

Planning Commission Staff Report

Meeting Date: October 24, 2022

From: Alyssa Ahner, Planner

Location: 100, 110, & 120 Long Road

Description: **Steve W. Wallace, Sign Package:** A Sign Package for a 2.8-acre tract of land zoned "C8"—Planned Commercial District located south of Chesterfield Airport Road and east of Long Road.

PROPOSAL SUMMARY

Farnsworth Group, Inc., on behalf of McDonald's Real Estate, has submitted a sign package for two (2) lots comprising the Steve W. Wallace subdivision. This request includes criteria for attached wall signs, gas station canopy signs, and freestanding signs. The primary reason behind requesting the sign package is to allow McDonalds a third attached wall sign. It is similar to the request made in 2020 for the McDonalds located at 1701 Clarkson Rd and the request made in 2021 for the McDonalds located at 13559 Olive Blvd.



Figure 1: Subject Site

HISTORY OF SUBJECT SITE

1997 – Rezoned “NU” Non-Urban District to a “C8” Planned Commercial District under governing Ordinance 1248 permitting a co-use convenience store/fast food restaurant, under canopy gas dispensing, and a freestanding three (3) bay oil/lube operation.

1997 – Rezoned from a “C8” Planned Commercial District to a new “C8” Planned Commercial District to fix errors relative to signage and entrances under governing Ordinance 1328.

2015 – Rezoned from “C8” Planned Commercial District to a new “C8” Planned Commercial District to modify development criteria and add permitted uses under governing Ordinance 2841.

2017 – Rezoned from “C8” Planned Commercial District to a new “C8” Planned Commercial District to modify development criteria under current governing Ordinance 2975.

ZONING AND LAND USE

The subject site is zoned “C8” Planned Commercial under the provisions of Ordinance 2975.

Direction	Zoning	Land Use
North	“NU” — Non-Urban & “PC” — Planned Commercial	Vacant/Undeveloped
South	“PC” — Planned Commercial	Autobody Repair/Office
East	“PC” — Planned Commercial	Church/Office
West	“C8” — Planned Commercial & “M3” Planned Industrial	Office/Retail

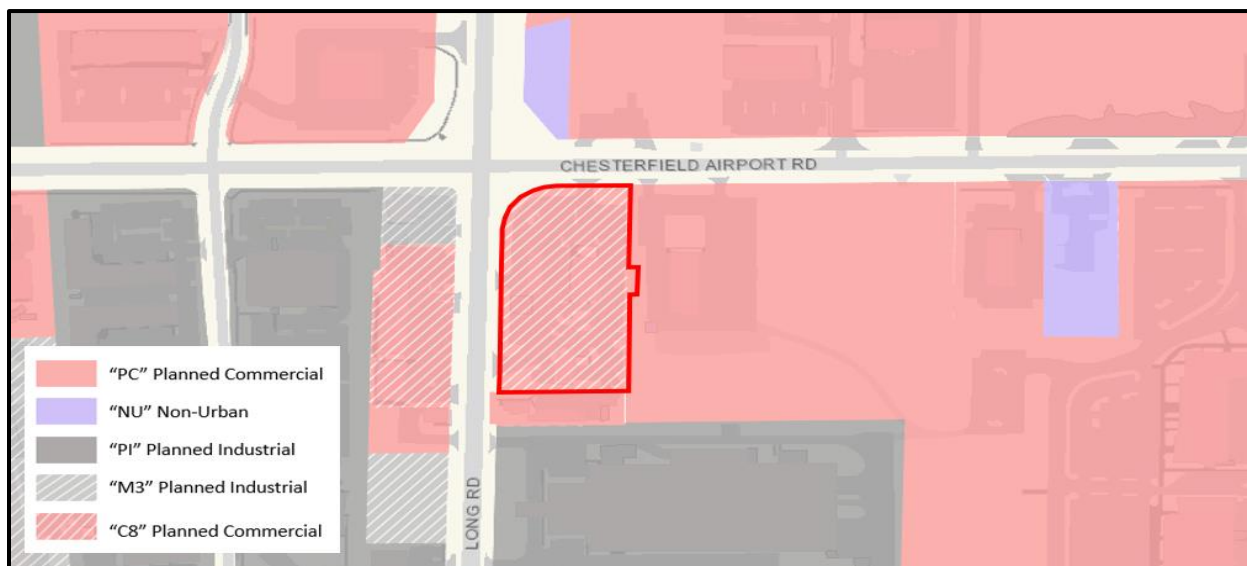


Figure 2: Zoning Map



Figure 3: Land Use Map

COMPREHENSIVE PLAN

The subject site is located within Ward 4 of the City of Chesterfield. The City of Chesterfield Land Use Plan indicates the subject site as being part of the Regional Commercial land use designation. The description states; *“Areas that serve regional commercial needs (emphasizing retail, dining, entertainment, hotel, and leisure components) and draw visitors from both Chesterfield and the surrounding areas. Multiple buildings planned and developed together using unified project development standards”*.

STAFF ANALYSIS

The purpose of a Sign Package is to provide comprehensive, complementary, and unified signage throughout a development. The UDC states that *“in order to encourage superior design, quality, and character, comprehensive sign packages allow for specialized review of signs and flexibility from standard signage requirements”*.

The UDC includes the following review factors that are to be considered by the Planning Commission when discussing the appropriateness of any requested sign package.

- 1) The physical impact of the proposed comprehensive sign package;
- 2) The quality of the proposed comprehensive sign package; and
- 3) Mitigation of unfavorable conditions such as excessive signs, light spillover from signs, height, and other related conditions and potentially negative impacts.

I. Freestanding Signs (Existing Onsite Today)

The development is permitted one freestanding sign per lot per the Unified Development Code. The two freestanding signs listed below exist onsite today and there are no proposed changes.

Lot 1 (McDonalds/BP)

- 1) One freestanding sign
- 2) 8 feet tall including the base
- 3) Outline square footage of 150

Lot 2 (Northwest Tire & Auto)

- 1) One freestanding sign
- 2) 4 feet tall excluding the 8-inch base
- 3) Outline square footage of 12

II. Freestanding Signs (Proposed)

The signs are to be governed as read on the Attachment A. There are no changes from what exists on site today on either lot. There is currently one freestanding sign for Lot 1 and one freestanding sign for Lot 2.

III. Attached Wall Signs (Existing Onsite Today)

Lot 1 is currently permitted one wall sign on any two elevations for each business in the co-use building. This means that McDonalds is currently allowed one sign on any two elevations and BP is allowed one wall sign on any two elevations for a total of four signs. The applicant is requesting the sign package to allow a third attached wall sign for McDonalds.

Lot 2 is currently permitted one wall sign on any two elevations. The list below details the existing signs and there are no proposed changes.

Lot 1 (McDonalds/BP)

- 1) Permitted a total of four signs (2 for McDonalds & 2 for BP)
- 2) One wall sign on any two elevations per business
- 3) Each sign shall not exceed 5% of the façade that they are on

Lot 2 (Northwest Tire & Auto)

- 1) Permitted a total of two signs
- 2) One wall sign on any two elevations
- 3) Each sign shall not exceed 5% of the façade that they are on

IV. Attached Wall Signs (Proposed)

There is a table below detailing the breakdown of sign location and the percentage of the elevation they encompass for the co-use building located on Lot 1. The applicant is proposing a total of five signs (3 for McDonalds split between two elevations and 2 for BP split between two elevations) which is one more than what exists on the building today. There are no changes proposed from what exists on Lot 2, however, a table has also been provided to show the breakdown of sign location and percentage of the elevation they encompass. The signs are to be governed as read on the Attachment A.

Co-Use Building on Lot 1 (McDonalds/BP)

Elevation	Sign 1	Sign 2	Sign 3	Sign 4	Sign 5	Total
North (1,080 sq ft)		14 sq ft Or 1.3%		20 sq ft Or 1.9%		2 signs or 3.2 % of elevation
East (1,800 sq ft)						0 signs or 0% of elevation
South (1,105 sq ft)	32.8 sq ft Or 3%					1 sign or 3% of elevation
West (1,753 sq ft)			14 sq ft Or .8%		20 sq ft Or 1.1%	2 signs or 1.9% of elevation

Single Use Building on Lot 2 (Northwest Tire & Auto)

Elevation	Sign 1	Sign 2
North (608 sq ft)		24 sq ft or 3.9%
West (1,388 sq ft)	66 sq ft or 4.75%	

V. Canopy/Awning Signs (Existing/Proposed)

The applicant is proposing three (3) signs on the gasoline service canopy. These three (3) signs exist on site today but two of them are slightly larger than what the Unified Development Code would allow. Per the UDC, “the outline area of the message shall not exceed fifteen percent (15%) of the horizontal projection in elevation of the exterior surface of the awning or canopy.” A table has been provided below to show what exists on site today and are proposed to remain the same.

