

## Architectural Review Board Staff Report

**Meeting Date:** April 14<sup>th</sup>, 2022

**From:** Chris Dietz, Planner 

**Location:** 15548 Olive Blvd.

**Description: Starbucks (ASDP):** An Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for a 1.10 acre tract of land zoned "PC" – Planned Commercial located on the south side of Olive Blvd., west of Chesterfield Pkwy East, north of Swingley Ridge Rd.

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### **PROPOSAL SUMMARY**

TR,I Architects, on behalf of Maroon Bells Capital LLC, has submitted an Amended Site Development Plan, Architectural Elevations, Lighting Plan, Landscape Plan, and Architect's Statement of Design for an existing 1,999 square foot fast food restaurant building. The development will be utilizing a majority of the current site conditions including access points, topography, and the parking lot. The proposed changes include updating the façade with new materials and colors, adding a concrete patio to accommodate outdoor seating, relocating and updating the trash enclosure, and adding new sidewalk connections.

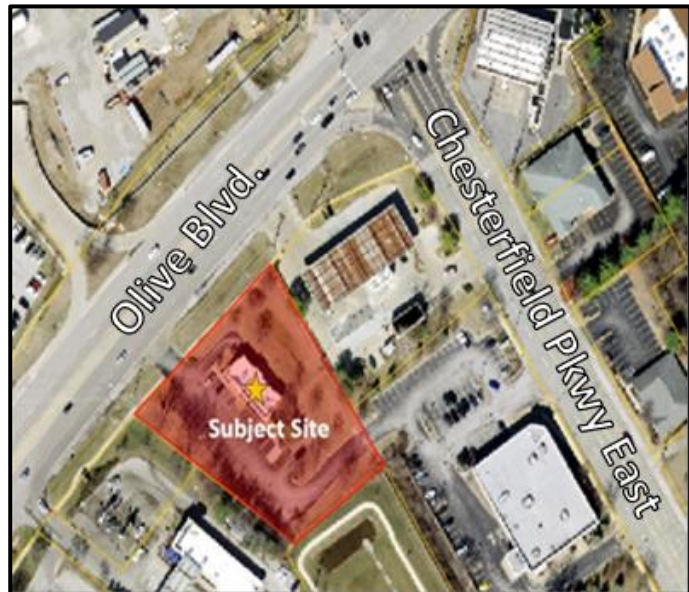


Figure 1: Subject Site

## **HISTORY OF SUBJECT SITE**

The site was zoned “R3” - Residence District under St. Louis County zoning prior to City of Chesterfield incorporation. In 1996, the site was rezoned to “C8”- Planned Commercial in order to permit a single fast-food restaurant with drive through facility. This led to the construction of a Taco Bell restaurant in 1997 which then operated for more than twenty years. The site was rezoned in 1998 from “C8” - Planned Commercial to “PC” - Planned Commercial as required by City of Chesterfield Zoning Ordinance Section 1003.030 at the time. There were no changes to conditions found in the Original Attachment A of Ordinance 1148.

## **STAFF ANALYSIS**

The Unified Development Code’s Architectural Review Design Standards are broken down into two (2) areas of review: Site Design & Building Design.

The general requirements for Site Design include Site Relationships, Topography & Parking, Circulation & Access, and Retaining Walls while the general requirements for Building Design include Scale, Design, Materials & Colors, Landscape Design & Screening, Signage, and Lighting.

The UDC has specific provisions regarding the redevelopment of existing buildings. All additions and exterior renovations to existing structures shall advance such structures toward further compliance with the provisions of UDC’s Architectural Review Design Standards. Exterior additions must also be incorporated into one (1) cohesive design with the existing structure.

### **A. Site Relationships**

The proposed development consists of an existing fast-food restaurant building that is being renovated and repurposed into a Starbucks coffee shop. With a fast-food restaurant existing prior to this proposed development, there should be little or no increased impact on the surrounding commercial area once completed.

