



690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Meeting Date: September 28th, 2022
From: Alyssa Ahner, Planner
Location: 261 River Valley Drive
Description: 261 River Valley Drive (Maestas Home Improvement) Single-Family Residential Addition: Single-family residential addition for a 1-acre tract of land zoned "R-2" Residential District.

PROPOSAL SUMMARY

Maestas Home Improvement, on behalf of Aaron & Dorah Langford, has submitted a single-family residential addition for a 1,100 square foot addition for an existing 1,500 square foot residence.



HISTORY OF SUBJECT SITE

Pre-1988: Site zoned "R-2" Residential District.

ZONING & LAND USE

The site is zoned "R-2" Residential District.



COMPREHENSIVE PLAN

The City of Chesterfield Comprehensive Land Use Plan indicates the subject site as being part of the Suburban Neighborhood land use designation. The City of Chesterfield provides a character description of this designation as, *"Land typically developed as a neighborhood for single-family detached homes with uniform housing densities. Buildings are oriented interior to the site and typically buffered from surrounding development by transitional uses, topography, preserved open space, or landscape areas. Many neighborhoods borrow open space from adjacent rural or natural settings, which means adjacent trees, pastures, etc. Homes vary in sizes and streets are suburban in character"*. The development policies for Suburban Neighborhood are listed below:

- Encourage preservation of existing residential neighborhood's identity
- New residential development should reinforce existing residential development patterns by continuing to reinforce high quality site and subdivision design, layout, and planning practices
- Uncover the anticipated expense (cost of municipal infrastructure) for each new or re-developed residential development

STAFF ANALYSIS

Per Section 405.02.160 Regulations for Single-Family Residential Teardowns and Additions, "Any addition larger than one thousand (1,000) square feet and where the proposed addition increases the gross livable floor space by more than thirty percent (30%) shall be reviewed for approval by the City of Chesterfield Planning Commission." The existing single-family residential home is 1,500 square feet and the proposed addition is 1,100 square feet. With the addition being larger than 1,000 square feet and increasing the gross livable space by 73%, the Planning Commission is required to review the project prior to receiving Municipal Zoning Approval.

The home addition will be required to adhere to all "R-2" Residential District development criteria. The materials for the addition are proposed to match the existing residence.

STAFF RECOMMENDATION

Staff has reviewed this proposed development and found it to be in compliance with the City's Comprehensive Plan and Unified Development Code. Staff recommends action on this Single-Family Residential Addition for 261 River Valley Drive.

MOTION

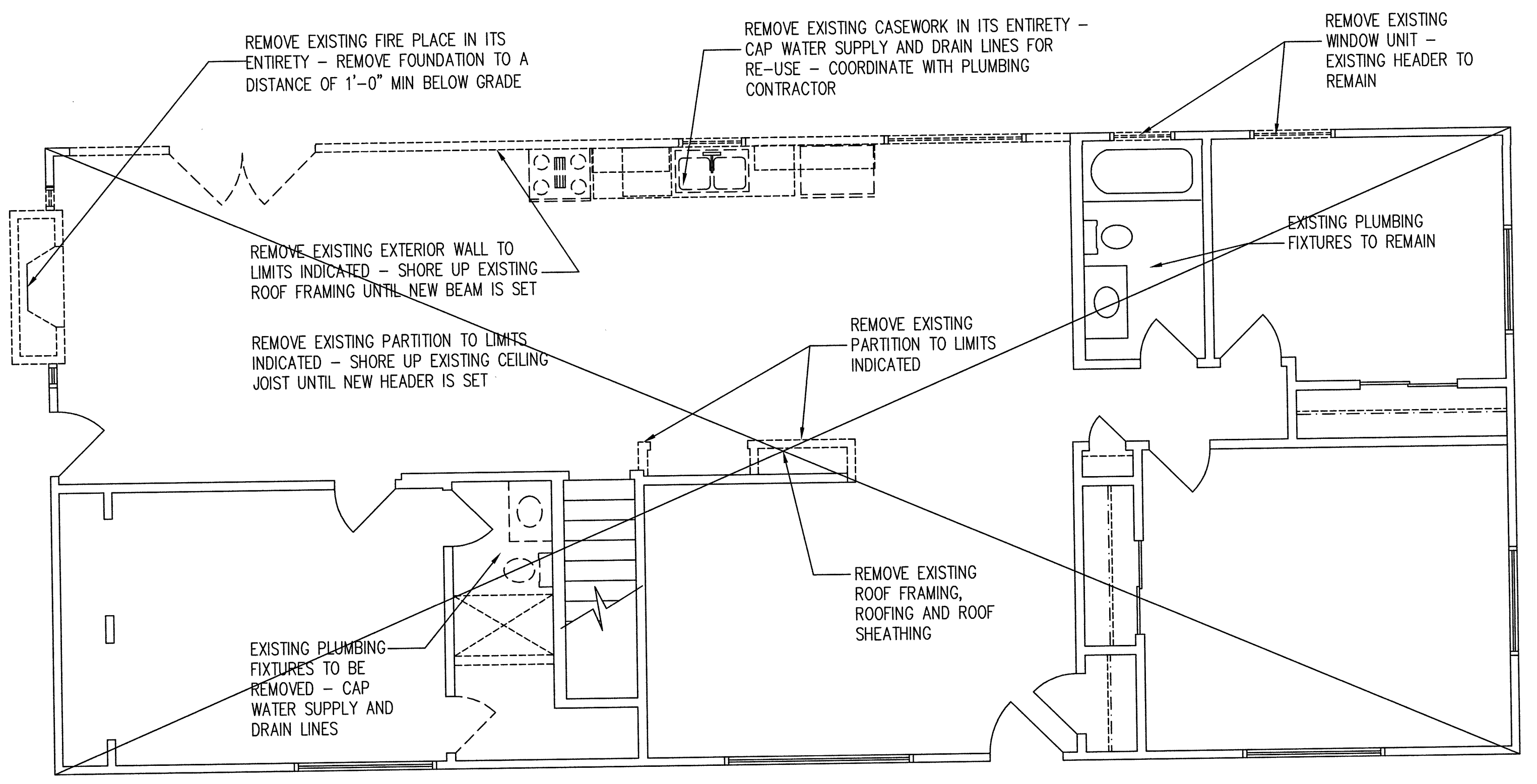
The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Single-Family Residential Addition for 261 River Valley Drive, as presented.
- 2) "I move to approve the Single-Family Residential Addition for 261 River Valley Drive with the following conditions..."
(Conditions may be added, eliminated, altered, or modified)