Elevation	Sign 1	Sign 2	Sign 3
North (82.5 sq ft)	12.9 sq ft or 15.6%		
South (82.5 sq ft)		12.9 sq ft or 15.6%	
West (240 sq ft)			12.9 sq ft or 5.4%

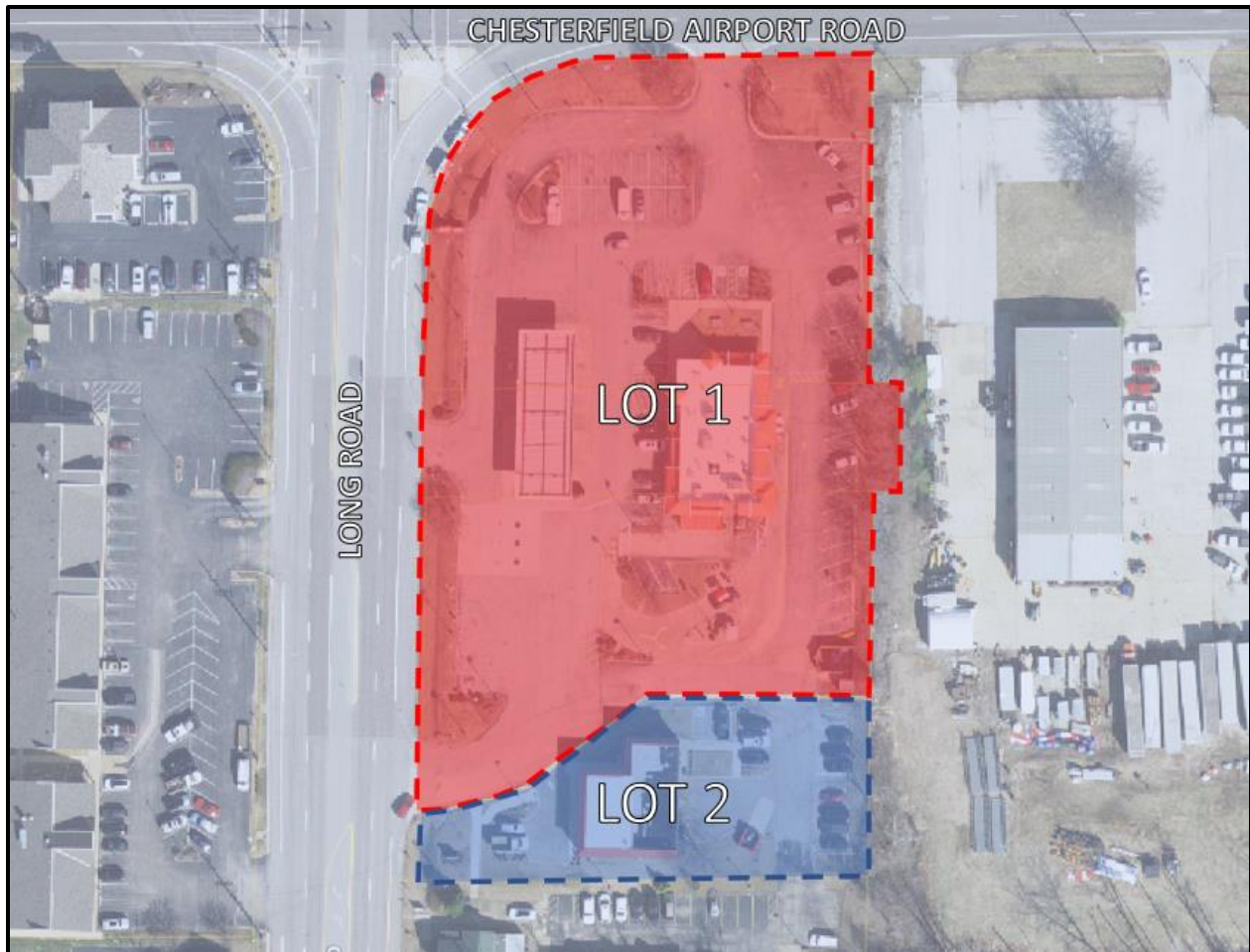


Figure 4: Lot 1 and Lot 2 of Steve W. Wallace subdivision

STAFF RECOMMENDATION

Staff has reviewed the Sign Package request and found that it meets the requirements to be presented to the Planning Commission for review, and staff recommends action.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Sign Package for Steve W. Wallace, as presented.
- 2) "I move to approve the Sign Package for Steve W. Wallace with the following conditions..."

(Conditions may be added, eliminated, altered or modified)

Attachments

1. Attachment A
2. Applicant's Supplemental Packet

SIGN REGULATIONS

All signage within the development shall be in conformance with the Comprehensive Sign Package.

All tenants, businesses, owners within the development shall receive a copy of the Comprehensive Sign Package from the owner at the time of lease/sale.

Any signage not specifically identified in the Comprehensive Sign Package shall conform to the City of Chesterfield Sign Code.

Lot 1 – As depicted on Exhibit A

I. SIGNS – ATTACHED TO WALL

Specific Criteria for One Building

1. North Elevation - Permitted two (2) signs
 - a. Signage Area 1
 - i. Outline area shall not exceed twenty-eight (28) square feet
 - b. Signage Area 2
 - i. Outline area shall not exceed twenty (20) square feet
2. West Elevation - Permitted two (2) signs
 - a. Signage Area 1
 - i. Outline area shall not exceed twenty-eight (28) square feet
 - b. Signage Area 2
 - i. Outline area shall not exceed twenty (20) square feet
3. South Elevation - Permitted one (1) sign
 - a. Signage Area 1
 - i. Outline area shall not exceed thirty-three (33) square feet

II. SIGNS – FREESTANDING

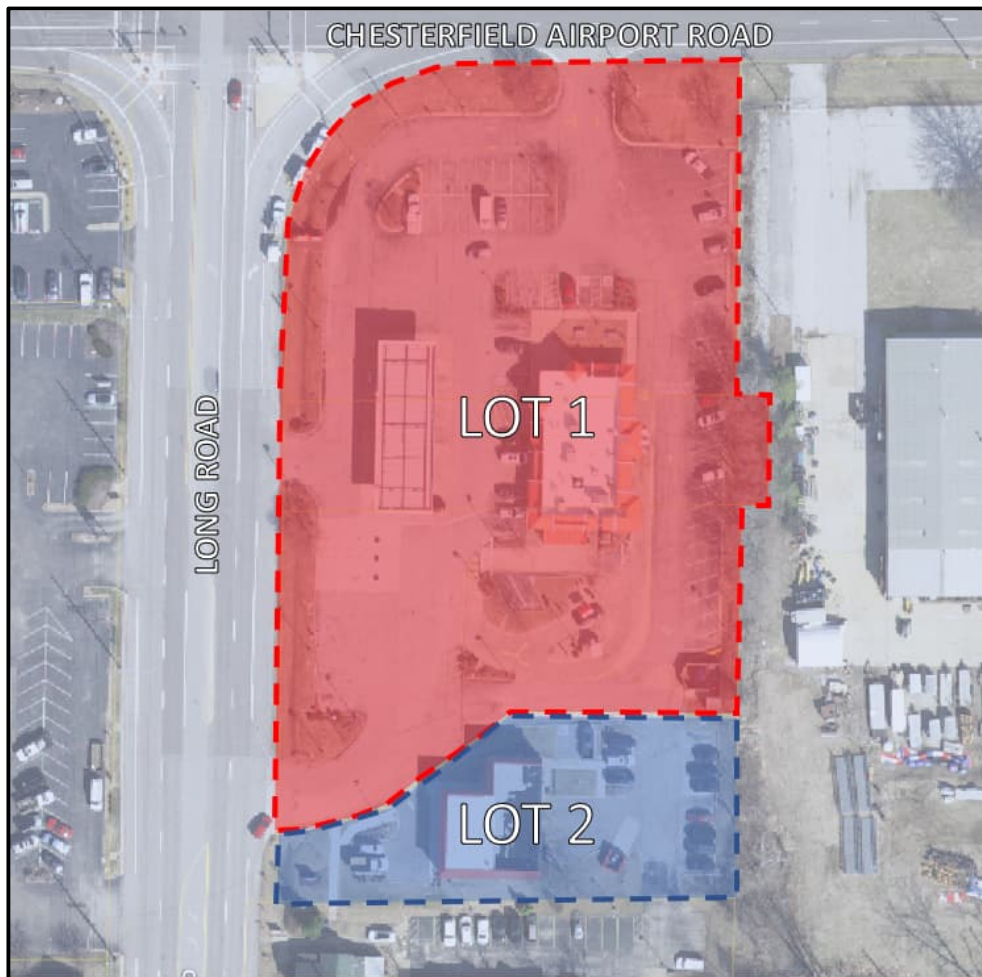
1. Permitted one (1) sign in the location depicted on the Site Plan
 - a. Outline area shall not exceed one hundred fifty (150) square feet including the base
 - b. Sign shall not exceed eight (8) feet in height including the base

