

Planning Commission Staff Report

Project type: Site Development Section Plan

Meeting Date: May 09, 2022

From: Shilpi Bharti, Planner *SB*

Location: 701 Trade Center Blvd.

Description: **Terra Corporate Park, Lot 7 (Scooter’s Coffee) SDSP:** Site Development Section Plan, Landscape Plan, Lighting Plan and Amended Architectural Elevations for a drive-up coffee shop located on a 0.84-acre tract of land located west of Trade Center Blvd. and north of Chesterfield Airport Road, zoned “PI” Planned Industrial.

PROPOSAL SUMMARY

Sherrill Associates, Inc. and Good Grounds Properties, LLC has submitted a Site Development Section Plan, Landscape Plan, Lighting Plan, and Amended Architectural Elevations for a proposed coffee shop Scooter’s Coffee located at 701 Trade Center Blvd.

Proposed Development includes:

- 664 square feet of coffee shop
- 7 parking spaces for employees
- Stacking space for two drive-thru service lanes
- Landscaping
- Lighting Plan
- Photometric Plan



Figure 1: Subject Location

HISTORY OF SUBJECT SITE

The subject site was zoned "M3" under St. Louis County Ordinance 8898. The site was rezoned from "M3-Planned Industrial District" to "PI-Planned Industrial District" in 2001 following the City of Chesterfield Ordinance 1708. Since then, the ordinance was amended to modify usage permitted under this "PI" district. The current ordinance governing the site is City Ordinance 2395 approved in 2007, which repealed City Ordinance 2245 to amend allowable building square footage requirements. The Terra Corporate Park Concept Plan was approved in 2007.

SURROUNDING LAND USE AND ZONING

The subject site is zoned PI- Planned Industrial. North, east and west of the subject site is zoned PI–Planned Industrial. South of the subject site is zoned M3- Planned Industrial.



Figure 2: Zoning Map

COMPREHENSIVE PLAN

The subject site is located within Ward 4 of the City of Chesterfield. The City of Chesterfield Comprehensive Plan contains the City of Chesterfield Land Use Plan, which is helpful in determining the future use of the site. As per the City of Chesterfield Land Use Plan, the subject site is within the Industrial land use. The subject site is surrounded by Industrial on the east, north and south. The Industrial land use typically supports manufacturing and production uses, including warehousing, distribution, light manufacturing, airport support businesses and assembly operations. They are found in close proximity to major transportation corridors and are generally buffered from surrounding development by traditional uses or landscaped areas that shield the view of structures, loading docks, or outdoor storage from adjacent properties. Below are the development policies for Industrial land use as described in the City of Chesterfield Comprehensive Plan.

- Limit curb cuts on arterial streets, and where possible concentrate access at shared entrance points.
- Primary entrance points should be aligned with access points immediately across the street.
- Connectivity may vary as industrial parks may have low connectivity due to dead ends and lack of connection to adjacent areas.
- Landscape buffering should be utilized between roadways to screen areas of surface parking.

- Residential projects should be limited to areas outside of the Chesterfield Valley.



Figure 3: Land Use map

STAFF ANALYSIS

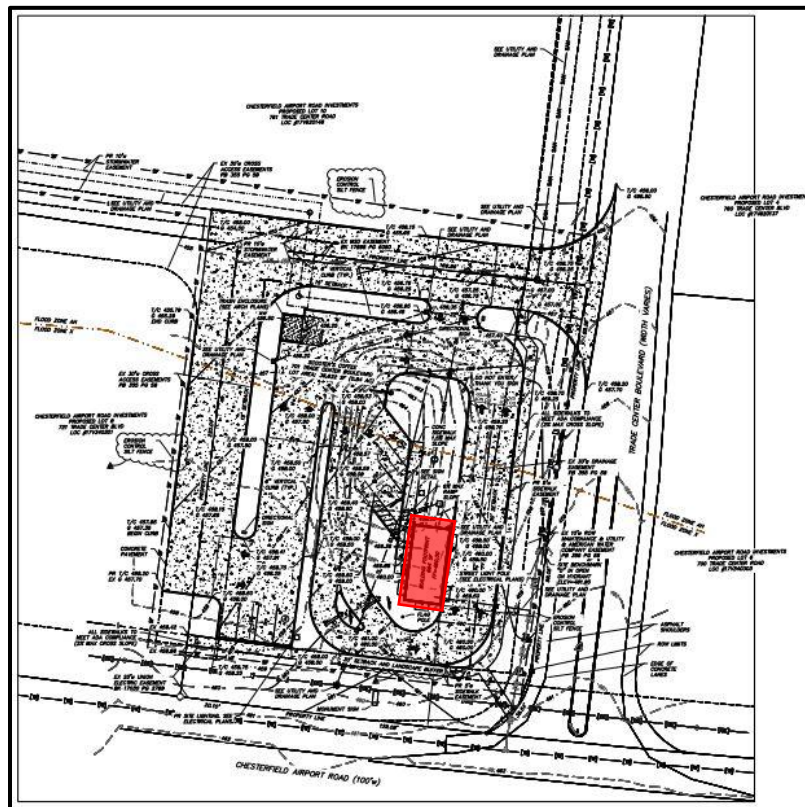


Figure 4: Site Plan

Site Relationships

The proposed building is 664 square feet on 0.84 acres of land. The subject site is one small lot of Terra Corporate Subdivision. The Subdivision Concept Plan was approved in 2007, but currently the entire subdivision is vacant land. Proposed development "Scooter Coffee" is the first site to be developed in this subdivision. The building design is of a similar height to the adjacent building across Chesterfield Airport Road. As per the applicant, the site is primarily designed to provide fast and efficient movement of vehicles around the building.

Circulation System and Access

The site access matches the Terra Corporate subdivision concept plan. The site is accessed through a new primary roadway from Trade Center Blvd. Ingress and Egress drives will then connect to this roadway at two locations. The proposed roadway has cross-access easement between the adjacent properties on north and west of the subject site. Two 12' wide drive thru lanes is proposed with stacking capacity of seven cars per lane. Internal driveways are 24' wide with two-way access. Sidewalk is proposed along Chesterfield Airport Road. As per City of Chesterfield Unified Development Code, four (4) minimum parking are required for the proposed development. There is total seven (7) parking spaces provided on site.

Scale, Topography, Retaining Wall and Screening

The site sits vacant and is surrounded by vacant land on the north, east and west. Buildings to the south are primarily one-story. The proposed building on the site is a single-story building of similar height and scale. The site is relatively flat with minor grade change at the center. There is no retaining wall or screening proposed.

Elevations

The four sides of the building façade consist of Manganese Brown Endicott Thin Brick Veneer, Skyline Steel Painted Hardie Reveal Panel, and Deep Forest Brown painted flat roof. The store front and metal trims are dark bronze Aluminum. Additionally, terracotta-colored awnings are proposed for windows.

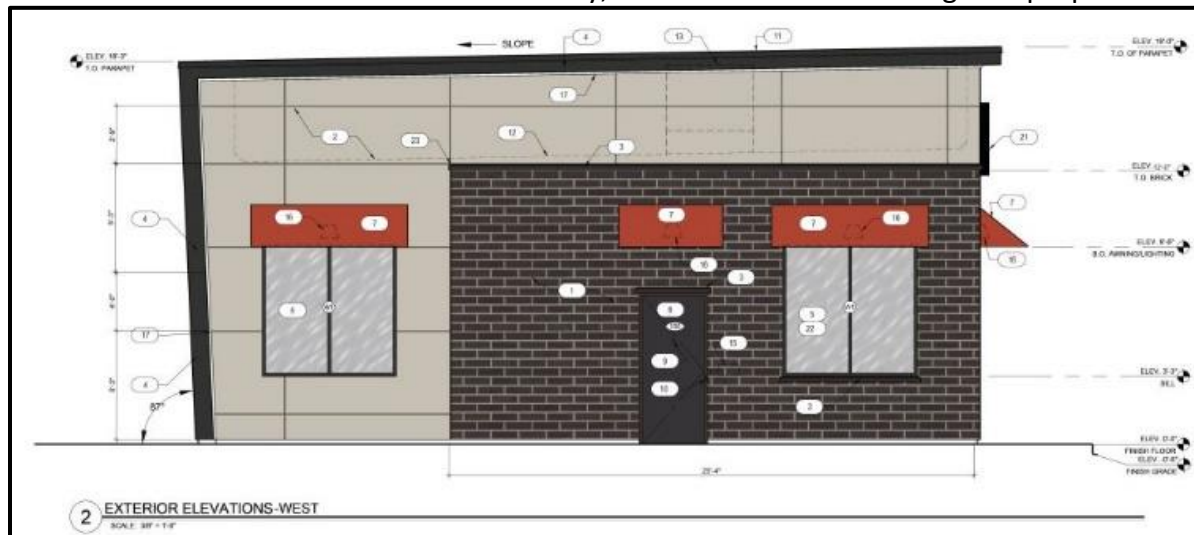


Figure 5: East side Elevations

Lighting

There are four (4) different types of light fixtures proposed for this development. There are eight (8) wall lights and two (2) pole lights. Additionally, the building is illuminated by white led lighting running along the sides and roof.

Landscaping

As per City of Chesterfield Unified Development Code Section 405.04.020, Table 2, "minimum of 30' wide landscape buffer strip is required for development along an arterial roadway". The proposed development faces a minor arterial roadway (Chesterfield Airport Road) and has depicted a 30' landscape buffer. Applicant was referred to follow City Code Section 405.04.020 (J) for plant selection percentage. The proposed landscape plan of the site consists of four (4) different types of tree canopies, four (4) different types of shrubs, one (1) accent plant, and two (2) different types of groundcovers.

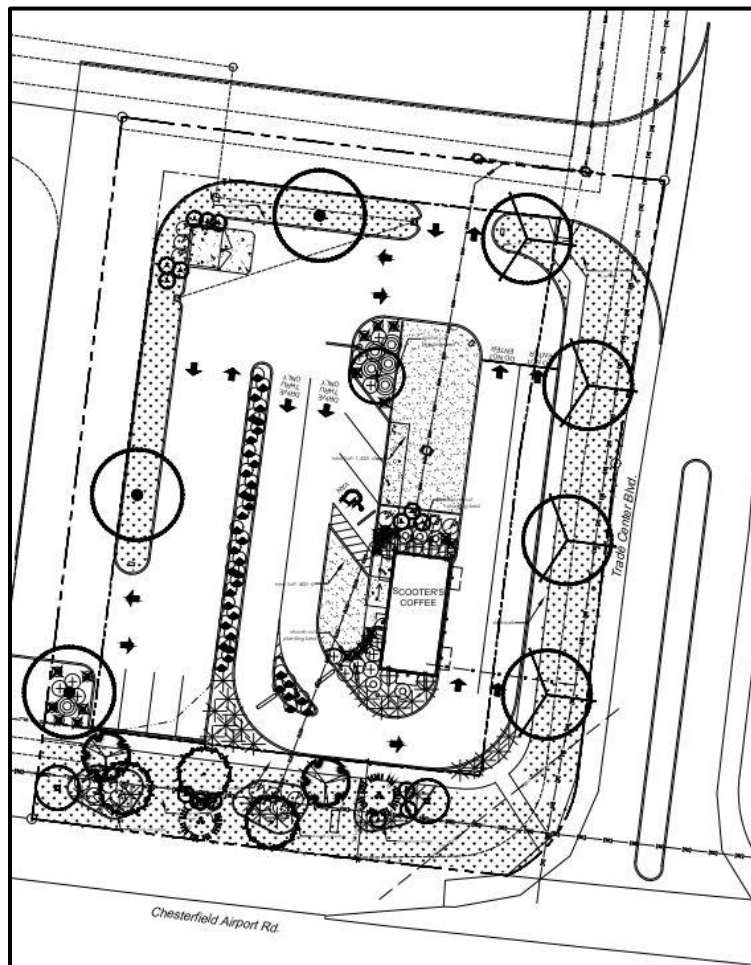


Figure 6: Proposed Landscaping

ARB Meeting Report

The project was reviewed by the Architectural Review Board on February 10, 2022. At that time, the Board made a motion to forward the Site Development Section Plan, Landscape Plan, Lighting Plan,

Amended Architectural Elevations and Architect's Statement of Design to the Planning Commission with a recommendation to approve with the following conditions:

1. The material that was not called out in the ARB package serving as a cap to the brick of the trash enclosure shall be of a similar material and color as the building.
2. A material sample of the spandrel glass shall be provided to the Board as it was absent from the ARB package and it shall be of a logical color to coordinate with the building.
3. Additional landscaping shall be provided to screen the view of the transformer on the southern boundary.
4. Additional landscaping shall be incorporated around the trash enclosure to properly screen and soften the edge of the site.
5. The light levels along the southern boundary shall preclude any spillover light on adjacent properties throughout the review of the site plan.
6. Further consideration shall be made to remove or relocate the tree (River Birch) at the northwest corner of the building so that it is not too close to the building structure and has room to mature.

The applicant has since addressed all the comments.

DEPARTMENTAL INPUT

Staff has reviewed this proposed development and found it to be in compliance with the City's Unified Development Code and site-specific ordinances. All outstanding comments have been addressed at this time. As per site-specific ordinance, the proposed project has automatic power of review. Staff recommends approval of the Site Development Section Plan, Landscape Plan, Lighting Plan and Amended Architectural Elevations for Terra Corporate Park Lot 7, 701 Trade Center Blvd. (Scooter's Coffee):

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Section Plan, Landscape Plan, Lighting Plan and Amended Architectural Elevations for Terra Corporate Park Lot 7, 701 Trade Center Blvd. (Scooter's Coffee) as presented."
- 2) "I move to approve the Site Development Section Plan, Landscape Plan, Lighting Plan and Amended Architectural Elevations for Terra Corporate Park Lot 7, 701 Trade Center Blvd. (Scooter's Coffee) with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Attachments: Site Development Section Plan Packet



SHERRILL ASSOCIATES, INC.

Surveyors – Engineers – Planners

IDOT Certified DBE

316 North Main Street Edwardsville, IL 62025

Phone: 618-656-9251 Fax: 618-656-9496

March 14, 2022

RE: City of Chesterfield, MO – Code Comment Response for 16006 Manchester Road (Scooter's Coffee)

Shilpi Bharti
Planner
(636)537-4743
Sbharti@chesterfield.mo.us

Ms. Shilpi,

The following responses are in regard to the City of Chesterfield, MO Code Comments received on 2/16/22.

General Comments:

1. **Comment:** Provide agency approvals/ comments from Monarch Fire, St. Louis County Department of Transportation, Levee District, and Spirit of St. Louis Airport.

Response: Submittals to these agencies will follow this submittal and we will provide approvals and comments as they are received.

2. **Comment:** Please show the street light location on the site plan.

Response: A street light has been added along the Trade Center Blvd frontage. See Sheet C1.0 Proposed Site Plan and the electrical plans.

3. **Comment:** Sheet C2.0 and C3.0 will not be reviewed under Site Plan Review process, please remove these sheets from future submittal.

Response: The sheets will not be included in the following submittal.