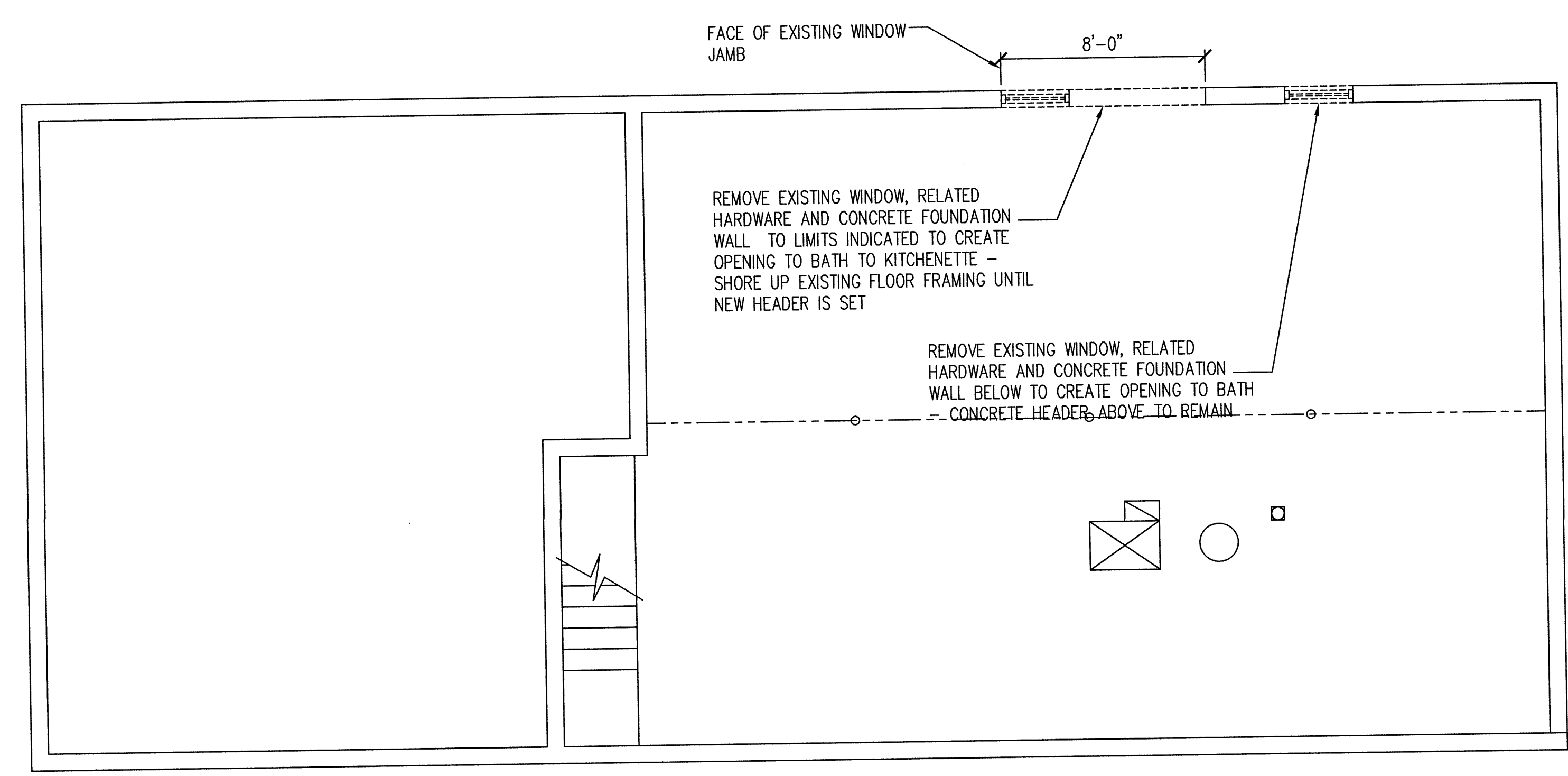
Attachments

1. Single-Family Residential Addition Packet

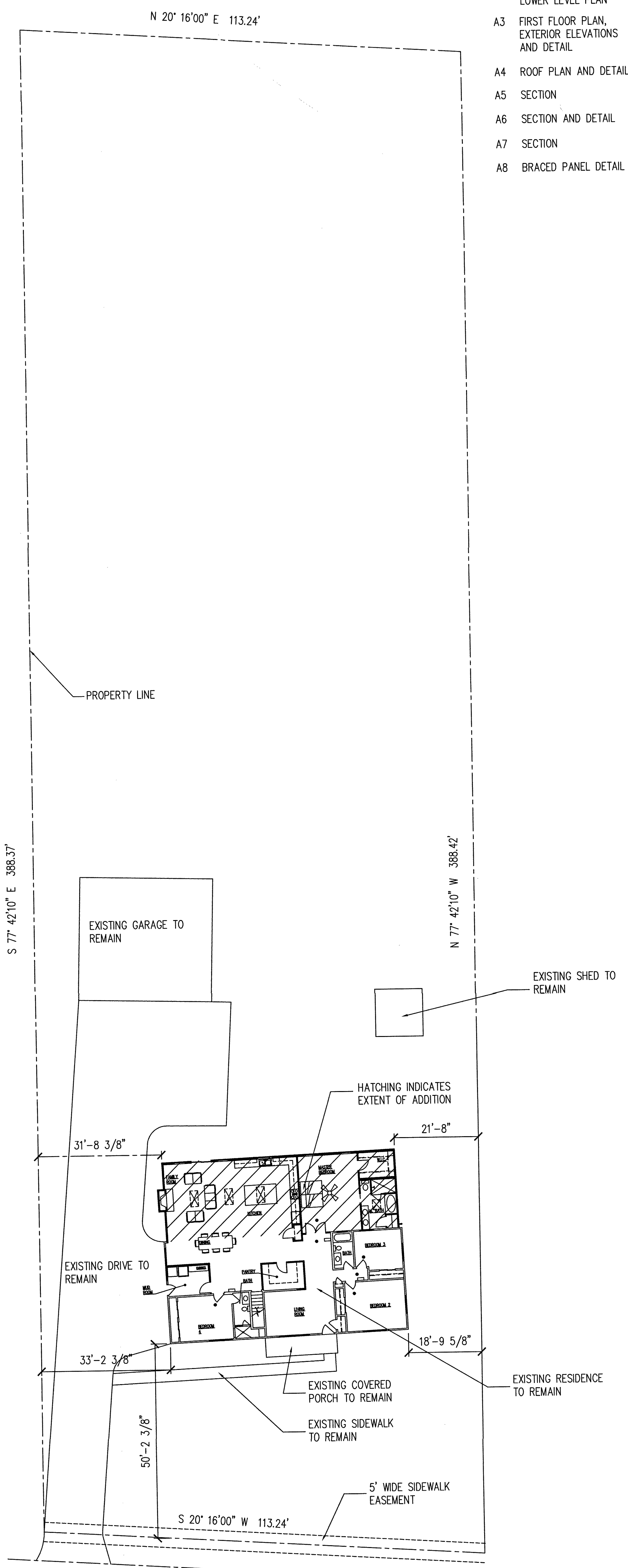
APPLICABLE CODES					
2015 INTERNATIONAL RESIDENTIAL CODE					
PROJECT INFORMATION					
BUILDING DATA:					
BEDROOM WINDOW	MIN WINDOW REQUIRED: MINIMUM NET CLEAR OPENING MINIMUM NET CLEAR OPENING HEIGHT MINIMUM NET CLEAR OPENING WIDTH MAXIMUM SILL HEIGHT	EXIT WAYS 5.7 SQFT 24 INCHES 20 INCHES 44 INCHES AFF	TWO INDEPENDENT EXIT WAYS REQUIRED FOR BASEMENT	7FT 0 INCHES 6FT 8 INCHES 6FT 4 INCHES	STUD WALLS 2X4 (UND) AT 16 INCHES ON CENTER, PRESSURE TREATED SOLE PLATES WHERE IN CONTACT WITH MASONRY OR CONCRETE.
HALLWAYS	MIN WIDTH		FIRE STOPPING		
STAIRWAYS	MINIMUM CLEAR WIDTH MINIMUM HEADROOM MINIMUM TREAD MAXIMUM RISER	3 FEET	ELECTRICAL PANEL	ALL PANELBOARDS SHALL HAVE A RATING NOT LESS THAN THAT OF THE MINIMUM SERVICE ENTRANCE OR FEEDER CAPACITY REQUIRED FOR THE CALCULATED LOAD.	WALL COVERINGS DRYWALL PANELING - MAXIMUM SMOKE DENSITY: MAXIMUM FLAME SPREAD:
WORKING SPACE AROUND ELECTRIC EQUIPMENT	MINIMUM WIDTH MINIMUM IN FRONT	3 FEET 6FT 8 INCHES 10 INCHES 7 3/4 INCHES	SMOKE DETECTORS	1 REQUIRED ON EACH LEVEL, PLUS 1 IN EACH BEDROOM AND ONE OUTSIDE EACH SLEEPING AREA. EACH SHALL HAVE INTERNAL BATTERY BACK-UP PLUS BEING HARDWIRED	HABITAT ROOMS MINIMUM AREA: MINIMUM HORIZONTAL DIMENSION:
CEILING HEIGHT	HABITABLE ROOM OTHER AREAS UNDER BEAMS AND DUCTS	30 INCHES 36 INCHES			
BATHROOMS	NON-ABSORBENT GYPSUM BOARD AROUND SHOWER AND BATH AREAS				



2 FIRST FLOOR DEMOLITION PLAN
A1 1/4" = 1'-0"



1 LOWER LEVEL DEMOLITION PLAN
A1 1/4" = 1'-0"



1 SITE PLAN
A1 1/16" = 1'-0"

DRAWING INDEX

- A1 SITE PLAN, DEMOLITION PLAN
- A2 FOUNDATION PLAN AND LOWER LEVEL PLAN