### **B. Circulation System & Access**

As shown in Figure 2, the site is served by two (2) existing vehicular access points. The primary access point is located along Olive Blvd and provides right in/right out access. The secondary access is an existing easement to an adjacent parking lot to the southeast. The adjacent parking lot provides full access to Chesterfield Parkway East. The existing sidewalk along Olive Blvd. is to be utilized while being extended internally to provide connectivity to and from the building, parking area, and a proposed concrete patio. Additionally, a sidewalk will be provided from the rear stock room door to the relocated trash enclosure.

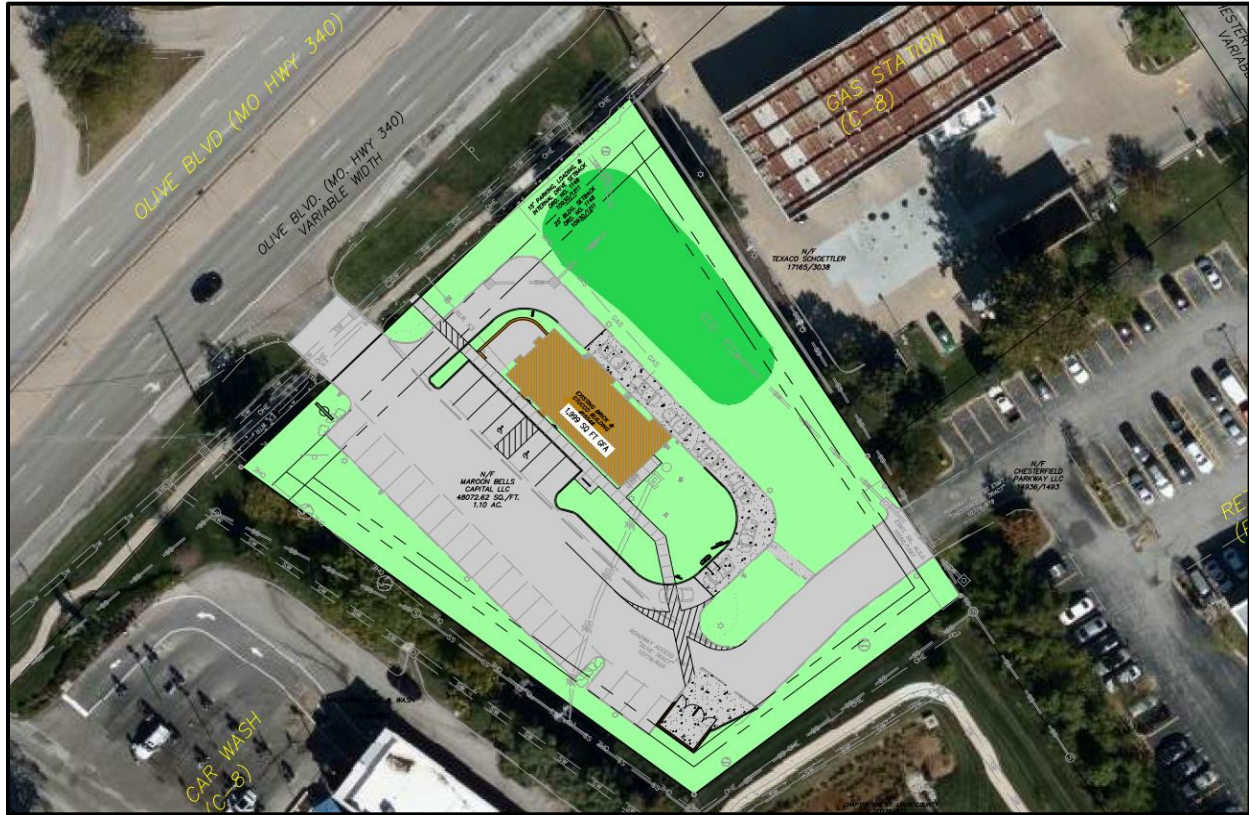


Figure 2: Color Site Plan

### C. Topography & Parking

The existing topography and parking lot is to be utilized. There will be minor changes made to the parking lot to accommodate the relocation of the trash enclosure. Nonetheless, parking requirements have been met. Of the ten (10) parking spaces that are required, a total of twenty-seven (27) parking spaces are being provided.

