

Planning Commission Staff Report

Meeting Date: May 09, 2022

From: Mike Knight, Assistant City Planner *mk*

Location: South of Wild Horse Creek Road, west of Chesterfield Parkway West, and east of Burkhardt Place.

Description: **Wildhorse Village (3rd ASDCP)**: An Amended Site Development Concept Plan, Landscape Concept Plan and Lighting Fixture Concept Plan for the 78.4 acre tract of land located south of Wild Horse Creek Road, west of Chesterfield Parkway, and north and east of Burkhardt Place.

PROPOSAL SUMMARY

Stock and Associates Consulting Engineers, Inc. has submitted an Amended Site Development Concept Plan for Planning Commission review. This request depicts a phased development of 20 lots that total 78.4 acres. The subject site is located in what is known as “Categories A&B” of Downtown Chesterfield. The subject site is zoned “PC&R” Planned Commercial and Residence District and governed under the terms and conditions of City of Chesterfield Ordinance 3161. An Amended Site Development Concept Plan, Lighting Fixture Concept Plan and Landscape Concept Plan have been submitted for review and approval.

This amendment has 3 primary components:

- Split Lots 2B and 2C into 4 lots totaling the same acreage
- Allocate 70 residential units to Lot 2A-2
- Update street tree species per coordination with the Monarch Fire Protection District



Figure 1: Aerial Image

STAFF ANALYSIS

The governing ordinance is unique in the fact that there are four specific concept plans to be submitted and approved by Planning Commission. These plans include the Amended Site Development Concept Plan, Landscape Concept Plan, Signage Concept Plan, and Lighting Fixture Concept Plan. In January of 2021, the City of Chesterfield Planning Commission approved all four plans. This amendment does not include any amendments to the Signage Concept Plan.

The following analysis will be provided for each of the three plans in which there will be changes.

Amended Site Development Concept Plan:

The Subject Site is composed of 20 total lots for the phased development of Categories (A&B). All of the lots are currently undeveloped, but construction is currently underway to facilitate the infrastructure (roadways, sanitary sewers, stormwater management, electric) involved with the development. There is a Record Plat approved for the development. Lot 7A depicted on the Record Plat and Amended Site Development Concept Plan is understood as Common Ground for the entire development.

The Concept Plan provides general areas for lot lines, potential roadways, building foot prints, parking areas, allocation of overall density and common ground containing required amenities.

Lot lines: The approved 2nd ASDCP depicts 18 lots. The proposed 3rd ASDCP depicts 20 lots. Lot 2B is proposed as 2B-1 and 2B-2. Lot 2C is proposed as 2C-1 and 2C-2. The density for the land area does not change and remains at 64 units as approved over the same acreage.

Potential Roadways: The roadways are currently under construction for the site. There are no proposed changes for the roadways. The concept plan depicts the location of the conceptual entrance locations into each lot. Two access points have been removed from the plan located west of Lot 2B-1 and east of Lot 2C-2. The specific points of access are no longer needed for the development and will allow for a reduction in pavement and increase in permeable surface.

Building Footprint: The conceptual plans contain a conceptual building layout for each developable lot. The governing ordinance has a streetscape exhibit for each roadway depicted on the Preliminary Development Plan. Each exhibit has a build-to line in which buildings must be built to a certain point on a lot compared to the more traditional set-back line in which there is a requirement for a building to be set back from a lot line. The proposed plan has two areas in which there are changes to the building footprints. The condo buildings previously referenced on Lots 2B and 2C have very minor changes as the architectural design of the buildings have advanced. Lot 2A-2 currently has the building footprint of one structure and is proposing the building footprint of 72 multi-family units. There is currently no density approved for Lot 2A-2 as it was previously programmed as a parking garage.

