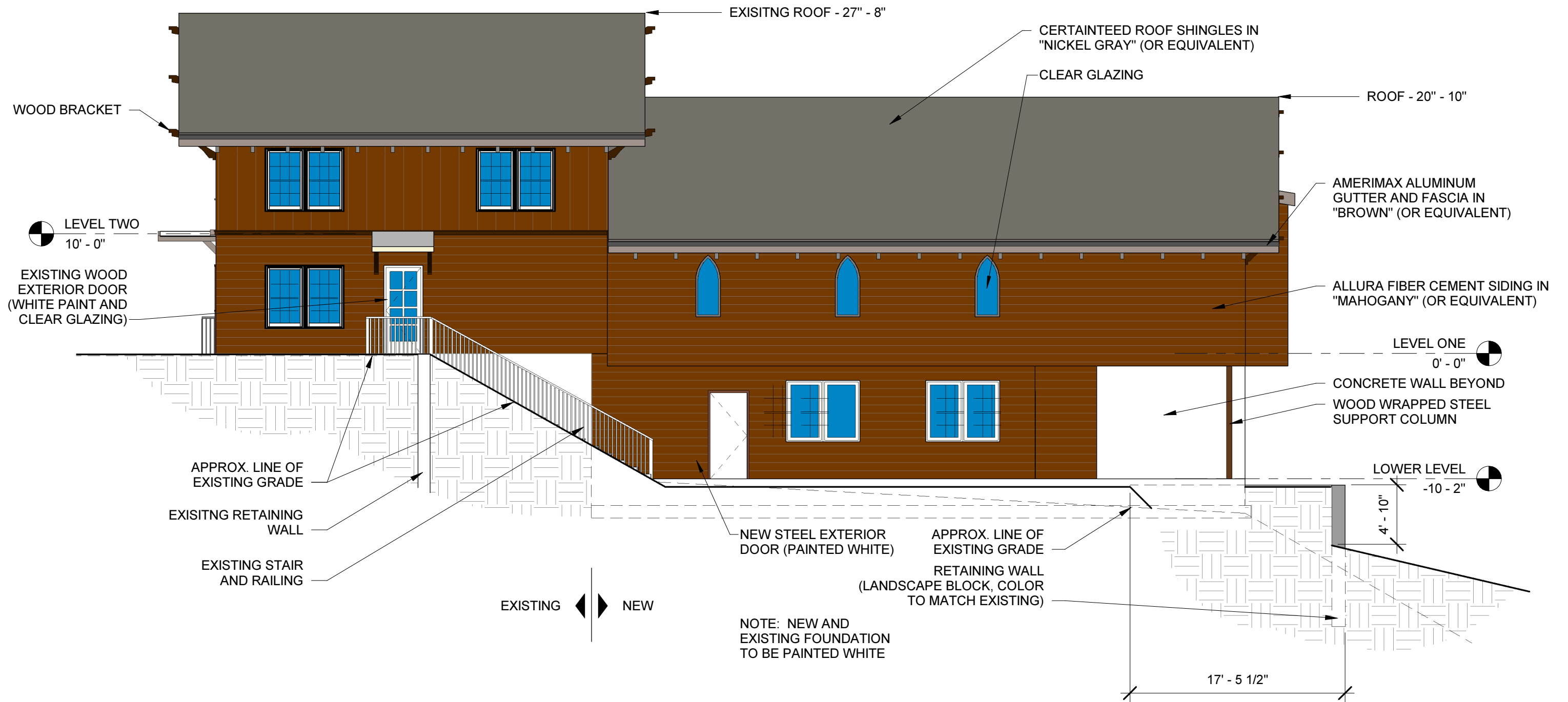
# CHURCH OF THE RESURRECTION

1330 SCHOETTLER RD., CHESTERFIELD, MO, 63107

# A5

06/20/22





**EAST ELEVATION**

SCALE: 1/8"=1'-0"