- A3 FIRST FLOOR PLAN, EXTERIOR ELEVATIONS AND DETAIL
- A4 ROOF PLAN AND DETAIL
- A5 SECTION
- A6 SECTION AND DETAIL
- A7 SECTION
- A8 BRACED PANEL DETAIL

LEGEND

- \$ SWITCH
- ⊕ ELECTRIC OUTLET
- ⊙ SMOKE DETECTOR HARD WIRED INTERCONNECTED W/ BATTERY BACK-UP PER R-314.3.1 FOR NEW CONSTRUCTION
- ⊕ LIGHT
- ⌒ EXISTING DOOR TO REMAIN
- ☐ CARBON MONOXIDE DETECTOR
- ⊙ EXHAUST FAN (75CFM) - VENT TO EXTERIOR
- ⊕ RECESSED LIGHT FIXTURE
- EXISTING CONSTRUCTION TO BE REMOVED
- == EXISTING CONSTRUCTION TO REMAIN
- === NEW CONSTRUCTION
- ⌒ EXIST DOOR REINSTALLED IN EXIST OPENING UNLESS OTHERWISE INDICATED

GENERAL NOTES

ALL SOFFITS AND DROPPED CEILINGS TO BE FIRE STOPPED

FIRESTOP ALL WALLS @ 8'-0" VERTICLE

DRYWALL INSTALLATION TO BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATION RECOMMENDED PRACTICES FOR THICKNESS NAILING AND TAPING ON CORRECT STUD SPACING.

ALL FRAMING TO CONFORM W/ THE NATIONAL FOREST PRODUCTS MANUAL FOR HOUSE FRAMING

PARTITIONS TO BE 2 X 4 STUDS @ 16" O.C. 1250 F.S. AS NOTED

ALL HEADERS TO BE (2) 2 X 10 1250F.S. UNLESS NOTED OTHERWISE

ALL EXHAUST FANS TO BE VENTED TO EXTERIOR.

DO NOT SCALE DRAWINGS - USE DIMENSIONS SHOWN

WATER RESISTANT GYPSUM BD TO BE USED IN ALL WET AREAS.

MAXIMUM FLAME SPREAD RATING ON ALL INTERIOR FINISH MATERIALS SHALL NOT EXCEED 200

ALL HVAC EQUIPT AND DUCTWORK SHALL COMPLY WITH CURRENT IBC AND BASIC MECHANICAL CODE

ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK WILL BE DONE ON A DESIGN BUILD BASIS

CAULKING AND SEALANTS: AT EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN SILL PLATE AND FOUNDATION

GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY AND ALL DISCREPANCIES. ALL ISSUES OF DISCREPANCIES MUST BE RESOLVED PRIOR TO PROCEEDING OF CONSTRUCTION.