### D. Scale, Design, Materials, & Colors

The scale of the building is similar to adjacent commercial developments and is not proposed to change. With the intention of further catering to the human scale, there will be the use of black aluminum canopies at all entries including an additional one located above the drive through window. The massing of the façade is broken up by three (3) offsets that are 3' – 9" taller in height than the remaining building. These offsets, which are existing EIFs, will be accented with neutral toned faux wood siding, as shown in Figure 3. The remaining EIFs will be painted a similar grey tone to the newly incorporated materials. Finally, along the southern corner of the site, a new trash enclosure will be constructed of brick masonry, similar to that found at the base of the main building.



Figure 3: Building Elevations

### E. Landscape Design & Screening

Minor landscape changes are being made to accommodate the improvements to the site. There is an existing thirty (30) foot landscape buffer as required along an arterial road. The fifteen (15) foot Parking, Loading, and Drive Setback that abuts the thirty (30) foot landscape buffer will have a mixture of Darts Gold Ninebark's and Firethorn's installed. Trees are provided alongside the drive through on the east to provide screening from the adjacent gas station. Shrubs being removed in the front of the building to allow for the construction of the concrete patio will be replaced creating a new barrier between the outdoor seating area and driveway. Additional landscaping will be provided along the southern face of the building to screen mechanical elements of the restaurant.

### F. Lighting

Decorative sconces will be installed on each side of the entries with additional fixtures provided along the longer walls of the façade. Existing parking lot lighting is to be utilized and no new light poles are being proposed.

## **RENDERING**



## **DEPARTMENTAL INPUT**

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff's report to the Planning Commission.

Staff requests review and recommendation on the Amended Site Development Plan for 15548 Olive Blvd. (Starbucks).

## **MOTION**

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for 15548 Olive Blvd.(Starbucks) ASDP as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for 15548 Olive Blvd.(Starbucks) ASDP, to the Planning Commission with the following recommendations..."

### Attachments

1. Architectural Review Packet Submittal



**ARCHITECTURAL REVIEW BOARD  
Project Statistics and Checklist**

**Date of First Comment Letter Received from the City of Chesterfield** 2-24-2022

**Project Title:** Starbucks - 15548 Olive Blvd. **Location:** 15548 Olive Blvd.

**Developer:** AKG Development **Architect:** TR,i Architects **Engineer:** Civil & Environmental Cons.

**PROJECT STATISTICS:**

**Size of site (in acres):** 1.10 **Total Square Footage:** 1,999 SF **Building Height:** 21'-1"

**Proposed Usage:** Drive-thru coffee shop with interior Cafe

**Exterior Building Materials:** Existing brick, EIFS, Fiber cement wood siding, and Aluminum awnings

**Roof Material & Design:** Flat roof with parapet

**Screening Material & Design:** Roof parapets

**Description of art or architecturally significant features (if any):** Contemporary architecture using masonry, EIFS, and faux wood to provide a variety of colors and textures.

**ADDITIONAL PROJECT INFORMATION:**

**Checklist:** Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- Details of screening, retaining walls, etc.
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
- Landscape Plan.
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be brought to the ARB meeting)
- Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.



March 9, 2022

Mr. Christopher Dietz  
City Planner  
**City of Chesterfield**

**Re: Starbucks – 15548 Olive Blvd.  
TR,i Project #: 21-066  
ARCHITECT'S STATEMENT OF DESIGN**

To Whom it may concern,

As required by Chesterfield's Unified Development Code the following is our Architect's Statement of Design responding to the Architectural review design standards as they apply to our project.