Site Development Section Plan, Landscape Plan and Lighting Plan:

4. **Comment:** The location of the access points to the internal drives have been revised to match the approved Amended Site Development Concept Plan (ASDCP), as requested in the previous comment letter. However, the plans were not updated to show construction of the associated portions of the north and west internal drives between the access points. Please update the plans to show construction of the internal drives and related improvements north and west of the property to provide internal circulation to the two access points.

Response: Internal drives between the access points has been show. See Sheet C1.0.

5. **Comment:** Provide a street light along the Chesterfield Airport Road frontage.

Response: See Sheet C1.0 Proposed Site Plan and the electrical plans.

6. **Comment:** The summary table on the site plan show proposed open space as 39%, please confirm if the open space calculation accounted for future road expansion on the north and west.

Response: The proposed open space has been updated. See Sheet C0.0.

7. **Comment:** The sidewalk provided at an intersection of Chesterfield Airport Road and N Trade Center Blvd. does not match with the approved Concept Plan of Terra Corporate Park subdivision. The sidewalk layout requires modification to the existing island on North Trade Boulevard for the pedestrians to cross the roadway. Provide a note to indicate that a cross walk will be built through the existing island to provide ADA compliant cross walk for pedestrians as part of this project. Design of the crosswalk will need to be addressed with Improvement Plans.

Response: The sidewalk has been updated to match the approved Concept Plan of Terra Corporate Park subdivision.

8. **Comment:** Per City code section 405.04.020 Table 2, "30' landscape buffer strip shall be provided on the site facing arterial road", please provide a 30' landscape buffer along Chesterfield Airport Road. Please refer to City Code Section 405.04.020, J for Plant selections. Provide mixture of deciduous trees, evergreen trees, and shrubs.

Response: See Landscape Plan.

9. **Comment:** The Photometric Plan shows the light level for "SB" as 7.8 fc on the south end of the property, either provide a Photometric Plan showing the light level will be 0.0 fc on the boundary or have a note on the plan that there will be no spill over.

Response: See Electrical Plans.

ARB Comments:

10. **Comment:** The material that was not called out in the ARB package serving as a cap to the brick of the trash enclosure shall be of a similar material and color as the building.

Response: See Trash Enclosure detail.

11. **Comment:** A material sample of the spandrel glass shall be provided to the Board as it was absent from the ARB package and it shall be of a logical color to coordinate with the building.

Response: A material sample has been mailed to the City.

12. **Comment:** Additional landscaping shall be provided to screen the view of the transformer on the southern boundary.

Response: Additional shrubs were added around the sides of the transformer.

13. **Comment:** Additional landscaping shall be incorporated around the trash enclosure to properly screen and soften the edge of the site.

Response: Additional 6' tall shrubs were added around the 3 sides of the trash enclosure.

14. **Comment:** The light levels along the southern boundary shall preclude any spillover light on adjacent properties throughout the review of the site plan.

Response: See Electrical Plans.

15. **Comment:** Further consideration shall be made to remove or relocate the tree (River Birch) at the northwest corner of the building so that it is not too close to the building structure and has room to mature.

Response: The tree adjacent to the building was removed.

Respectfully,



Wilson D. Waggoner, P.E.
Director of Civil Engineering
Sherrill Associates, Inc.



May 3, 2022

Scooter's – Chesterfield MO

City of Chesterfield
Planning Department
690 Chesterfield Parkway West
Chesterfield, Missouri 63005

To Whom It May Concern,

FM GROUP is pleased to submit Scooter's Coffee to The City of Chesterfield Planning Commission for their consideration. This submittal package, includes the Statement of Design showing how the design standards are being addressed based on the city zoning code.

STATEMENT OF DESIGN INTENT

General Requirements for Site Design

Site Relationship

Scooter's is a *drive thru only* coffee kiosk. The brand model is built on speed and the ability to move vehicles quickly. The stated mission is "Amazing people, Amazing drinks... Amazingly fast!" The site is designed with this motto in mind.

The site is primarily designed to provide fast and efficient movement of vehicles around the building. Although there is no pedestrian traffic to and from the proposed building, sidewalks have been added along both Chesterfield Airport Rd. and Trade Center Blvd.

The landscape design surrounds the building on all four sides and large canopy trees have been added in these areas.

Circulation System and Access

The site has been designed with a new primary roadway from Trade Center Blvd. Ingress and Egress drives will then connect to this roadway at two locations.

Once on-site vehicle traffic moves in a circular path around the building. Primarily using one-way traffic makes it easy for the customers to navigate the site and virtually eliminates any cross traffic.

To ensure that there are no cars in the queue backing up on the public streets, two drive-thru order lanes with a double menu board system is being utilized. The use of two drive thru lanes for ordering provides additional on-site stacking during peak services time.

Employee parking is located near the building with three stalls within the interior island and four stalls at the south end of the site. Employees will enter and leave the site with ease even during peak hours. Accessible parking is conveniently located near the entrance door.

Topography

The existing site is relatively flat and currently exists as a vacant parcel. Minor grading will be required to provide accessible access into the building.

Retaining Walls and Screen Walls

No retaining or screen walls are proposed.

General Requirements for Building Design

Scale

Currently there are no existing structures to the north, west, or east of the proposed building. Buildings to the south are primarily one-story. A single-story building of similar height and scale is being proposed.

Design

The design of the building is well coordinated with the design of the buildings in the general vicinity. Many of the buildings along Chesterfield Airport Blvd use brick accent areas in their design. Brick veneer will be used in specific areas along the front and side elevations of the building as a contrasting accent. The Hardie Panel Reveal System is being used in the balance of the Elevations. Hardie Panel is a durable siding that maintains its appearance for a long time. The Hardie Panel system with reveal has a contemporary clean look and is similar in design and appearance to many of the nearby buildings. A flat roof with high parapet screens the mechanical equipment and matches back to many buildings along Chesterfield Airport Blvd. Fabric awnings highlight the building.

Materials and Colors

This area in Chesterfield has beautiful trees and green open space. To compliment this and coordinate with nearby buildings, a neutral color palette with hues selected from nature are being used. The dark brown brick veneer is in high contrast to the tan colored Hardie panels. The storefront and metal trim details are a dark bronze. Finally, terracotta-colored awnings provide a small burst of color to set these areas apart. Please refer to the exterior renderings for more visual presentation.

Landscape Design and Screening

A thoughtful approach to landscape design and screening has been taken. Shade trees have been added throughout the site, but particularly in the parking areas and along the street frontage. Turf is proposed along the street front for both Trade Center Blvd and Chesterfield Airport Blvd. This approach matches that of the neighboring lots along Chesterfield Airport Blvd. Foundation plantings have been added around the building.



Dumpster enclosure and service areas have evergreen shrubs planted to provide year-round screening. In addition to screening from landscaping, the dumpster enclosure is screened with a CMU screen walls and painted metal gates.

Signage

It is understood that signage review is not part of this process and will be reviewed in a separate submittal.

Lighting

The site lighting primarily consists of building lighting and specific lighting adjacent to various building functions for drive thru and menu board access. The building lighting is achieved with the use of wall mounted luminaires to highlight the walls and LED strip lighting is being proposed at the parapet level housed in a metal reveal around the entire building. Photometrics and fixture cut sheets have been provided in the submittal package for your reference.

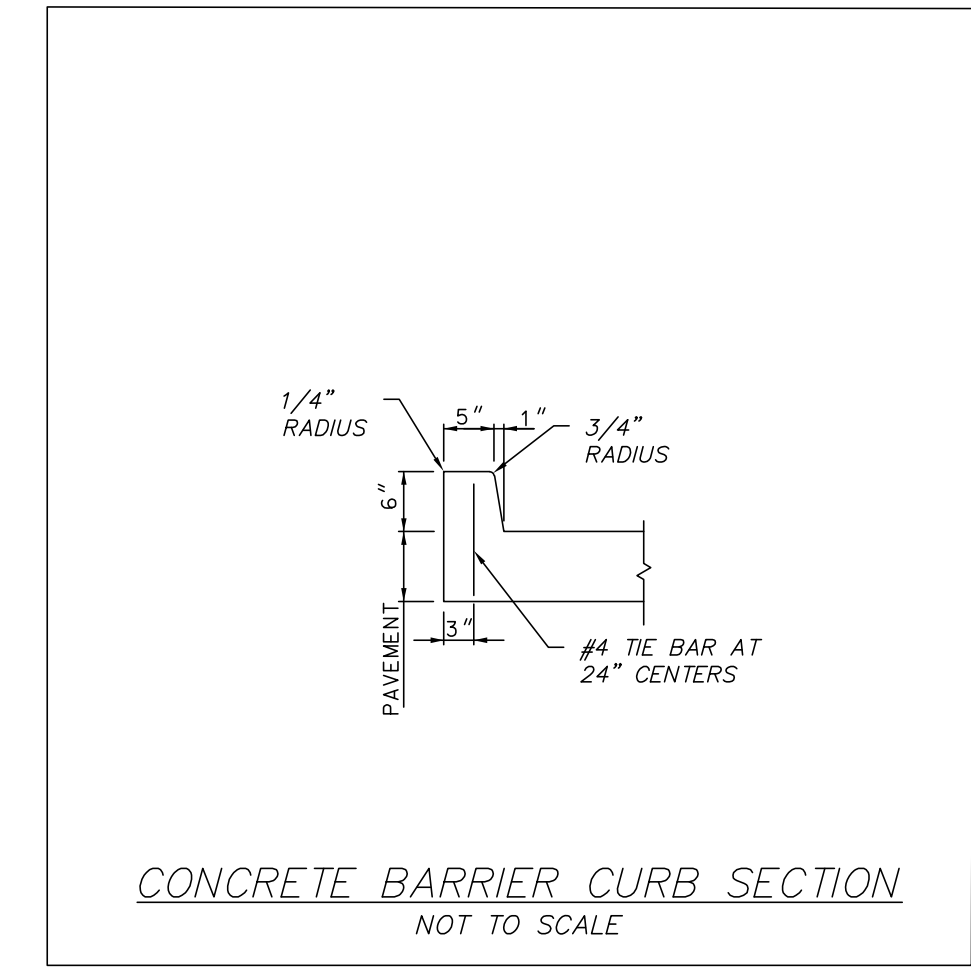
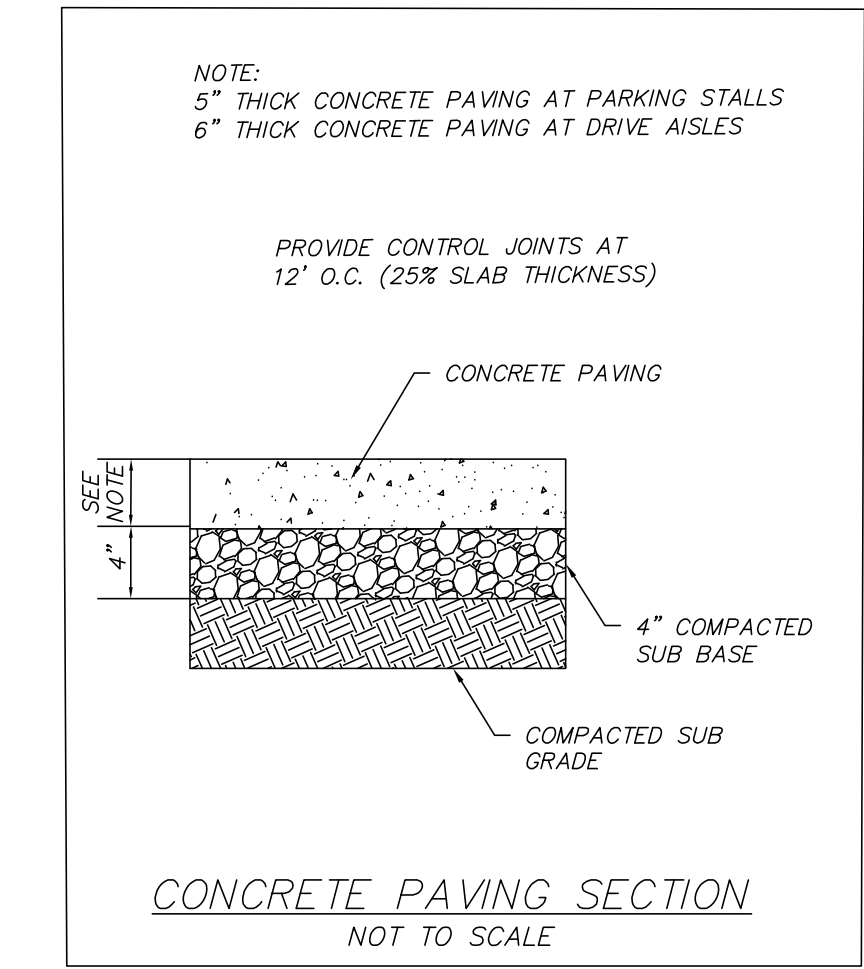
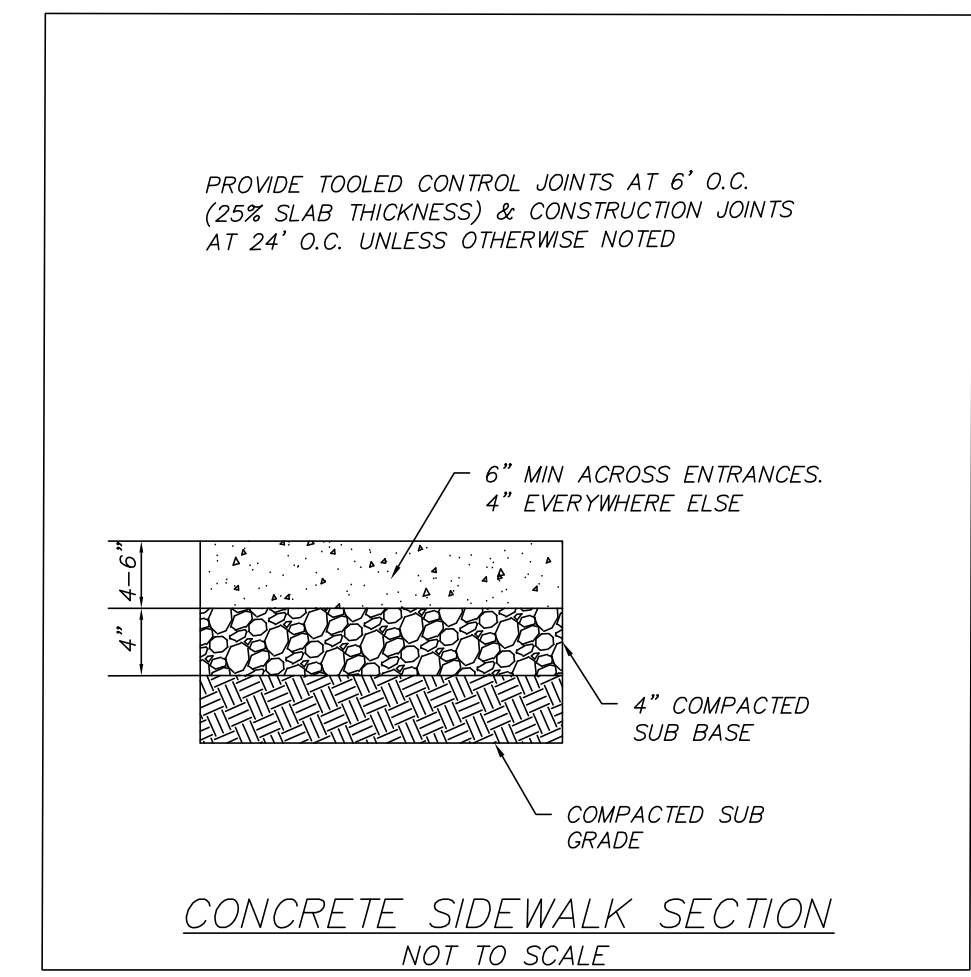
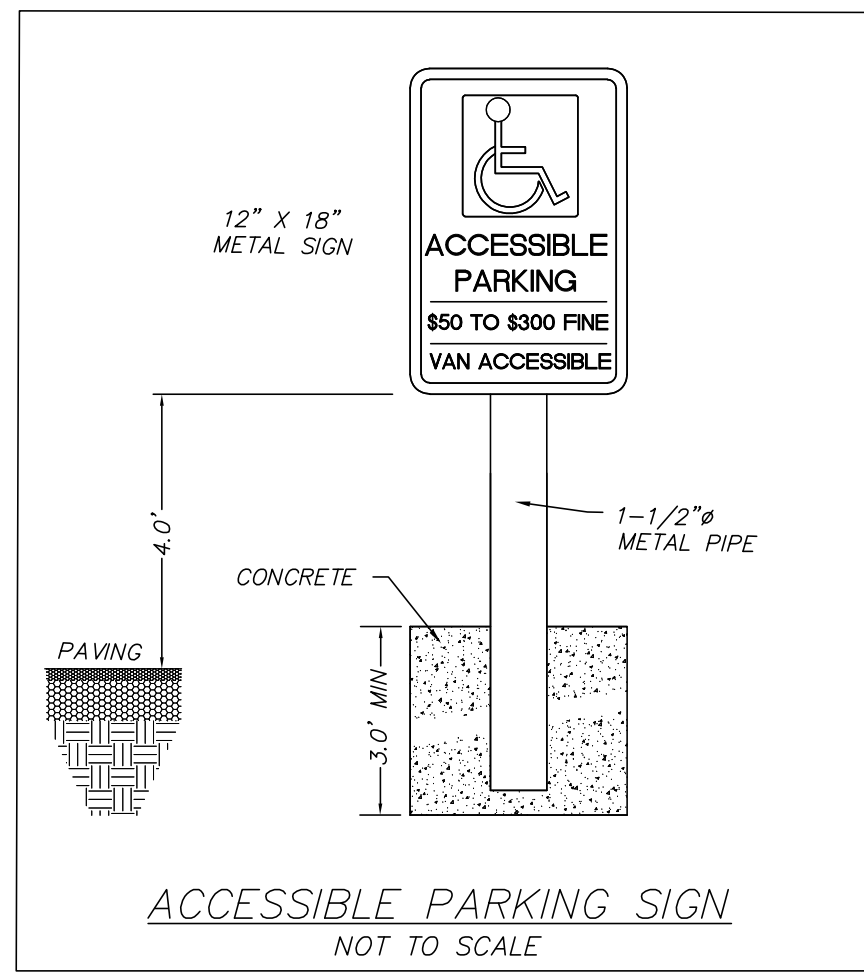
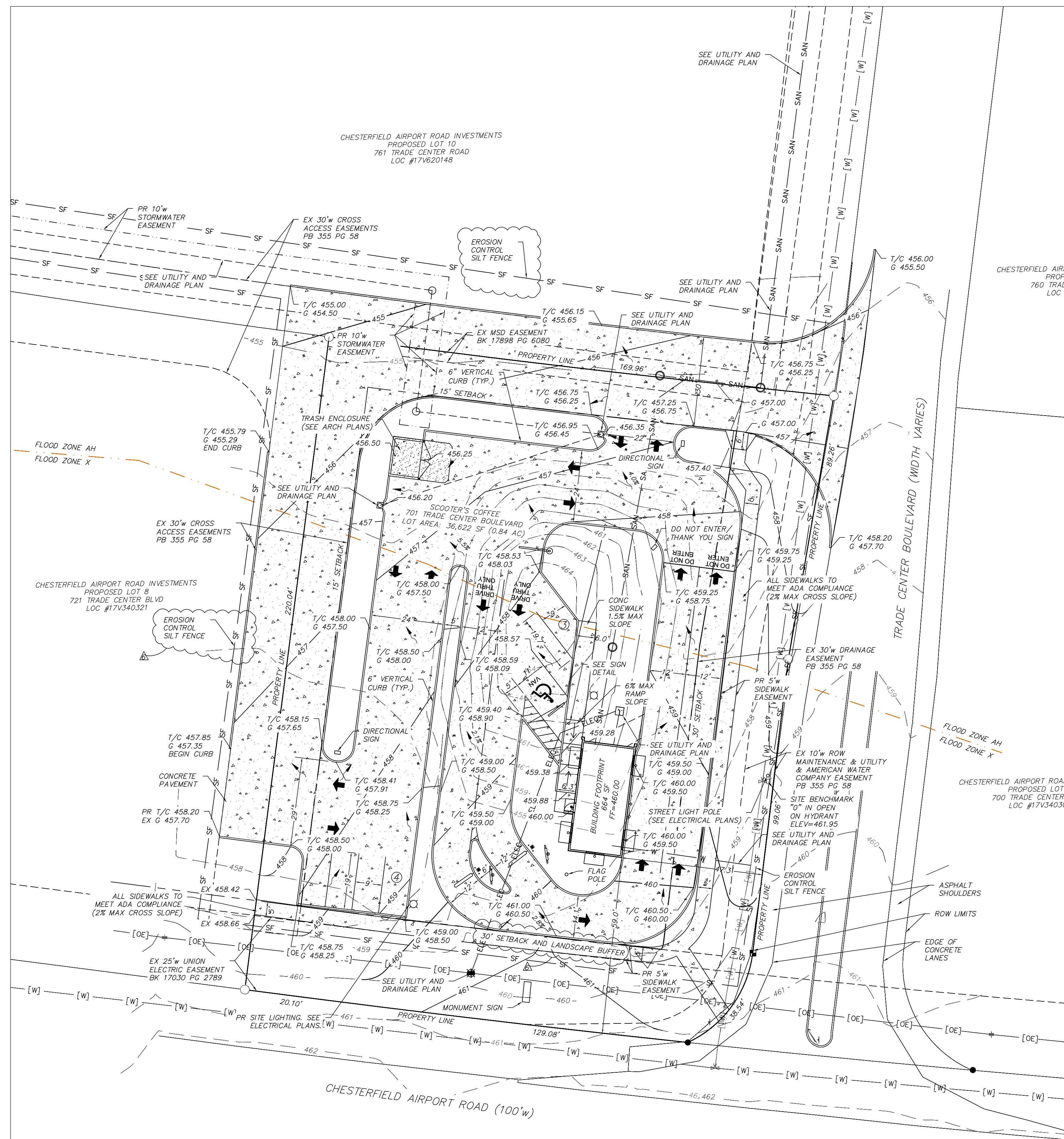
Thank you for your consideration. If you have any questions or comments, please me at 480.397.0048.