ALL FINISHES, TRIM, ANY & ALL FIXTURES TO BE CHOSEN BY OWNER

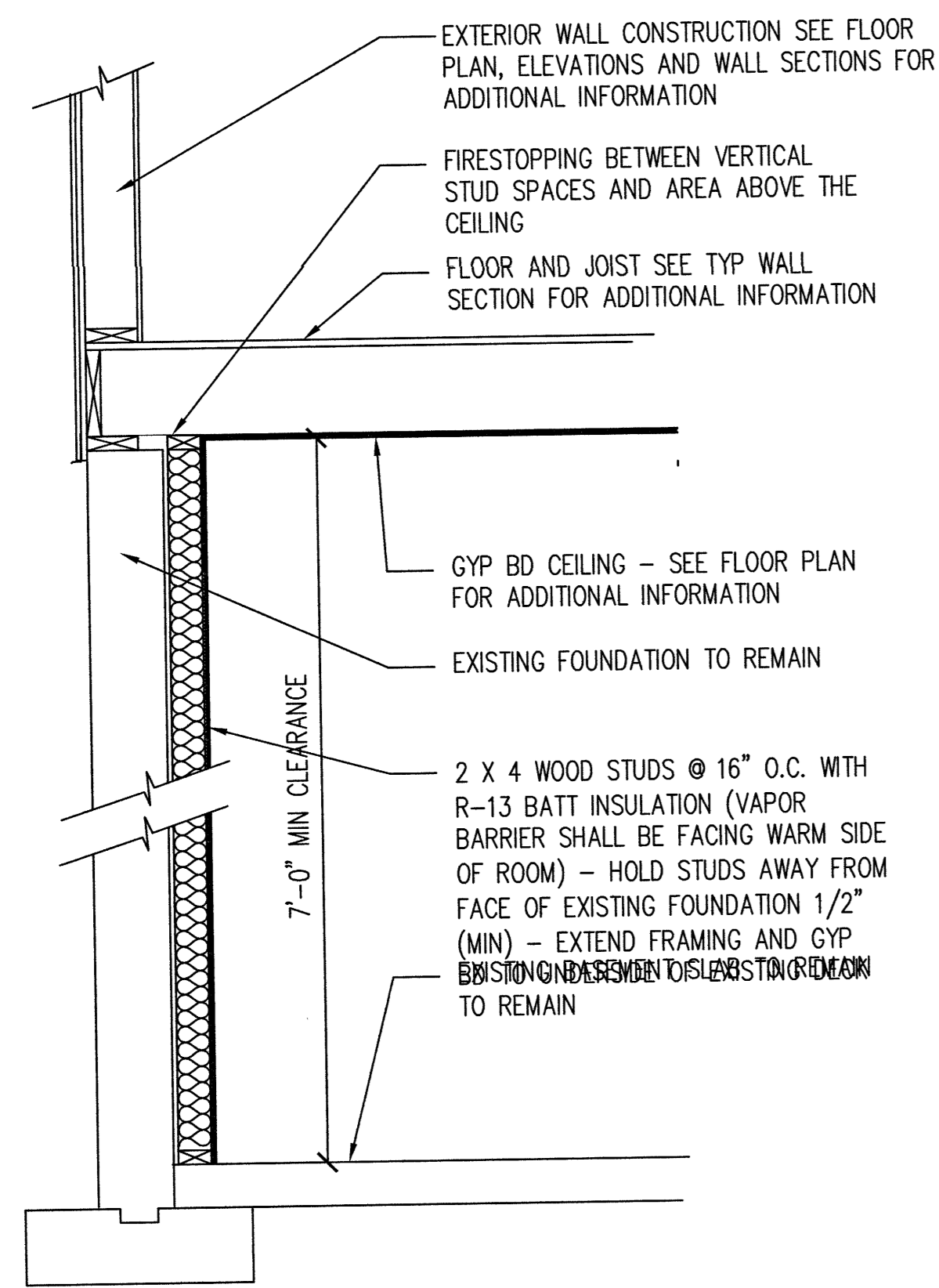
MJH ARCHITECTS, LLC
MICHAEL J. HOGAN
MJA Design Group #3122
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RECEIVED
AUG 11 2022
City of Chesterfield's Department of Planning