**General requirements for site design:**

1. Site relationships: The proposed development consists of an existing fast food restaurant building that is being renovated and repurposed. The building is located on Olive Boulevard near the Southeast corner of Olive Boulevard and Chesterfield Parkway East which is a few hundred feet North of Interstate 64. The building services area is situated towards the rear of the lot and the trash is fully screened with a masonry enclosure to match the building. There are two vehicular access points to the site, the primary access is via a single curb cut off of Olive Boulevard which is right-in/right-out access only due to a median in the center of Olive Boulevard. There is a secondary access via a cross access drive to the East through the Walgreens lot which then provides full access onto Chesterfield Parkway East. The drive-thru traffic on the site rotates around the building in a counterclockwise rotation. From the drive-thru window there is a total of approximately 10 stacking spaces in the drive-thru lane before any parking spaces are blocked. There are an additional 8 spaces on site before leaking out onto Olive for a total of 18 drive-thru stacking spaces. Pedestrian access to the site and building is provided via a sidewalk that connects to a public walk along Olive Boulevard, the sidewalk into the site runs along the Southwest face of the building where the main entry is located as well as directly along side the proposed patio area in front of the building facing Olive. The sidewalk also provides connectivity for the building staff to both the rear stock room door and the across the parking lot to the trash enclosure.
2. Circulation system and access: The site organization emphasizes pedestrian connectivity of uses. Pedestrian access to the site and building is provided via a sidewalk that connects to a public walk along Olive Boulevard, the sidewalk into the site runs along the Southwest face of

the building where the main entry is located as well as directly alongside the proposed patio area in front of the building facing Olive. The sidewalk also provides connectivity for the building staff to both the rear stock room door and the across the parking lot to the trash enclosure. The development plan includes separation between vehicular circulation and pedestrian circulation. The comprehensive pedestrian circulation system connects street to building, parking areas to building and building use to building use. Landscaping is used along both the internal and external network of sidewalks to add interest to the pedestrian experience. A bike rack is provided near the main entry of the building encourage the use of the building by cyclists.

3. Topography: The development is utilizing the existing topography and parking lot. The existing topography slopes from the Southeast corner of the site to the Northwest corner where there is a small dry detention area. There are no modifications to the grade being proposed as part of this development. Extensive landscaping is used for screening, buffering, and enhancement to the site.
4. Retaining walls: No retaining walls are being proposed.

**General requirements for building design:**

1. Scale: The existing building is situated between multiple other developments including, a gas station to the North, a Walgreens to the East, and a Car Wash to the Southwest. The building size is similar in scale to these adjacent developments. The building design includes the use of canopies at the main entry elements that are lower than the overall building which provides pedestrian scale at the entries. Windows in the building are set at heights that are oriented to human scale. The building design includes several projections in the building on the three main faces to break up the façade, changes in materials along the longer walls are also used to create a rhythm in the design of the building.
2. Design: The building design and finishes are coordinated on all sides of the building. The project has a unique character without influence of any corporate identity. The building walls on the main three elevations includes multiple offsets in the exterior wall, changes in heights of the wall, and material changes to provide good articulation of the building façade. The building façade includes multiple colors and material textures to provide interest. The materials include brick, EIFS, wood siding, and metal.
3. Materials and Colors: Earth tone finishes are used throughout the exterior design that are neutral and compatible with many other pallets. The materials include brick, EIFS, faux wood siding, aluminum storefront, clear low-e glass, architectural windows and doors and aluminum canopies.
4. Landscape design and screening: Landscaping is used along the street to create connectivity to adjacent sites. Within the site landscaping is used to enhance the pedestrian experience, screen the service areas, and soften the building's base where it meets the site.
5. Signage: It is understood that signage is reviewed separately.
6. Lighting: All exterior lighting will be fully cut off and will adhere to Chesterfields UDC. Cut sheets of the lighting are included for review, they complement the buildings style.



Mr. Christopher Dietz  
City of Chesterfield  
ARCHITECT'S STATEMENT OF DESIGN  
Page 3  
March 9, 2022

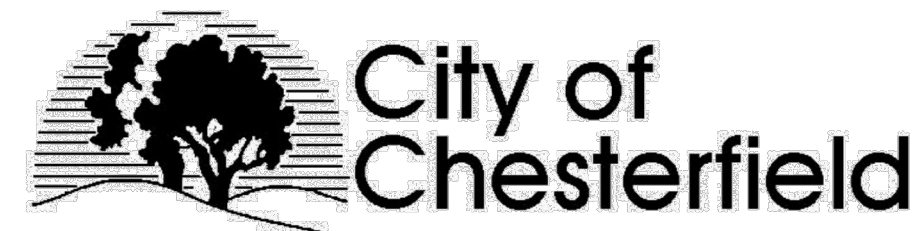
7. Existing Structures: The proposed renovation refreshes the existing building façade, reduces EIFS area and adds an additional texture to the building via the use of the faux wood siding material. New decorative wall sconce lighting and aluminum canopies have also been added to update the building's façade all while maintaining the solid brick base of the building.