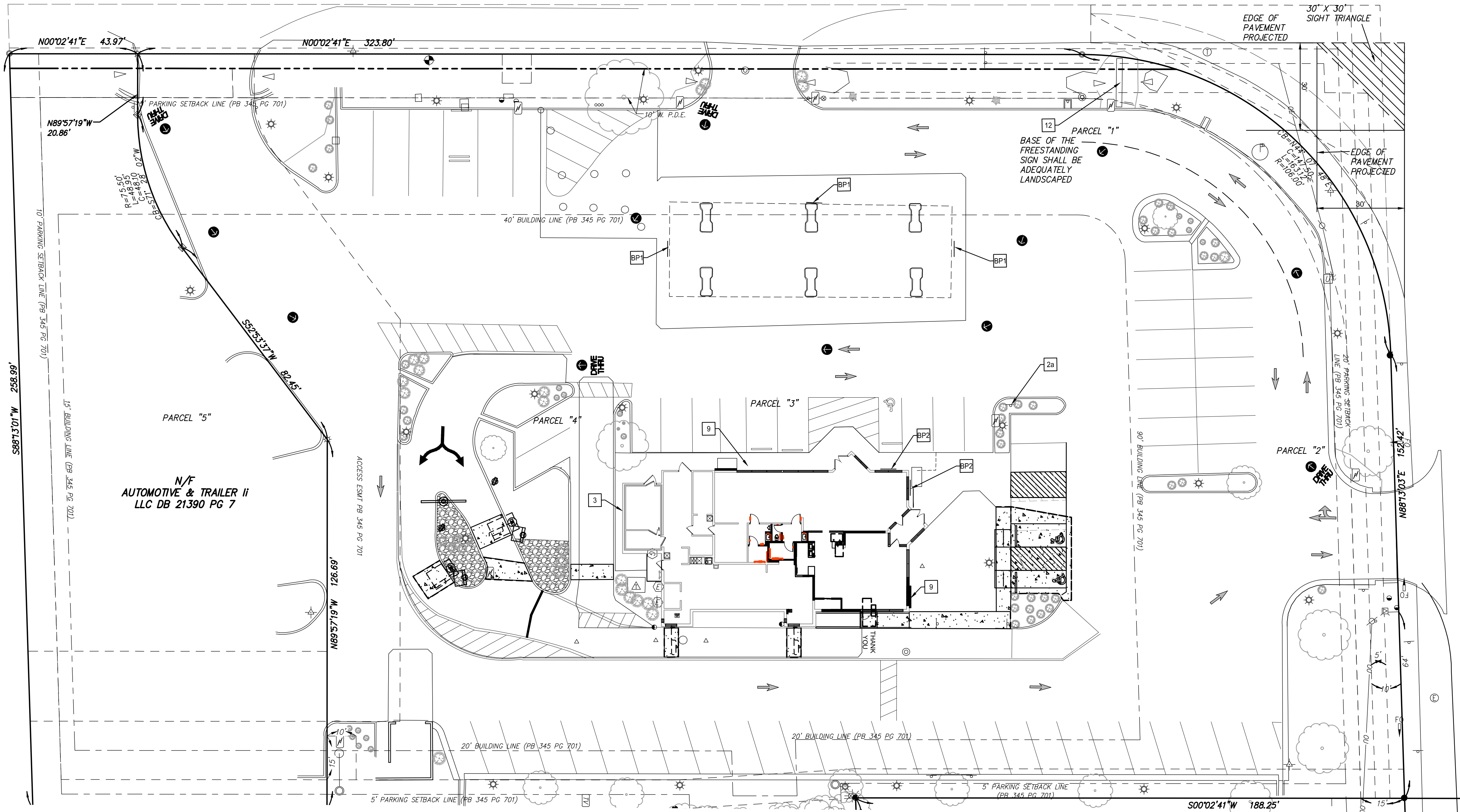
III. SIGNS – AWNING/CANOPY

1. Permitted one (1) sign on any three (3) elevations
 - a. Outline of signage area shall not exceed thirteen (13) square feet

IV. This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of the document.

EXHIBIT A





MCDONALD'S SIGN LEGEND

SIGN

- 3 McDonald's
- 9 Arch
- 12 Existing Road Sign
- BP1 Existing Canopy Mounted BP Emblem
- BP2 Existing Building Mounted Shop Sign to be removed and reinstalled

VERIFY SIGNAGE WITH SIGN ORDER REQUEST FORM. VERIFY LOCATIONS WITH MCDONALD'S REPRESENTATIVE.

SIGN PERMITS TO BE APPLIED FOR AND PICKED UP BY THE SIGN CONTRACTOR

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	3-9-20	CITY COMMENTS	JPB	
2	5-29-20	CITY COMMENTS	JPB	
3	7-9-20	CITY LANDSCAPE COMMENTS	JPB	
4	6-4-21	SIGN PACKAGE COMMENTS	JPB	
5	4-29-22	MISC	JPB	
6	5-12-22	MISC	JPB	
7	9-7-22	BRAND REVIEW	JPB	
8	9-20-22	SIGN PACKAGE COMMENTS	JPB	

THIS SHEET HAS BEEN SIGNED, SEALED, AND DATED ELECTRONICALLY.
 Farnsworth Group, Inc.
 Missouri State Certificate of Authority #001321

McDonald's
 HEARTLAND REGION
 10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210
 ADDRESS 110 LONG ROAD CHESTERFIELD, MO 63005

MCDONALD'S SIGN AREA TABLE

MARKER	DESCRIPTION	QUANTITY	BOXED AREA IN SQUARE FEET	TOTAL AREA IN SQUARE FEET BOXED	SIGN COLORS	REMARKS
3	MCDONALD'S	1	32.84	32.84	WHITE (MODIFIED ACRYLIC MOLDED FACES/LETTER BODIES)	NEW BUILDING MOUNTED, DEVIATES FROM UDC (ADDITIONAL WALL MOUNTED SIGN ONE SIGN ALLOWED ON 3 BLDG FACES)
9	ARCH	2	14.00	28	YELLOW	NEW BUILDING MOUNTED
12	EXISTING ROAD SIGN	1	150/2 = 75	150/2 = 75	SIGN PANELS - YELLOW ARCHES - WHITE MCDONALD'S AND GREEN YELLOW AND WHITE BP LOGO AND PRICE PANELS	EXISTING ROAD SIGN NO CHANGE EXISTING NON CONFORMING SIGN
BP1	BP EMBLEM	3	13	39	MULTI GREEN WITH YELLOW AND WHITE SUNBURST EMBLEM ON A WHITE MEDALLION	EXISTING CANOPY MOUNTED
BP2	"SHOP"	2	20	40	MULTI GREEN WITH WHITE LETTERS	EXISTING BUILDING MOUNTED