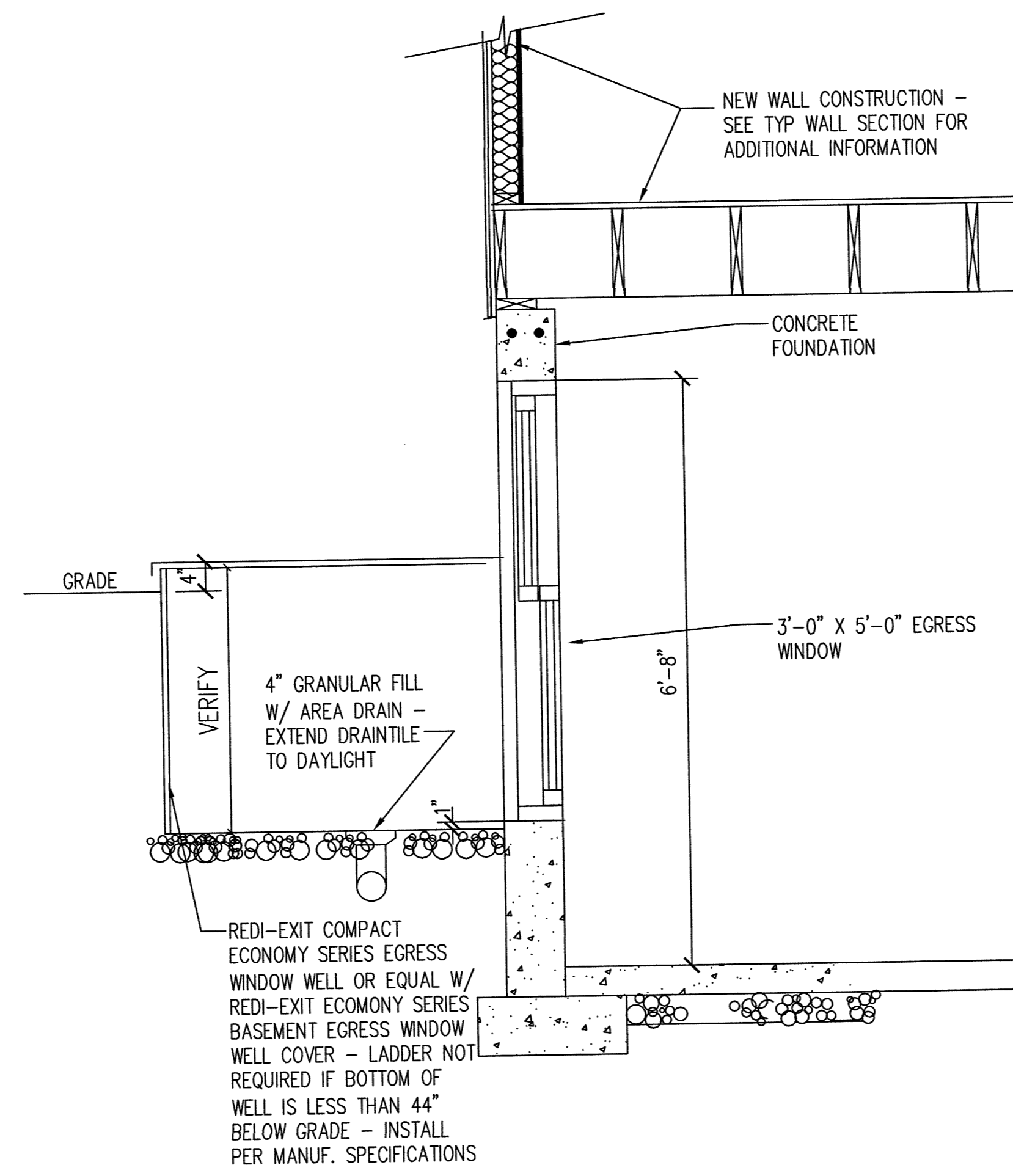
ADDITION AND ALTERATIONS TO:
LANGFORD RESIDENCE
261 River Valley Dr
Chesterfield, MO 63017