Sincerely,

FM GROUP INC

A handwritten signature in black ink, appearing to read 'Michele M. McCoy', written in a cursive style.

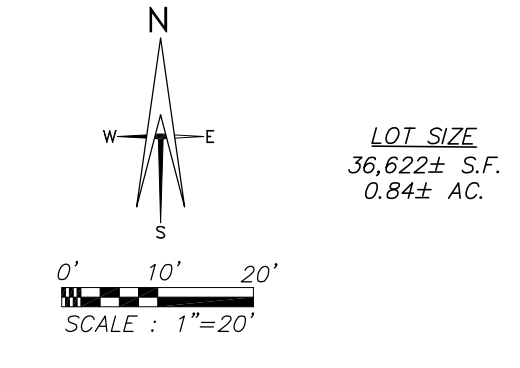
Michele M. McCoy
Senior Project Manager
mmccoy@fmgroup.net



UTILITIES NOTE
 UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN OR SHOWN.

LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ELECTRIC SERVICE
	PROPOSED WATER SERVICE
	PROPOSED SANITARY SERVICE
	PROPOSED STORM DRAIN
	EROSION CONTROL SILT FENCE
	PROPOSED ELEVATION
	TOP OF CURB
	GUTTER LINE



21MS0-00833
 BASE MAP 17V

ENGINEER'S CERTIFICATE
 THIS IS TO CERTIFY THAT SHERRILL ASSOCIATES, INC. AT THE REQUEST AND FOR THE EXCLUSIVE USE OF GOOD GROUNDS PROPERTIES, LLC HAS PREPARED THIS SHEET FROM RECORD SOURCES AND ACTUAL FIELD SURVEY PERFORMED IN SEPTEMBER 2021.
 Wilson D. Waggoner
 4/8/22
 WILSON D. WAGGONER, P.E. 201301912B
 IN THE STATE OF MISSOURI
 EXPIRES 12-31-2023



PROPOSED SITE PLAN
 701 TRADE CENTER BLVD
 CHESTERFIELD, MISSOURI 63005
 GOOD GROUNDS PROPERTIES, LLC
 8749 AKINSVILLE ROAD
 FORTUNA, MISSOURI 65034



SHERRILL ASSOCIATES
 Surveyors - Engineers
 - Planners

ILLINOIS DESIGN FIRM
 #184-001238
 MISSOURI DESIGN FIRM
 #001332

316 Main Street
 Edwardsville, IL 62025
 TEL: (618) 656-9251

DISCLAIMER OF RESPONSIBILITY
 I hereby specify that the documents intended to be authenticated by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other Drawings, Specifications, Estimates, Reports or other Documents or instruments relating to or intended to be used for any part or parts of the engineering project or survey.

NO.	DATE	REVISION
1	12/21/21	SITE PLAN REVISIONS
2	1/20/22	CITY COMMENT RESPONSE
3	2/13/22	MSD COMMENT RESPONSE
4	3/14/22	CODE COMMENT RESPONSE
5	3/30/22	MSD COMMENT RESPONSE
6	4/8/22	CITY/MSD COMMENT RESPONSE

PROJECT NO. 2158701
 DRAWN AJN SCALE SEE PLAN
 CHECKED WDW DATE 12/2/2021

C1.0
 SHEET 2 OF 5

LEGEND

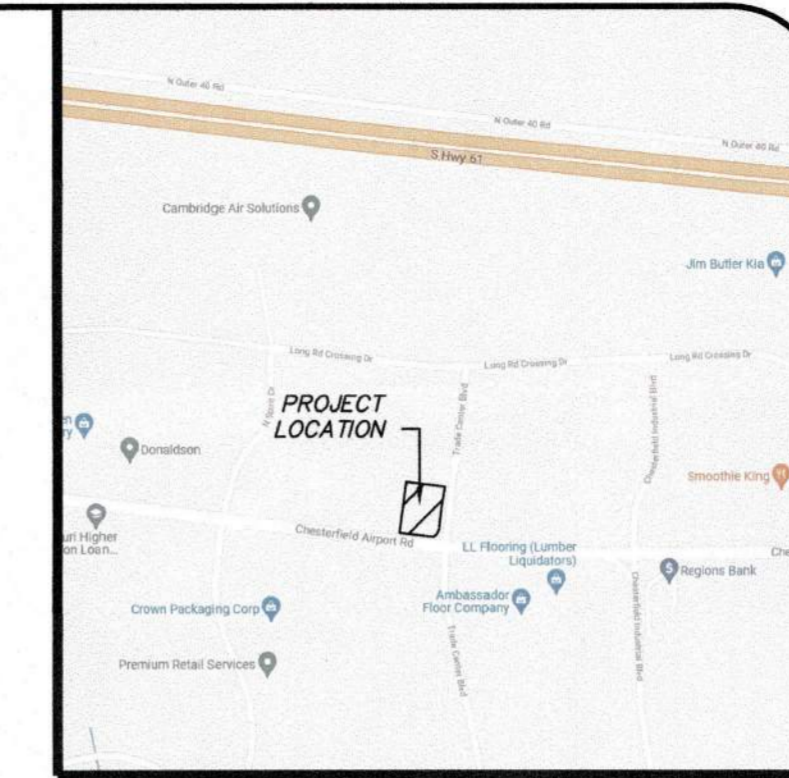
● IRON PIPE/REBAR/PIN FOUND	○ IRON PIPE SET
■ SPINDLE FOUND	
— () — RECORD DIMENSION	
— () — POWER POLE	— () — OVERHEAD ELECTRIC
— () — GUY WIRE	— () — WATER LINE
— () — LIGHT STANDARD	— () — SANITARY SEWER
— () — WATER METER	— () — STORM SEWER
— () — WATER VALVE	— () — EXISTING CONTOURS
— () — FIRE HYDRANT	
— () — GAS METER	
— () — GRATED INLET	
— () — MANHOLE	
— () — SIGN	
— () — HANDICAP	
— () — PIPE BOLLARD	
— () — CURB INLET	
— () — CABLE SPLICE BOX	
— () — TELEPHONE SPLICE BOX	
— () — ELECTRIC SPLICE BOX	
— () — ELECTRIC METER	
— () — TRANSFORMER	
— () — GENERATOR	

ALTA/NSPS LAND TITLE SURVEY

PART OF U.S. SURVEY 1010, TOWNSHIP 45 NORTH,
RANGE 3 EAST OF THE 5TH PRINCIPAL MERIDIAN,
CITY OF CHESTERFIELD, ST LOUIS COUNTY, MISSOURI

STATEMENT OF ENCROACHMENTS

NONE APPARENT AT TIME OF SURVEY



LOCATION MAP
NOT TO SCALE

ZONING INFORMATION

PER TABLE A ITEMS 6(a) AND 6(b), NO ZONING REPORT OR LETTER WAS PROVIDED TO THE SURVEYOR.

NOTES CORRESPONDING TO SCHEDULE B ITEMS

- 4 EASEMENTS FOR ROADWAY AND ACCESS ACCORDING TO INSTRUMENT RECORDED IN BOOK 7076 PAGE 1977. DOES NOT LIE ON SUBJECT PROPERTY. IS NOT SHOWN.
- 5 TERMS AND PROVISIONS OF SITE DEVELOPMENT CONCEPT PLAN RECORDED IN PLAT BOOK 349 PAGE 549. DOCUMENT INCLUDES SUBJECT PROPERTY. CONTAINS NO EASEMENTS OR RESTRICTIONS APPLICABLE TO THIS SURVEY.
- 6 EASEMENT(S) TO UNION ELECTRIC COMPANY RECORDED IN BOOK 17030 PAGE 2789. LIES ON SUBJECT PROPERTY AS SHOWN.
- 7 BUILDING LINE(S), EASEMENTS AND RESTRICTIONS ACCORDING TO PLAT RECORDED IN PLAT BOOK 355 PAGE 58. LIES ON SUBJECT PROPERTY AS SHOWN.
NOTE: THIS EXCEPTION OMMITS ANY COVENANT, CONDITION OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS PROVIDED IN 42 U.S.C. SECTION 3604, UNLESS AND ONLY TO THE EXTENT THAT THE COVENANT (A) IS NOT IN VIOLATION OF STATE OR FEDERAL LAW, (B) IS EXEMPT UNDER 42 U.S.C. SECTION 3607, OR (C) RELATES TO A HANDICAP, BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PEOPLE.
- 8 TERMS AND PROVISIONS OF DEVELOPMENT PLAN RECORDED IN PLAT BOOK 355 PAGE 70. DOCUMENT INCLUDES SUBJECT PROPERTY. CONTAINS NO EASEMENTS OR RESTRICTIONS APPLICABLE TO THIS SURVEY.
- 9 EASEMENT(S) TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT RECORDED IN BOOK 17898 PAGE 6080 LIES ON SUBJECT PROPERTY AS SHOWN.