2019041



SAINT LOUIS DESIGN ALLIANCE

6014 DELMAR BLVD.  
314.863.1313

SAINT LOUIS, MO 63112  
www.stlida.com

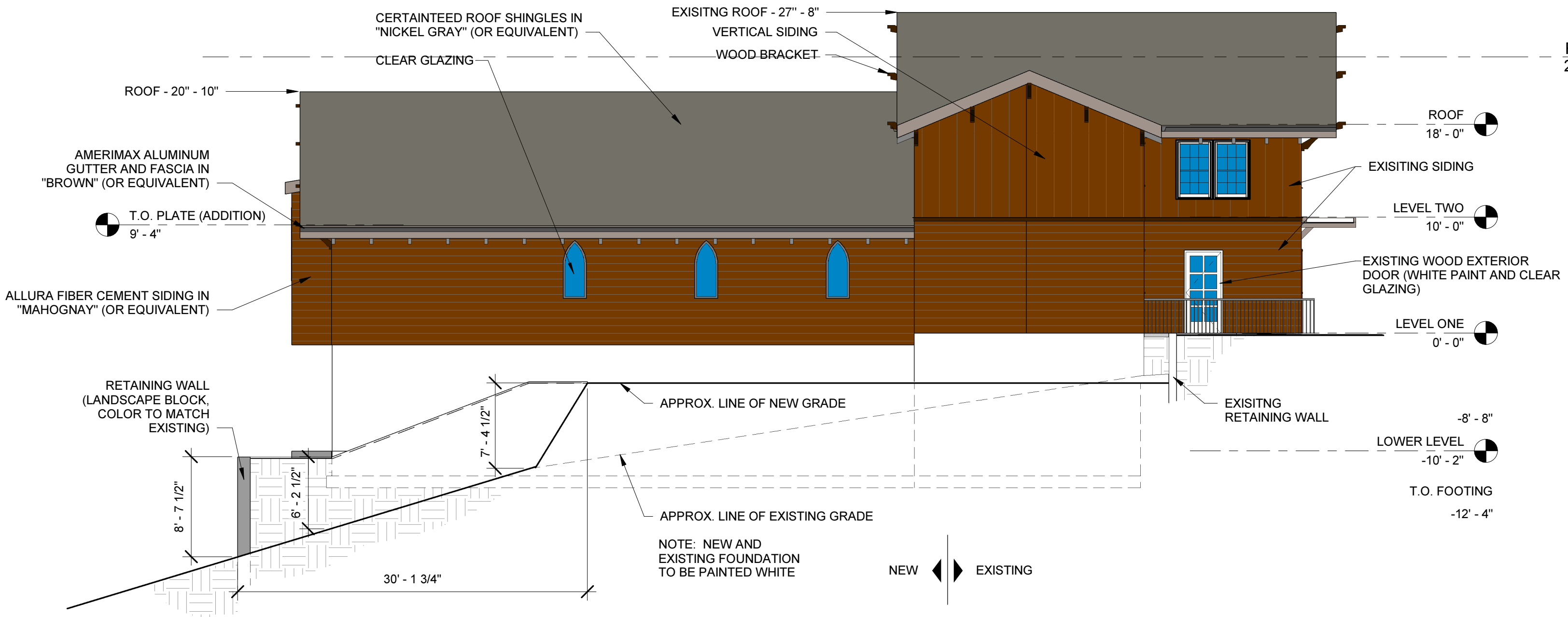
**CHURCH OF THE RESURRECTION**

1330 SCHOETTLER RD., CHESTERFIELD, MO, 63107

**A6**

06/20/22





**● WEST ELEVATION**

SCALE: 1/8"=1'-0"

2019041



SAINT LOUIS DESIGN ALLIANCE

6014 DELMAR BLVD.  
314.863.1313

SAINT LOUIS, MO 63112  
www.stlida.com

**CHURCH OF THE RESURRECTION**

1330 SCHOETTLER RD., CHESTERFIELD, MO, 63107

**A7**

06/21/22



**Allenbury™ 12" 1 Light Wall Light Textured Black**

49980BKT

© 2021 Kichler Lighting LLC. All Rights Reserved.

**SPECIFICATIONS**

**Certifications/Qualifications**

[www.kichler.com/warranty](http://www.kichler.com/warranty)

**Dimensions**

Base Backplate	5.25 DIA
Extension	17.25"
Weight	1.00 LBS
Height from center of Wall opening (Spec Sheet)	4.25"
Height	9.00"
Width	12.00"

**Light Source**

Lamp Included	Not Included
Lamp Type	A19
Light Source	Incandescent
Max or Nominal Watt	100W
# of Bulbs/LED Modules	1
Socket Type	Medium
Socket Wire	150"