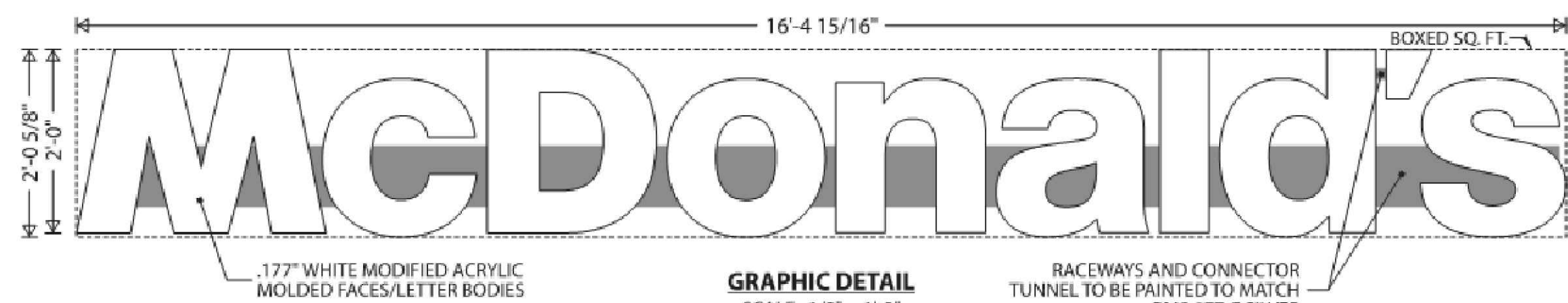
Business signs: attached to wall.
 General provisions:
 (1) Subject to the specific regulations set out below, each business occupying a tenant space or being the sole occupant of a freestanding building shall have no more than one (1) attached business sign on any two (2) walls of a building that are exterior walls of the particular building or tenant space. In addition to identifying a particular business, such signs may be used for the name and logo of the building or development project.
 (2) The outline area of each sign shall not exceed five percent (5%) of the wall area of the business on which said sign is attached. No business sign shall exceed three hundred (300) square feet in outline area.
 For a business being the sole occupant of a building located on a corner lot or a lot with double frontage, said business may have one (1) attached business sign on any three (3) walls of a building that are exterior walls.

Informational signs:
 (a) Informational signs shall not exceed sixteen (16) square feet in outline area per facing. Freestanding informational signs shall not extend more than six (6) feet above the elevation of the adjacent street or elevation of the average existing finished grade at the base of the sign, whichever is higher.
 (b) No informational sign shall be located on or over a public right-of-way without approval of the City of Chesterfield, and/or St. Louis County Department of Highways and Traffic, and/or the Missouri Department of Highway and Transportation as applicable.
 (c) The height of all informational signs shall not exceed six (6) feet when located within the minimum front yard setback of each particular zoning district.
 (d) Outdoor public artwork or public art displays are permitted one (1) informational sign. Signage shall not exceed three (3) feet in height, from grade to top of sign, and the sign face shall not exceed ten (10) inches by ten (10) inches or five (5) inches by twenty (20) inches in outline area. Requests for modification to the size limitation shall be reviewed by the City of Chesterfield City Council. Said modification shall require a two-thirds-vote of the City Council.

A restaurant with a drive-up or drive-through food pickup facility may have either one (1) freestanding or one (1) wall menu sign not to exceed thirty-two (32) square feet in area associated with the order station. No freestanding menu sign shall exceed eight (8) feet in height or width or be illuminated in any manner other than from an internal source.

PLAN APPROVAL		DATE	BY
REGIONAL MGR.	SIGNATURE (2 REQUIRED)		
CONST. MGR.			
PROJECT MANAGER			
REAL ESTATE MGR.			
CONTRACTOR	CO-SIGN SIGNATURES		
OWNER			
STATUS	DATE	BY	
PRELIMINARY	5/1/18	FG	
FINAL PLAN	-	FG	
AS-CONST.			

C1.4
 SIGN PLAN



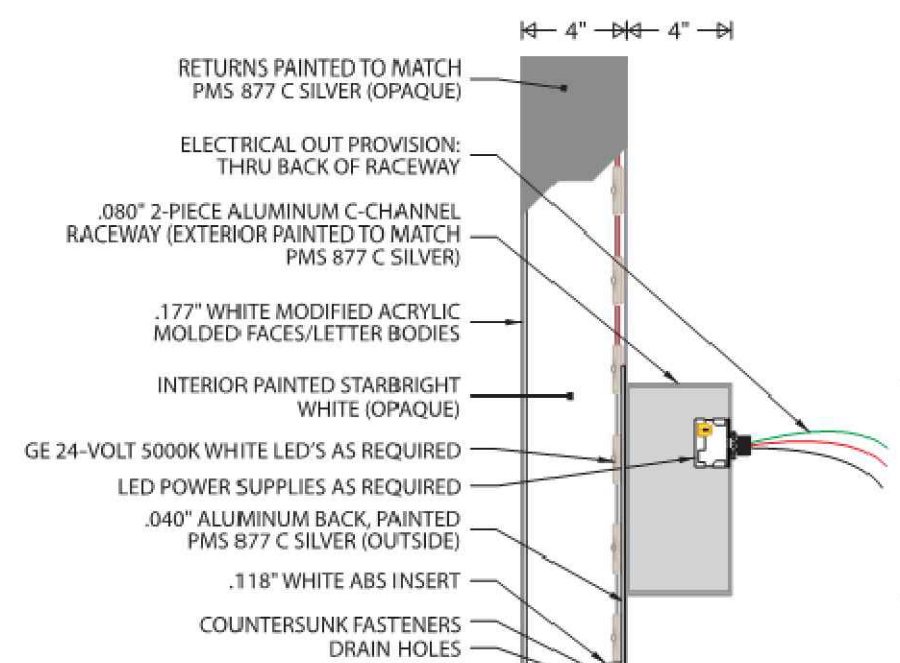
GRAPHIC DETAIL
SCALE: 1/2" = 1'-0"

RACEWAYS AND CONNECTOR TUNNEL TO BE PAINTED TO MATCH PMS 877 C SILVER

- NOTES:**
- .177" MOLDED WHITE MODIFIED ACRYLIC LETTER BODIES INSTALLED ON ALUMINUM BACKS
 - .118" WHITE ABS INSERTS
 - EXTERIOR FINISH: MATCH PMS 877 C SILVER (OPAQUE); BACKS PAINTED STAR-BRIGHT WHITE (OPAQUE)
 - INTERIOR FINISH: STAR-BRIGHT WHITE (OPAQUE)
 - LETTER BODIES REMOVABLE FOR SERVICE ACCESS
 - ACCESS PANEL BEHIND LETTER "H" FOR RACEWAY ACCESS
 - U.L. APPROVED
 - ELECTRICAL: 1.10 AMPS, 120 VOLTS

