

## Planning Commission Staff Report

**Meeting Date:** June 13, 2022

**From:** Alyssa Ahner, Planner

**Location:** 17017 North Outer 40

**Description:** **The District (ASDP):** An Amended Site Development Plan, Landscape Plan, and Architectural Elevations for a 48.15-acre tract of land zoned "PC"—Planned Commercial District located north of North Outer 40 Road and east of Boone’s Crossing.

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### **PROPOSAL SUMMARY**

HDA Architects and O’Toole Design, on behalf of TSG Chesterfield Lifestyle, LLC, have submitted an Amended Site Development Plan for the removal of one retail building to allocate space for the creation of an open-air entertainment space referred to as “The Hub”. Included in the proposal is the addition of two (2) internal patio areas for adjacent restaurants.



Figure 1: Subject Site

## **HISTORY OF SUBJECT SITE**

St. Louis County zoned the subject site “NU” Non-Urban District in 1965. On November 21, 2011, the City of Chesterfield approved Ordinance 2682, which zoned the subject site from a “NU” Non-Urban District to a “PC” Planned Commercial District.

Subsequent to the change in zoning, a Site Development Plan was submitted proposing a 472,282 square foot outlet retail center on the site. The plan was approved by the City of Chesterfield on March 26, 2012. A minor amendment was approved in October of 2012 to relocate the management office from the westernmost building to the easternmost building.

In May of 2019, the current governing ordinance, City of Chesterfield Ordinance 3049, was approved by City Council. The primary purpose of this ordinance amendment was to establish a maximum height of 60 feet for the proposed pavilion and indoor theater uses, including rooftop mechanical equipment, screening, and architectural features.

Following the ordinance amendment, an Amended Site Development Plan was submitted in October of 2019 to allow for the construction of Phase 1 of an entertainment district consisting of a 3,000-seat indoor theatre for a live music venue, a 2-story structured parking garage, and a 48,559 square foot recreational facility.

In June 2020, an Amended Site Development Plan was approved by Planning Commission to remove the two-story parking garage from the Site Development Plan and add surface parking in its place. The office component that created the demand for the garage was removed from concept.

Following shortly after in February of 2021, an Amended Site Development Plan was administratively approved for the realignment of the westernmost entrances into the development.

## **ZONING AND LAND USE**

The subject site is zoned “PC” Planned Commercial under the provisions of Ordinance 3049.

<b>Direction</b>	<b>Zoning</b>	<b>Land Use</b>
North	“NU” — Non-Urban	Park
South	Interstate 40/64	Interstate 40/64
East	“PC” — Planned Commercial District	Hotel/Top Golf
West	“PC” — Planned Commercial District	General Office

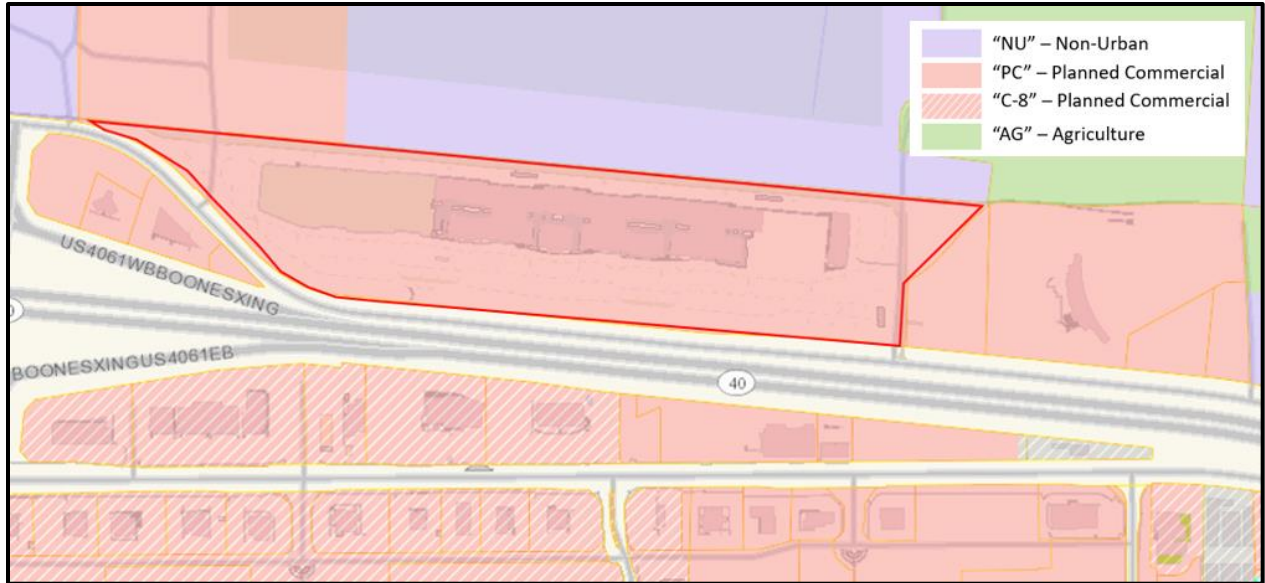


Figure 2: Zoning Map

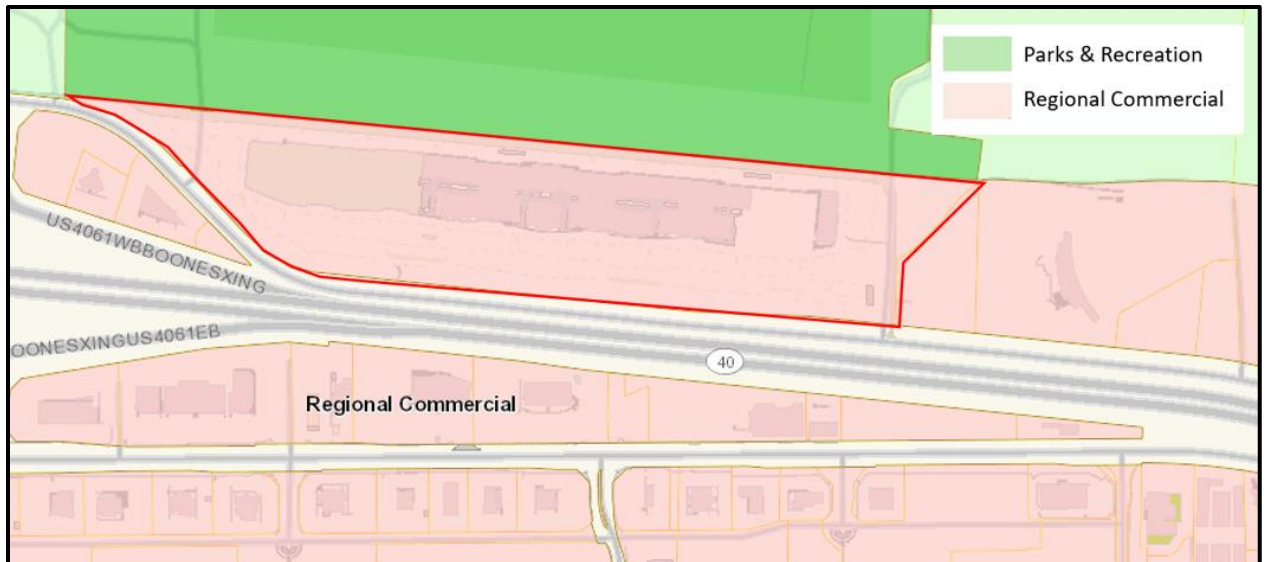


Figure 3: Land Use Map

### **COMPREHENSIVE PLAN**

The subject site is located within Ward 4 of the City of Chesterfield. The City of Chesterfield Land Use Plan indicates the subject site as being part of the Regional Commercial land use designation. The description states; *“Areas that serve regional commercial needs (emphasizing retail, dining, entertainment, hotel, and leisure components) and draw visitors from both Chesterfield and the surrounding areas. Multiple buildings planned and developed together using unified project development standards”*.

## **STAFF ANALYSIS**

### **a. Circulation System, Parking, & Access**

The development will be utilizing the existing circulation system and access points. There are four (4) access points along North Outer 40 Road that serve the development as a whole. In addition to the exterior changes, the buildings adjacent to “The Hub” will be renovated from retail to restaurant. The increase of leasable restaurant space from 6.33% to 14.13% triggered a .25 increase in the minimum parking requirement ratio. The minimum parking required calculates to 2,200 spaces. A total of 2,436 spaces are being provided – an addition of 10.73% to the minimum requirement.

### **b. Landscape Design & Screening**

There are two new proposed trash enclosures located on the south side of the site, just east and west of “The Hub”. The site-specific ordinance states that *“The location, material, and elevation of any trash enclosures will be as approved by the City of Chesterfield on the Site Development Plan”*. On previous Site Development Plans for the development, it was noted that *“trash enclosures will only be located on the north side of the development”*. The proposed trash enclosures will be the first to be located on the south side of the development. The first submittal included screening to match the existing transformer screening. After concerns were raised by Architectural Review Board, the applicant revised the screening to ensure trash would not be visible to the public. The revised screening consists of black composite fence with 1/2” maximum spacing between slats.

There is an existing landscaped area along the south elevation. An additional landscape area is proposed to abut the single façade wall and will be comprised of shrubs, roses, and grasses. The stage area located on the interior of the development will also be surrounded by a mixture of shrubs and perennials.

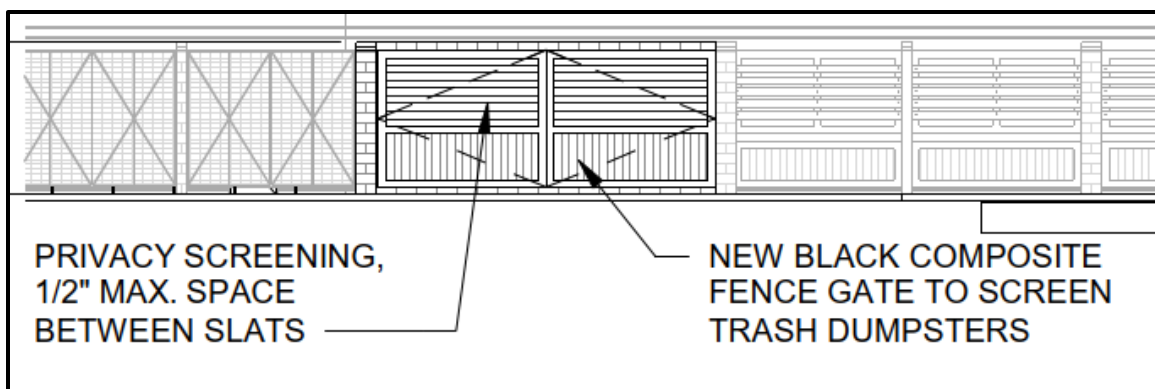


Figure 4: Trash Enclosure Elevation (full image can be found in applicant’s packet)

**c. Lighting**

The existing lighting is to be utilized. There is no new lighting being proposed outside of the development in the parking area. Upon entering the “The Hub”, there are six (6) light poles and fixtures being proposed – three (3) to line each side of the walkway.

**d. Architectural Elevations**

The single elevation to be constructed after the demolition of the existing building will provide a continuation of the “Vintage Industrial” that has been implemented in previous phases of the development. A majority of the proposed materials are to match the onsite music venue building known as “The Factory”. These include a thin brick veneer in grey, prefinished wood grain look metal panels in a light walnut, and a cast stone cap in a medium gray. Additional materials and colors include a black finish on exposed steel beams, a cable railing system to enclose the restaurant patios, and a black composite screen wall system for the proposed trash enclosures.