Parking Areas: There are both structured parking and street parking depicted on the ASDCP. This plan provides the general location of parking for each lot but does not provide the total quantity requirements. The total number of parking spaces will be required on each lot's subsequent Site

Development Section Plan. A few notable features in regards to the parking would be that there are currently on-street parking spaces depicted along the internal roadways. Also lots 3C and 3D both utilize the structured garage on lots 3A/3B. The only surface parking lot allowed by ordinance is in relation to the grocery use.

Density Allocation: The concept plan allocates the commercial square footage and residential units permitted for each lot. The sole change to the density allocation table is adding 70 residential units where there is no density currently approved. As previously mentioned, there was no density previously requested for this lot as it was programmed for a parking garage. The parking garage is no longer needed by the development team as Lots 2B and 2C were once envisioned as large office buildings in which now they are programmed as condo buildings that have parking garages built into them. Below (Figures 2&3) are both the approved density allocation table and the proposed.

Categories A & B	Commercial	Residential
Lot 1	0	72
Lot 2A-1	0	266
Lot 2A-2	0	0
Lot 2B	0	32
Lot 2C	0	32
Lot 3A	204,000	0
Lot 3B	135,000	0
Lot 3C	153,000	0
Lot 3D	12,000	0
Lot 4A	162,000	0
Lot 4B		
Lot 4C	90,000	0
Lot 4D	15,000	0
Lot 5A	30,000	80
Lot 5B		
Lot 5C		
Lot 5D	0	48
Lot 6	0	35
Total	801,000	565

Figure 2: Approved Density Allocation

Categories A & B	Commercial	Residential
Lot 1	0	72
Lot 2A-1	0	266
Lot 2A-2	0	70
Lot 2B-1	0	16
Lot 2B-2	0	16
Lot 2C-1	0	16
Lot 2C-2	0	16
Lot 3A	204,000	0
Lot 3B	135,000	0
Lot 3C	153,000	0
Lot 3D	12,000	0
Lot 4A	162,000	0
Lot 4B		
Lot 4C	90,000	0
Lot 4D	15,000	0
Lot 5A	30,000	80
Lot 5B		
Lot 5C		
Lot 5D	0	48
Lot 6	0	35
Total	801,000	635

Figure3: Proposed Density Allocation

Common Ground/Amenities: There are no changes being requested in regards to the common ground or amenities. For reference, the Wildhorse Village Record Plat created Lot 7A as common ground for the entire Wildhorse Village development.

Landscape Concept Plan and Lighting Fixture Concept Plan

The Landscape Concept Plan and Lighting Fixture Concept Plan are largely the same as what was previously approved. There is a change in tree species to the street trees as required by the Monarch Fire Protection District. The updates were to provide aerial apparatus access for buildings.

DEPARTMENTAL INPUT

Staff has reviewed the submittal and has found the application to be consistent with the land use designation in the City’s Comprehensive Plan, in conformance with the City of Chesterfield Unified Development Code and Ordinance 3161. Staff recommends approval of the 3rd Amended Site Development Concept Plan for Wildhorse Village.