ILLUMINATION
M only 1,907 LUMENS
FULL LETTERSET 10,640 LUMENS
PER SQUARE FOOT 470 LUMENS

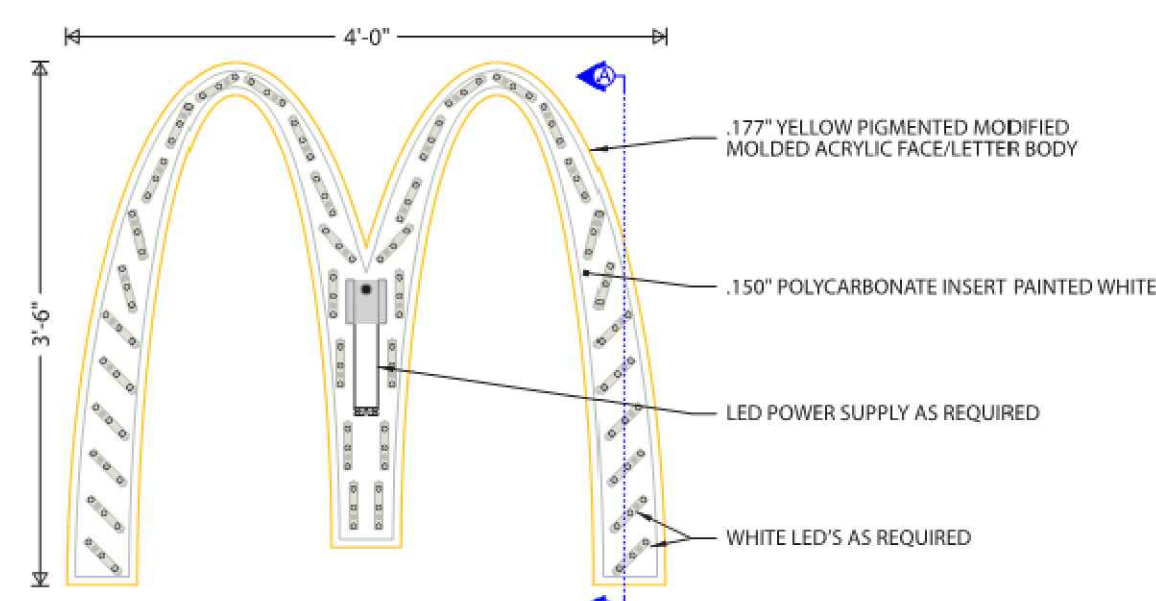
32.84 SQUARE FEET BOXED



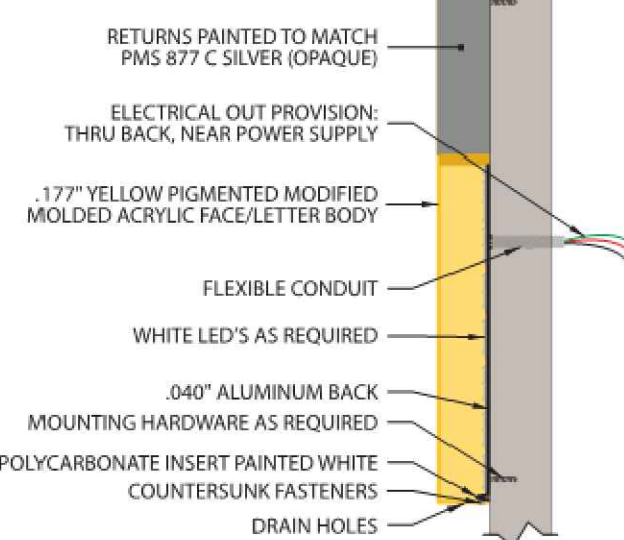
LETTER PROFILE
SCALE: 1/2" = 1'-0"

3 New McDonald's (Bldg Mounted) (1 Thus)

Scale: None

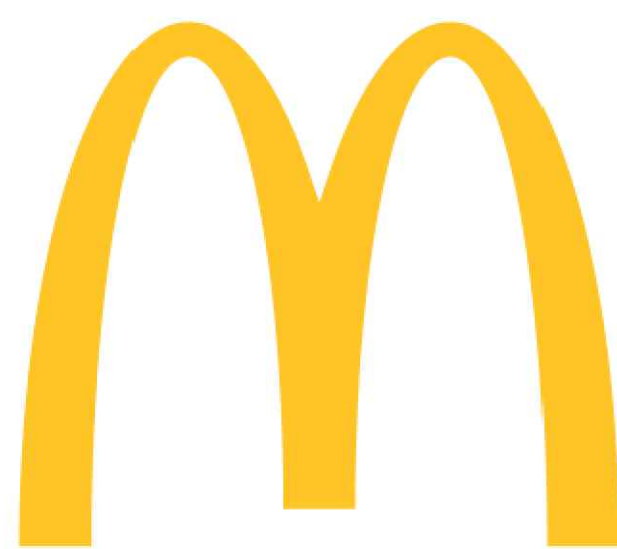


FRAME & LAMP DETAIL
SCALE: 3/4" = 1'-0"



CROSS SECTION A-A
SCALE: 3/4" = 1'-0"

ILLUMINATION
1,010 LUMENS



GRAPHIC DETAIL
SCALE: 3/4" = 1'-0"

FRAME DETAIL:
DESIGN FACTOR: TBD
.177" FORMED YELLOW PIGMENTED (PMS 123 C) MODIFIED ACRYLIC FACE/LETTER BODY
EXTERIOR FINISH: PAINTED TO MATCH PMS 877 C SILVER (OPAQUE)
INTERIOR FINISH: PAINTED STAR-BRIGHT WHITE (OPAQUE)
.150" POLYCARBONATE INSERT PAINTED STAR-BRIGHT WHITE
.040" ALUMINUM BACK
LETTER BODY REMOVABLE FOR SERVICE ACCESS
U.L. APPROVED
ELECTRICAL: 0.25 AMPS, 120 VOLTS
SQUARE FOOTAGE:
BOXED = 14.00
ACTUAL = 4.90

9 New 48" Arch (Bldg Mounted) (3 Thus)

Scale: None

112 TOTAL SQUARE FEET BOXED



12 Existing/Proposed Road Sign

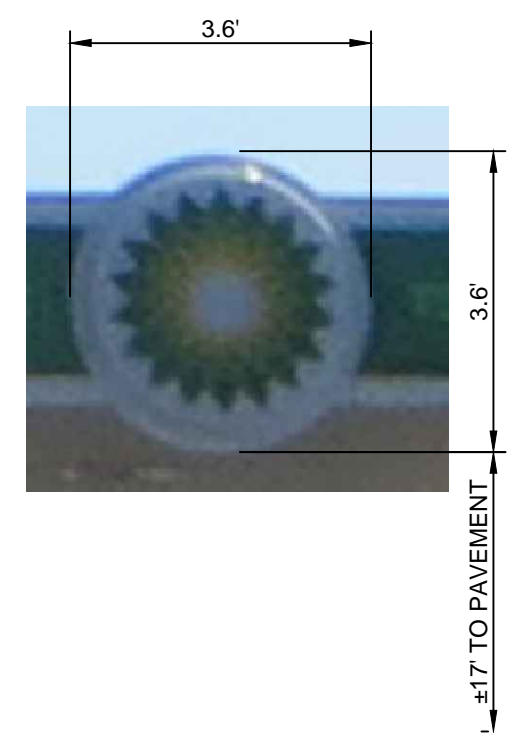
Scale: None

20 SQUARE FEET NO CHANGE IN LIGHTING TO BE REMOVED AND REINSTALLED



BP2 Existing Building Mounted Shop (2 Thus)

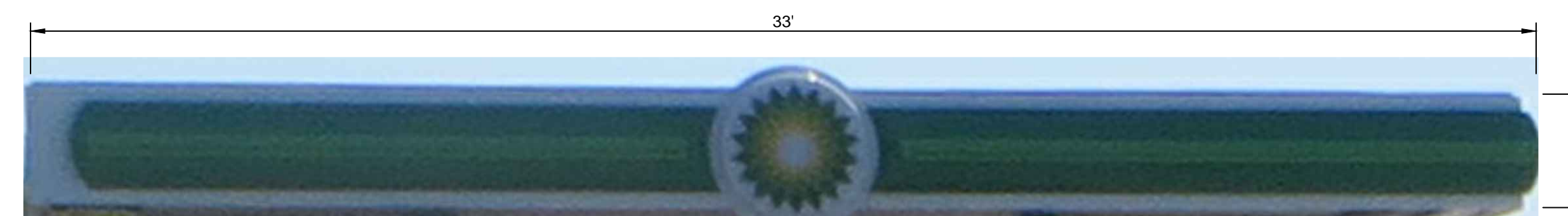
Scale: None



13 SQUARE FEET BACK LIT FROM EXISTING CANOPY PROJECTS ± 6" FROM FACE OF CANOPY

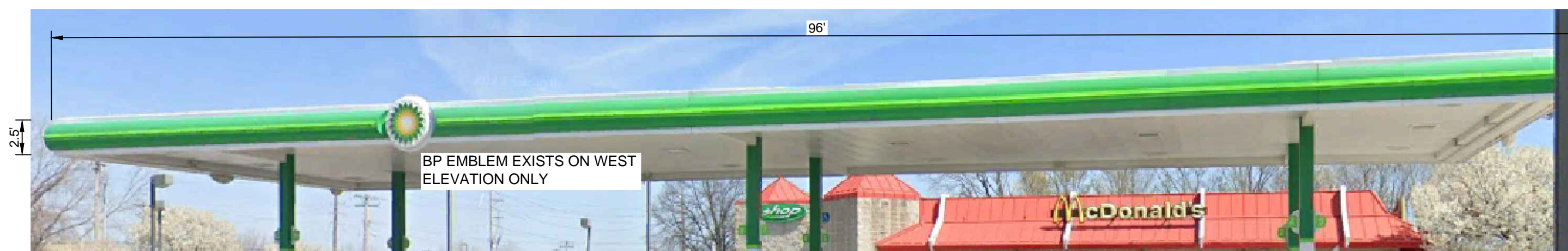
BP1 Existing Canopy Mounted BP Emblem (3 Thus)