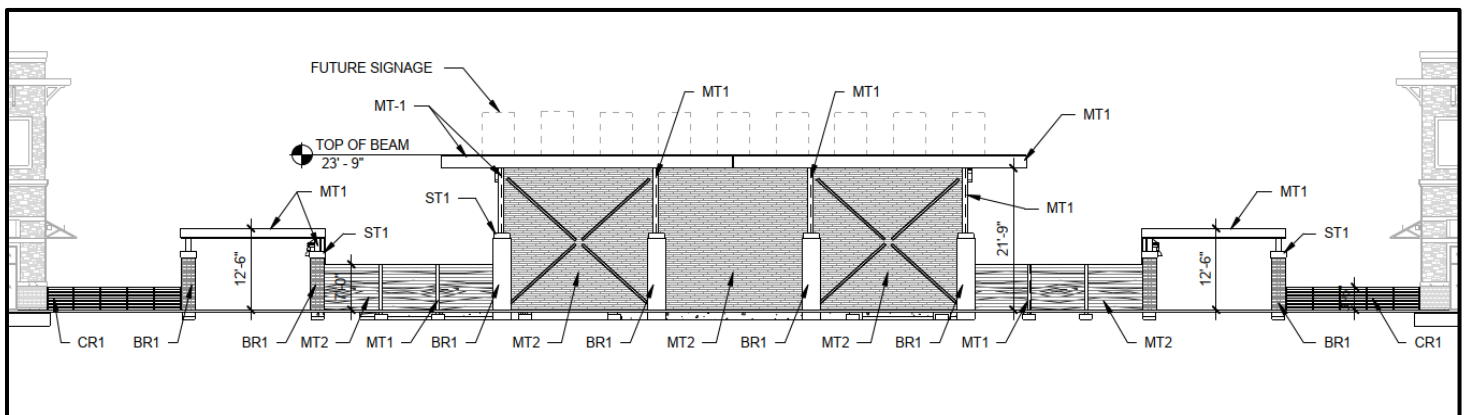


Figure 5: South Elevation (full image can be found applicant's packet)

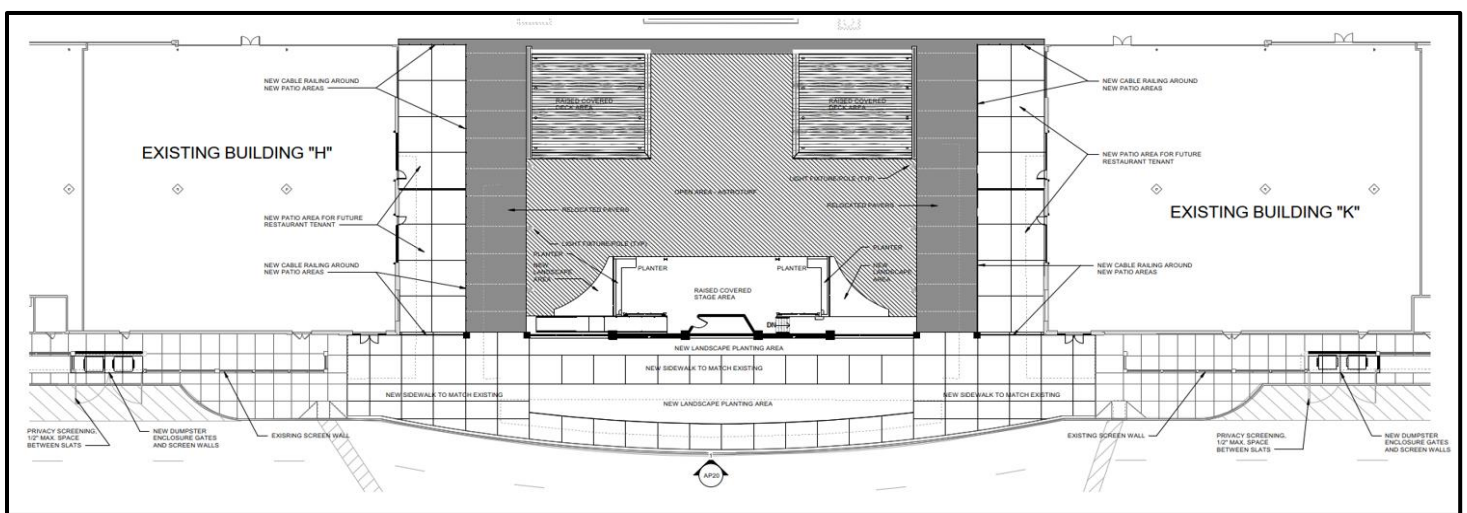


Figure 6: Floor Plan (full image can be found in applicant's packet)

## **ARCHITECTURAL REVIEW BOARD**

This project was reviewed by the Architectural Review Board on May 12<sup>th</sup>, 2022. At that time, the Board made a motion to forward the Amended Site Development Plan, Landscape Plan, and Architectural Elevations for The District to the Planning Commission with a recommendation for approval with the following condition:

- Include solid screening of the trash enclosure to ensure that the dumpsters are not visible from sight.

The applicant has since resubmitted and fulfilled the condition. All of the updates have been included with the Planning Commission packets.

## **RENDERING**



*Figure 7: Rendering*

## **STAFF RECOMMENDATION**

Staff has reviewed this proposed development and found it to be in compliance with the City's Comprehensive Plan and Unified Development Code. All outstanding comments have been addressed at this time. Staff recommends approval of the Amended Site Development Plan, Landscape Plan, and Architectural Elevations for The District.

## **MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Amended Site Development Plan, Landscape Plan, and Architectural Elevations for The District, as presented.
  
- 2) "I move to approve the Amended Site Development Plan, Landscape Plan, and Architectural Elevations with the following conditions..."

(Conditions may be added, eliminated, altered or modified)

### Attachments

1. Amended Site Plan Packet

TSG CHESTERFIELD LIFESTYLE, LLC, THE OWNER UNDER CONTRACT OF THE PROPERTY SHOWN ON THIS PLAN FOR AND IN CONSIDERATION OF BEING GRANTED A PERMIT TO DEVELOP PROPERTY UNDER THE PROVISIONS OF CHAPTER \_\_\_\_\_ "PC" PLANNED COMMERCIAL DISTRICT OF THE CITY OF \_\_\_\_\_ (APPLICABLE SUBSECTION) (PRESENT ZONING) CHESTERFIELD ORDINANCE NO. 3049, DO HEREBY AGREE AND DECLARE THAT SAID PROPERTY FROM THE DATE OF RECORDING THIS PLAN SHALL BE DEVELOPED ONLY AS SHOWN THEREON, UNLESS SAID PLAN IS AMENDED BY THE PLANNING COMMISSION, OR VOIDED OR VACATED BY ORDER OF THE CITY OF CHESTERFIELD COUNCIL.

(SIGNATURE) \_\_\_\_\_ (NAME TYPED): MICHAEL H. STAENBERG

STATE OF MISSOURI ) ) SS. COUNTY OF ST. LOUIS )

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ NOVEMBER, A.D. 2020, BEFORE ME PERSONALLY APPEARED MICHAEL H. STAENBERG, TO ME KNOWN, WHO, BEING BY ME DULY SWORN IN, DID SAY THAT SAID HE IS THE MANAGER OF TSG CHESTERFIELD LIFESTYLE, LLC, A LIMITED LIABILITY COMPANY IN THE STATE OF MISSOURI, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID LIMITED LIABILITY COMPANY BY AUTHORITY OF ITS MEMBERS, AND THE SAID MICHAEL H. STAENBERG, ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID LIMITED LIABILITY COMPANY. IN WITNESS WHEREOF, I HAVE SIGNED AND SEALED THE FOREGOING THE DAY AND YEAR FIRST ABOVE WRITTEN.

NOTARY PUBLIC \_\_\_\_\_ PRINT NAME \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_ THIS AMENDED SITE DEVELOPMENT PLAN WAS APPROVED BY THE CITY OF CHESTERFIELD PLANNING COMMISSION AND DULY VERIFIED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY THE CHAIRPERSON OF SAID COMMISSION, AUTHORIZING THE RECORDING OF THIS AMENDED SITE DEVELOPMENT PLAN PURSUANT TO CHESTERFIELD ORDINANCE NUMBER 200, AS ATTESTED TO BY THE DIRECTOR OF PLANNING AND THE CITY CLERK.

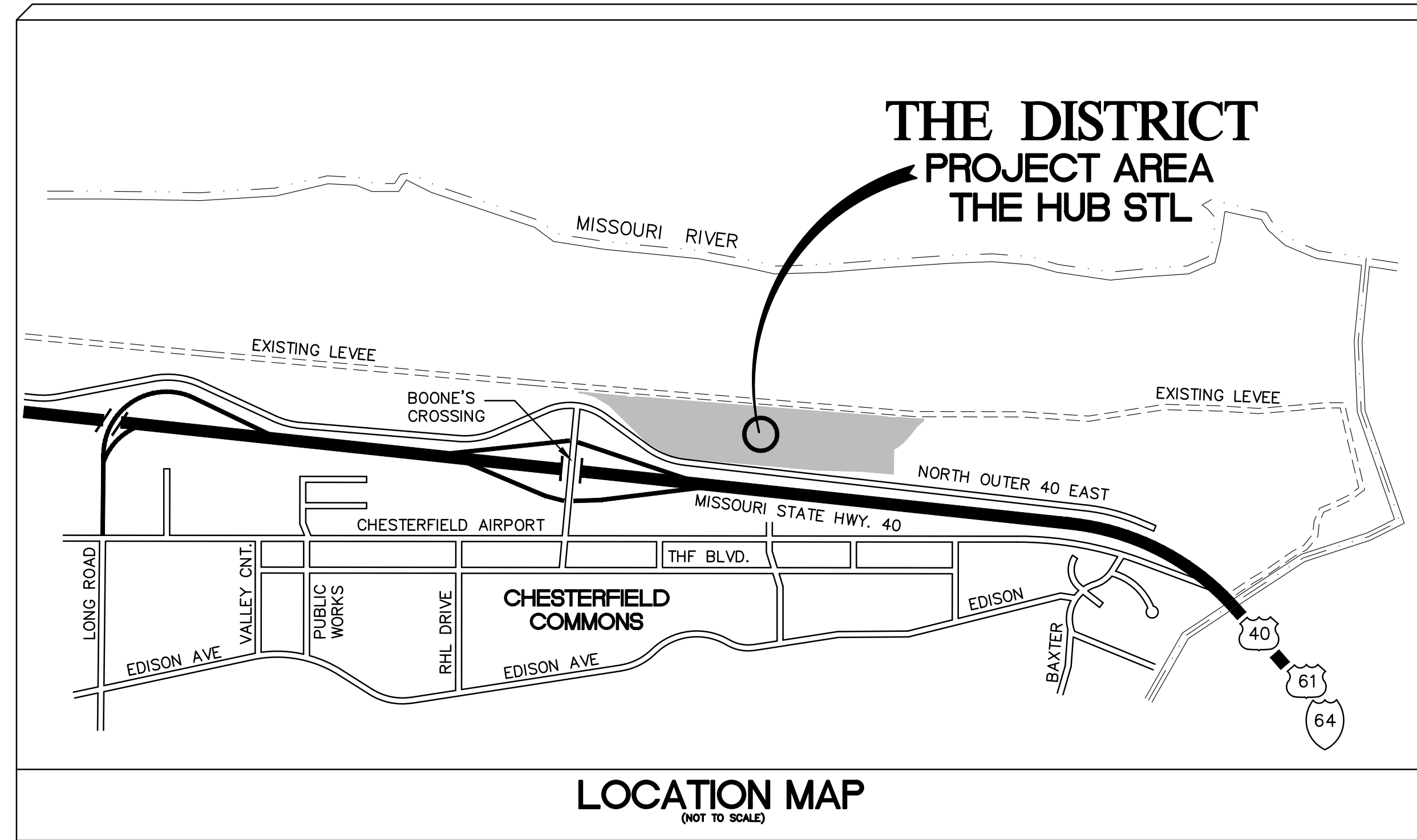
JUSTIN WYSE, AICP DIRECTOR OF PLANNING CITY OF CHESTERFIELD, MISSOURI

VICKIE MCGOWAN, CITY CLERK CITY OF CHESTERFIELD, MISSOURI

# THE DISTRICT 6TH AMENDED SITE DEVELOPMENT PLAN

A TRACT OF LAND BEING ADJUSTED LOT 1 AND 2 OF THE "BOUNDARY ADJUSTMENT PLAT OF PART OF LOTS 6, AND 7 OF HERMAN FICKE ESTATE SUBDIVISION, PART OF ADJUSTED TRACT B OF THE BOUNDARY ADJUSTMENT PLAT AS RECORDED IN PLAT BOOK 354, PAGES 5 AND 6 AND PART OF ADJUSTED LOT 1 OF HAYNES BOUNDARY ADJUSTMENT PLAT AS RECORDED IN THAT BOOK 357, PAGES 3 AND 4" ACCORDING TO THE BOUNDARY ADJUSTMENT PLAT THEREOF RECORDED IN PLAT BOOK 360 PAGE 137, LOCATED IN U.S. SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD ST. LOUIS COUNTY, MISSOURI

TOTAL TRACT = 48.151 AC. ±  
THE HUB STL @ THE DISTRICT



## GENERAL NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY BY STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. IF ACTUAL LOCATIONS VARY PER CONTRACTOR INVESTIGATION, ADJUSTMENTS OR PLAN MODIFICATIONS MAY BE REQUIRED.
- NO GRADE SHALL EXCEED 3:1 SLOPE.
- GRADING AND STRM. WATER PER M.S.D., MODOT, ST. LOUIS COUNTY, THE CITY OF CHESTERFIELD AND THE MONARCH CHESTERFIELD LEVEE DISTRICT.
- STRM. WATER SHALL BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- NO STEPS ALLOWED AT ACCESSIBLE ENTRANCE DOORS.
- ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
- APPROVAL OF SIGN LOCATIONS DOES NOT CONSTITUTE APPROVAL. SIGN APPROVAL WILL BE THROUGH A SEPARATE SIGN PACKAGE APPLICATION.
- ACCESS TO THIS DEVELOPMENT FROM NORTH OUTER 40 SHALL BE VIA 4 ENTRANCES LOCATED ALONG THE NORTHERN EDGE OF NORTH OUTER 40 DRIVE TO PROVIDE REQUIRED SIGHT DISTANCE AND CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC. IN ADDITION, THE REQUIREMENTS OF THE CITY OF CHESTERFIELD MUST BE MET.
- ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS FOR THE DEVELOPMENT SHALL MEET MINIMUM ST. LOUIS COUNTY AND THE CITY OF CHESTERFIELD SIGHT DISTANCE REQUIREMENTS.
- ALL PERMANENT SIGHT DISTANCE EASEMENTS (P.S.D.E.) HAVE BEEN DESIGNED ACCORDING TO ST. LOUIS COUNTY STANDARDS (STANDARD DRAWING 40.25-1) DESIGN SPEED = 45 MPH "W" = 2 LANES "X" & "Z" = 530 FEET (TYPICAL)
- PRIOR TO SPECIAL USE PERMIT ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT MUST BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROAD IMPROVEMENTS.
- ALL SIDEWALKS ARE TO BE CONSTRUCTED PER MODOT, ST. LOUIS COUNTY, CITY OF CHESTERFIELD AND/OR A.D.A. STANDARDS AND SHALL HAVE A MAXIMUM 20% CROSS SLOPE.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
- NOTE PER FIRE MARSHALL: THE FIRE PROTECTION WATER SUPPLY SYSTEM WILL BE REVIEWED FOR FINAL APPROVAL WHEN THE INSTALLING CONTRACTOR SUBMITS PLANS, SPECIFICATIONS AND CALCULATIONS FOR PERMITS TO INSTALL THE SYSTEM. THE FIRE HYDRANT LOCATIONS AND PIPING LAYOUT SHOWN ON THIS PLAN IS ACCEPTABLE AND APPROVED FOR THE PURPOSE OF THIS SITE DEVELOPMENT PLAN REVIEW.
- ALL ON SITE TRAFFIC CONTROL DEVICES SHOULD COMPLY WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- NO SLOPES WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
- A SIGNED/SEALED NOTE SHALL BE ADDED TO THE CONSTRUCTION PLANS INDICATING THAT THE UNIMPROVED EXISTING SIDEWALK ALONG THE PROJECT FRONTAGE MEETS CURRENT ST. LOUIS COUNTY ADA STANDARDS.
- ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS.
- ALL HYDRANTS, POWER POLES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY ROAD RIGHT-OF-WAY SHALL HAVE A MINIMUM TWO (2) FOOT SETBACK FROM FACE OF CURB OR EDGE OF PAVEMENT, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
- ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE "ST. LOUIS COUNTY" AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
- THE CURRENT TWO-YEAR LANDSCAPE MAINTENANCE PERIOD ENDS ON JULY 16TH, 2023. A FOLLOW-UP INSPECTION WILL BE CONDUCTED AT THE END OF THE MAINTENANCE PERIOD.