GENERAL NOTES

THERE WERE NO PARTY WALLS BETWEEN ANY BUILDINGS ON THE SUBJECT PROPERTY AND ANY BUILDINGS ON ADJUTING PROPERTIES.

THE LOCATION OF UTILITIES SHOWN HEREON IS FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.

THE SUBJECT PROPERTY IS 119' WEST OF THE INTERSECTION OF PRETORIA DRIVE (PUBLIC), AS SHOWN.

THERE WAS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

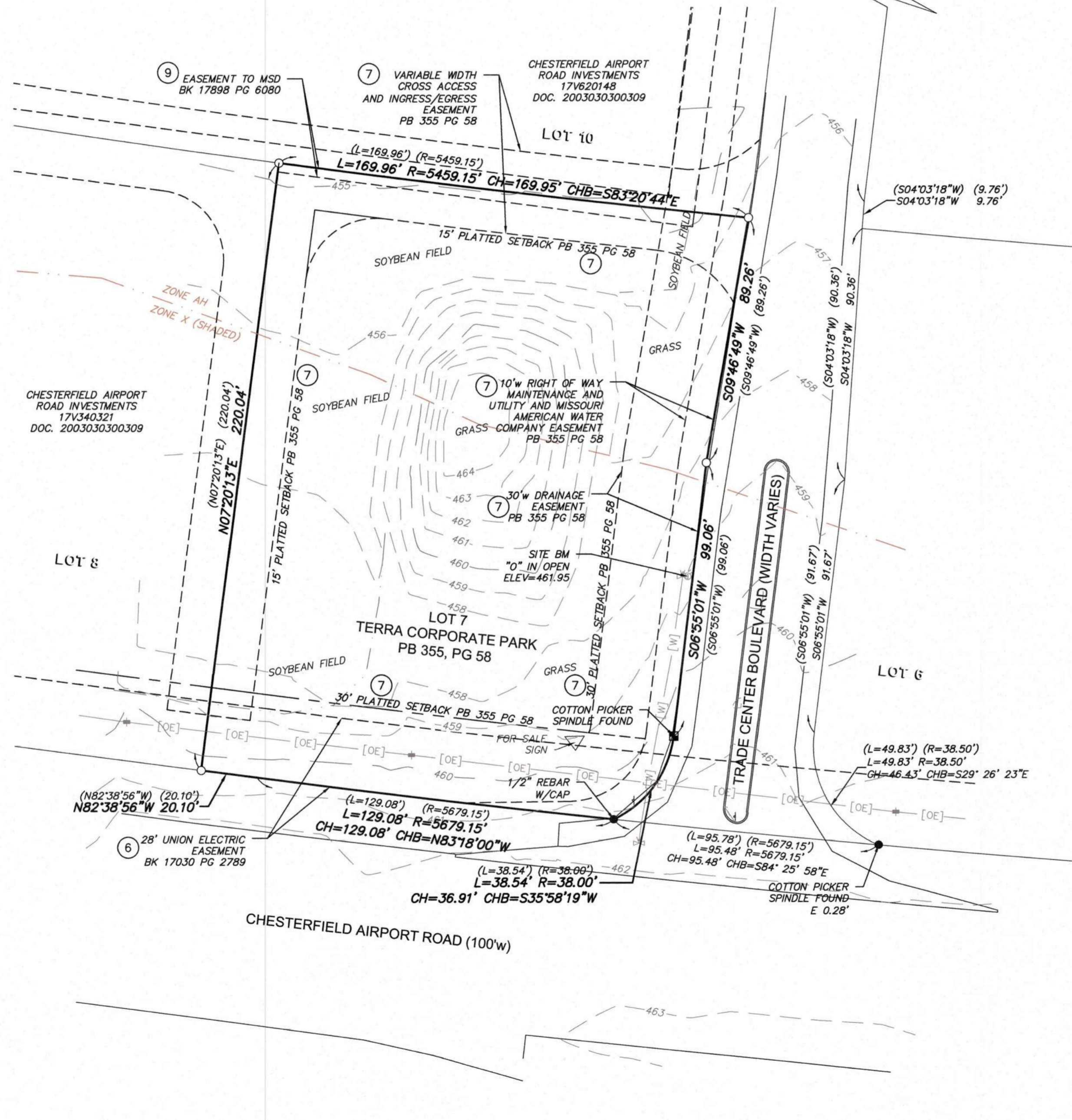
THERE WERE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES MADE AVAILABLE TO THE SURVEYOR. THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

THERE WERE NO PLOTTABLE OFFSITE EASEMENTS DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR.

ELEVATIONS WERE OBTAINED FROM GPS OBSERVATION USING MISSOURI M&DOT VRS GNSS NETWORK (NAD83 - HORIZONTAL)(NAVD88 - VERTICAL)

THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE MISSOURI MINIMUM STANDARDS FOR URBAN/RURAL BOUNDARY SURVEYS (20 CSR 2030 CHAPTER 16).

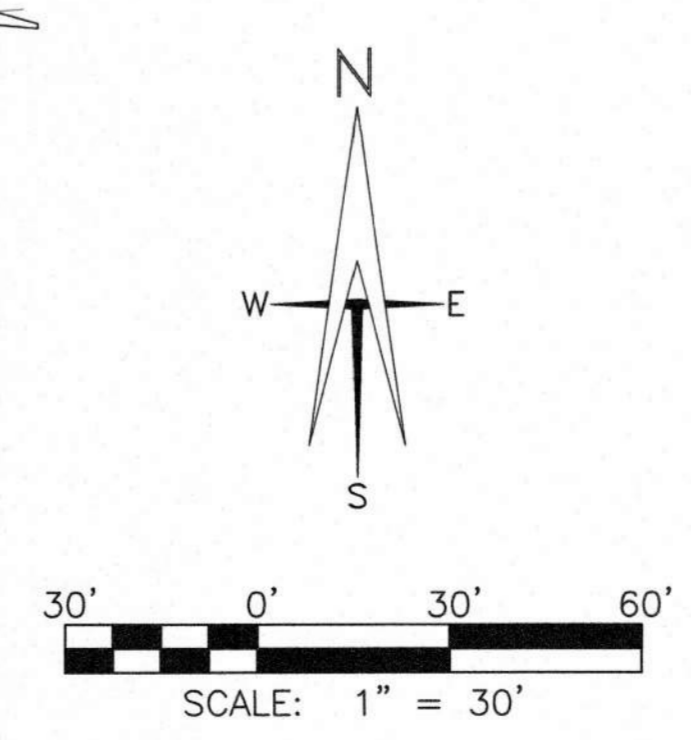
FLOOD NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) "X"(SHADED) AND "AH" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NOS. 29189C0145K AND 29189C0165K, WHICH BEAR AN EFFECTIVE DATE OF 02/4/2015 AND IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA. THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR TO APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



TOTAL PARKING
THERE WAS NO STRIPED PARKING ON SITE.

BASIS OF BEARING
BEARINGS ARE BASED ON THE WEST LINE OF THE SUBJECT PROPERTY WITH A RECORD BEARING OF NORTH 07 DEGREES 20 MINUTES 13 SECONDS EAST.

TOTAL AREA
36,622± S.F.
0.84± AC.



DRAWN BY: JAC
CHECKED BY: SES

LEGAL DESCRIPTION

LOT 7 OF TERRA CORPORATE PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 355 PAGE 58 OF THE ST. LOUIS COUNTY RECORDS.
THE ABOVE DESCRIPTION AND THE SURVEY HEREON ARE THE SAME PROPERTY AS DESCRIBED IN OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 2105178, DATED AUGUST 9, 2021.

SURVEYOR'S CERTIFICATE

701 TRADE CENTER BOULEVARD
CHESTERFIELD, MISSOURI 63005
BASED UPON TITLE COMMITMENT NO. 2105178
OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
BEARING AN EFFECTIVE DATE OF AUGUST 9, 2021

TO: GOOD GROUNDS PROPERTIES, LLC; CHESTERFIELD AIRPORT ROAD INVESTMENTS; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 8, 10, 11(a), 13, 14, 16, 17, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 9-27-2021.

SHARON E. SHERRILL
REGISTRATION NO. 2018038294
IN THE STATE OF MISSOURI
LICENSE EXPIRATION: 12/31/2022
DATE OF PLAT: 9-30-2021
DATE OF LAST REVISION: 10-5-2021