Scale: None



Existing North/South Canopy Elevation

Scale: None



Existing West/East (Similar) Canopy Elevation

Scale: None

PROPOSED SIGNS

EXISTING SIGNS

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	3-9-20	CITY COMMENTS	JPB	
2	5-29-20	CITY COMMENTS	JPB	
3	7-9-20	CITY LANDSCAPE COMMENTS	JPB	
4	6-4-21	SIGN PACKAGE COMMENTS	JPB	
5	4-29-22	MISC	JPB	
6	5-12-22	MISC	JPB	
7	9-7-22	BRAND REVIEW	JPB	
8	9-20-22	SIGN PACKAGE COMMENTS	JPB	

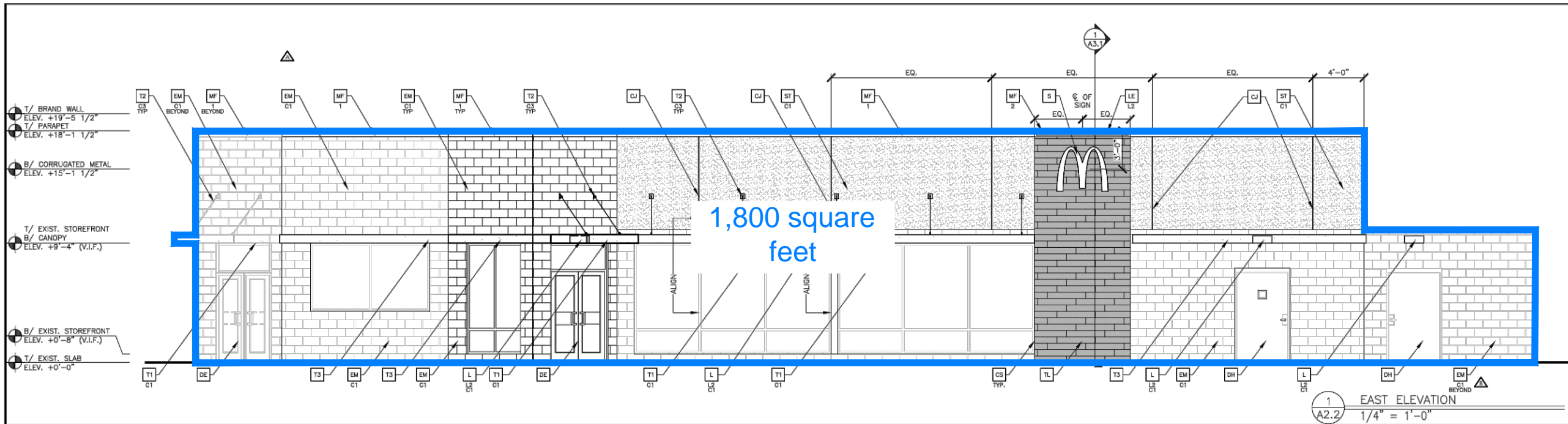
THIS SHEET HAS BEEN SIGNED, SEALED, AND DATED ELECTRONICALLY
Farnsworth Group, Inc.
Missouri State Certificate of Authority #001321

McDonald's
HEARTLAND REGION
10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210
ADDRESS 110 LONG ROAD CHESTERFIELD MO 63005

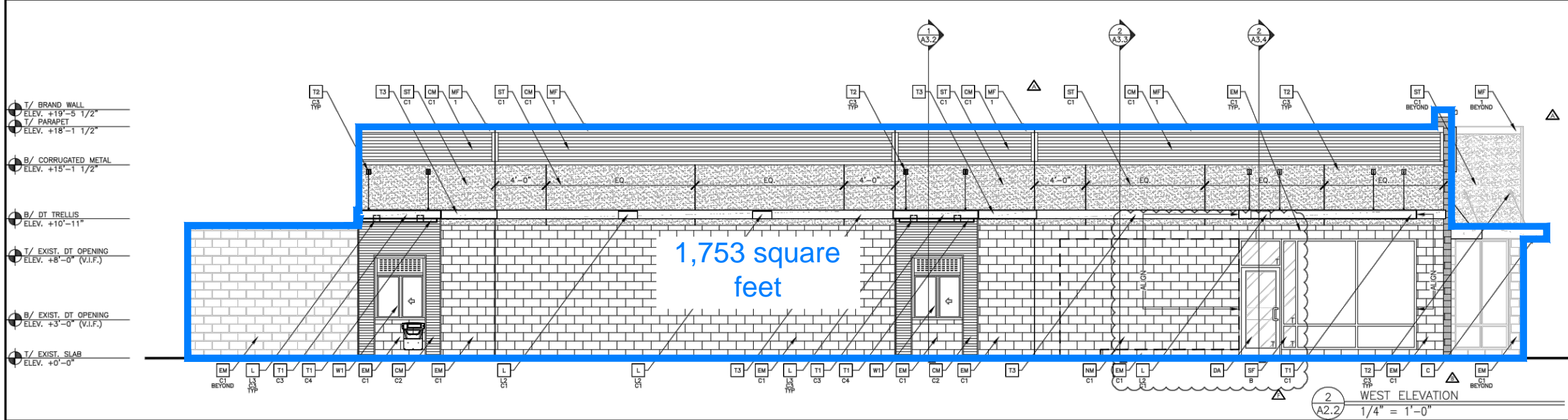
PLAN APPROVAL	DATE
SIGNATURE (2 REQUIRED)	
REGIONAL MGR.	
CONST. MGR.	
PROJECT MANAGER	
REAL ESTATE MGR.	
CO-SIGN SIGNATURES	
CONTRACTOR	
OWNER	

STATUS	DATE	BY
PRELIMINARY	5/1/18	FG
FINAL PLAN	-	FG
AS-CONST.		

C1.4a
SIGN ELEVATIONS



1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

EUROWEST TILE GENERAL NOTES

- OUTSIDE CORNERS BY SCHLUTER SYSTEMS - COLOR TO MATCH TILE PERIMETER JOINTS - MOVEMENT JOINTS ARE REQUIRED WHERE TILE WORK ABUTS RESTRAINING SURFACES SUCH AS PERIMETER WALLS, AND GRADE. FLEXIBLE SEALANT AND COMPRESSIBLE BACK-UP WHEN REQUIRED OR BOND BREAKER TAPE.
- TIE-BACK AND SIGNAGE ATTACHMENT - PRE-DRILL TILE AND SLEEVE AND SEAL ALL ATTACHMENT POINTS.

NOTES
1. STUCCO AND EPS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

COLOR SCHEME NOTE
C.C. TO CONFIRM COLOR SCHEME WITH PROJECT MANAGER & LEGAL SUBMISSION. COLOR RENDERINGS PRIOR TO CONSTRUCTION. SEE CV SHEET FOR CONTACT INFO.

SHOP DRAWINGS
SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF 2 COPIES OF EACH DRAWING.
SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTAL IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT.

DRAWINGS CREATED BY THE ARCHITECT OF RECORD CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.

SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING:
1. STOREFRONT GLAZING SYSTEM
2. TRELIS/CANOPY SYSTEM



COLOR SCHEME: 'CRAFTSMAN SCHEME'

(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEYNOTES (NOT ALL KEY NOTES MAY BE USED)