## SITE INFORMATION

SITE ACREAGE = 48.151 ACRES ±  
ZONING = "PC" PLANNED COMMERCIAL (ORD. #3049)  
CITY = CHESTERFIELD, MISSOURI  
SITE ZIP CODE = 63005  
SITE ADDRESS = 17017 N. OUTER 40 RD.  
OWNER = TAUBMAN PRESTIGE OUTLETS OF CHESTERFIELD c/o CHESTERFIELD LIFESTYLE, LLC (UNDER CONTRACT)  
WUNNENBERG MAP = PAGE 36, GRID P-24  
SEWER DISTRICT = METROPOLITAN ST. LOUIS SEWER DISTRICT  
WATER SHED = CAULKS CREEK, MISSOURI RIVER  
FLOOD MAP PANEL = FIRM 29189C0165K, EFFECTIVE FEB. 4, 2015  
FIRE DISTRICT = MONARCH FIRE PROTECTION DISTRICT 13725 OLIVE BLVD. CHESTERFIELD, MO 63017  
WATER DISTRICT = MISSOURI AMERICAN WATER COMPANY

## ABBREVIATIONS

FOC	- FIBER OPTIC CABLE	DB.	- DEED BOOK
E	- GAS	PB.	- PLAT BOOK
OE	- ELECTRIC	PG.	- PAGE
UE	- OVERHEAD ELECTRIC	(#W)	- RIGHT OF WAY WIDTH
SAN	- UNDERGROUND ELECTRIC	(REC)	- RECORDED INFORMATION
T	- SANITARY	FT	- FEET
W	- TELEPHONE	N/F	- NOW OR FORMERLY
(ATG)	- WATER	MLD	- MAJOR LAND DISTURBANCE
(ATGB0)	- ADJUST TO GRADE	PDE	- PERMANENT DRAINAGE EASEMENT
(TBA)	- ADJUST TO GRADE BY OTHERS	PRWE	- PERMANENT RETAINING WALL EASEMENT
(TBR) OR (R)	- TO BE ABANDONED	PSDE	- PERMANENT SIGHT DISTANCE EASEMENT
(TBR&R)	- TO BE REMOVED	PTSE	- PERMANENT TRAFFIC SIGNAL EASEMENT
(TBR&REL)	- TO BE REMOVED AND REPLACED	PRMUSSE	- PERMANENT ROADWAY IMPROVEMENT, MAINTENANCE, UTILITY, SEWER, SIDEWALK EASEMENT
(TBRBO)	- TO BE REMOVED AND RELOCATED	TSCL	- TEMPORARY SLOPE AND CONSTRUCTION LICENSE
	- TO BE REMOVED, RELOCATED OR REPLACED BY OTHERS	RMUE	- ROADWAY MAINTENANCE AND UTILITY EASEMENT
(UIP)	- USE IN PLACE	FND.	- FOUND
(TYP)	- TYPICAL	SQ.	- SQUARE
EX	- EXISTING	AI	- AREA INLET
PR	- PROPOSED	CO	- CLEANOUT
ELEV	- ELEVATION	GI	- GRATE INLET
FL	- FLOWLINE	MH	- MANHOLE
BOC	- BACK OF CURB	RD	- ROOF DRAIN
FOC	- FACE OF CURB	YD	- YARD DRAIN
TC	- TOP OF CURB	LS	- LIGHT STANDARD
TW	- TOP OF WALL	DS	- DOWN SPOUT
BW	- BOTTOM OF WALL	ARV	- AIR RELIEF VALVE
PVMT	- PAVEMENT	HDPE	- HIGH DENSITY POLYETHYLENE PIPE
ASPH	- ASPHALT	PVC	- POLYVINYL CHLORIDE PIPE
CONC	- CONCRETE	PLAS	- PLASTIC PIPE
GRND	- GROUND	RCP	- REINFORCED CONCRETE PIPE
EG	- EXISTING GRADE	VCP	- VITRIFIED CLAY PIPE
FG	- FINISHED GRADE	TS	- TALLSTAKE
FF	- FINISHED FLOOR	CR	- CRASHWORTHY END TERMINAL
LL	- LOWER LEVEL	FBD	- FLAT BOTTOM DITCH
OC	- ON CENTER		
EW	- EACH WAY		

## BENCHMARK

112-160  
ELEV. = 458.86  
"STANDARD ALUMINUM DISK" STAMPED SL-32, 1990. DISK IS SET IN BETWEEN THE HWY I-64 NORTH OUTER ROAD AND THE WEST BOUND HWY I-64. 19' SOUTH OF THE CENTERLINE OF THE NORTH BOUND LANE HWY I-64. APPROXIMATELY 0.5 MILES EAST OF THE INTERSECTION OF BOONE'S CROSSING ROAD AND NORTH OUTER ROAD. (SL-32 WAS RESET FROM UNDERGROUND POSITION. THIS IS A NEW ELEVATION SET IN JULY 2022) AS SHOWN HEREON

## CONVENTIONAL SIGNS (USED IN PLANS)

DESCRIPTION	EXISTING	NEW
RIGHT-OF-WAY	--- EXIST. R/W ---	--- NEW R/W ---
PROPERTY LINE	---	---
CITY LIMITS	---	---
EASEMENT	---	---
CONSTRUCTION LIMITS	---	---
SOIL BORINGS	⊕	⊕
BUILDING	[ ]	[ ]
BUILDING REMOVAL	[ ]	[ ]
FENCE	---	---
GUARDRAIL	---	---
MAILBOX	M.B.	M.B.
RAILROAD	---	---
SIGN	[ ]	[ ]
TREE OR SHRUB (DESIGNATE DIA.)	[ ]	[ ]
GUY WIRE	[ ]	[ ]
UTILITY POLE	[ ]	[ ]
LIGHT STANDARD	[ ]	[ ]
UNDERGROUND CONDUIT OR CABLE (TYPE SPECIFIED)	---	---
PIPE LINE (OWNER SPECIFIED)	---	---
UTILITY MAIN (SIZE AND TYPE SPECIFIED)	---	---
UTILITY MANHOLE (TYPE SPECIFIED)	⊕	⊕
GAS AND WATER VALVE	⊕	⊕
GAS AND WATER SERVICE VALVE	⊕	⊕
WATER METER	⊕	⊕
SEWER VENT	⊕	⊕
FIRE HYDRANT	⊕	⊕
SANITARY SEWER	⊕	⊕
STRM. SEWER	⊕	⊕
SEWER MANHOLE	⊕	⊕
GRADED INLET	[ ]	[ ]
CURB INLET (SINGLE / MULTIPLE)	[ ]	[ ]
ID DRAINAGE STRUCTURES	[ ]	[ ]
PIPE WITH HEADWALLS	[ ]	[ ]
DRAINAGE V-DITCH (SODDED OR SEEDED)	[ ]	[ ]
DRAINAGE FLAT BOTTOM DITCH (SODDED/SEEDED/PAVED)	[ ]	[ ]
PAVEMENT REMOVAL	[ ]	[ ]
ASPHALTIC CONCRETE PAVEMENT	[ ]	[ ]
CONCRETE PAVEMENT	[ ]	[ ]
SAWCUT	[ ]	[ ]
TRAFFIC FLOW	[ ]	[ ]
MONARCH TREE	[ ]	[ ]

PREPARED FOR:  
**TSG CHESTERFIELD LIFESTYLE, LLC.**  
2127 INNERBELT BUSINESS CENTER DR.  
SUITE 200, ST. LOUIS, MO 63114  
PHONE: (314) 513-1500

## DISCLAIMER:

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

## SHEET INDEX

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- C6 - SITE DEVELOPMENT PLAN
- C7 - SECTION / SKY EXPOSURE PLAN
- L1 - SITE PLANTING PLAN
- OVERALL ARCHITECTURAL SITE PLAN / ELEVATION
- ENLARGED FLOOR PLAN
- STAGE ELEVATION

## 6TH AMENDED SITE DEVELOPMENT PLAN NOTES

- APPROVED SITE DEVELOPMENT PLAN RECORDED IN PB. 360, PGS. 89-106 ON APRIL 3, 2012
- APPROVED AMENDED SITE DEVELOPMENT PLAN RECORDED IN PB. 360, PGS. 341-348 ON OCTOBER 30, 2012
- APPROVED 2ND AMENDED SITE DEVELOPMENT PLAN RECORDED IN PB. 361, PGS. 231-242 ON JULY 19, 2013
- APPROVED 3RD AMENDED SITE DEVELOPMENT PLAN RECORDED IN PB. 367, PGS. 444-474 ON OCTOBER 25, 2019
- APPROVED 4TH AMENDED SITE DEVELOPMENT PLAN RECORDED IN PB. 368, PGS. 264-283 ON JUNE 12, 2020
- APPROVED 5TH AMENDED SITE DEVELOPMENT PLAN RECORDED IN PB. 369, PGS. 31-44 ON FEBRUARY 10, 2021

## GENERAL SITE NOTES

- PRESENT ZONING: "PC" (PLANNED COMMERCIAL) CITY OF CHESTERFIELD ORDINANCE NO. 3049.
- SUBJECT PROPERTY LIES WITHIN FLOOD ZONE SHADED X (AREAS WITH REDUCED FLOOD RISK DUE TO LEVEE) ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP 29189C0165K WITH AN EFFECTIVE DATE OF 02/04/2015.
- BASIS OF BEARING ADOPTED FROM PB. 360, PGS. 137-138.
- TOTAL BUILDING FLOOR AREA SHALL NOT EXCEED 500,000 SQUARE FEET.
- THERE IS A MAXIMUM F.A.R. OF 0.55 AS REQUIRED BY THE PC DISTRICT REGULATIONS.
- THE MAXIMUM HEIGHT OF THE BUILDING, EXCLUSIVE OF ROOFTOP MECHANICAL EQUIPMENT AND SCREENING SHALL NOT EXCEED 45 FEET; HOWEVER, ARCHITECTURAL FEATURES, INCLUDING BUT NOT LIMITED TO TOWERS, THAT DO NOT ADD ANY USABLE FLOOR AREA MAY BE A MAXIMUM OF 60 FEET IN HEIGHT. THE MAXIMUM HEIGHT OF THE PAVILION AND THE INDOOR THEATRE TO BE CONSTRUCTED ON THE PROPERTY, INCLUDING ROOFTOP MECHANICAL EQUIPMENT, ARCHITECTURAL FEATURES AND SCREENING SHALL NOT EXCEED 60 FEET.
- THERE IS A MINIMUM OPEN SPACE OF 35% AS REQUIRED BY THE PC DISTRICT REGULATIONS.
- TRASH ENCLOSURES WILL ONLY BE LOCATED ON THE NORTH SIDE OF THE DEVELOPMENT UNLESS OTHERWISE APPROVED BY THE CITY OF CHESTERFIELD. ENCLOSURES APPROVED ON THE SOUTH SIDE SHOULD INCLUDE SOLID SCREENING TO ENSURE THE DUMPSTERS ARE NOT VISIBLE FROM SIGHT.
- TRANSFORMERS ON THE SOUTH SIDE OF THE BUILDING WILL BE COMPLETELY CONTAINED WITHIN THE SCREENED WALLS ADJACENT TO THE RETAIL DEVELOPMENT. TRANSFORMERS ON THE NORTH SIDE OF THE PROPERTY SHALL BE SCREENED FROM VIEW FROM THE NORTH OUTER 40 ROAD BY A SCREENING MATERIAL WHICH MATCHES THE EXISTING BUILDING OR LANDSCAPING IN ACCORDANCE TO THE CITY OF CHESTERFIELD UNIFIED DEVELOPMENT CODE.
- ROOF DRAINS, GUTTERS AND DOWNSPOUTS ON THE SOUTH SIDE OF THE DEVELOPMENT WILL BE INTERNAL.
- ALL WALL MOUNTED UTILITIES WILL BE PAINTED TO MATCH THE BUILDING AND THEY WILL BE INSTALLED BELOW THE HEIGHT OF THE SCREEN WALL. ANY PIPING, CONDUIT, ETC., THAT NEEDS TO BE MOUNTED ABOVE THE SCREENING OR THAT NEEDS TO BE CONTINUED UP TO THE ROOF LINE, IS TO BE INTEGRATED INTO THE EXTERIOR FACADE.
- ROOFTOP MECHANICAL EQUIPMENT WILL BE SCREENED FROM ALL DIRECTIONS.
- SITE DRAINS TO MASTER DRAINAGE CHANNEL @ S.E. CORNER OF PROPERTY.
- ALL PROPOSED MSD WATER QUALITY POROUS PAVEMENT BMPs WILL BE CONTAINED WITHIN A MAINTENANCE AGREEMENT WITH MSD. THE ACTUAL LOCATION AND SIZES OF THE FINAL MAINTENANCE BMPs WILL BE DETERMINED AND RECORDED PRIOR TO MSD CONSTRUCTION APPROVAL.