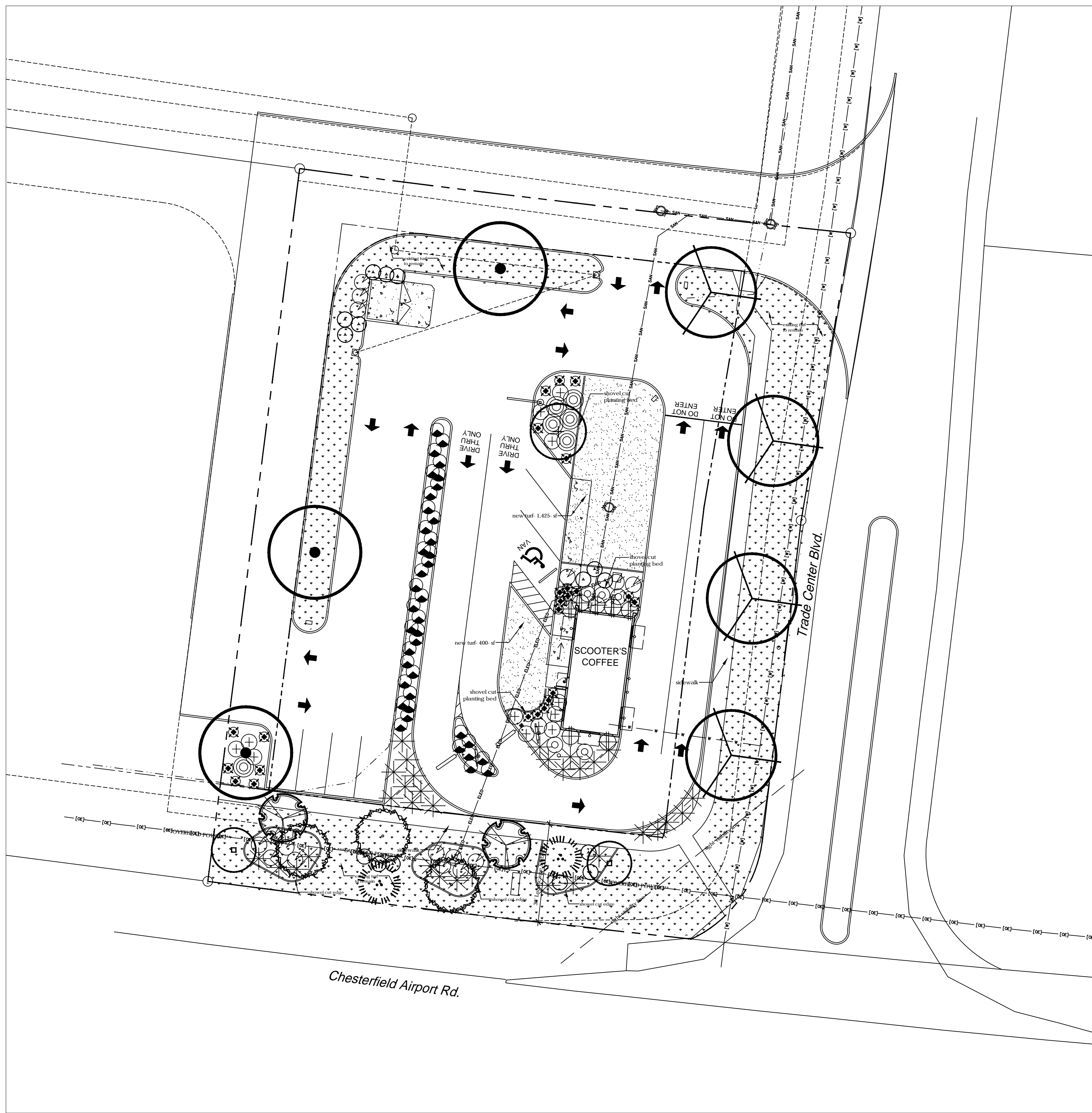
21MSD-00533
BASE MAP 17V

AKA SHEET C4.0
SHEET 1 OF 1

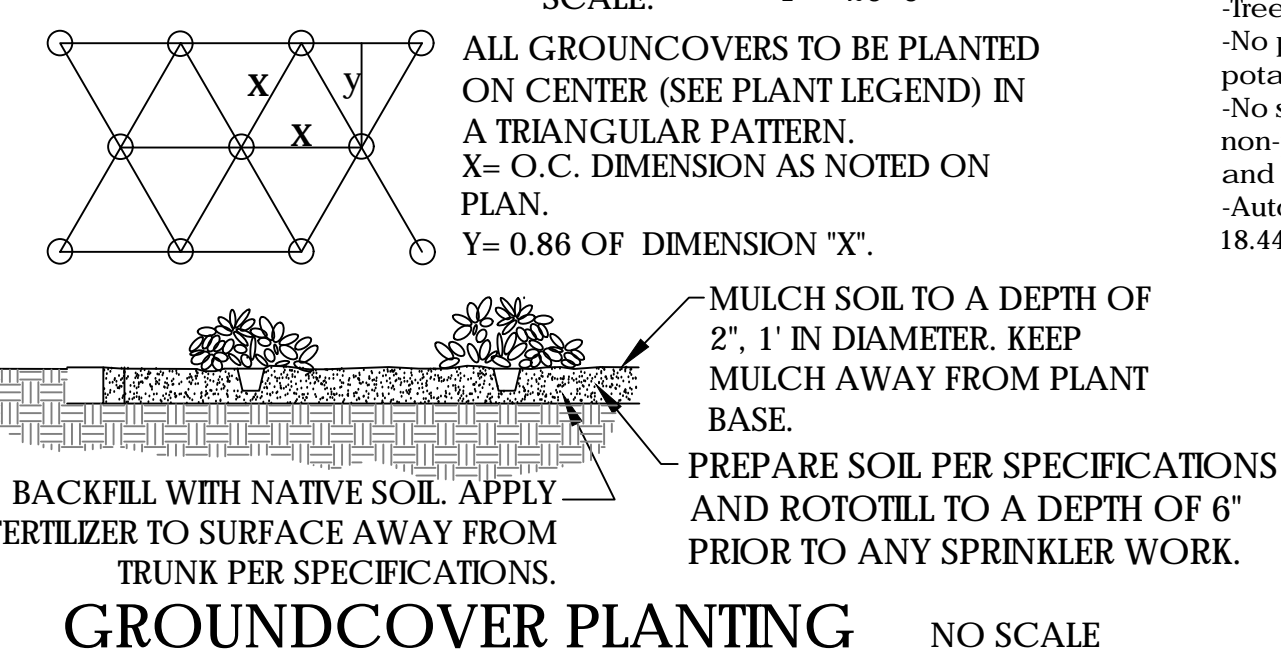
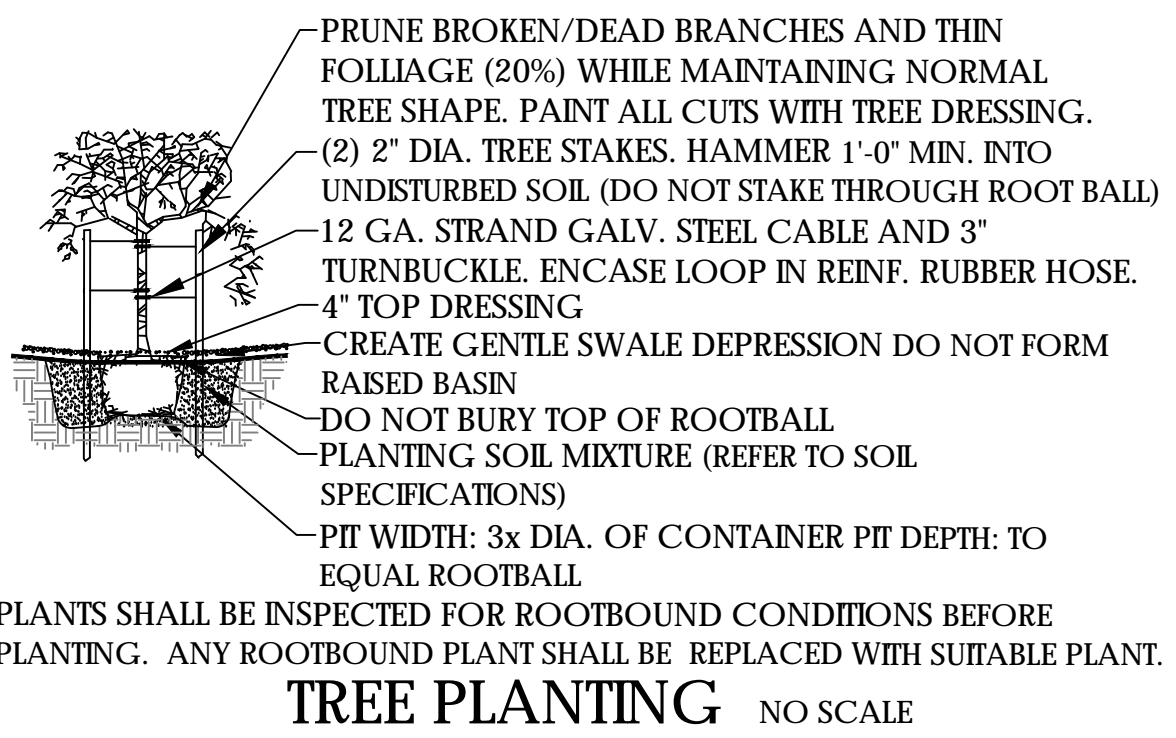
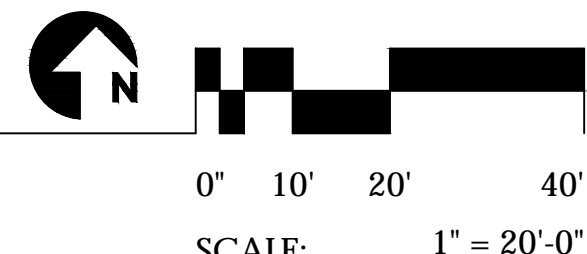
S.A. JOB NO.: 21587-01

SHERRILL ASSOCIATES, INC.
Surveyors - Engineers - Planners
316 Main Street, Edwardsville, IL 62025
PH (618) 656-9251 FAX (618) 656-9496
Illinois Design Firm #184-007238

THIS DRAWING AND ITS CONTENTS ARE THE COPYRIGHTED PROPERTY OF FM GROUP INC. USE THEREOF IS LIMITED TO THE SPECIFIC PROJECT AND SITE SET FORTH ABOVE, AND MAY NOT BE OTHERWISE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF FM GROUP INC. THE ARCHITECT. THIS DRAWING IS TO BE RETURNED UPON REQUEST.



LANDSCAPE PLAN



PLANT PALETTE - OVERALL

CANOPY TREES			
NAME	QTY.	SIZE	COMMENTS
<i>Betula nigra</i> RIVER BIRCH	01	24" BOX	8' HT.
<i>Quercus bicolor</i> SWAMP WHITE OAK	03	24" BOX	2" CAL. MIN.
<i>Acer rubrum</i> 'October Glory' OCTOBER GLORY RED MAPLE	04	36" BOX	10' HT. 3" CAL. MIN.
<i>Comus florida</i> 'Cherokee Chief' FLOWERING DOGWOOD	02	24" BOX	8' HT. 2" CAL. MIN.
<i>Acer ginnala</i> AMUR MAPLE	02	24" BOX	8' HT. 2" CAL. MIN.
<i>Amelanchier x grandiflora</i> 'Robin Hill' ROBIN HILL SERVICEBERRY	03	24" BOX	8' HT. 2" CAL. MIN.
<i>Juniperus chinensis</i> CHINESE JUNIPER	02	24" BOX	8' HT. 2" CAL. MIN.
SHRUBS			
NAME	QTY.	SIZE	COMMENTS
<i>Forsythia x intermedia</i> 'Kolgold' MAGICAL GOLD FORSYTHIA	12	5 GAL	24"-30" HT.
<i>Comus alba</i> 'Sibirica' RED TWIG DOGWOOD	16	5 GAL	24"-30" HT.
<i>Clethra alnifolia</i> 'Ruby Spice' RUBY SPICE SUMMER SWEET	05	5 GAL	24"-30" HT.
<i>Clethra alnifolia</i> 'Vanilla Spice' VANILLA SPICE SUMMER SWEET	12	5 GAL	24"-30" HT.
<i>Rhamnus fragula</i> 'Ron Williams' FINE LINE BUCKTHORN	06	5 GAL	24"-30" HT.
<i>Ilex 'Mesog'</i> 'China Girl' CHINA GIRL HOLLY	07	5 GAL	18"-24" HT.
ACCENTS			
NAME	QTY.	SIZE	COMMENTS
<i>Calamagrostis x acutiflora</i> 'Karl Foerster' KARL FOERSTER PINK FEATHER REED GRASS	32	3 GAL	18" HT.
GROUNDCOVERS			
NAME	QTY.	SIZE	COMMENTS
<i>Euonymus fortunei</i> 'Variegata' WINTERCREEPER EUONYMUS	39	1 GAL	
<i>Liriope muscari</i> 'Big Blue' BIG BLUE LIRIOPE	24	1 GAL	
SURFACE MATERIALS			
DESCRIPTION	QUANTITY		
<i>Cynodon dactylon</i> BERMUDA LAWN GRASS	1,825 S.F.		
LANDSCAPE MATERIALS			
Shredded hardwood mulch - 3" in all non turf areas			

LANDSCAPE NOTES

- All finished grades to be approved by the landscape architect prior to the installation of any plant material.
- Plant material to be approved by the landscape architect prior to installation.
- All tree locations to be staked by the landscape contractor and approved by the landscape architect prior to any holes being dug.
- The contractor is to provide a 2 lb sample of the proposed decomposed granite for review and approval by the landscape architect and owner. The contractor shall provide 100% coverage of non-paved areas within the limits of construction.
- For all tree planting that encounters hardpan/caliche provide separate unit price to install trees with an auger.
- It is the responsibility of the landscape contractor to inform the landscape architect of any plant material concerns based on the planting season (e.g. summer vs winter). Should the landscape contractor have any concerns about plant material due to heat or frost exposure, the installer shall request a substitution or delay in planting. Once planted, all plant material is subject to specified warranties.
- All palm and deciduous trees to be unconditionally guaranteed for one year after installation. All other plants shall be guaranteed for a minimum period of 90 days from the date of final approval by the city/owner. Any plant materials not approved by city/owner prior to October 1 of the calendar year in which they are installed shall be further guaranteed until may 20th of the following calendar year.
- Trees, shrubs, vines, groundcovers and turf which have to be replaced under the terms of the guarantee shall be guaranteed for an additional 90 days from the date of replacement.
- The landscape contractor shall be responsible for providing all finished grades and for maintaining positive drainage away from all buildings during the finish grading process. All slopes not to exceed 4:1 in landscape areas.
- The landscape contractor shall verify berm and retention basin locations shown on these plans with those on the civil engineering plans. Should a discrepancy exist between the plans, Studio Sprawl should be notified immediately.
- Under no circumstance shall any tree be planted within 6' of any building without the express written approval of the landscape architect.
- Trees and shrubs shall be placed a minimum of 6' from public accessways, utility cabinets and fire hydrants.
- Shrubs must be at maturity, 6' from the rear of a fire hydrant. No material other than groundcovers may be placed between a fire hydrant and the street or roadway or 6' on either side. Field verify all hydrant location with the civil engineering plans.
- All site improvements, including landscape and site clean up must be completed prior to final approval or certificate of occupancy.
- Trees adjacent to pedestrian walkways should have minimum canopy clearance of 6'8".
- No plant material with mature growth greater than three (3) feet in height shall be planted within potable water, sanitary sewer, or non-potable irrigation easements. [Volume III, Section 2.05(A)]
- No shrubs shall be planted within five (5) feet or trees within ten (10) feet of potable and non-potable water meters, fire hydrants, sanitary sewer manholes, or potable water, sanitary water, and non-potable irrigation mains and services. [Volume III, Section 2.05(B)]
- Automatic irrigation system shall be equipped with an automatic rain detection device. [Chapter 18.44.100.3.b]



studio
SPRAWL
po box 14012
scottsdale, arizona 85267
p 480.361.9281
f 480.361.9276



PROJECT ADDRESS:
701 TRADE CENTER BLVD.
CHESTERFIELD, MO 63005

REVISIONS:
CITY COMMENTS 3.07.22

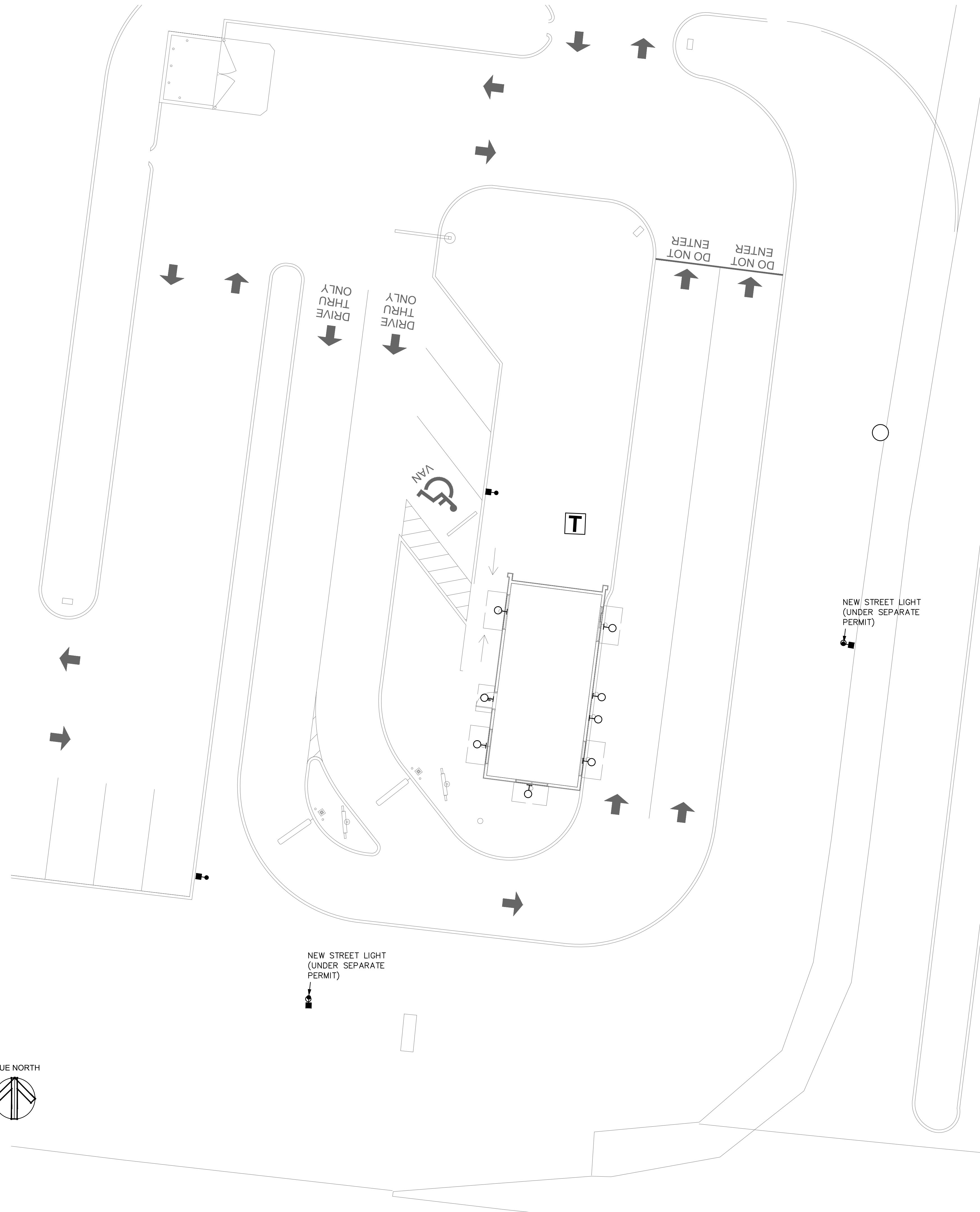
TITLE:
LANDSCAPE PLAN

DATE:
04.08.2022
PROJECT NO.
21-378

- DESIGN DEVELOPMENT
 - PERMIT SUBMITTAL
 - BID PACKAGE
 - CONSTRUCTION ISSUE
- SHEET NO.

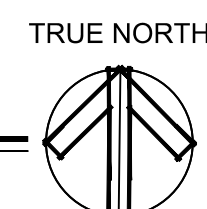
L1.0

THIS DRAWING AND ITS CONTENTS ARE THE COPYRIGHTED PROPERTY OF FM GROUP INC. USE THEREOF IS LIMITED TO THE SPECIFIC PROJECT AND SITE SET FORTH ABOVE, AND MAY NOT BE OTHERWISE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF FM GROUP INC. THE ARCHITECT. THIS DRAWING IS TO BE RETURNED UPON REQUEST.