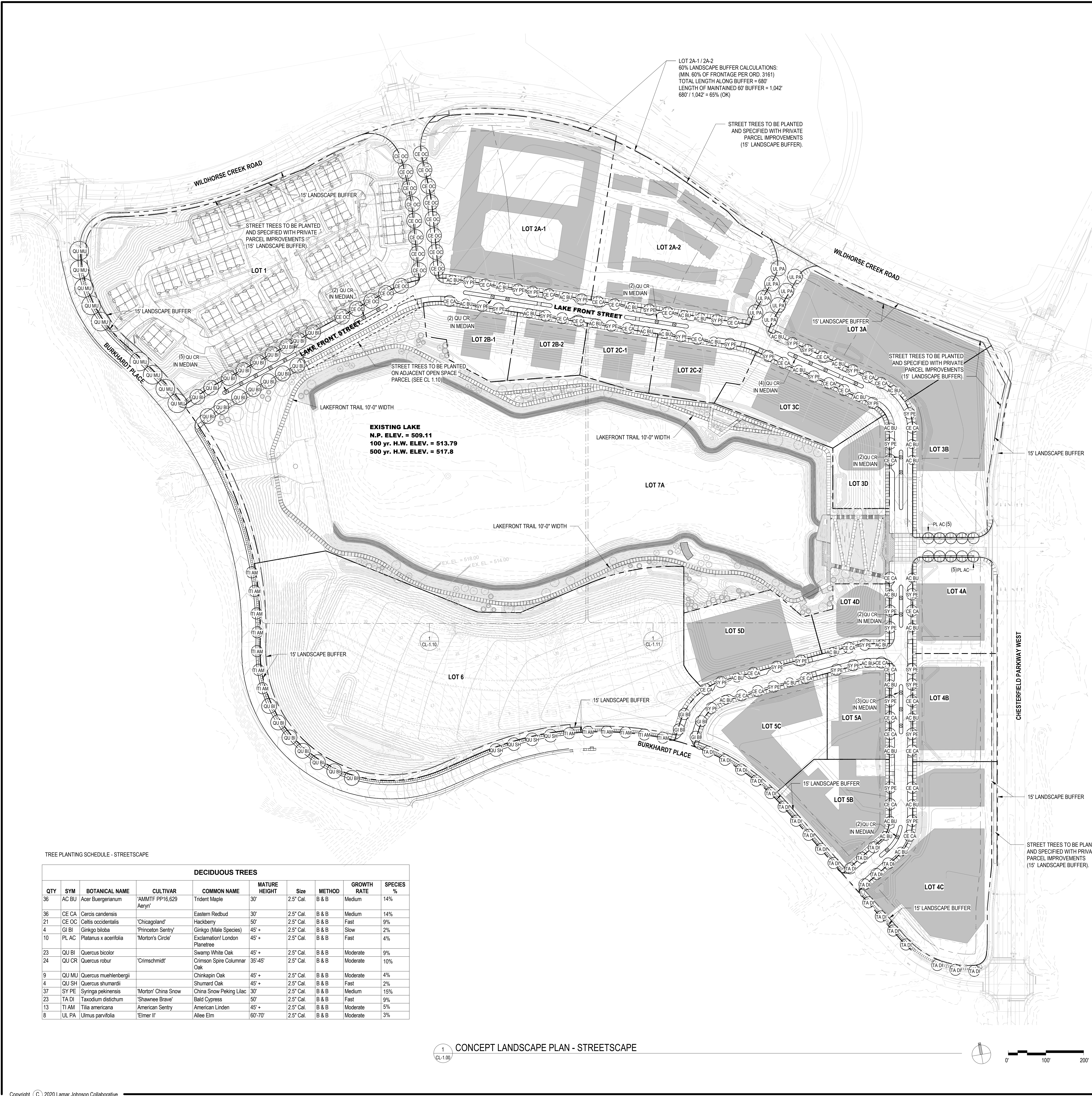
MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the 3rd Amended Site Development Concept Plan, Landscape Concept Plan and Lighting Fixture Concept Plan for Wildhorse Village.”

- 2) “I move to approve the 3rd Amended Site Development Concept Plan, Landscape Concept Plan, and Lighting Fixture Concept Plan for Wildhorse Village with the following conditions...”
(Conditions may be added, eliminated, altered or modified)

Attachments: Amended Site Development Concept Plan
Landscape Concept Plan
Lighting Fixture Concept Plan



LOT 2A-1/2A-2
60% LANDSCAPE BUFFER CALCULATIONS
(MIN. 60% OF FRONTAGE PER ORD. 3161)
TOTAL LENGTH ALONG BUFFER = 680'
LENGTH OF MAINTAINED 60' BUFFER = 1,042'
680' / 1,042' = 65% (OK)

STREET TREES TO BE PLANTED
AND SPECIFIED WITH PRIVATE
PARCEL IMPROVEMENTS
(15' LANDSCAPE BUFFER).