## SETBACKS (PER ORDINANCE 3049)

- STRUCTURE SETBACKS  
NO BUILDING, STRUCTURE, OTHER THAN: FREESTANDING PROJECT IDENTIFICATION SIGNS, LIGHT STANDARDS OR FLAG POLES WILL BE LOCATED WITHIN THE FOLLOWING SETBACKS:  
75 FEET FROM THE SOUTHERN BOUNDARY OF THE PC DISTRICT.  
25 FEET FROM THE NORTH, EAST AND WEST BOUNDARIES OF THE PC DISTRICT.
- PARKING SETBACKS  
NO PARKING STALL, LOADING SPACE, INTERNAL DRIVEWAY, OR ROADWAY, EXCEPT POINT OF INGRESS OR EGRESS, WILL BE LOCATED WITHIN THE FOLLOWING SETBACKS:  
30 FEET FROM THE NORTH, SOUTH AND WEST BOUNDARIES OF THE PC DISTRICT.  
0 FEET FROM THE EASTERN BOUNDARY OF THE PC DISTRICT.

## ST. LOUIS COUNTY NOTES

- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
- NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL) WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY UNLESS JUSTIFIED BY A GEOTECHNICAL REPORT, WHICH HAS BEEN APPROVED BY ST. LOUIS COUNTY, AND DESIGNED IN FULL COMPLIANCE WITH ROADSIDE SAFETY STANDARDS.
- STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS SHALL MEET MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.
- ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS.
- ALL ABOVE-GROUND UTILITIES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY ROAD RIGHT-OF-WAY, SHALL HAVE A MINIMUM SETBACK, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF TRANSPORTATION, AS PRESCRIBED IN SECTION 5.10 OF THE ST. LOUIS COUNTY DESIGN MANUAL "ROADSIDE DESIGN REQUIREMENTS".
- ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE "ST. LOUIS COUNTY" AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
- PRIOR TO "SPECIAL USE PERMIT" ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MAY BE REQUIRED TO BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.

## UTILITY NOTE:

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## UTILITY LOCATES

MISSOURI ONE-CALL: 811 OR 1-800-344-7483

PREPARED BY:

**STOCK & ASSOCIATES**  
Consulting Engineers, Inc.

6TH AMENDED SITE DEVELOPMENT PLAN FOR:

**THE DISTRICT**  
17017 NORTH OUTER 40 ROAD  
CHESTERFIELD, MISSOURI 63005



GEORGE M. STOCK E-25116  
CIVIL ENGINEER  
CERTIFICATE OF AUTHORITY  
NUMBER: 000991

NO.	REVISIONS:
1	3/29/22 6TH ASDP SUBMITTAL
2	4/20/22 REVISION PER REVIEW COMMENTS
3	5/04/22 REVISION PER MONARCH FIRE TRASH ENCLOSURE
4	5/16/22 ADDED TRASH ENCLOSURE NOTE

DRAWN BY:	CHECKED BY:
T.S.	G.M.S.
DATE:	JOB NO.:
3/29/2022	218-0411.6
M.S.D. #:	BASE MAP #:
SLC. MAT #:	MAT SUFF. #:
M.D.N.R. #:	

SHEET TITLE:

TITLE SHEET

SHEET NO.: C1







**SPECIAL CITY OF CHESTERFIELD NOTE**  
 EXISTING DRAINAGE EASEMENT RECORDED PER BK. 23956, PG. 2246  
 EXISTING DRAINAGE EASEMENT PARTIALLY VACATED PER BK. 23956, PG. 2215  
 EXISTING ACCESS AND PARKING EASEMENT RECORDED PER BK. 23956, PG. 2185  
 EXISTING ACCESS AND PARKING EASEMENT PARTIALLY VACATED PER BK. 23956, PG. 2163

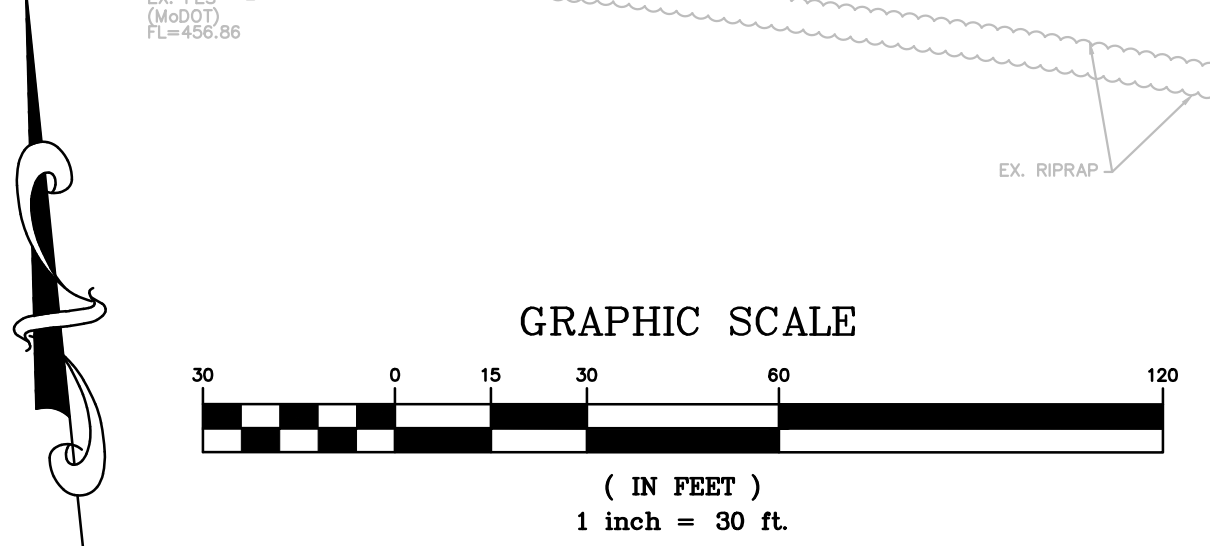
**SPECIAL MONARCH LEVEE DISTRICT NOTE**  
 EXISTING ACCESS EASEMENT RECORDED PER BK. 23910, PG. 3728  
 PARTIAL EXISTING ACCESS EASEMENT VACATED PER BK. 23910, PG. 2849

**SPECIAL MSD NOTE**  
 EXISTING BMP MAINTENANCE AREA 1  
 RECORDED PER BK. 23804, PG. 1615

**DISCLAIMER:**  
 STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

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- GENERAL NOTES:**
- ROADWAY DRAINAGE WILL BE SUBJECT TO CONSTRUCTION PLAN COMMENTS.
  - EXISTING RIGHT-OF-WAY ALONG THE NORTH SIDE OF NORTH OUTER 40 IS LOCATED ON THE BACK OF CURB OR EDGE OF SHOULDER.
  - EXISTING 4.5' WIDE PERMANENT ROADWAY IMPROVEMENT MAINTENANCE, UTILITY, SEWER, SIDEWALK EASEMENT (PRIMUSSE) IS LOCATED BEHIND EXISTING R.O.W. ON THE NORTH SIDE OF NORTH OUTER 40.
  - THE FOLLOWING EASEMENTS HAVE BEEN VACATED AND ARE NOT SHOWN FOR CLARITY:  
 EX. ACCESS EASEMENT TO THE MONARCH LEVEE DISTRICT (DB. 20091, PG. 1221) (PARTIALLY VACATED) (SEE SPECIAL NOTE)  
 EX. PARKING AND ACCESS EASEMENT TO THE CITY OF CHESTERFIELD (DB. 20091, PG. 1293) (FULLY VACATED) (SEE SPECIAL NOTE)  
 EX. BMP MAINTENANCE AREA #10 TO MSD (DB. 20117, PG. 2292) (FULLY VACATED PER DB. 23804, PG. 1615)  
 EX. BMP MAINTENANCE AREA #11 TO MSD (DB. 20117, PG. 2292) (FULLY VACATED PER DB. 23804, PG. 1615)  
 EX. BMP MAINTENANCE AREA #12 TO MSD (DB. 20117, PG. 2292) (FULLY VACATED PER DB. 23804, PG. 1615)  
 EX. BMP MAINTENANCE AREA #13 TO MSD (DB. 20117, PG. 2292) (FULLY VACATED PER DB. 23804, PG. 1615)
  - EXISTING AND PROPOSED HEAVY DUTY / LIGHT DUTY ASPHALT LIMITS NOT SHOWN FOR CLARITY.
  - PER THE CITY OF CHESTERFIELD, THE FOLLOWING EASEMENTS REMAIN IN PLACE AND ARE NOT SHOWN FOR CLARITY:  
 EX. LEVEE PROTECTED EXCAVATION AREA (DB. 20091, PG. 1257 & DB. 20091, PG. 1276) (REFER TO SITE SECTIONS FOR ADDITIONAL DETAILS)  
 EX. ESMT. TO MONARCH-CHESTERFIELD LEVEE DISTRICT AS SHOWN ON SURVEY OF SAME DATED 1947 (PG. 1047-1048) (RELEASED BY DB. 20091, PG. 1210)  
 EX. 20'w ESMT. TO ST. LOUIS COUNTY WATER COMPANY (DB. 8571, PG. 1601) (LIMITS CONTAINED WITHIN R.O.W. & SUBORDINATED)  
 EX. 20'w ESMT. TO ST. LOUIS COUNTY WATER COMPANY (DB. 8636, PG. 38) (PORTION VACATED BY DB. 20518, PG. 2751)  
 EX. 20'w ESMT. TO CARL R. TISON FOR STORMWATER DRAINAGE (DB. 10179, PG. 1829) (TERMINATED) & DB. 10179, PG. 1832 (TERMINATION UNKNOWN)



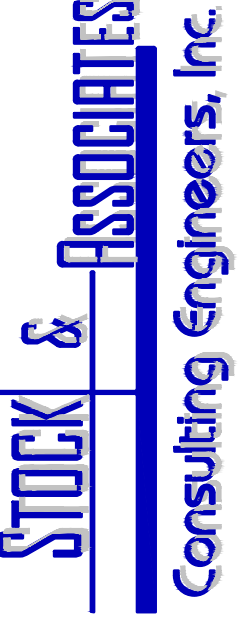
MATCHLINE A-A (SEE SHEET SDP-C4)

6TH AVENUED SITE DEVELOPMENT PLAN FOR:

**THE DISTRICT**

17017 NORTH OUTER 40 ROAD  
 CHESTERFIELD, MISSOURI 63005

PREPARED BY:



GEORGE M. STOCK E-25116  
 CIVIL ENGINEER  
 CERTIFICATE OF AUTHORITY  
 NUMBER: 050998

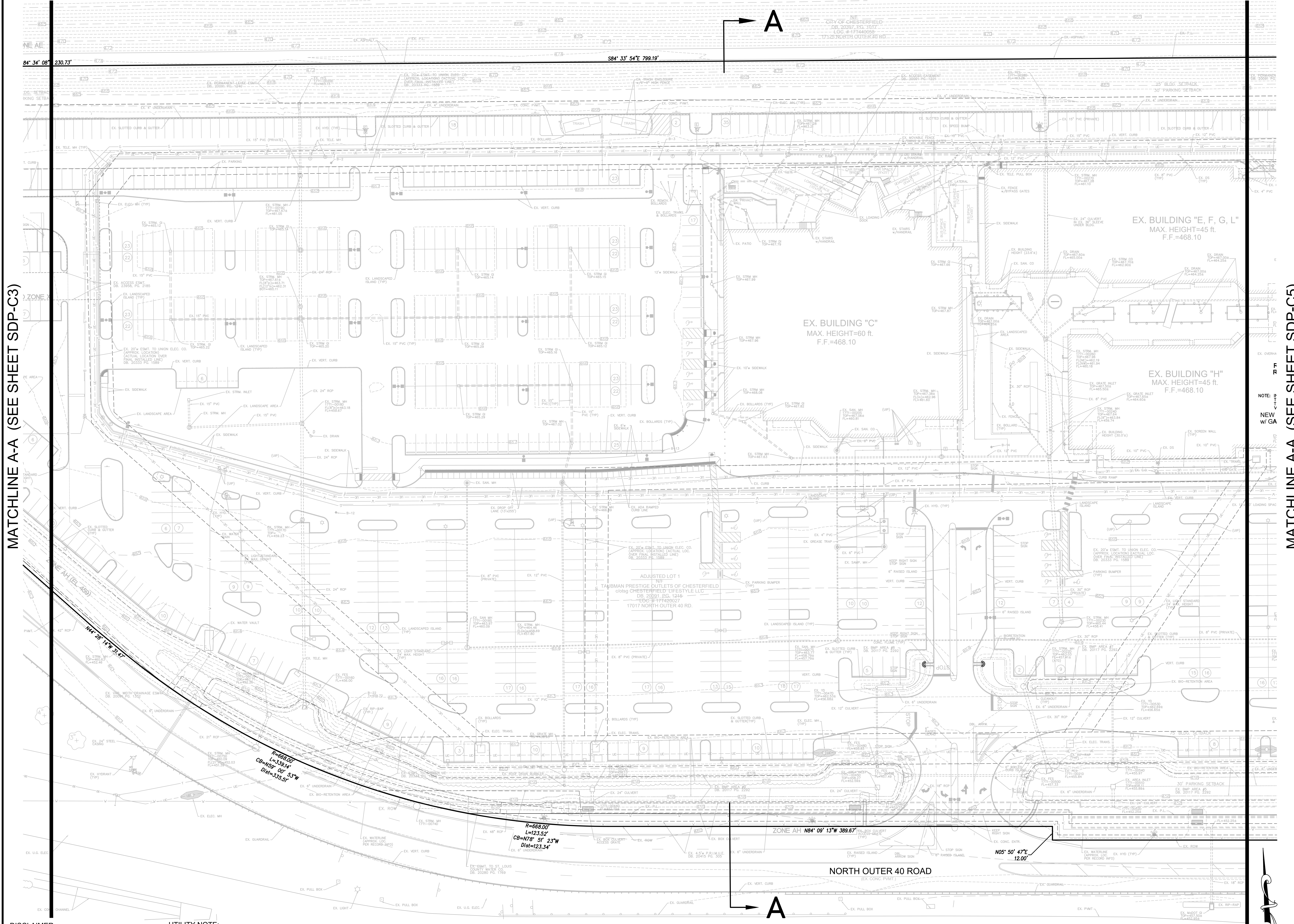
**REVISIONS:**

1	3/29/22 6TH ASDP SUBMITTAL	G.M.S.
2	4/20/22 REVISED PER REVIEW COMMENTS	
3	5/04/22 REVISED PER MONARCH FIRE TRASH ENCLOSURE	
4	5/16/22 ADDED TRASH ENCLOSURE NOTE	

DRAWN BY:	T.S.	CHECKED BY:	G.M.S.
DATE:	3/29/2022	JOB NO.:	215-6411.6
M.S.D. P. #		BASE MAP #	17U/17T
S.L.C. HWT #		HWT SAMP. #	
M.D.N.R. #			

SHEET TITLE:  
 SITE DEVELOPMENT PLAN

SHEET NO.:  
**C3**



MATCHLINE A-A (SEE SHEET SDP-C3)

MATCHLINE A-A (SEE SHEET SDP-C5)

**A**

**A**

CITY OF CHESTERFIELD  
 DE-20397-PG-1017  
 LOG # 471440958  
 17125 NORTH OUTER 40 RD

584' 33" 54"E 799.19'

84' 34" 08" 230.73'

EX. BUILDING "C"  
 MAX. HEIGHT=60 ft.  
 F.F.=468.10

EX. BUILDING "E, F, G, L"  
 MAX. HEIGHT=45 ft.  
 F.F.=468.10

EX. BUILDING "H"  
 MAX. HEIGHT=45 ft.  
 F.F.=468.10

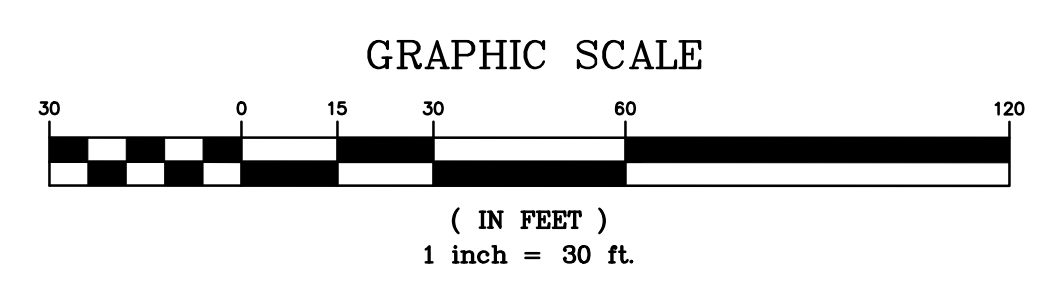
ADJUSTED LOT 1  
 TAJEMAN PRESTIGE OUTLETS OF CHESTERFIELD  
 c/o JCS CHESTERFIELD LIFESTYLE LLC  
 DB: 202851 PG. 1244  
 EOC # 177420027  
 17017 NORTH OUTER 40 RD.

NORTH OUTER 40 ROAD  
 (EX. CONC. PAVT.)

NOTE:  
 NEW W/ GA

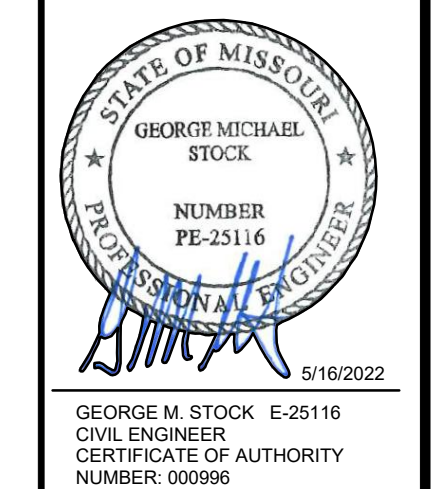
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PREPARED BY:  
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 500-9000 FAX: (636) 590-9000  
 e-mail: general@stockinc.com  
 Web: www.stockinc.com

6TH AVENUED SITE DEVELOPMENT PLAN FOR:  
**THE DISTRICT**  
 17017 NORTH OUTER 40 ROAD  
 CHESTERFIELD, MISSOURI 63005



**REVISIONS:**

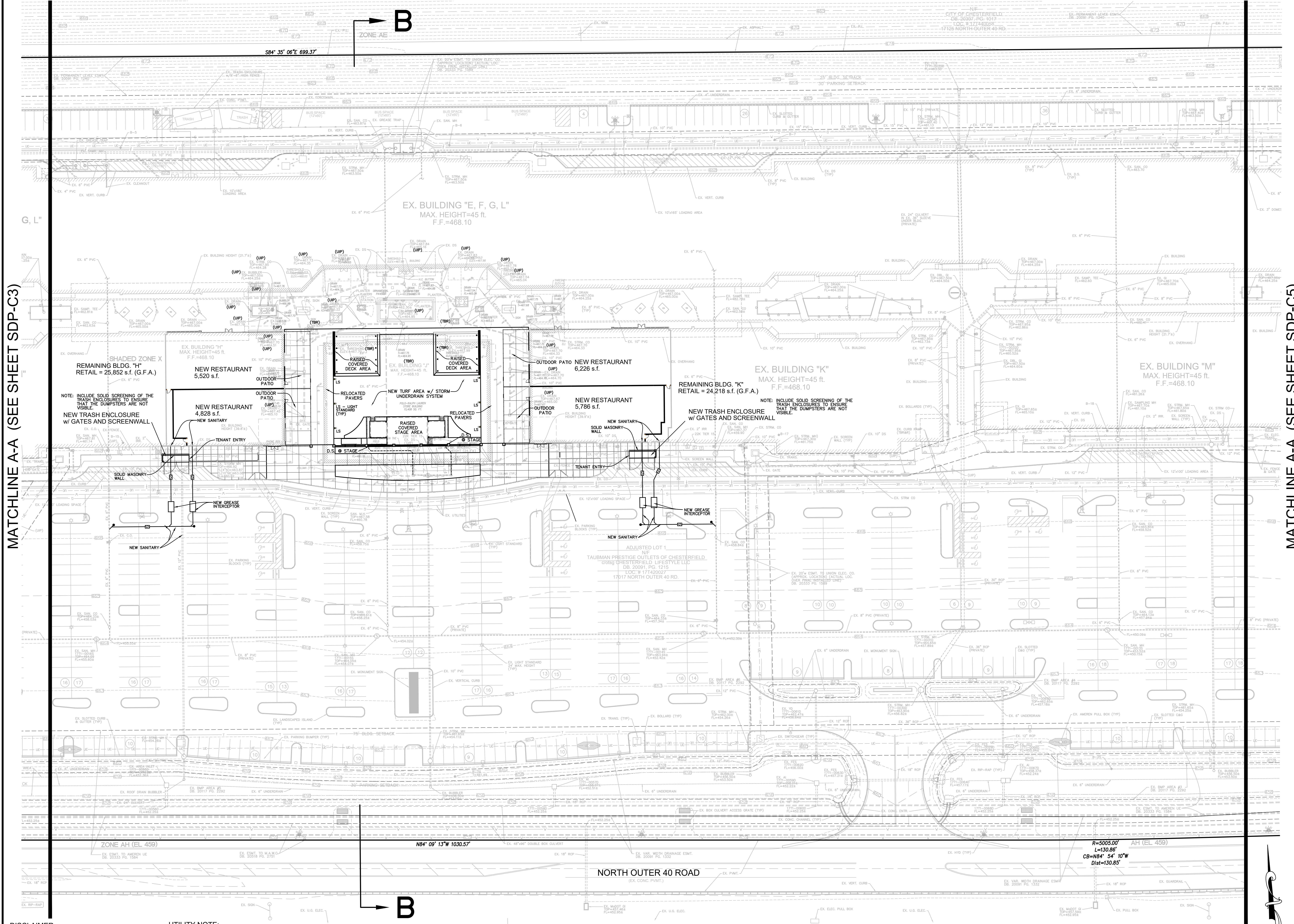
1	3/29/22 6TH ASDP SUBMITTAL
2	4/20/22 REVISED PER REVIEW COMMENTS
3	5/04/22 REVISED PER MONARCH FIRE TRASH ENCLOSURE
4	5/16/22 ADDED TRASH ENCLOSURE NOTE

DRAWN BY: T.S.	CHECKED BY: G.M.S.
DATE: 3/29/2022	JOB NO. 215-0411.6
M.S.D. P.#	BASE MAP #
S.L.C. HWT #	HWT S.U.P. #
M.D.N.R. #	

SHEET TITLE:  
**SITE DEVELOPMENT PLAN**  
 SHEET NO.:  
**C4**

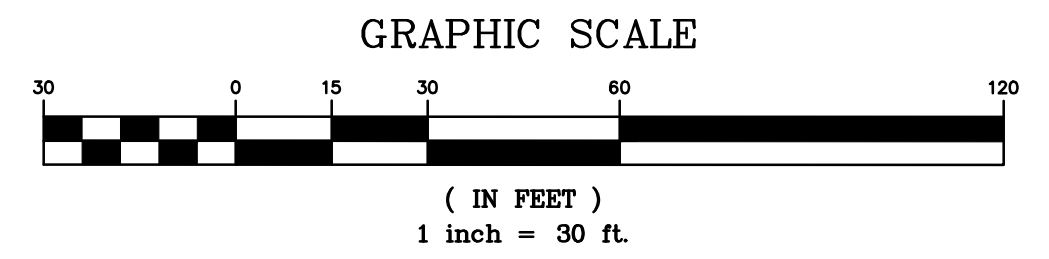
MATCHLINE A-A (SEE SHEET SDP-C3)

MATCHLINE A-A (SEE SHEET SDP-C5)



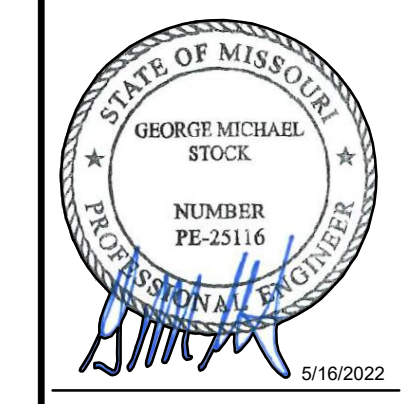
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 500-9100 FAX: (636) 590-9000  
 e-mail: general@stockassoc.com  
 Web: www.stockassoc.com