1 ELECTRICAL SITE PLAN

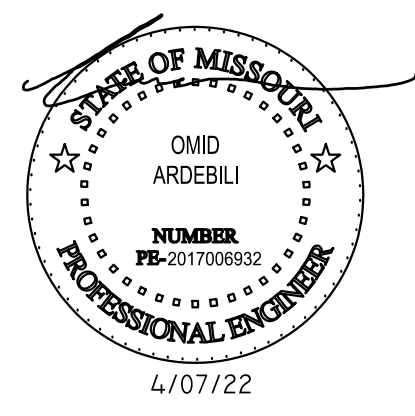
SCALE: 1"= 10'-0"



- GENERAL NOTES**
- A. ALL EXTERIOR LIGHT FIXTURES TO COMPLY WITH LOCAL NIGHT SKY ORDINANCE.
 - B. ALL EXTERIOR LIGHTING AND SIGNAGE TO BE FED WITH #10 CU. U.N.O.
 - C. ALL EXTERIOR ELECTRICAL EQUIPMENT TO BE NEMA-3R RATED.
 - D. CONTRACTOR TO COORDINATE EXACT SITE LIGHTING FIXTURE LOCATIONS WITH LANDSCAPE DRAWINGS.
 - E. ALL FIXTURES INSTALLED OUTDOORS SHALL BE RATED FOR DAMP/WET LOCATIONS AS REQUIRED. THE CONTRACTOR SHALL COORDINATE DAMP/WET LOCATION RATING PER NEC ARTICLE 410-4. ALL INSTALLATIONS SHALL CONFORM TO NEC ARTICLE 410, ALL SUB ARTICLES.
 - F. FIRE ALARM EQUIPMENT SHALL BE COORDINATED FOR EXACT LOCATION AND REQUIREMENTS WITH FIRE MARSHALL.
 - G. ALL PVC CONDUIT MUST HAVE A MINIMUM OF #10 CU. GROUND CONDUCTOR.
 - H. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND SCHEDULING WITH POWER AND TELEPHONE UTILITY COMPANIES INCLUDING PROVIDING (2) COMPLETE SETS OF DRAWINGS TO EACH COMPANY. ALL WORK SHALL BE INSTALLED PER EACH UTILITY COMPANIES FINAL DESIGN DRAWINGS.
 - I. ELECTRICAL CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL EXTERIOR LIGHT FIXTURES WITH ARCHITECTURAL DRAWINGS.

CONTRACTOR NOTE

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND SCHEDULING WITH POWER AND TELEPHONE UTILITY COMPANIES INCLUDING PROVIDING (2) COMPLETE SETS OF DRAWINGS TO EACH COMPANY. ALL WORK SHALL BE INSTALLED PER EACH UTILITY COMPANIES FINAL DESIGN DRAWINGS.



PROJECT ADDRESS:
701 TRADE CENTER BLVD.
CHESTERFIELD, MO 63005

- REVISIONS:
- ▲ CITY COMMENT 01.19.22
 - ▲ CITY COMMENT 03.07.22

TITLE:
**ELECTRICAL
SITE PLAN**

DATE:
11.22.2021

PROJECT NO.
21-378

SHEET NO.
E0.0

Electrical Engineer
OMID ARDEBILI P.E.
7328 E Stetson Dr., Scottsdale, AZ 85251
T 480-626-7072 E:omid@ardebileng.com
Proj. Mgr: BHL Proj. No: 21522

THIS DRAWING IS TO BE RETURNED UPON REQUEST. WITHOUT THE WRITTEN PERMISSION OF FM GROUP INC. THE ARCHITECT, THIS DRAWING IS TO BE RETURNED UPON REQUEST.

PRO SERIES

The Pro Series offers energy efficient, economical LED lighting for indoor and outdoor applications.

- Indoor / Outdoor
- Commercial / Residential
- Accent / Back-lighting



Physical	
Operating Temp	-15° to 140°F (-25° to 60°C)
Environment	IP65 Standard (Dust/splash proof) IP68 Rugged* (Water/chemical resistant)
Mounting	3M Adhesive Clips Channels
Cut Length	See page 2

Performance	
Lumen Maintenance	50,000 Hrs
Warranty	2 years
CCT Binning	<3SDCM
Certifications	UL Closet Rated (Pro 60 / 120)

Electrical	
Voltage	24V
Wire Size	20 AWG, 2 Wire
Dimming	MLV 0-10V S3I Series Controller

- Complete Solution**
- Step 1 Build your ribbon order code
 - Step 2 Select your channel (pg 3-4)
 - Step 3 Select your power and controls (pg 5-6)
 - Step 4 Select your accessories (pg 7)
 - Step 5 Contact your local agent or Nova Flex Rep.



	CCT	CRI	Lumens/ft	Efficacy (lm/w)	Power (w/ft)	Max Run
PRO 60	2700K	81	94	63	1.5	48.8 ft
	3000K	81	115	77		
	3225K	83	103	67		
	4100K	84	101	67		
	5500K*	82	92	61		
PRO 120	2700K	80	214	71	3.0	30.3 ft
	3000K	81	210	70		
	3225K	83	197	66		
	4100K	83	212	71		
	5500K*	82	208	69		
PRO 240	2700K	81	384	65	5.9	15.4 ft
	3000K	81	368	62		
	3225K	84	417	71		
	4100K	83	421	71		
	5500K*	83	407	69		
	6200K	80	381	65		

Lumens have a tolerance of +/- 10%.

*Special order, allow 4 - 6 weeks delivery.

IES LM79 TM30 INSTALL GUIDE

Designed & Assembled in Minnesota. Specifications are subject to change without notice. 800.595.6302 novaflexled.com | 01

CHANNEL OPTIONS PRO SERIES

Create a fixture, diffuse light, or add another level of protection with our aluminum channel options. All orders come with mounting clips, end caps, and choice of lens. A variety of color channel is available as special order.

- Lens Type defaults to soft lens, unless specified**
- CL Clear (0% - 5%)
 - SOFT Soft (20% - 30%)
 - SOLID Solid* (50%+)

Product Image	Product Code	Compatible with	Lens Options	Dimensions	Downloads
	Surface 1707 NF-CH-1707-2M	IP65: 60, 120	CL, SOFT, SOLID	Height with Lens 0.5"	SPEC SHEET
	Surface 1707 - 30° NF-CH-1707-C/CLEAR/30-2M	IP65: 60, 120	CL, SOFT, SOLID	Height with Lens 0.5"	SPEC SHEET
	Surface 1707 - 60° NF-CH-1707-C/CLEAR/60-2M	IP65: 60, 120	CL, SOFT, SOLID	Height with Lens 0.5"	SPEC SHEET
	Surface 1813 NF-CH-1813-2M	IP65: 60, 120, 240 IP68: 60, 120	CL, SOFT, SOLID	Height with Lens 0.5"	SPEC SHEET
	Surface 1919 NF-CH-1919-2M	IP65: 60, 120	CL, SOFT, SOLID	Height with Lens 0.5"	SPEC SHEET
	Surface 2216 NF-CH-2216-2M	IP65: 60, 120, 240 IP68: 60, 120	CL, SOFT, SOLID	Height with Lens 0.65"	SPEC SHEET
	Surface 3030 - CR NF-CH-3030-C/CLEAR/CR-2M	IP65: 60, 120, 240 IP68: 60, 120, 240	CL, SOFT, SOLID	Height with Lens 1.19"	SPEC SHEET
	Surface 3030 - SQ NF-CH-3030-C/CLEAR/SQ-2M	IP65: 60, 120, 240 IP68: 60, 120, 240	CL, SOFT, SOLID	Height with Lens 1.19"	SPEC SHEET
	Surface 3525 NF-CH-3525-2M	IP65: 60, 120, 240 IP68: 60, 120, 240	CL, SOFT, SOLID	Height with Lens 1.38"	SPEC SHEET
	Surface 4517 NF-CH-4517-2M	IP65: 60, 120, 240 IP68: 60, 120, 240	CL, SOFT, SOLID	Height with Lens 0.70"	SPEC SHEET

*Solid Lens, allow 4 - 6 weeks delivery.

Designed & Assembled in Minnesota. Specifications are subject to change without notice. 800.595.6302 novafluxled.com | 03

WDGE2 LED Architectural Wall Sconce Precision Refractive Optic



A/A2

Category:

Notes:

Type:

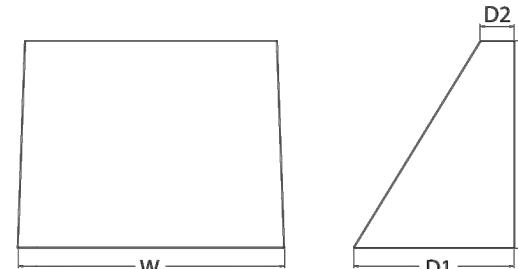
Introduction

The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE2 becomes the additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Specifications

- Depth (D1): 7"
- Depth (D2): 1.5"
- Height: 9"
- Width: 11.5"
- Weight: 13.5 lbs (without options)



WDGE LED Family Overview

Luminaire	Optics	Standard EM, U.P.C.	Cold EM, -20°C	Switch	Approximate Lumens (4000K, 90CRI)						
					P6	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P0*	27K	2700K	70CRP	T15	Type I Short
	P1*	30K	3000K	80CRB	T25	Type II Medium
	P2*	40K	4000K	LWF Limited Wavelength	T2M	Type III Medium
	P3*	50K	5000K	LWF Limited Wavelength	T4M	Type IV Medium
	P4*	AMB*	Amber	TFM	Forward Throw Medium	

Options	Finish
E10WH Emergency battery backup, Certified in CA Title 20 MAED85 (10W, 2°C min)	D0B0 Dark bronze
E20WH Emergency battery backup, Certified in CA Title 20 MAED85 (18W, 2°C min)	D0L0 Black
PE* Photocell, Burton Type	D0A0 Natural aluminum
D0M* 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	D0W0 White
DCE Bottom conduit entry for back box (P8WB). Total of 4 entry points.	D0S0 Sandstone
BAA Buy America(s) Act Compliant	D0B70 Textured dark bronze
	D0B00 Textured black
	D0B10 Textured natural aluminum
	D0B20 Textured white
	D0S70 Textured sandstone

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
© 2019-2022 Acuity Brands Lighting, Inc. All rights reserved. WDGE2 LED Rev. 07/19/21

D-Series Size 0 LED Area Luminaire



SB/SC

Category:

Notes:

Type:

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NTAIR2 PIRHN DDBXD

Series	LEDs	Color Temperature	Distribution	Voltage	Mounting
DSX0 LED	P1	30K 3000K	T15 Type I Short (Automotive)	MVOLT 120V-277V ¹⁰	SPR Square pole mounting
	P2	40K 4000K	T25 Type II Medium	MVOLT 120V-480V ¹⁰	SPR Square pole mounting ¹¹
	P3	50K 5000K	T3M Type III Medium	120V	SPR Square pole mounting ¹¹
	P4*		T3S Type III Short	208V	WBA Wall bracket ¹
	P5*		T3M Type III Medium	240V	SPUMBA Square pole universal mounting adaptor ¹¹
	P6*		T4M Type IV Medium	277V	SPUMBA Square pole universal mounting adaptor ¹¹
	P7*		TFM Forward throw medium	247V	SPUMBA Square pole universal mounting adaptor ¹¹
	P11*	P11 ¹²	TSV5 Type V very short	480V	KMA4 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹²

Control options	Other options	Finish
NTAIR2 nLight AIR generation 2 enabled ^{13,14}	PIR High/low motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5K ^{15,16}	D0B0 Dark bronze
PIRHN Network, high/low motion/ambient sensor ¹⁷	PIRHN High/low motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5K ^{15,16}	D0L0 Black
PER NEMA twist-lock receptacle only (control ordered separately) ¹⁸	PIRHN High/low motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1K ^{15,16}	D0A0 Natural aluminum
PERS Free-pin receptacle only (control ordered separately) ¹⁸	PIRHN High/low motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1K ^{15,16}	D0W0 White
PERF Free-pin receptacle only (heads exit fixture) (control ordered separately) ¹⁸	PIRHN High/low motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1K ^{15,16}	D0B70 Textured dark bronze
D0M 0-10V dimming control out back of housing for external control (control ordered separately) ¹⁹	PIRHNFCV High/low motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1K ^{15,16}	D0B00 Textured black
	FAO Field adjustable output ²⁰	D0A70 Textured natural aluminum
		D0W10 Textured white

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
© 2011-2021 Acuity Brands Lighting, Inc. All rights reserved. DSX0 LED Rev. 07/19/21 Page 1 of 8

COMcheck Software Version 4.1.5.3 Interior Lighting Compliance Certificate

Project Information

Energy Code: 2015 IECC
Project Title: SCOOTER'S COFFEE
Project Type: New Construction

Construction Site: 701 TRADE CENTER BLVD CHESTERFIELD, MO 63005
Owner/Agent: FM GROUP INC 15974 N 77TH ST STE 100 SCOTTSDALE, AZ 85260
Designer/Contractor: ARDEBILI ENGINEERING 7328 E STETSON DR SCOTTSDALE, AZ 85251

Additional Efficiency Packages(s)

Credits: 1.0 Required 1.0 Proposed
Reduced Lighting Power, 1.0 credit

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts (B X C)
1-Common Space Types:Dining Area - Cafeteria/Fast Food	665	0.59	392
Total Allowed Watts =			392

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt. (C X D)	E (C X D)
1-Common Space Types:Dining Area - Cafeteria/Fast Food LED 1: 11; 2X4; Other:	1	8	40	320
Total Proposed Watts =			320	

Interior Lighting PASSES: Design 18% better than code

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.5.3 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

OMID ARDEBILI, PE
Name - Title Signature Date 01/27/2022

Project Title: SCOOTER'S COFFEE
Data filename: Z:\Shared\01_Projects\2021\21672_FMG_Scooters - Chesterfield, MO\01_Construction Documents\ENERGY\IECC_E.cck
Report date: 01/27/22
Page 1 of 7

COMcheck Software Version 4.1.5.3 Exterior Lighting Compliance Certificate

Project Information

Energy Code: 2015 IECC
Project Title: SCOOTER'S COFFEE
Project Type: New Construction
Exterior Lighting Zone

Construction Site: 701 TRADE CENTER BLVD CHESTERFIELD, MO 63005
Owner/Agent: FM GROUP INC 15974 N 77TH ST STE 100 SCOTTSDALE, AZ 85260
Designer/Contractor: ARDEBILI ENGINEERING 7328 E STETSON DR SCOTTSDALE, AZ 85251

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts / Unit	D Tradable Wattage	E Allowed Watts (B X C)
Illuminated area of facade wall or surface	21500 ft ²	0.15	No	3225
Total Tradable Watts (a) =			0	
Total Allowed Watts =			3225	
Total Allowed Supplemental Watts (b) =			750	

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.
(b) A supplemental allowance equal to 750 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Proposed Exterior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt. (C X D)	E (C X D)
Illuminated area of facade wall or surface (21500 ft ²): Non-tradable Wattage				
LED 1: A: WALL SCONCE: Other:	1	7	19	133
LED 2: A2: WALL SCONCE: Other:	1	1	19	19
LED 3: B: LED STRIP: Other:	1	1	350	350
LED 4: SB: POLE LIGHT: Other:	1	1	134	134
LED 4 copy 1: SC: POLE LIGHT: Other:	1	1	134	134
Total Tradable Proposed Watts =			0	