DATE:
Aug 5, 2022

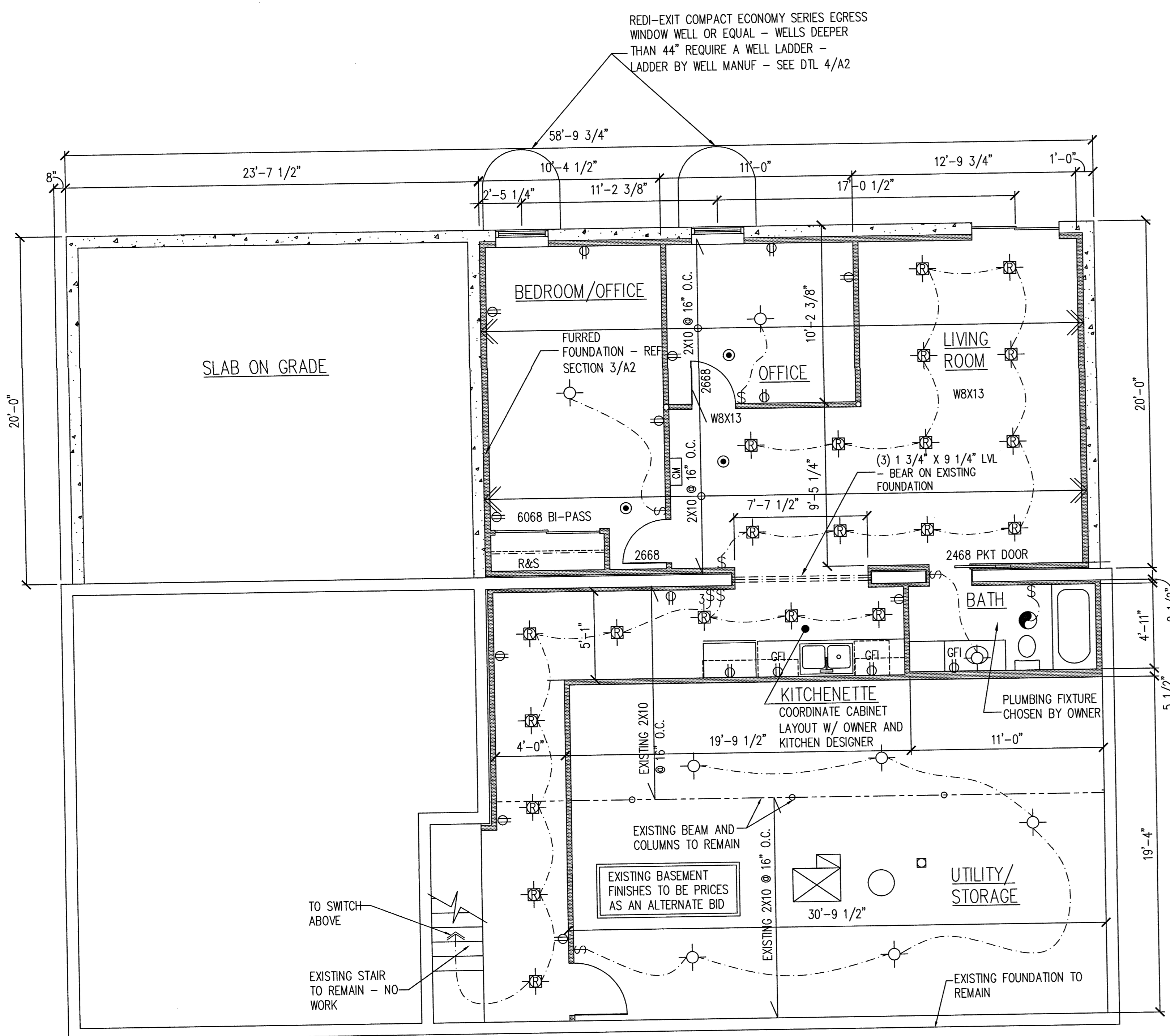
SHEET NO.
A-1



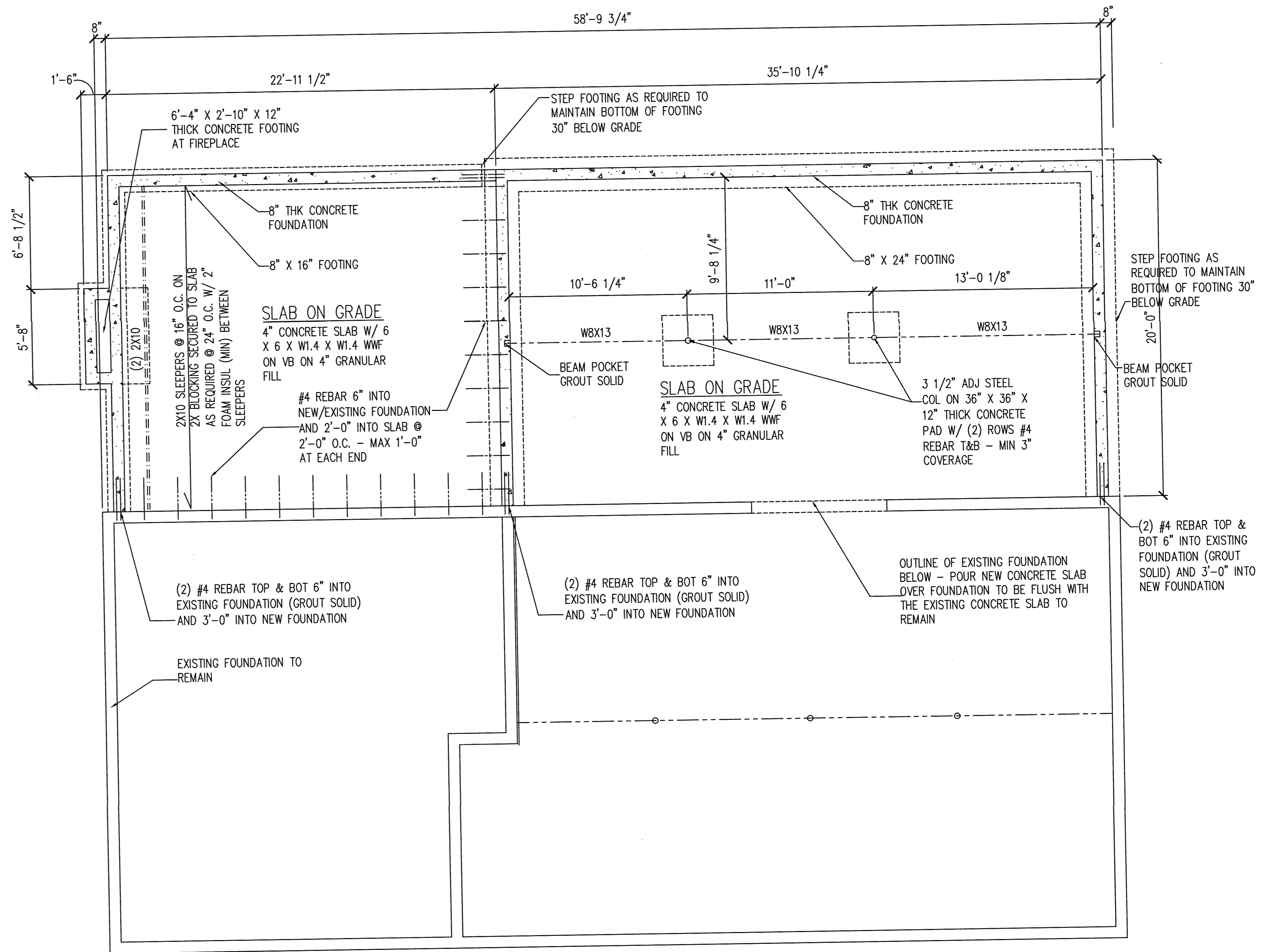
3 FURRED FOUNDATION WALL
A2 3/4" = 1'-0"



4 EGRESS WINDOW SECTION
A2 3/4" = 1'-0"



2 LOWER LEVEL FLOOR PLAN
A2 1/4" = 1'-0"



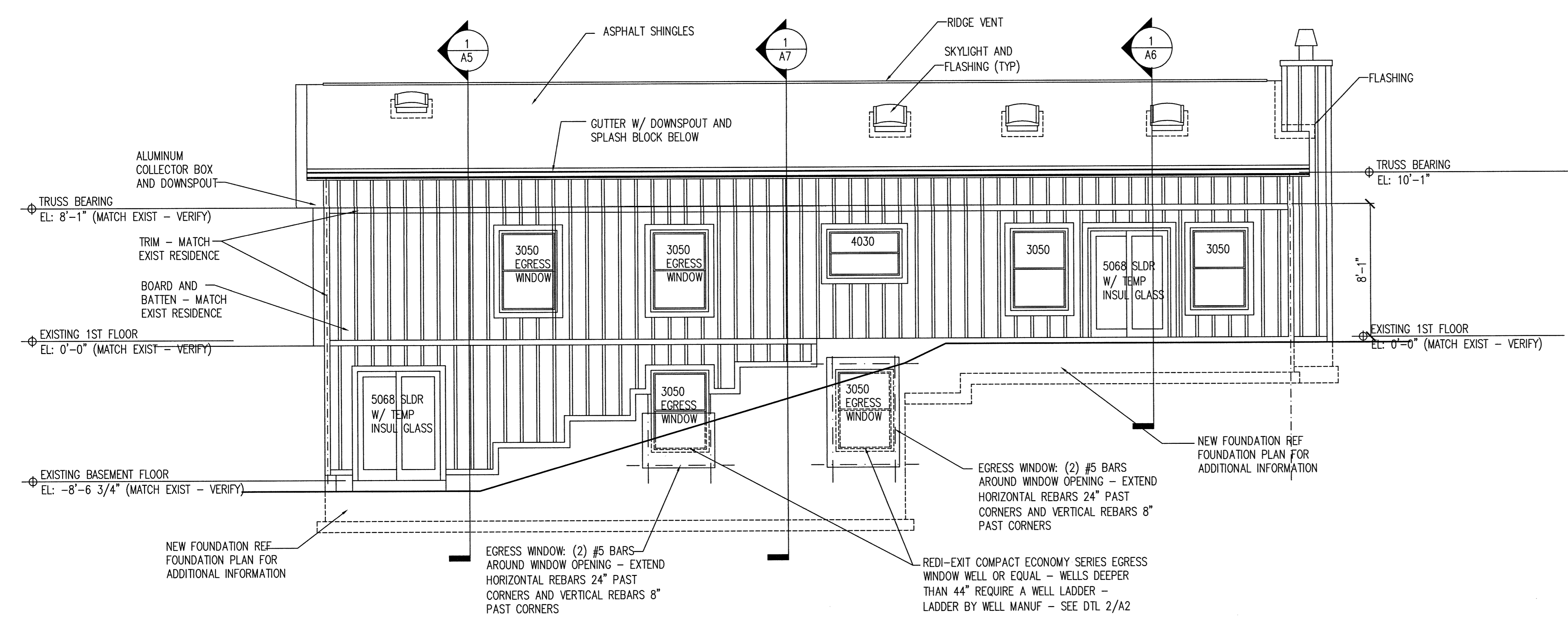
1 FOUNDATION PLAN
A2 1/4" = 1'-0"