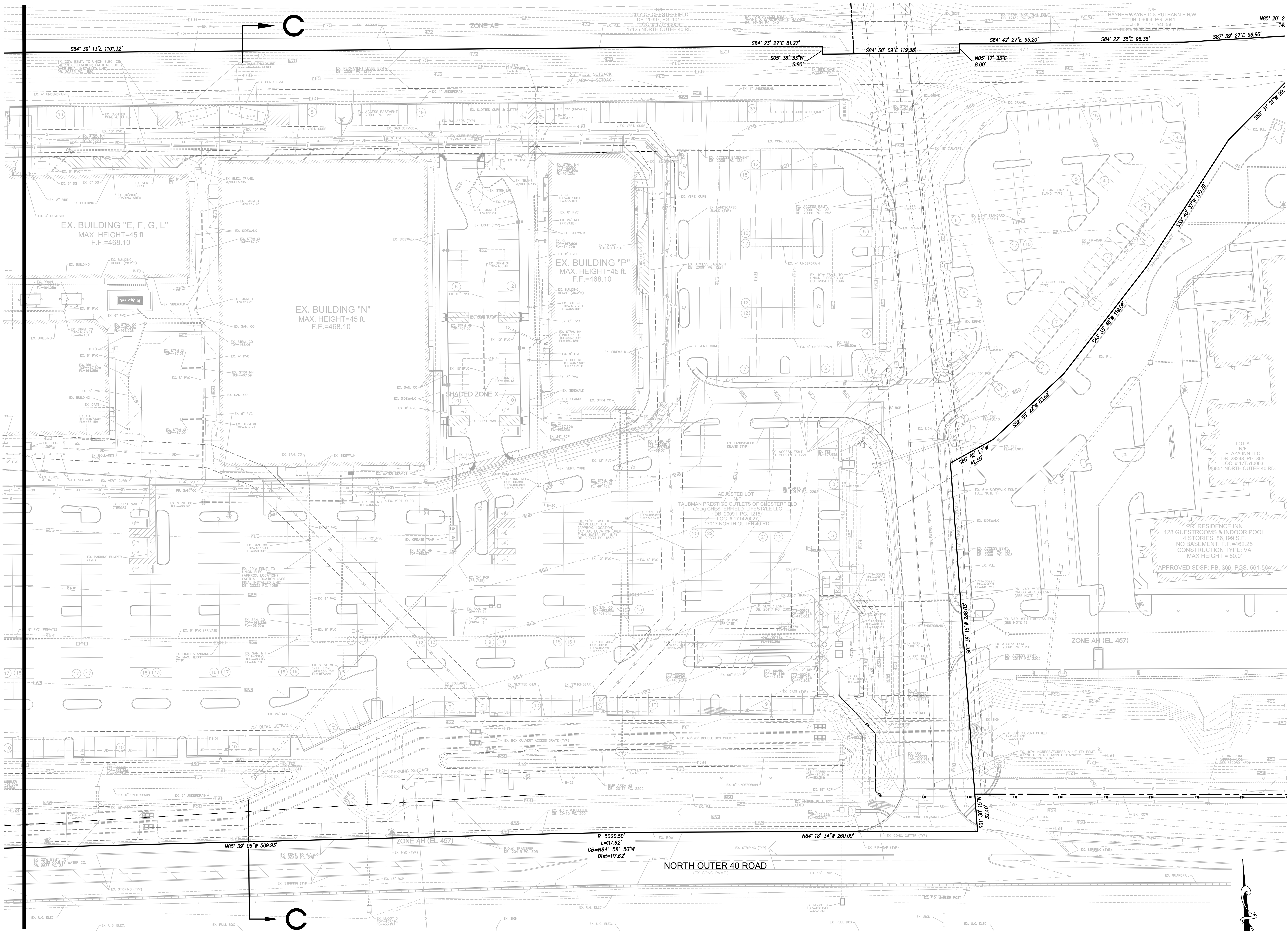
6TH AMENDED SITE DEVELOPMENT PLAN FOR:  
**THE DISTRICT**  
 17017 NORTH OUTER 40 ROAD  
 CHESTERFIELD, MISSOURI 63005



**REVISIONS:**  
 1 3/29/22 6TH ASDP SUBMITTAL  
 2 4/20/22 REVISION PER REVIEW COMMENTS  
 3 5/04/22 REVISION PER MONARCH FIRE TRASH ENCLOSURE  
 4 5/16/22 ADDED TRASH ENCLOSURE NOTE

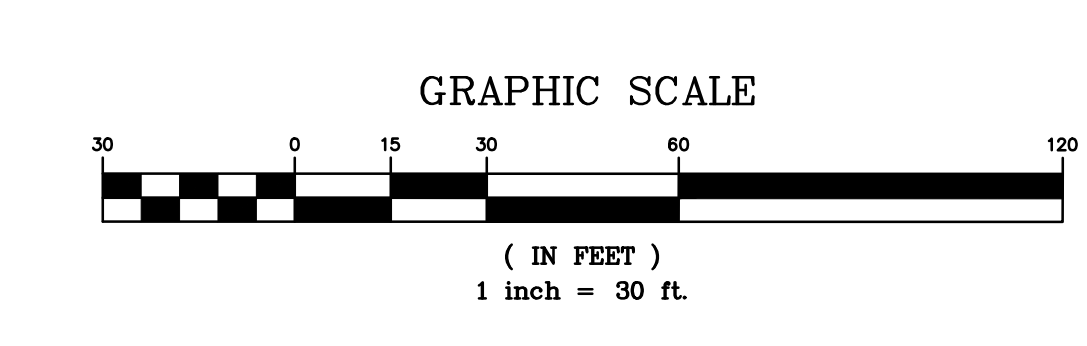
DRAWN BY: T.S.	CHECKED BY: G.M.S.
DATE: 3/29/2022	JOB NO. 215-0411.6
M.S.D. P.#	BASE MAP #
S.L.C. MAT #	MAT S.U.P. #
M.D.N.R. #	
SHEET TITLE: SITE DEVELOPMENT PLAN	
SHEET NO.: C5	

MATCHLINE A-A (SEE SHEET SDP-C5)



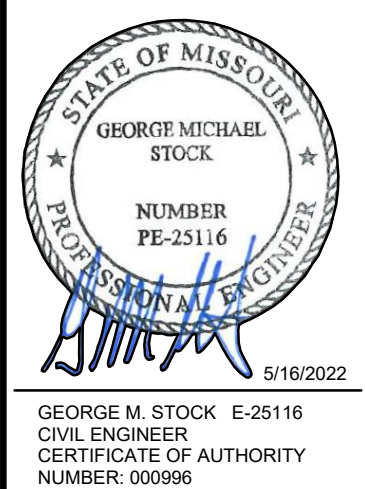
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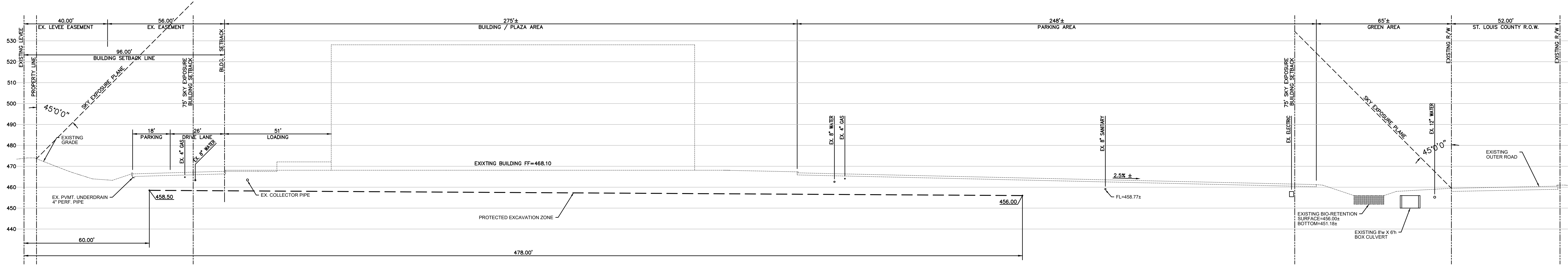
PREPARED BY:  
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6TH AMENDED SITE DEVELOPMENT PLAN FOR:  
**THE DISTRICT**  
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 CHESTERFIELD, MISSOURI 63005

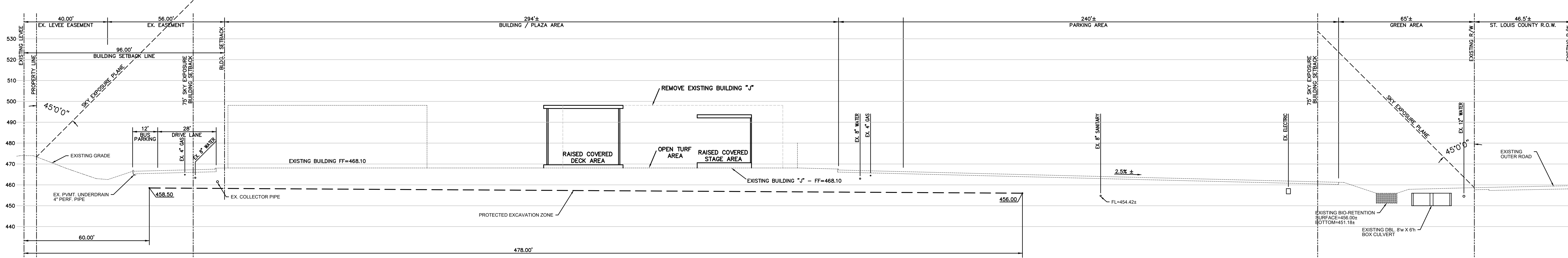


REVISIONS:  
 1 3/29/22 6TH ASDP SUBMITTAL  
 2 4/20/22 REVISION PER REVIEW COMMENTS  
 3 5/04/22 REVISION PER MONARCH FIRE TRASH ENCLOSURE  
 4 5/16/22 ADDED TRASH ENCLOSURE NOTE

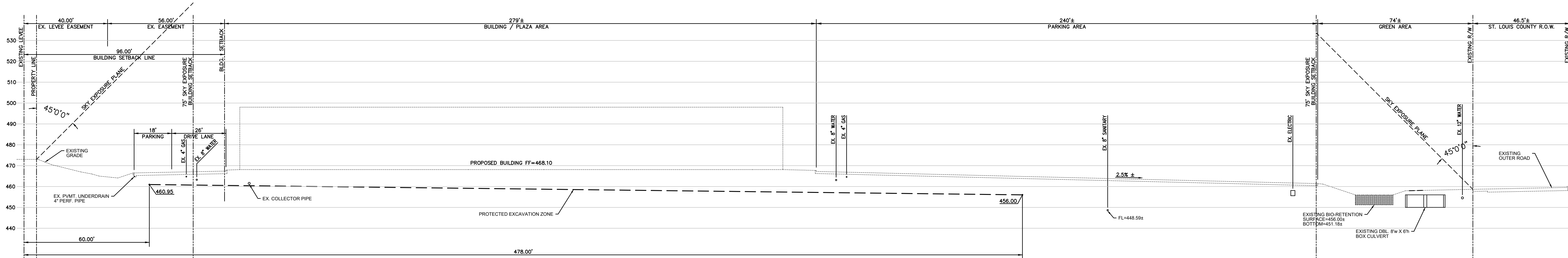
DRAWN BY: T.S. CHECKED BY: G.M.S.  
 DATE: 3/29/2022 JOB NO.: 215-0411.6  
 M.S.D. # # BASE MAP # 17U/17T  
 S.L.C. HAT # # HAT S.U.P. # #  
 M.D.N.R. # #  
 SHEET TITLE: SITE DEVELOPMENT PLAN  
 SHEET NO.: C6