- | | | | |
|---|--|--|---|
| <p>C ALUMINUM CANOPY FASCIA SYSTEM (COLOR: WHITE)</p> <p>CJ CONTROL JOINT</p> <p>CM CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A3.0 FOR ADDITIONAL SPECIFICATIONS</p> <p>XX -COLOR:
C1 = "CITYSCAPE"
C2 = "CHARCOAL"</p> <p>CS OUTSIDE CORNER STRIPS RONDIC R0100TSDA BY SCHLUTER SYSTEMS ALUMINUM HEIGHT:10MM COLOR: DARK ANTHRACITE COMMERCIALSUPPORT@SCHLUTER.COM, (800) 267-0817</p> <p>DA ALUMINUM DOOR - REFER TO DOOR SCHEDULE FOR DETAILS</p> <p>DE EXISTING ALUMINUM DOOR</p> <p>DH EXISTING HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL</p> <p>EM EXISTING BUILDING MATERIAL TO BE PAINTED</p> <p>XX -COLOR:
C1 = FAIRVIEW TALUPE HC-85 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE</p> <p>EJ EXPANSION JOINT TO BE FILLED WITH ELASTOMERIC SEALANT (MASONRY ONLY)</p> | <p>GR EXISTING GUARDRAIL TO REMAIN; PAINT TO MATCH</p> <p>L LIGHT FIXTURE - SEE ELECTRICAL</p> <p>LT -TYPE:
L1 = UP AND DOWN SCIENCE
L2 = DOWN ONLY SCIENCE
L3 = RECESSED DOWN FIXTURE
L4 = FLOOD LIGHT</p> <p>LE ACCENT LIGHTING - SEE ELECTRICAL</p> <p>L1 -LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT</p> <p>MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL</p> <p>TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA</p> <p>MA MOVEMENT JOINT - DILEX BWB100GS BY SCHLUTER SYSTEMS
COLOR: BLACK</p> <p>ML METAL LETTERING - BY OTHERS</p> | <p>NM NEW BUILDING MATERIAL (TO MATCH EXISTING WHERE OCCURS)</p> <p>XX -COLOR:
C1 = FAIRVIEW TALUPE HC-85 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE</p> <p>RL EXISTING ROOF LADDER</p> <p>RD EXISTING GUTTER AND DOWNSPOUT PAINT TO MATCH SURROUNDING MATERIAL</p> <p>S McDONALD'S SIGNAGE TYPE:
1-1 THRU 6 - SEE SIGNAGE PACKAGE</p> <p>SF STOREFRONT SYSTEM AND GLAZING; SEE A1.1 FOR PLAN LOCATION & A5.1 FOR WINDOW TYPES</p> <p>A -WINDOW TYPE</p> <p>SP SPANDREL PANEL - COLOR TO MATCH ADJACENT MATERIAL IN KIND</p> <p>ST STUCCO/EIFS REFER TO A3 SERIES FOR EXTERIOR ASSEMBLY DETAILS</p> <p>XX -COLOR:
C1 = FAIRVIEW TALUPE HC-85 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE</p> <p>T TEMPERED GLASS</p> <p>TE OUTLINE OF EXISTING TRASH ENCLOSURE IN FRONT OF BUILDING; PAINT TO MATCH BASE BUILDING</p> | <p>TL TILE EUROWEST: E-WOOD COLLECTION COLOR: R9 BLACK SIZE: 8"X8" 1/4 RUNNING BOND WATERPROOFING SETTING MATERIAL AND GROUT: BY MAFEI GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL GROUT WIDTH: 1/8" TO 3/16" CONTACT: ANN DETER, (714) 937-7500</p> <p>T1 ALUMINUM TRELIS SYSTEM</p> <p>XX -COLOR:
C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL
C4 = GOLD</p> <p>T2 ALUMINUM TRELIS TIE-BACK SYSTEM</p> <p>XX -COLOR:
C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL</p> <p>T3 ALUMINUM TRELIS 2"x8" WALL FASCIA SYSTEM COLOR: CITYSCAPE</p> <p>W1 EXISTING DRIVE-THRU WINDOW</p> |
|---|--|--|---|

DATE	DESCRIPTION	BY
11/20/19	O/D UPDATES	DAD
2/21/20	PERMIT COMMENTS	DAD
4/22/22	SAC/BDMP UPDATE	BA



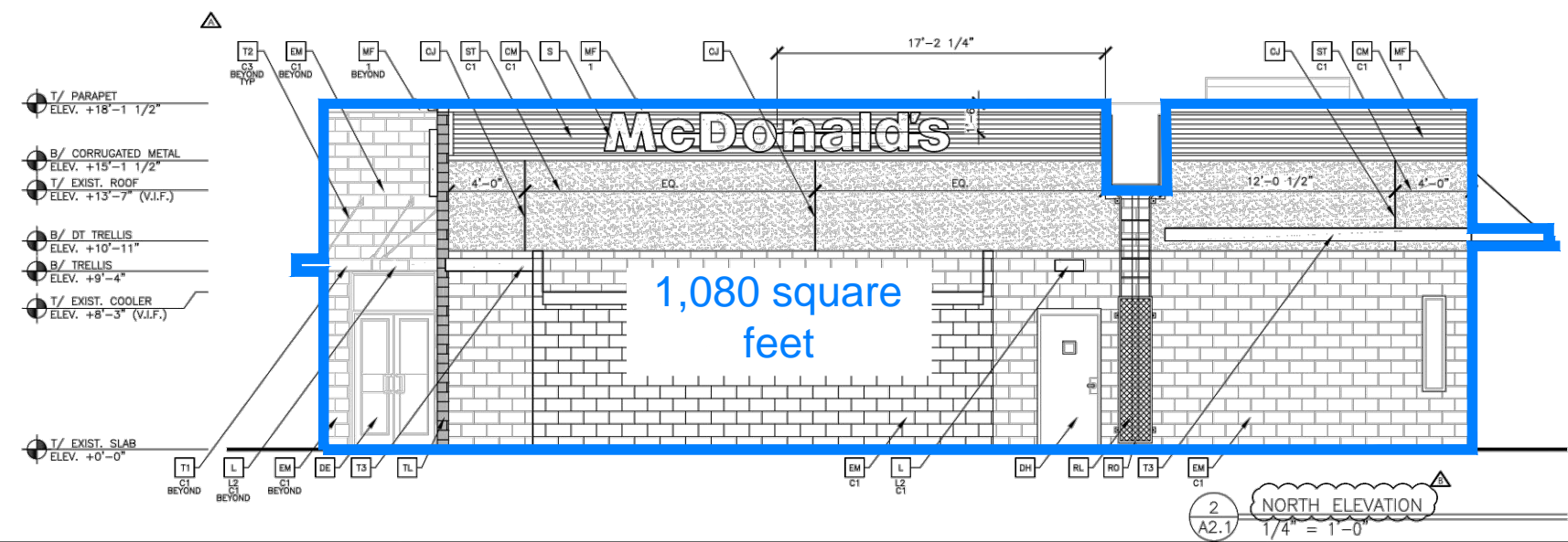
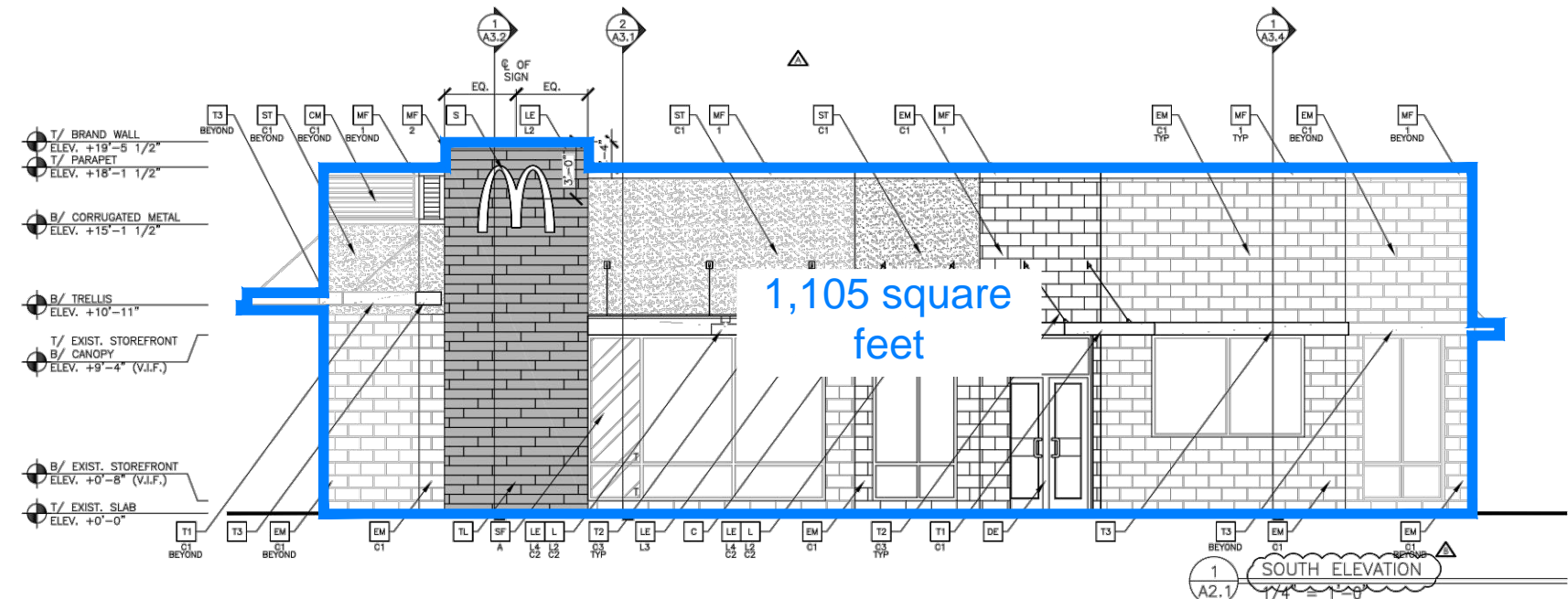
PREPARED BY: **McDonald's USA, LLC**
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DATE	DESCRIPTION	BY
APR 2018	MRP PROGRAM	A.KEHR-GRANT
09/13/18	EXISTING MASONRY WALL CONSTRUCTION	A.KEHR-GRANT
05/15/18	EXISTING STEEL TRUSSES	A.KEHR-GRANT
05/15/18	STUCCO ARCHES - FRONT ENTRY	A.KEHR-GRANT