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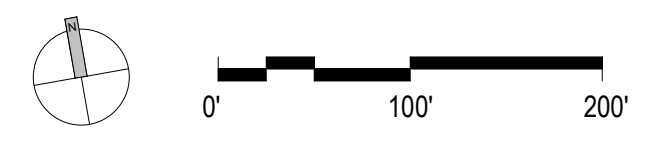
STREET TREES TO BE PLANTED
AND SPECIFIED WITH PRIVATE
PARCEL IMPROVEMENTS
(15' LANDSCAPE BUFFER).

EXISTING LAKE
N.P. ELEV. = 509.11
100 yr. H.W. ELEV. = 513.79
500 yr. H.W. ELEV. = 517.8

TREE PLANTING SCHEDULE - STREETSCAPE

DECIDUOUS TREES									
QTY	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	MATURE HEIGHT	Size	METHOD	GROWTH RATE	SPECIES %
36	AC BU	Acer Buergianum	'AMMTF PP16,629 Aeryn'	Trident Maple	30'	2.5' Cal.	B & B	Medium	14%
36	CE CA	Cercis canadensis		Eastern Redbud	30'	2.5' Cal.	B & B	Medium	14%
21	CE OC	Celtis occidentalis	'Chicagoland'	Hackberry	50'	2.5' Cal.	B & B	Fast	9%
4	GI BI	Ginkgo biloba	'Princeton Sentry'	Ginkgo (Male Species)	45' +	2.5' Cal.	B & B	Slow	2%
10	PL AC	Platanus x acentifolia	'Morton's Circle'	Exclamation! London Planetree	45' +	2.5' Cal.	B & B	Fast	4%
23	QU BI	Quercus bicolor		Swamp White Oak	45' +	2.5' Cal.	B & B	Moderate	9%
24	QU CR	Quercus robur	'Crimschmidt'	Crimson Spire Columnar Oak	35-45'	2.5' Cal.	B & B	Moderate	10%
9	QU MU	Quercus muehlenbergii		Chinkapin Oak	45' +	2.5' Cal.	B & B	Moderate	4%
4	QU SH	Quercus shumardii		Shumard Oak	45' +	2.5' Cal.	B & B	Fast	2%
37	SY PE	Syringa pekinensis	'Morton' China Snow	China Snow Peking Lilac	30'	2.5' Cal.	B & B	Medium	15%
23	TA DI	Taxodium distichum	'Shawnee Brave'	Bald Cypress	50'	2.5' Cal.	B & B	Fast	9%
13	TI AM	Tilia americana	'American Sentry'	American Linden	45' +	2.5' Cal.	B & B	Moderate	5%
8	UL PA	Ulmus parvifolia	'Elmer II'	Allee Elm	60'-70'	2.5' Cal.	B & B	Moderate	3%

1 CL-1.00 CONCEPT LANDSCAPE PLAN - STREETSCAPE



SHEET NOTES

SEE SHEET CL-1.10 AND CL-1.11 FOR PUBLIC REALM LANDSCAPE PLAN AND TREE SCHEDULE

GENERAL NOTES

1. A MINIMUM OF ONE (1) STREET TREE EVERY FIFTY (50) FEET OF STREET FRONTAGE.
2. ALL TREES WITHIN FIVE (5) FEET OF EXISTING OR PROPOSED R.O.W. OR PUBLIC SIDEWALKS SHALL BE TAKEN FROM THE STREET TREE CATEGORY IN THE CITY OF CHESTERFIELD TREE LIST.
3. A MINIMUM OF THIRTY PERCENT (30%) OF THE TREES MUST BE OF SPECIES WITH A SLOW OR MEDIUM GROWTH RATE.
4. NO MORE THAN TWENTY PERCENT (20%) OF THE TREES SELECTED SHALL BE FROM THE SAME SPECIES.