MH ARCHITECTS, LLC
MICHAEL J HOGAN
1038 Doyergate Dr
Kirkwood, MO 63122
mharchitects@sbcglobal.net
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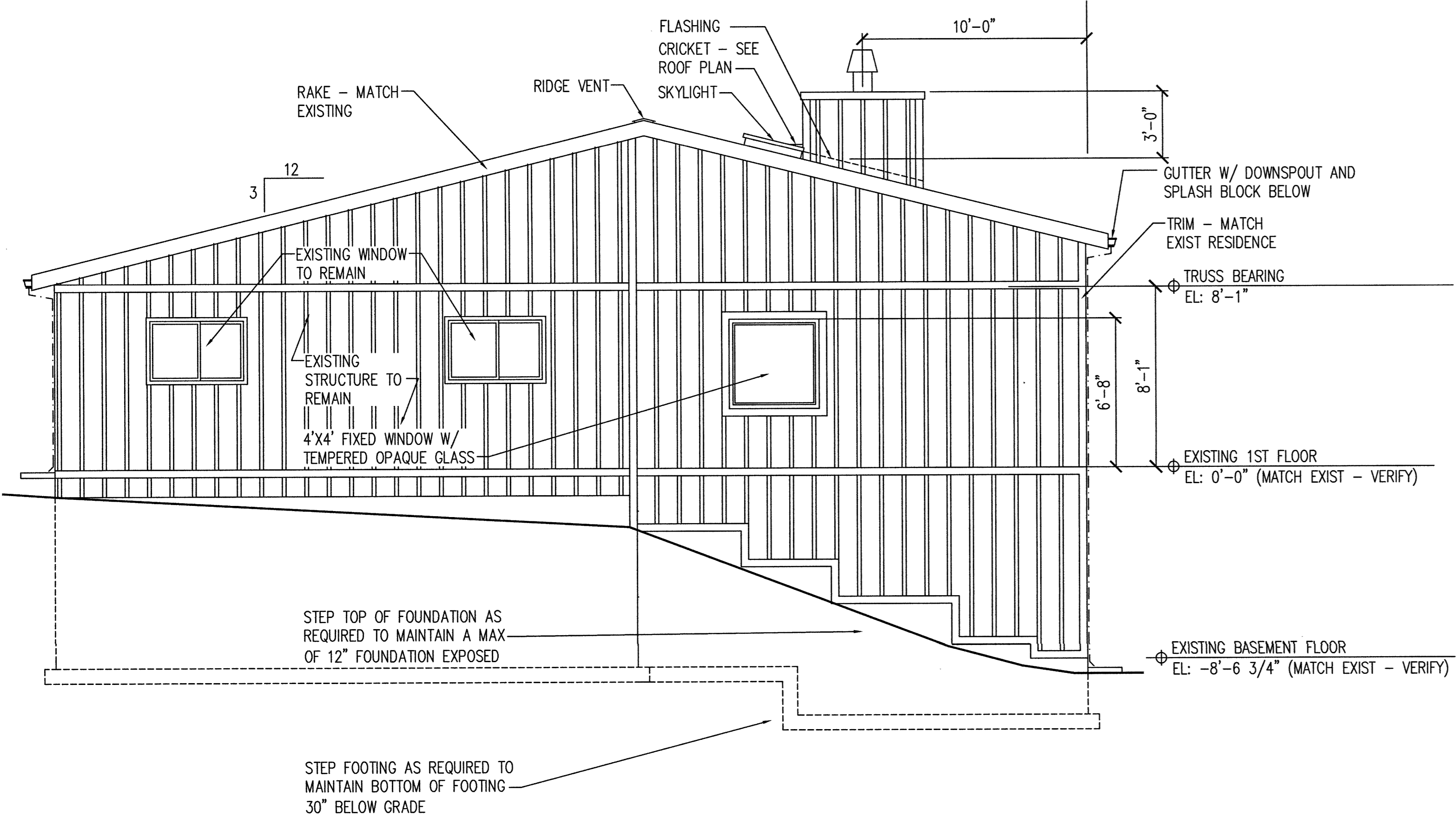
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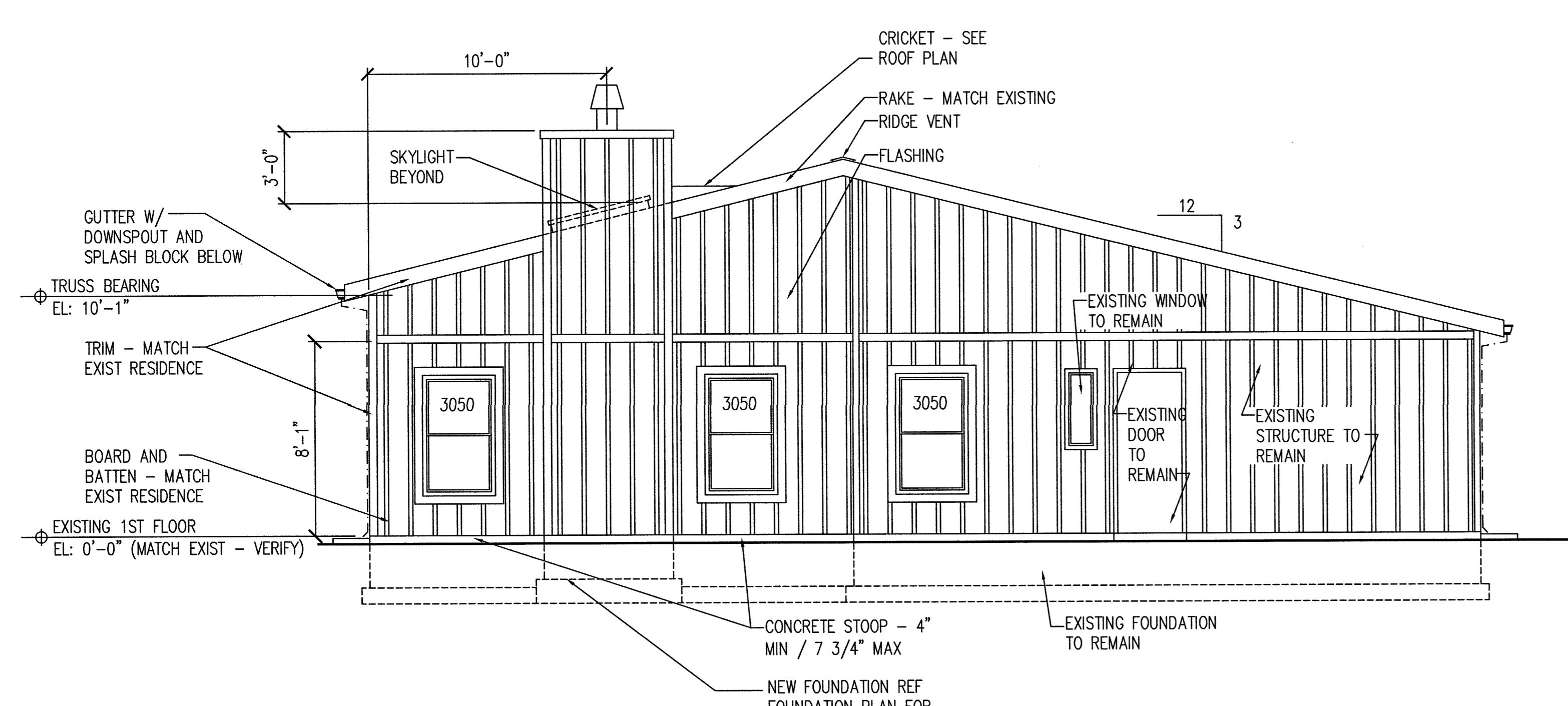
SHEET NO.
A-2