**Mounting/Installation**

Interior/Exterior	Exterior
Location Rating	Wet
Mounting Weight	1.00 LBS

**FIXTURE ATTRIBUTES**

**Housing**

Primary Material	EPMM
------------------	------

**Product/Ordering Information**

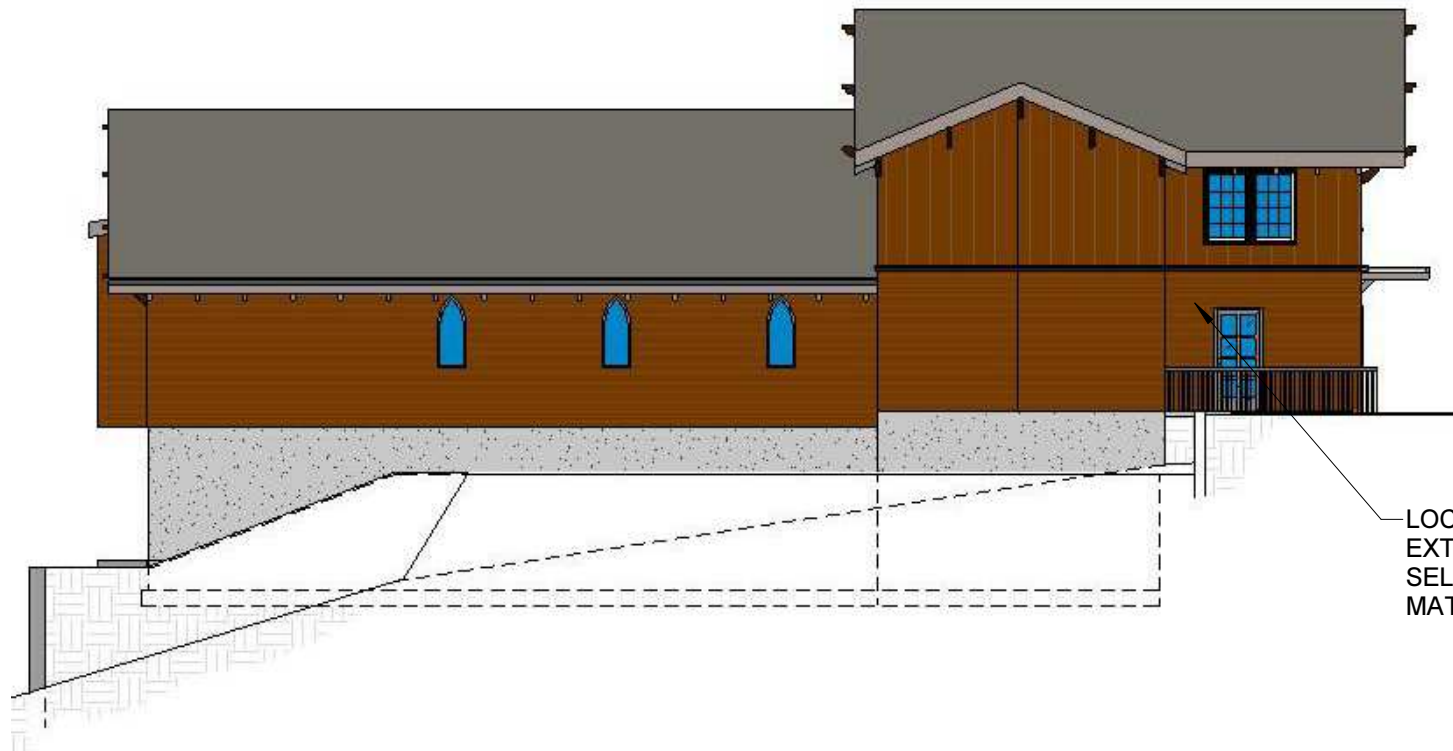
SKU	49980BKT
Finish	Textured Black
Style	Coastal
UPC	783927542944

**Finish Options**

- Old Bronze
- Textured Black
- White



**ALSO IN THIS FAMILY**



LOCATION OF NEW EXTERIOR LIGHTING, SELECTED TO MATCH EXISTING.

MAXIMUM WATTAGE OF FIXTURE = 100 W (APPROX. 1600 LUMENS)

● EXTERIOR LIGHTING

SCALE: NTS

[Kichler.com](http://Kichler.com)

**KICHLER**

2019041



SAINT LOUIS DESIGN ALLIANCE

6014 DELMAR BLVD.  
314.863.1313

SAINT LOUIS, MO 63112  
[www.stlida.com](http://www.stlida.com)

**CHURCH OF THE RESURRECTION**

1330 SCHOETTLER RD., CHESTERFIELD, MO, 63107

**A14**

07/12/22