LEGEND

SYMBOL	DESCRIPTION
(Symbol: Circle with dot)	CANOPY TREES - 2.5" CAL.
(Symbol: Circle with cross)	UNDERSTORY TREES - 2.5" CAL. OR HEIGHT SPECIFIED
(Symbol: Circle with vertical lines)	EVERGREEN TREES - HEIGHT SPECIFIED

SURVEYOR'S CERTIFICATION

This is to certify that Stock and Associates Consulting Engineers, Inc. has prepared this Amended Site Development Concept Plan from a field survey and does not represent a property boundary survey. The information shown is a correct representation of all existing and proposed land divisions.

STOCK AND ASSOCIATES CONSULTING ENGINEERS INC.
L.S. No. 222-D

Walter J. Pfeiffer, Missouri L.S. No. 2008000728

Wildhorse Village, LP, a Missouri Limited Partnership, the owner of the property shown on this plan for and in consideration of being granted a permit to develop property under the provisions of Chapter.

"PC&R" - Planned Commercial & Residence of the City of Chesterfield (present zoning)

Ordinance No. 3161, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the Planning Commission, or voided or vacated by order of ordinance of the City of Chesterfield Council.

Wildhorse Village, LP

by: _____

STATE OF MISSOURI)
) SS.
COUNTY OF ST. LOUIS)

On this _____ day of _____, 2022, before me _____, who being by me duly personally appeared _____ of _____ and that said instrument was signed on behalf of said limited liability company, _____ acknowledged said instrument to be the free act and deed of said limited liability company.

IN WITNESS WHEREOF, I have signed and sealed the foregoing the day and year first above written.

Notary Public

Print Name

My commission expires: _____

This Amended Site Development Concept Plan was approved by the City of Chesterfield Planning Commission and duly verified on the _____ day of _____, 2022, by the Chairperson of said Commission, authorizing the recording of this Amended Site Development Concept Plan pursuant to Chesterfield Ordinance No. 200, as attested to by the Director of Planning and the City Clerk.

By: _____
Justin Wyse, Director of Planning

By: _____
Vickie McGownd, City Clerk

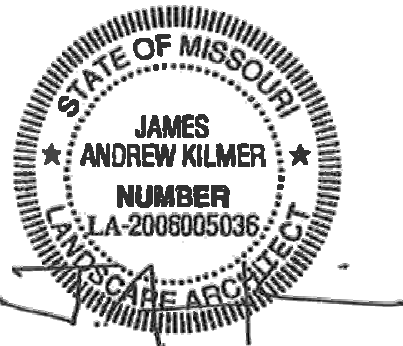
CLAYCO
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Stock & Associates
Consulting Engineers, Inc.
LIGHTING DESIGNER

H2Lty
Lighting Design
STRUCTURAL ENGINEER

UZUN + CASE



THE LAMAR JOHNSON COLLABORATIVE INC.
CERTIFICATE OF AUTHORITY
NUMBER: F01422959

WILDHORSE VILLAGE
OWNER: WILDHORSE VILLAGE, LP C/O CRG,
WILDHORSE CREEK RD., W CHESTERFIELD PKWY., AND
BURKHARDT PLACE - CHESTERFIELD, MO

DRAWING ISSUE

DESCRIPTION	DATE
SDCP	09/14/2020
Categories A and B Amended SDCP	10/22/2020
Revised Per Comments	11/13/2020
Revised Per Comments	12/07/2020
PC Packet	01/04/2021
Revised Per City Comments	5/25/2021
Revised Per City Comments	6/21/2021
Revised Per City Comments	7/19/2021
Revised Per City Comments	8/11/2021
Revised ASDCP	03/14/2022
Revised Per City Comments	04/11/2022

BUILDING MAP

DRAWING TITLE
CONCEPT LANDSCAPE PLAN - STREETSCAPE

DRAWING NO.
CL-1.00

Job # 20.0213