PROJECT #
MCD-22805

CHESTERFIELD, MO 63005

SHEET NO. **A2.2**
ELEVATIONS



EUROWEST TILE GENERAL NOTES

- OUTSIDE CORNERS BY SCHLUTER SYSTEMS - COLOR TO MATCH TILE
- PERIMETER JOINTS - MOVEMENT JOINTS ARE REQUIRED WHERE TILE WORK ABUTS RESTRAINING SURFACES SUCH AS PERIMETER WALLS, AND GRADE. FLEXIBLE SEALANT AND COMPRESSIBLE BACK-UP WHEN REQUIRED OR BOND BREAKER TAPE.
- TIE-BACK AND SIGNAGE ATTACHMENT - PRE-DRILL TILE AND SLEEVE AND SEAL ALL ATTACHMENT POINTS.

NOTES
 1. STUCCO AND EPS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

COLOR SCHEME NOTE
 C.C. TO CONFIRM COLOR SCHEME WITH PROJECT MANAGER & LEGAL SUBMISSION COLOR RENDERINGS PRIOR TO CONSTRUCTION. SEE CV SHEET FOR CONTACT INFO.

SHOP DRAWINGS
 SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF 2 COPIES OF EACH DRAWING.
 SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTAL IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT.

DRAWINGS CREATED BY THE ARCHITECT OF RECORD CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.

SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING:
 1. STOREFRONT GLAZING SYSTEM
 2. TRELLIS/CANOPY SYSTEM



COLOR SCHEME: 'CRAFTSMAN SCHEME'
 (SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEYNOTES (NOT ALL KEY NOTES MAY BE USED)

- | | | | |
|--|---|--|--|
| <p>C ALUMINUM CANOPY FASCIA SYSTEM (COLOR: WHITE)</p> <p>CJ CONTROL JOINT</p> <p>CM CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A3.0 FOR ADDITIONAL SPECIFICATIONS
 XX-COLOR:
 C1 = "CITYSCAPE"
 C2 = "CHARCOAL"</p> <p>CS OUTSIDE CORNER STRIPS
 RONDEC R0100TSDA BY SCHLUTER SYSTEMS
 ALUMINUM HEIGHT:10MM COLOR: DARK ANTHRACITE
 COMMERCIALSUPPORT@SCHLUTER.COM,
 (800) 267-0817</p> <p>DA ALUMINUM DOOR - REFER TO DOOR SCHEDULE FOR DETAILS</p> <p>DE EXISTING ALUMINUM DOOR</p> <p>DH EXISTING HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL</p> <p>EM EXISTING BUILDING MATERIAL TO BE PAINTED
 XX-COLOR:
 C1 = FAIRVIEW TAUPE HC-85 BY BENJAMIN MOORE
 C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE</p> <p>EJ EXPANSION JOINT TO BE FILLED WITH ELASTOMERIC SEALANT (MASONRY ONLY)</p> | <p>GR EXISTING GUARDRAIL TO REMAIN; PAINT TO MATCH</p> <p>L LIGHT FIXTURE - SEE ELECTRICAL
 LT-TYPE:
 L1 = UP AND DOWN SCIENCE
 L2 = DOWN ONLY SCIENCE
 L3 = RECESSED DOWN FIXTURE
 COLOR:
 C1 = SILVER
 C2 = WHITE
 C3 = GOLD</p> <p>LE ACCENT LIGHTING - SEE ELECTRICAL
 LT-LED LIGHT:
 L1 = UP AND DOWN FIXTURE
 L2 = DOWN ONLY FIXTURE
 L3 = INTEGRAL CANOPY FIXTURE
 L4 = FLOOD LIGHT</p> <p>MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL
 TYPE:
 1 = PRE-FAB ANCHOR-TITE FASCIA
 2 = PRE-FAB CUSTOM ARCADE FASCIA</p> <p>ML METAL LETTERING - BY OTHERS</p> | <p>NM NEW BUILDING MATERIAL (TO MATCH EXISTING WHERE OCCURS)</p> <p>XX-COLOR:
 C1 = FAIRVIEW TAUPE HC-85 BY BENJAMIN MOORE
 C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE</p> <p>RL EXISTING ROOF LADDER</p> <p>RD EXISTING GUTTER AND DOWNSPOUT
 PAINT TO MATCH SURROUNDING MATERIAL</p> <p>S McDONALD'S SIGNAGE
 1-1 THRU 6 - SEE SIGNAGE PACKAGE</p> <p>SF STOREFRONT SYSTEM AND GLAZING; SEE A1.1 FOR PLAN LOCATION & A5.1 FOR WINDOW TYPES
 A-WINDOW TYPE</p> <p>SP SPANDREL PANEL - COLOR TO MATCH ADJACENT MATERIAL IN KIND</p> <p>ST STUCCO/EIFS
 REFER TO A3 SERIES FOR EXTERIOR ASSEMBLY DETAILS
 XX-COLOR:
 C1 = FAIRVIEW TAUPE HC-85 BY BENJAMIN MOORE
 C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE</p> <p>T TEMPERED GLASS</p> <p>TE OUTLINE OF EXISTING TRASH ENCLOSURE IN FRONT OF BUILDING; PAINT TO MATCH BASE BUILDING</p> | <p>TL TILE
 EUROWEST: E-WOOD COLLECTION
 COLOR: R9 BLACK SIZE: 8"X8" 1/4 RUNNING BOND
 WATERPROOFING SETTING MATERIAL AND GROUT: BY MAFEI
 C1 = FAIRVIEW TAUPE HC-85 BY BENJAMIN MOORE
 GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
 GROUT WIDTH: 1/8" TO 3/16"
 CONTACT: VAN DETER, (714) 937-7500</p> <p>T11 ALUMINUM TRELLIS SYSTEM
 XX-COLOR:
 C1 = CITYSCAPE
 C2 = WHITE
 C3 = CHARCOAL
 C4 = GOLD</p> <p>T12 ALUMINUM TRELLIS TIE-BACK SYSTEM
 XX-COLOR:
 C1 = CITYSCAPE
 C2 = WHITE
 C3 = CHARCOAL</p> <p>T13 ALUMINUM TRELLIS 2"x8" WALL FASCIA SYSTEM
 COLOR: CITYSCAPE</p> <p>W1 EXISTING DRIVE-THRU WINDOW</p> |
|--|---|--|--|

REV	DATE	DESCRIPTION
B	2/21/20	PERMIT COMMENTS
A	11/20/19	O/D UPDATES



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DRAWN BY: C.THEBEAU STD ISSUE DATE: APR 2018 REVIEWED BY: A.KEHR-GRANT DATE ISSUED: 09/15/18 C.S.G. PROJECT #: MCD-22805	TITLE: MRP PROGRAM CORE 16 2.0 DESCRIPTION: EXISTING MASONRY WALL CONSTRUCTION EXISTING STEEL TRUSSES STUCCO ARCHIVES - FRONT ENTRY SITE ID: 024-0605 SITE ADDRESS: 110 LONG ROAD CHESTERFIELD, MD 20705
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A2.1
 ELEVATIONS