Exterior Lighting PASSES: Design 0.0% better than code

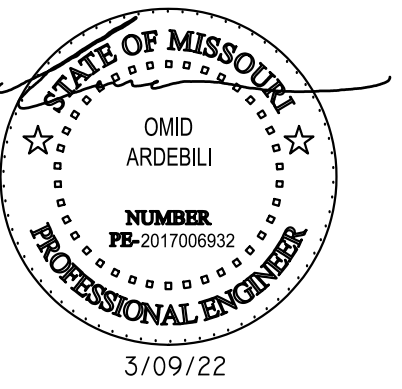
Exterior Lighting Compliance Statement

Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.5.3 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

OMID ARDEBILI, PE
Name - Title Signature Date 01/27/2022



15974 N. 77th ST., STE 100 SCOTTSDALE AZ 85260



PROJECT ADDRESS:
701 TRADE CENTER BLVD.
CHESTERFIELD, MO 63005

- REVISIONS:
- ▲ CITY COMMENT 01.19.22
 - ▲ CITY COMMENT 03.07.22

TITLE:
EXTERIOR LIGHTING CUTSHEETS & COMCHECKS

DATE:
11.22.2021
PROJECT NO.
21-378

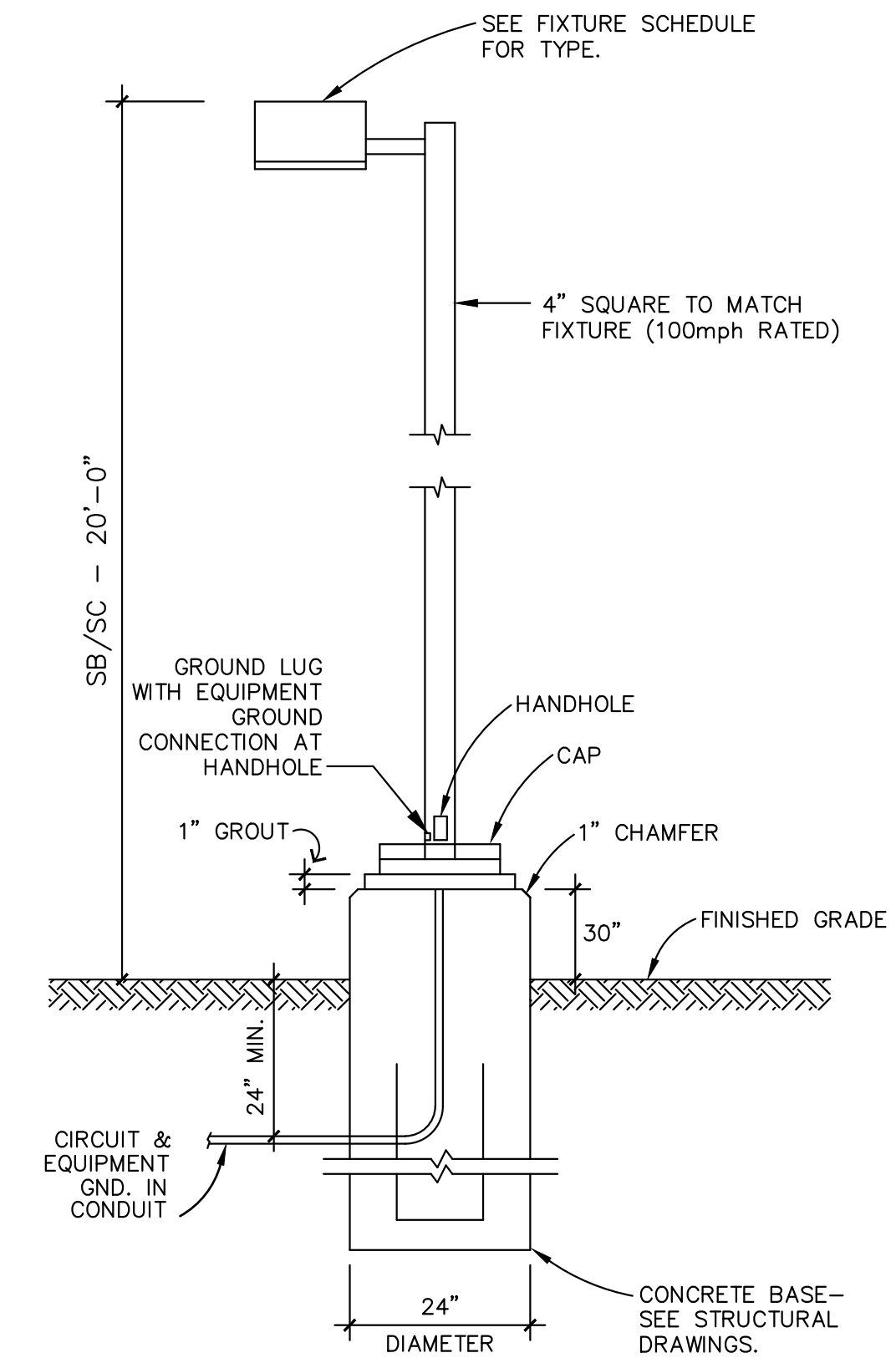
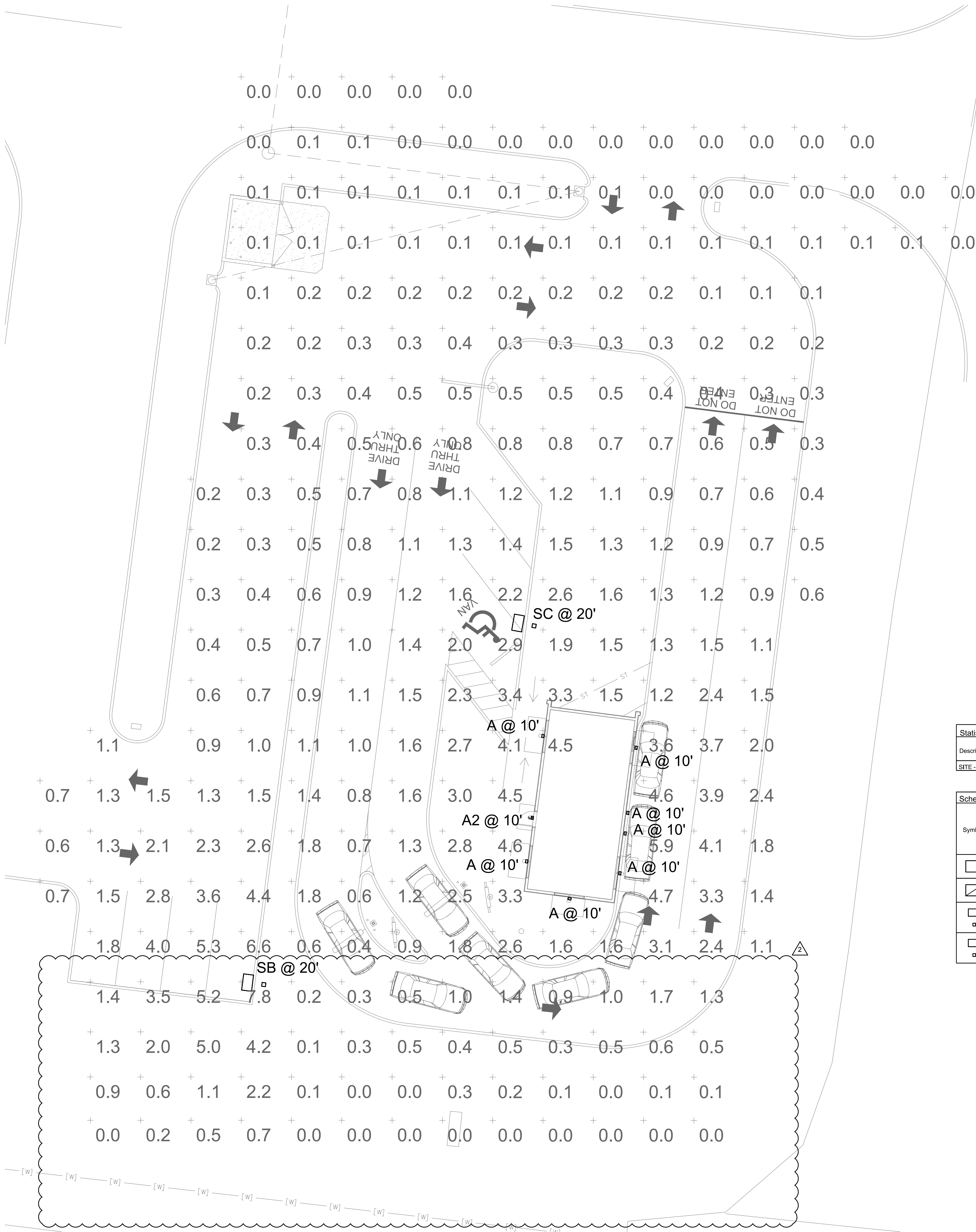
SHEET NO.

E0.1

ENTIRE SHEET

Electrical Engineer
OMID ARDEBILI P.E.
7328 E Stetson Dr., Scottsdale, AZ 85251
T 480-626-7072 E:omid@ardebileng.com
Proj. Mgr.: BH Proj. No.: 21672

THIS DRAWING AND ITS CONTENTS ARE THE COPYRIGHTED PROPERTY OF FM GROUP INC. USE THEREOF IS LIMITED TO THE SPECIFIC PROJECT AND SITE SET FORTH ABOVE, AND MAY NOT BE OTHERWISE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF FM GROUP INC. THE ARCHITECT. THIS DRAWING IS TO BE RETURNED UPON REQUEST.

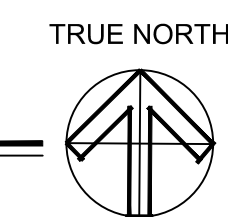


NOTE:
CONTRACTOR SHALL PROVIDE NEW POLE BASES WHERE INDICATED ON PLANS. LIGHTING FIXTURE POLE DETAILS AND DESCRIPTIONS ARE FOR ELECTRICAL REFERENCES ONLY. THE POLE AND BASE SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA AND BE STAMPED AND SEALED ACCORDINGLY AS A DEFERRED SUBMITTAL.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE - FC @ GRADE	+	1.1 fc	7.8 fc	0.0 fc	N/A	N/A

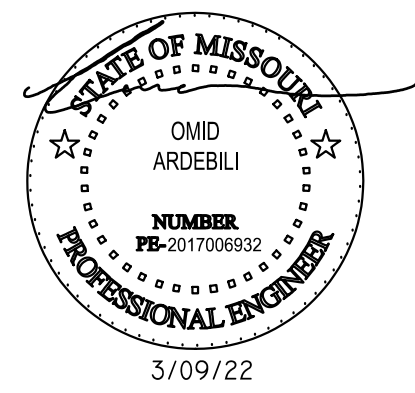
Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	7	Lithonia Lighting	WDGE2 LED P2 30K 80CRI T4M MVOLT (FINISH)	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE 4 MEDIUM OPTIC	LED - 3000K	WDGE2_LED_P2_30K_80CRI_T4 M.jes	1922	0.91	18,9815
▤	A2	1	Lithonia Lighting	WDGE2 LED P2 30K 80CRI T4M MVOLT E20WC (FINISH)	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE 4 MEDIUM OPTIC W/EM BATTERY PACK	LED - 3000K	WDGE2_LED_P2_30K_80CRI_T4 M.jes	1922	0.91	18,9815
□	SB	1	Lithonia Lighting	DSX0 LED P6 30K LCCO MVOLT SPA (FINISH) / SSS 17.5" W/2.5" BASE	DSX0 LED P6 30K LCCO MVOLT	LED - 3000K	DSX0_LED_P6_30K_LCCO_MVOL T.jes	9041	0.91	134
□	SC	1	Lithonia Lighting	DSX0 LED P6 30K T5W MVOLT SPA (FINISH) / SSS 17.5" W/2.5" BASE	DSX0 LED P6 30K T5W MVOLT	LED - 3000K	DSX0_LED_P6_30K_T5W_MVOL T.jes	15285	0.91	134

1 PHOTOMETRIC SITE PLAN
SCALE: 1"= 10'-0"



ENTIRE SHEET

Electrical Engineer
OMID ARDEBILI P.E.
7328 E Stetson Dr., Scottsdale, AZ 85251
T: 480-626-7072 E: omid@ardebileng.com
Proj. Mgr: BH