**SITE SECTION A-A**  
SCALE: 1"=20'



**SITE SECTION B-B**  
SCALE: 1"=20'



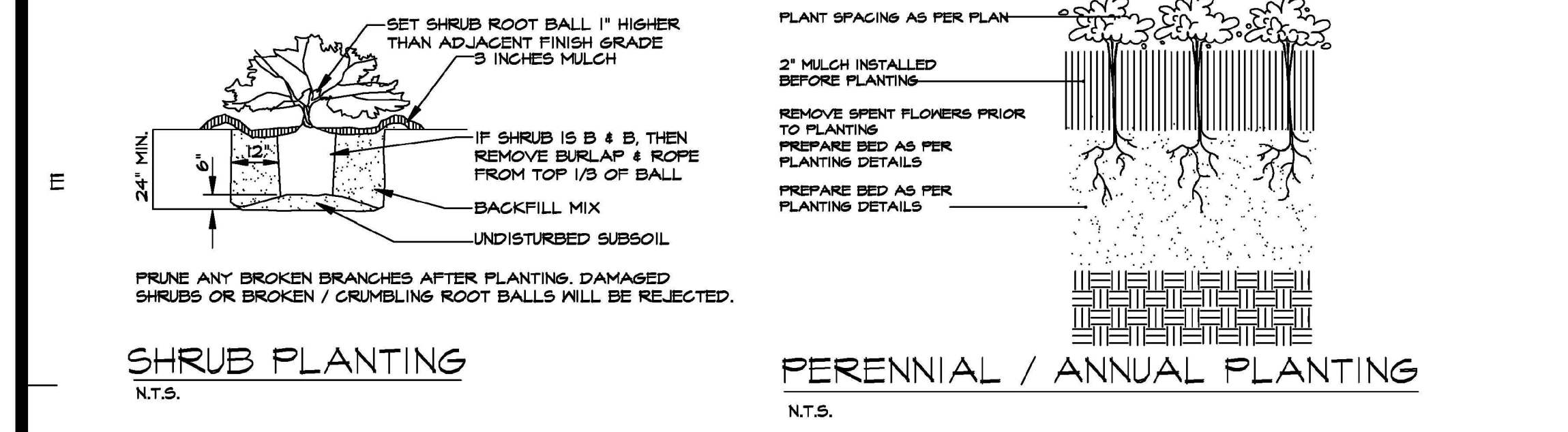
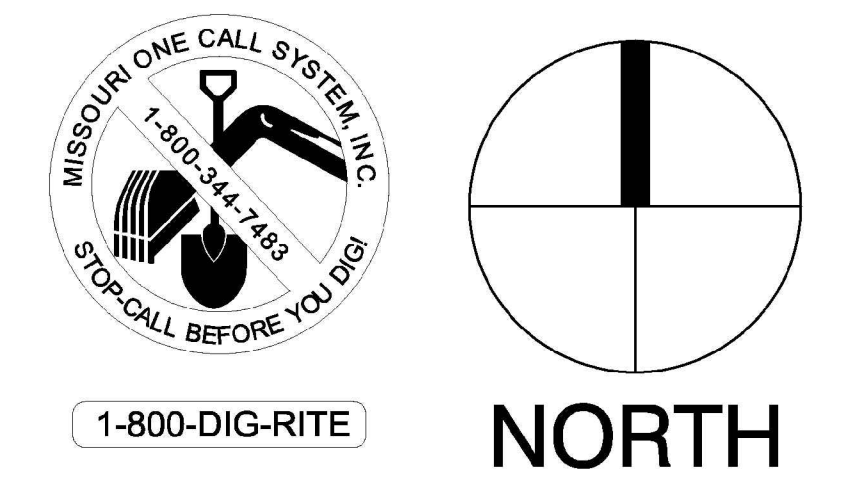
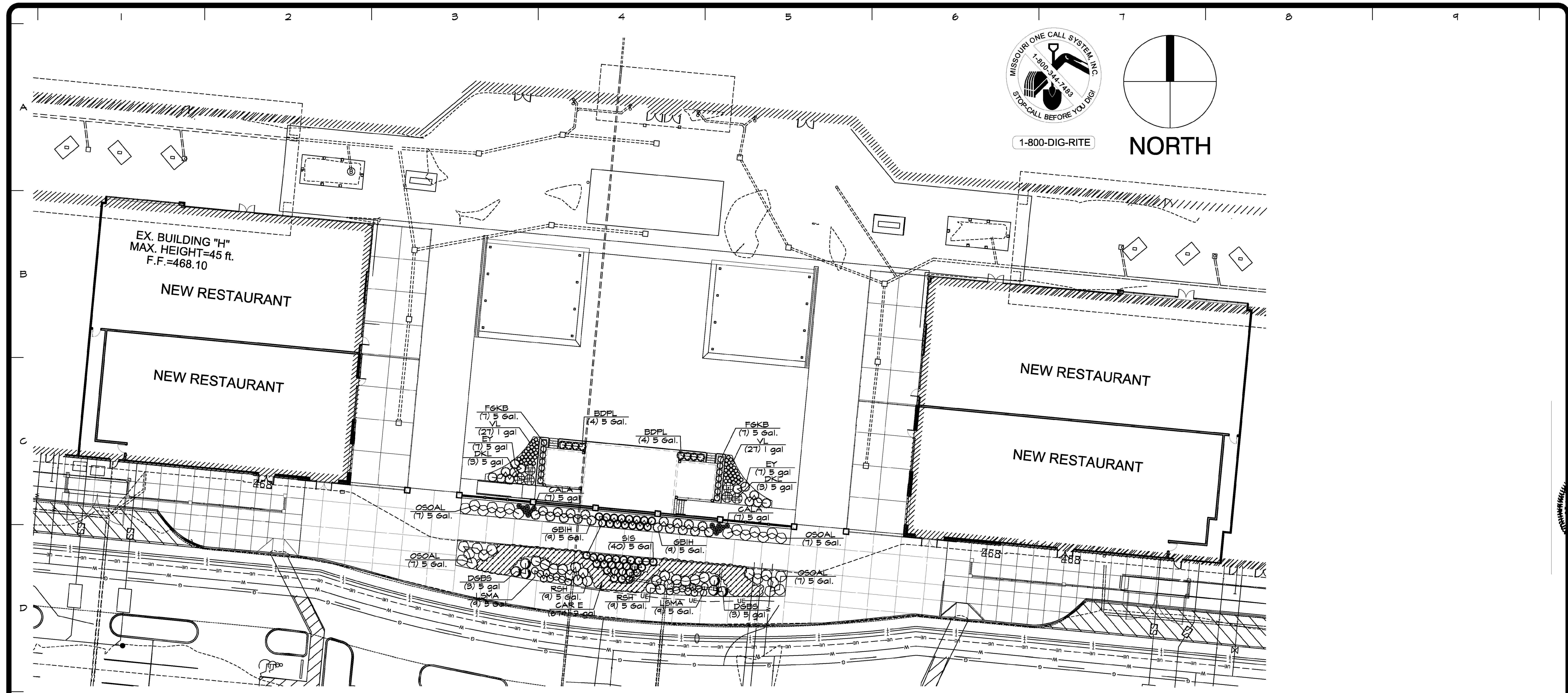
**SITE SECTION C-C**  
SCALE: 1"=20'



REVISIONS:

1	3/29/22 6TH ASDP SUBMITTAL
2	4/20/22 REVISED PER REVIEW COMMENTS
3	5/14/22 REVISED PER MONARCH FIRE (TRASH ENCLOSURE)
4	5/16/22 ADDED TRASH ENCLOSURE NOTE

DRAWN BY: T.S.	CHECKED BY: G.M.S.
DATE: 3/29/2022	JOB NO.: 218-R411.6
W.S.D. # #	BASE MAP # 17U/17T
S.L.C. H&T #	H&T SUP. #
SHEET TITLE: <b>SITE SECTIONS</b>	
SHEET NO.: <b>C7</b>	



**LANDSCAPE GUIDELINE SPECS:**

- GENERAL:**
- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
  - The landscape contractor shall be responsible for city coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
  - Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
  - Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
  - It shall be the landscape contractor's responsibility to:
    - Verify all existing and proposed features shown on the drawings prior to commencement of work.
    - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
    - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
  - Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
  - Provide single-stem trees unless otherwise noted in plant schedule.
  - All plant material shall comply with the recommendations and requirements of ANSI Z601 "American Standards for Nursery Stock". It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners' Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
  - All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
  - Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
  - All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
  - Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
  - Landscape contractor shall kill & remove all existing weeds within the project site.
  - All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
  - Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
  - All substitutions of plant material shall be submitted to landscape architect for approval.
- PRUNING:**
- Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
  - All pruning shall comply with ANSI A300 standards.
- INSURANCE:**
- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.
- MULCH:**
- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
  - No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Miraf fabric shall be used beneath all gravel mulch beds.
  - Use 6" Lap fabric 6" over adjacent coverages.
  - Edge all beds with spade-cut edge unless otherwise noted.
- WARRANTY:**
- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
  - Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
  - Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
  - Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
  - A written guarantee shall be provided to the owner per conditions outlined in #1 above.

**PLANT SCHEDULE**

SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE
BDPL	2	Blooming Dwarf Purple Lilac / Syringa x 'SMNJRPU' TM	5 gal.
DGBS	6	Dwarf Globe Blue Spruce / Picea pungens 'Glabosa'	5 gal.
DKL	6	Dwarf Korean Lilac / Syringa meyeri 'Pallidin'	5 gal.
EY	14	Everlow Yew / Taxus x media 'Everlow'	5 gal.
FGKB	14	Franklin's Gem Korean Boxwood / Buxus sinica insularis 'Franklin's Gem'	5 gal.
GBH	12	Gem Box Inkberry Holly / Ilex glabra 'Gem Box'	5 gal.
LSMA	12	Low Scape Mound Chokeberry / Aronia melanocarpa 'Low Scape Mound'	5 gal.
RSH	12	Ruby Slippers Hydrangea / Hydrangea quercifolia 'Ruby Slippers'	5 gal.
SIS	40	Scantiandia Sweetspire / Itea virginica 'SMNIVDFC' TM	5 gal.
ANNUALS/PERENNIALS	QTY	COMMON / BOTANICAL NAME	SIZE
VL	54	Variegated Liriope / Liriope muscari 'Variegata'	1 gal.
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE
CALA	14	Foerster's Reed Grass / Calamagrostis acutifolia 'Karl Foerster'	5 gal.
ROSES	QTY	COMMON / BOTANICAL NAME	SIZE
OSOAL	25	OSO Easy At Last Rose / Rosa x 'OSO Easy At Last'	5 gal.
GROUND COVERS	QTY	COMMON / BOTANICAL NAME	SIZE
	274	EverColor Everglow Japanese Sedge / Carex morrowii 'Everglow' TM	2 gal.

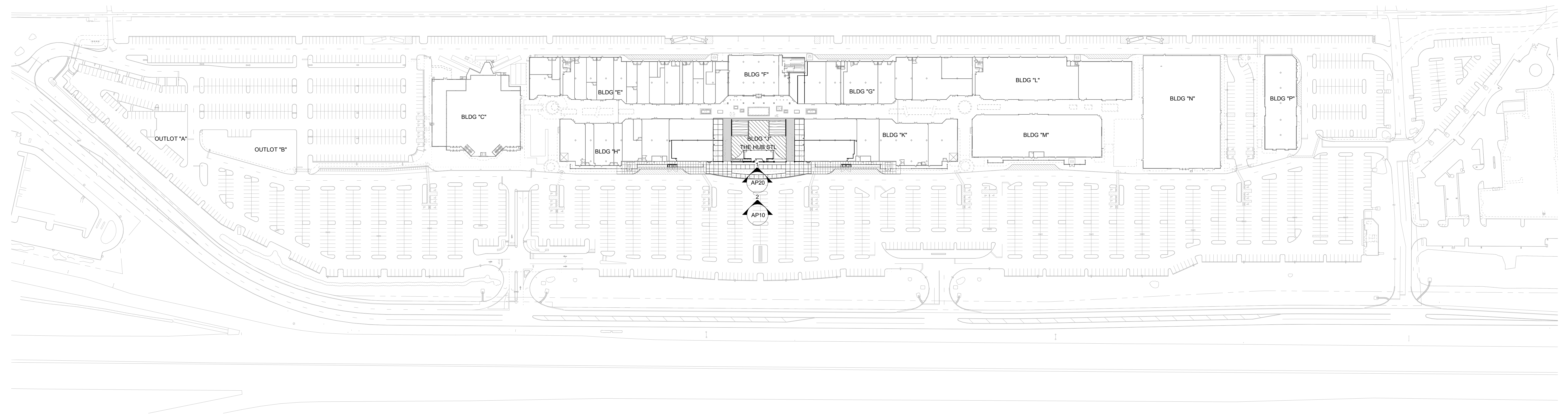
REVISIONS	BY

*Landscape*  
**TECHNOLOGIES**

1100 N. MARIETTA  
SUITE 200  
CHESTERFIELD, MISSOURI 63007  
TEL: 636-861-1100  
FAX: 636-861-1101  
WWW.LANDSCAPETECHNOLOGIES.COM

**PLANTING PLAN FOR THE PROPOSED**  
**The Hub at The District**  
CHESTERFIELD, MISSOURI

DRAWN  
R. HARRIS  
CHECKED  
R. HARRIS  
DATE  
3/24/2022  
SCALE  
1"=20'-0"  
JOB NO.  
2022-111  
SHEET  
**L-1**  
OF ONE SHEET



1 OVERALL ARCHITECTURAL SITE PLAN  
 AP10 1" = 100'-0"



2 OVERALL ELEVATION  
 AP10 1" = 80'-0"

# THE DISTRICT

NORTH OUTER FORTY DRIVE  
 CHESTERFIELD, MO 63017

05/23/2022





## Beam 12' - 30' Steel Pole

STRUCTURA

FIXTURE TYPE: \_\_\_\_\_

PROJECT NAME: \_\_\_\_\_



Steel H-beam upright with wood accent panels.

### FEATURES:

- Roadway or pedestrian pole heights up to 30'
- Catenary cable capabilities
- Available in 6" and 8" square sizes

### SPECIFICATIONS:

**CONSTRUCTION:** Formed A992 steel beam welded to an A36 steel baseplate. Solid wood panel is assembled through glulam construction and precision machined using CNC technology. Adhesive complies with ASTM D-2559 glulam construction specifications for extreme exposed weather conditions, is waterproof and rated for wet or dry use exposure.

**ELECTRICAL:** A 5/16" - 18 grounding point is provided on the aluminum pole center support. Wireway access is provided through a NEC compliant handhole hidden behind accent panel.

**FINISHES AND MATERIALS:** All steel parts are polyester powder coat painted. Wood panels are finished with a low VOC waterborne matte exterior finish containing UV and mildew inhibitors. [Care and Maintenance](#)

**HARDWARE:** All fasteners and hardware are stainless steel. Anchor bolt kits are ASTM F1554 grade 55 steel with galvanized steel hex nuts and washers.

**FIXTURE MOUNTING:** Fixtures mount to pole from bolt pattern, horizontal mast arm, or custom arm.

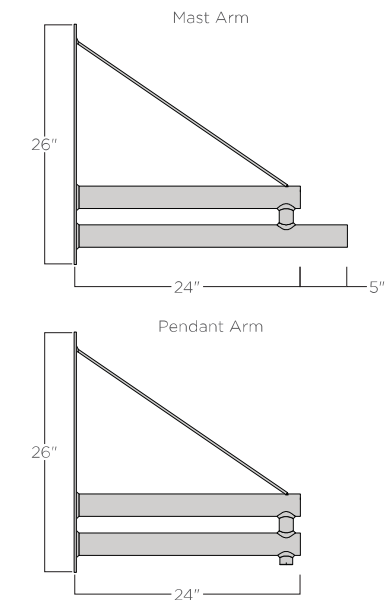


## Plaza Aluminum Fixture Mounting Arm

STRUCTURA

FIXTURE TYPE: \_\_\_\_\_

PROJECT NAME: \_\_\_\_\_



### SPECIFICATIONS:

**CONSTRUCTION:** Arm is a weldment of 6061-T6 aluminum tubes to a 6061-T6 aluminum backplate with 6061-T6 aluminum tie plate.