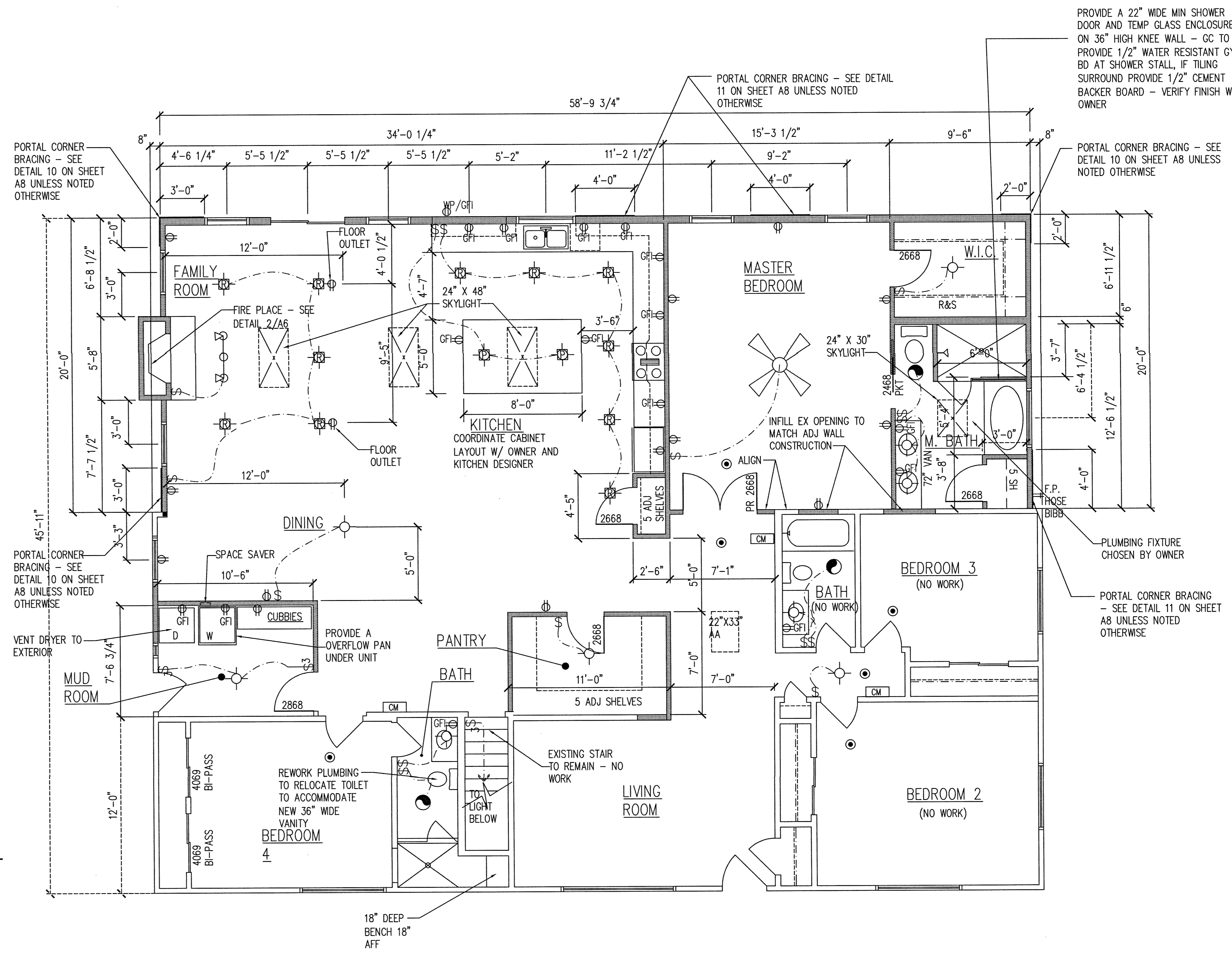
4 EAST ELEVATION
A3 1/4" = 1'-0"



3 SOUTH ELEVATION
A3 1/4" = 1'-0"



2 NORTH ELEVATION
A3 1/4" = 1'-0"



1 FIRST FLOOR PLAN
A3 1/4" = 1'-0"

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SHEET NO.
A-3