PROJECT ADDRESS:
701 TRADE CENTER BLVD.
CHESTERFIELD, MO 63005

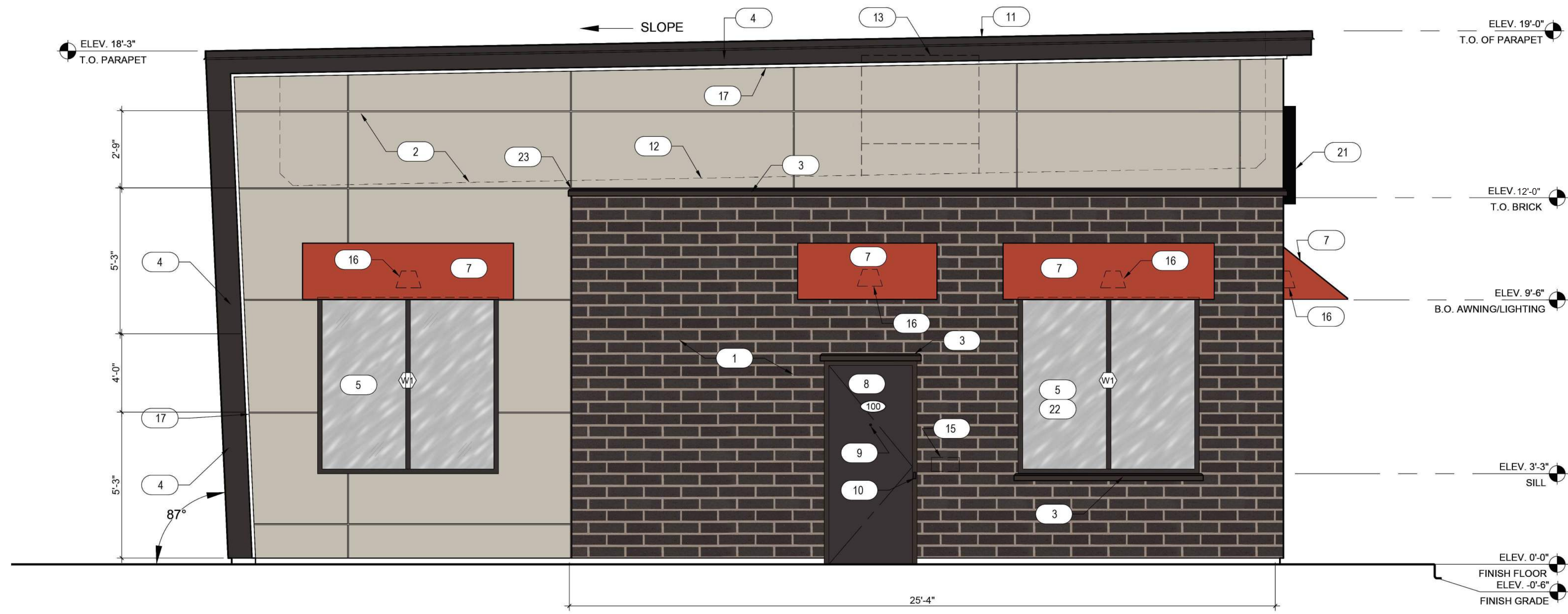
REVISIONS:
▲ CITY COMMENT 01.19.22
▲ CITY COMMENT 03.07.22

TITLE:
PHOTOMETRIC SITE PLAN

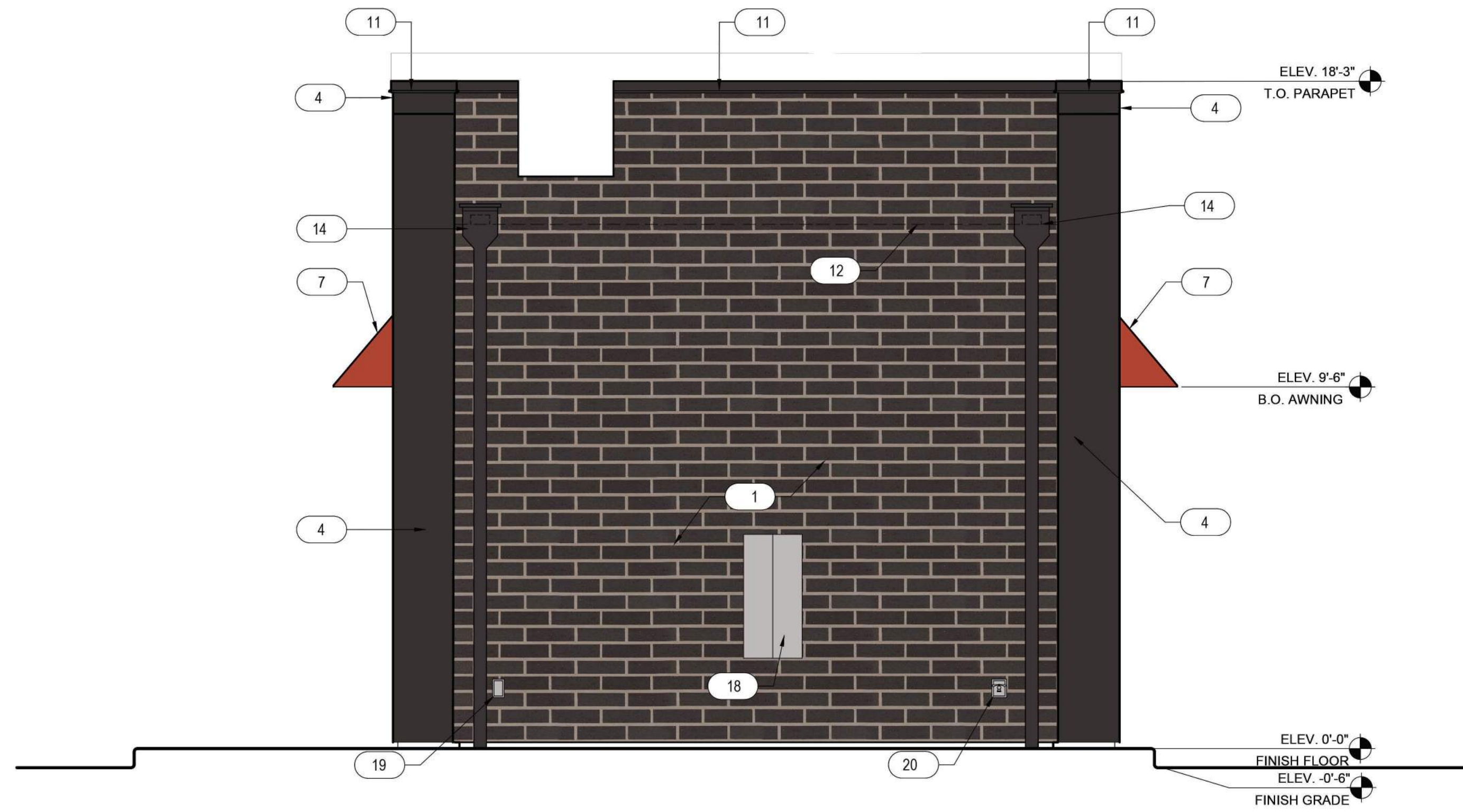
DATE:
11.22.2021
PROJECT NO.
21-378
SHEET NO.

E0.2

THIS DRAWING AND ITS CONTENTS ARE THE COPYRIGHTED PROPERTY OF FM GROUP INC. USE THEREOF IS LIMITED TO THE SPECIFIC PROJECT AND SITE SET FORTH ABOVE, AND MAY NOT BE OTHERWISE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF FM GROUP INC. THE ARCHITECT. THIS DRAWING IS TO BE RETURNED UPON REQUEST.



2 EXTERIOR ELEVATIONS-WEST
SCALE: 3/8" = 1'-0"



1 EXTERIOR ELEVATIONS-NORTH
SCALE: 3/8" = 1'-0"

KEYNOTES (X)

1. ENDICOTT THIN BRICK VENEER, RUNNING BOND - COLOR: MANGANESE BROWN, SMOOTH FINISH
2. HARDIE REVEAL PANEL SYSTEM WZ10 - SMOOTH FINISH, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL
3. ENDICOTT 3 5/8" ROLOCK SILL - COLOR: MANGANESE BROWN, SMOOTH FINISH
4. 20 GAUGE METAL ACCENTS AND SOFFITS - COLOR: DARK BRONZE
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
7. AWNING BY OTHERS - COLOR: TERRACOTTA
8. INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW9175 DEEP FOREST BROWN EGGSHELL FINISH
9. PEEP HOLE, BY DOOR MANUFACTURER
10. DOOR BELL
11. 20 GAUGE METAL PARAPET CAP - COLOR: DARK BRONZE
12. LINE OF ROOF BEYOND
13. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS
14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
15. MAILBOX BY OWNER
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. NOT USED
22. SPANDREL GLASS
23. START HARDIE PANEL SIDING HERE



PROJECT ADDRESS:

REVISIONS:

TITLE:
EXTERIOR ELEVATIONS

DATE:
11.22.2021
PROJECT NO.
21-378

- DESIGN DEVELOPMENT
- PERMIT SUBMITTAL
- BID PACKAGE
- CONSTRUCTION ISSUE

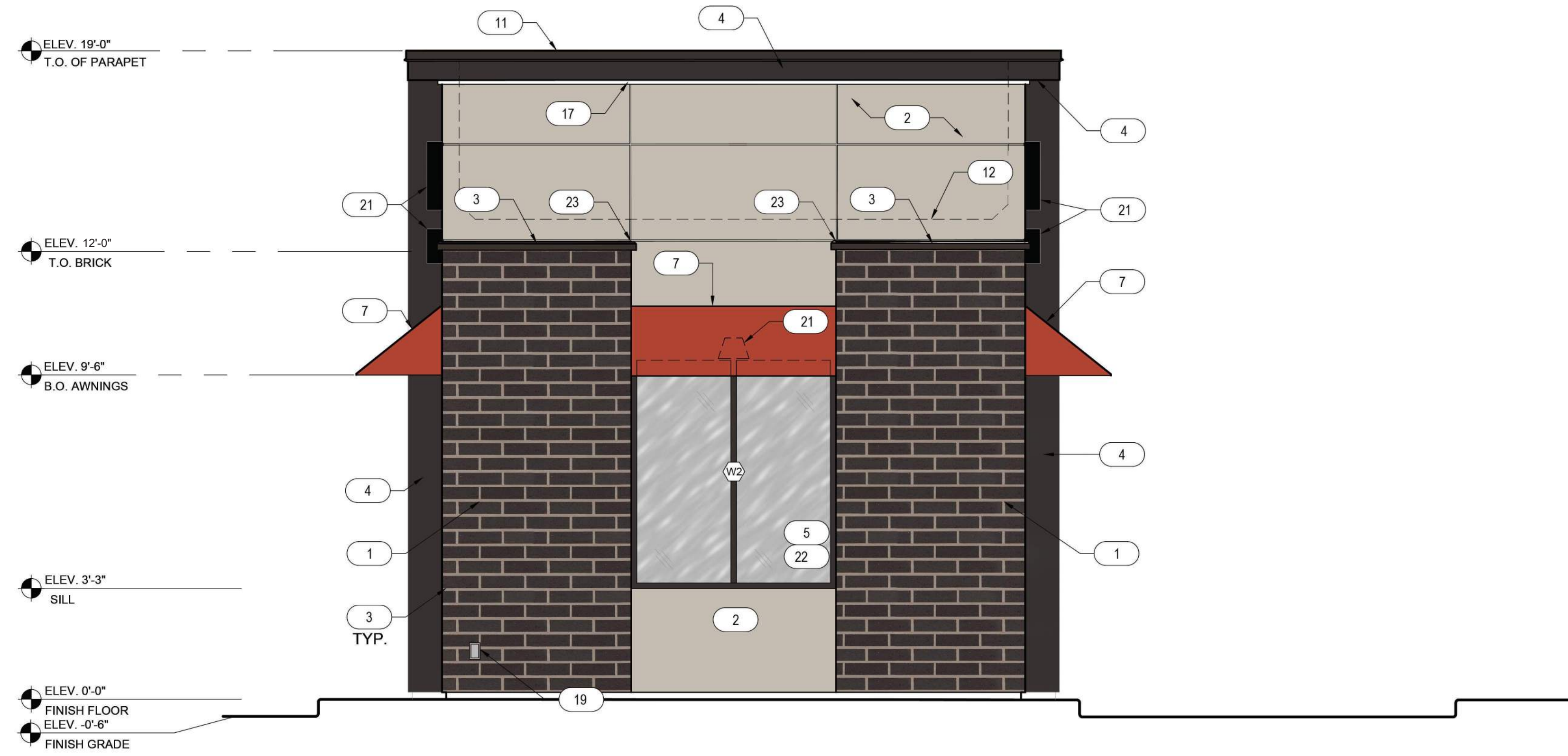
SHEET NO.

A3.1

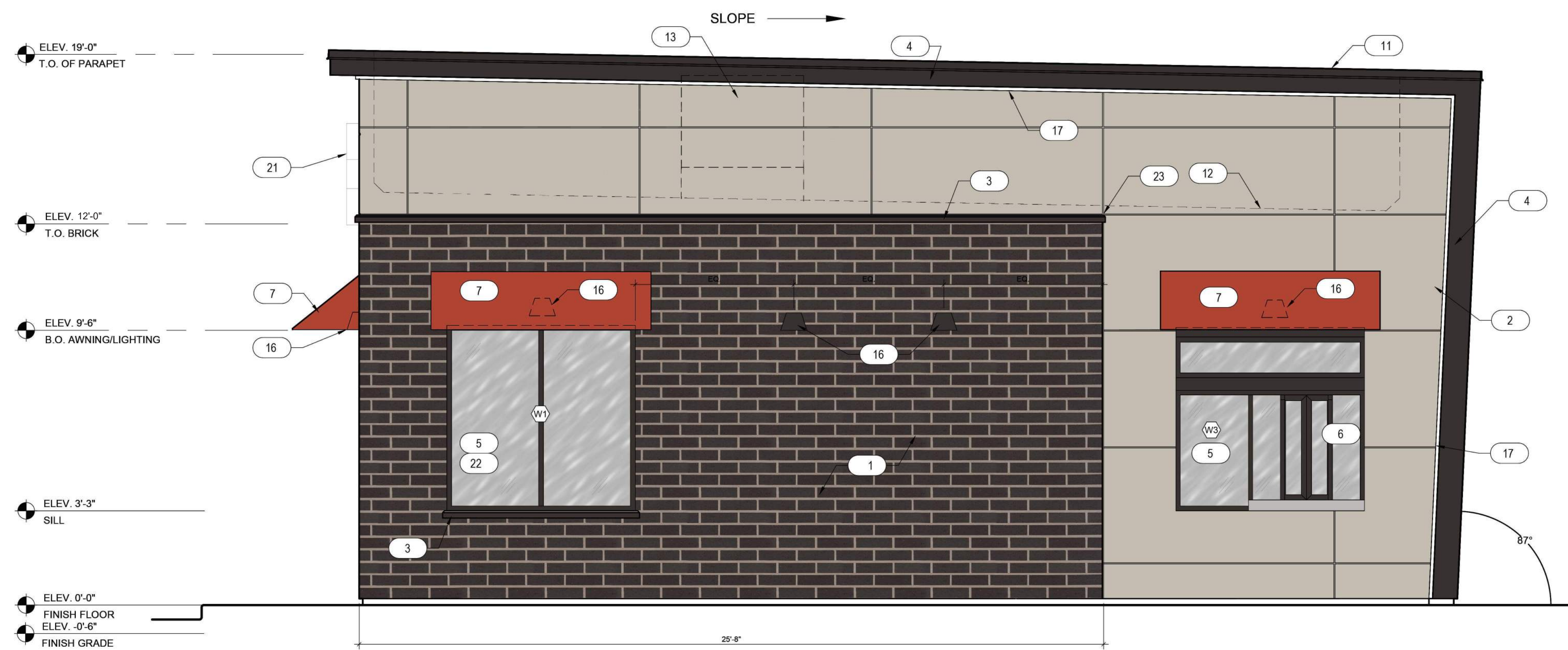
KEYNOTES

X

1. ENDICOTT THIN BRICK VENEER, RUNNING BOND - COLOR: MANGANESE BROWN, SMOOTH FINISH
2. HARDIE REVEAL PANEL SYSTEM WZ10 - SMOOTH FINISH, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL
3. ENDICOTT 3 5/8" ROLOCK SILL - COLOR: MANGANESE BROWN, SMOOTH FINISH
4. 20 GAUGE METAL ACCENTS AND SOFFITS - COLOR: DARK BRONZE
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
7. AWNING BY OTHERS - COLOR: TERRACOTTA
8. INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW9175 DEEP FOREST BROWN EGGSHELL FINISH
9. PEEP HOLE, BY DOOR MANUFACTURER
10. DOOR BELL
11. 20 GAUGE METAL PARAPET CAP - COLOR: DARK BRONZE
12. LINE OF ROOF BEYOND
13. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS
14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
15. MAILBOX BY OWNER
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. NOT USED
22. SPANDREL GLASS
23. 3 1/2" HARDIE TRIM, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL
24. START HARDIE PANEL SIDING HERE



2 EXTERIOR ELEVATIONS - SOUTH
SCALE: 3/8" = 1'-0"



1 EXTERIOR ELEVATIONS - EAST
SCALE: 3/8" = 1'-0"



PROJECT ADDRESS:

REVISIONS:

TITLE:
EXTERIOR
ELEVATIONS

DATE:
11.22.2021

PROJECT NO.
21-378

- DESIGN DEVELOPMENT
- PERMIT SUBMITTAL
- BID PACKAGE
- CONSTRUCTION ISSUE

SHEET NO.

A3.2