**FINISHES AND MATERIALS:** All aluminum parts are polyester powder coat painted to AAMA-2604 standards. [Care and Maintenance](#)

**ELECTRICAL:** Electrical raceway through mounting tube to wire chase inside the pole.

**HARDWARE:** All luminaire hardware is stainless steel.

**FIXTURE MOUNTING:** Arm is made for 2 3/8" slip fit fixtures. Pendant mounting thread size to be specified.

**ORDERING GUIDE:** EXAMPLE: PLAZA-MAST-24-C4-SQR



1	Series	3	Length	4	Metal Finish	5	Mounting
PLAZA	Plaza	24	24"	C*	See color options on finishes technical sheet	RND	Round Pole
2	Fixture			CSM	Custom Color	SQR	Square Pole
MAST	Mast Arm					WALL	Wall Mount
PEN	Pendant						

LIGHT FIXTURE AND POLE FOR INSIDE OF DEVELOPMENT AT HUB AREA

THE DISTRICT | THE HUB STL

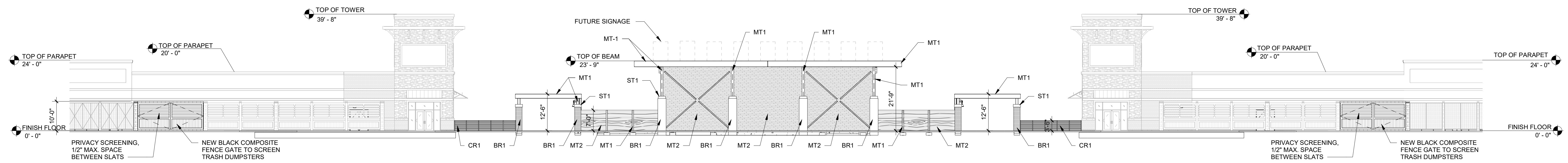
North Outer Forty Drive Chesterfield, MO 63017

ISSUED MARCH 29, 2022

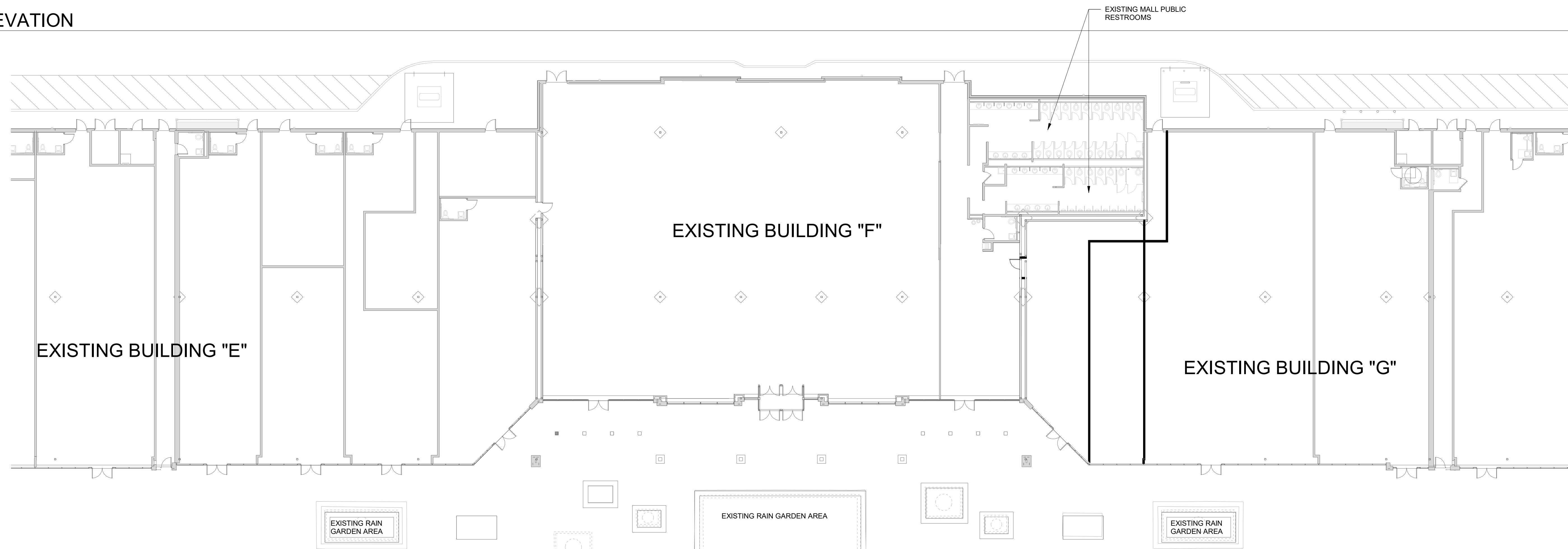
THE STAENBERG GROUP  
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HDA

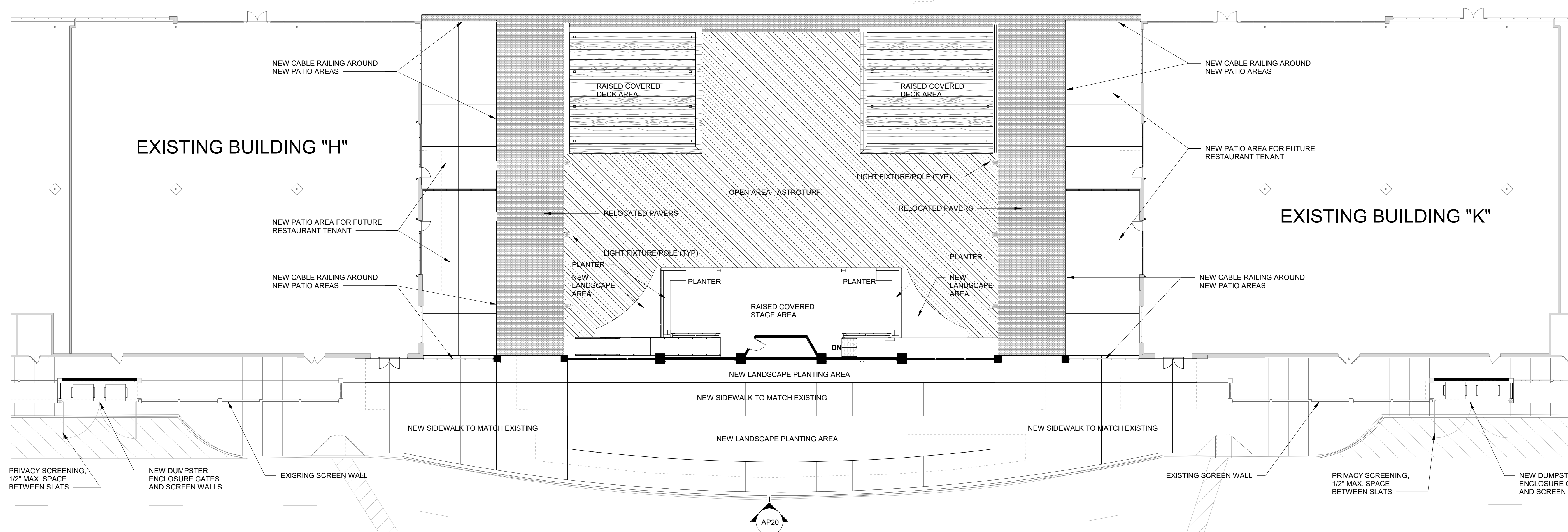
otoolle



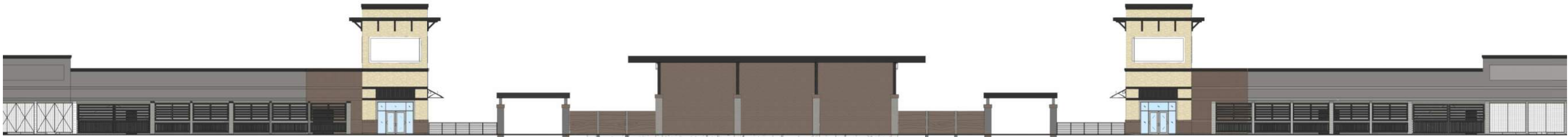
1 ENLARGED ELEVATION  
1/16" = 1'-0"



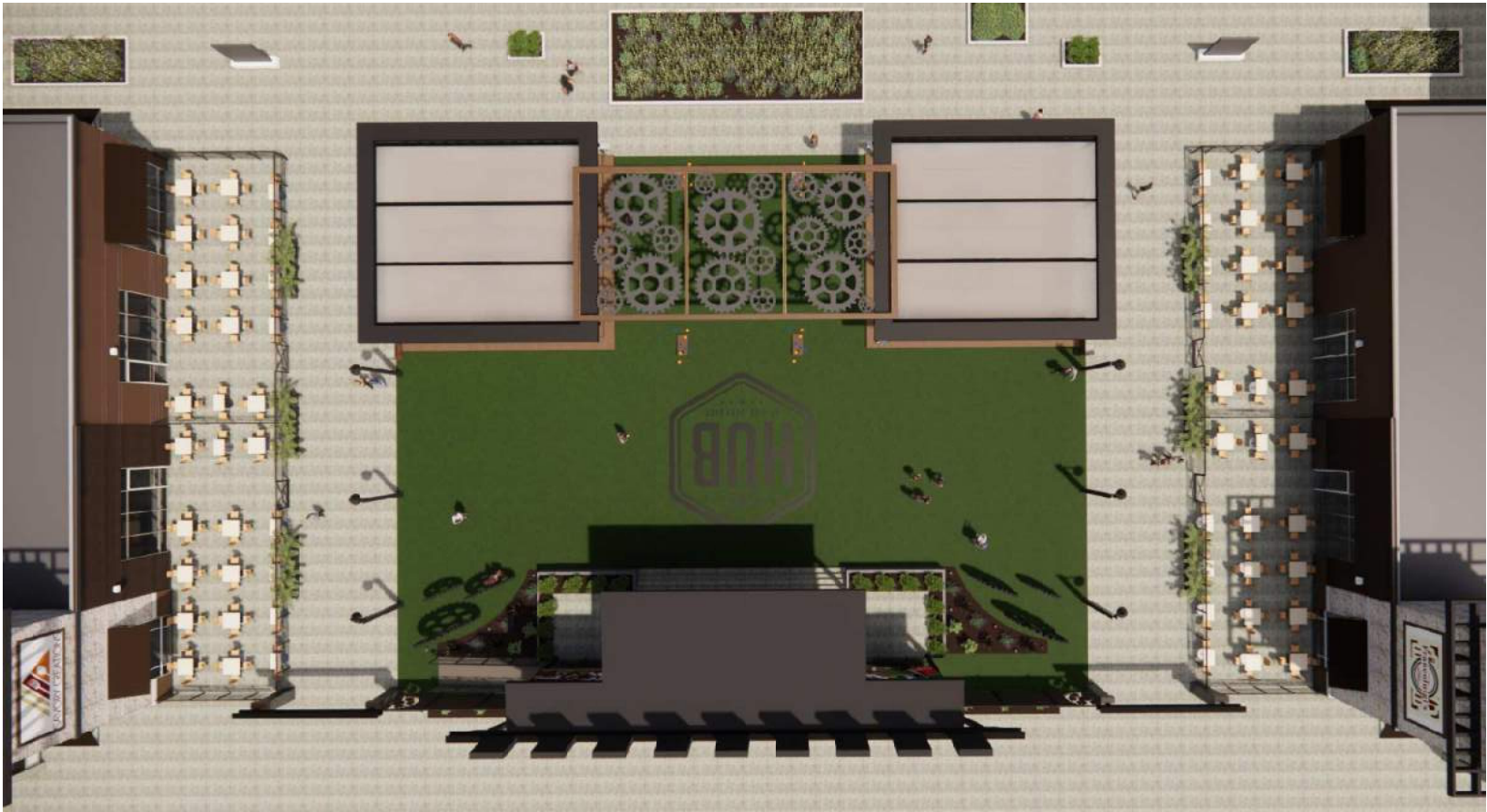
EXTERIOR MATERIAL LEGEND	
BR1	THIN BRICK VENEER MFR: FIELDHAUS PRODUCT: #117 ACCUDO - MEDIUM GRAY BRICK
BR2	BRICK VENEER MFR: GLEN GREY PRODUCT: OLDE CITY
ST1	CAST STONE CAP MFR: CALIBER CAST STONE PRODUCT: MEDIUM WARM GRAY
MT1	STEEL BEAMS AND COLUMNS MFR: TBD PRODUCT: GALVANIZED STEEL BEAMS AND COLUMNS COLOR: BLACK
MT2	PREFINISHED WOOD GRAIN LOOK METAL PANELS MFR: LONGBOARD PRODUCT: 6" CHANNEL COLOR: LIGHT NATIONAL WALNUT
GL1	STOREFRONT OPENINGS MFR: OLD CASTLE PRODUCT: SERIES 3000 COLOR: ANODIZED ALUMINUM
CR1	CABLE RAILING MFR: VIEWRAIL SYSTEM PRODUCT: SIGNATURE CABLE RAIL SYSTEM COLOR: BLACK ANODIZED ALUMINUM



2 ENLARGED FLOOR PLAN  
1/16" = 1'-0"



COLOR ELEVATION - SOUTH VIEW LOOKING NORTH



AERIAL VIEW PROPOSED "HUB" AREA



RENDERING OF PROPOSED HUB AREA

## THE DISTRICT | THE HUB STL

North Outer Forty Drive Chesterfield, MO 63017

ISSUED MARCH 29, 2022

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**HDA**

**otoolle**