I trust this information meets your needs. Please advise if you have any questions or comments.

Respectfully,

A handwritten signature in black ink, appearing to read "JP Kaiser-Kotke". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Jeffrey P. Kaiser  
Senior Project Manager



PLANNING AND DEVELOPMENT SERVICES DIVISION

SCRIPT FOR AN AMENDED SITE DEVELOPMENT PLAN

PROPERTY DESCRIPTION

A tract of land being part of Lot 8 of the Subdivision of John Long's Estate and being more particularly described as follows: BEGINNING at the Northernmost corner of Lot 2C of the "Subdivision of Lot 2 of Herman Stemme Office Park," a subdivision recorded in Plat Book 203, Page 96 of the St. Louis County Records; thence along the Northwestern line of said Lot 2C South 52 degrees 22 minutes 58 seconds West a distance of 146.36 feet; thence North 53 degrees 15 minutes 02 seconds West a distance of 245.53 feet to the southeastern line of Missouri State Highway No. 340 as widened per Deed Book 7777 Page 1130 of the St. Louis County Records; thence along the Southeastern line North 45 degrees 29 minutes 18 seconds East a distance of 236.46 feet to the Western corner of Lot 1 of Texaco Schoettler Subdivision, a subdivision recorded in Plat Book 309 Page 30 of the St. Louis County Records; thence along the Southwestern line of Lots 1 and 2 of said Texaco Schoettler Subdivision South 32 degrees 49 minutes 14 seconds East a distance of 265.76 feet to the POINT OF BEGINNING.

MAROON BELLS CAPITAL, LLC, the owner of the property shown on this plan for and in consideration of being granted approval of said plan to develop property under the provisions of Section 03-04.C, "PC" Planned Commercial District of City of Chesterfield Unified Development Code, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or voided or vacated by order of ordinance of the City of Chesterfield Council.

(Signature) \_\_\_\_\_ (Name typed) Tim Kaufmann

STATE OF MISSOURI ) ) SS. COUNTY OF )

On this \_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_, before me personally appeared \_\_\_\_\_, to me known, who, being by me sworn in, did say

that he/she is the \_\_\_\_\_ of Maroon Bells Capital, LLC, a limited liability company organized and existing under the laws of the state of Missouri, and that the foregoing instrument was signed on behalf of said limited liability company by authority of its members and that said

\_\_\_\_\_ acknowledged said instrument to be the free act and deed of said company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Notarial seal in the County and State aforesaid, the day and year last above written.

NOTARY PUBLIC

Please Print Name \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

ST. LOUIS COUNTY GENERAL NOTES

- All proposed improvements shall be constructed to St. Louis County Standards. No slopes within St. Louis County right-of-way shall exceed 3 (horizontal) to 1 (vertical). Storm water shall be discharged at an adequate natural discharge point. Sinkholes are not adequate discharge points. All proposed access to St. Louis County roads shall meet minimum St. Louis County sight distance requirements. All sidewalks and associated accessibility improvements shall be constructed to St. Louis County ADA Standards. A signed/sealed note shall be added to the Construction Plans indicating that the unimproved existing sidewalk along the project frontage meets current St. Louis County ADA standards. All grading and drainage shall be in conformance with St. Louis County and MSD Standards. All hydrants, power poles or other potential obstructions within the St. Louis County road right-of-way shall have a minimum two (2) foot setback from face of curb or edge of pavement, as directed by the St. Louis County Department of Highways and Traffic. Any entity that performs work on St. Louis County maintained property shall provide the County with a Certificate of Insurance evidencing general liability coverage (bodily injury and property damage) in the amounts specified as the limits of liability set by the State for public entities. Such certificate shall include "St. Louis County" as an additional insured and shall be provided prior to the issuance of any permit. Certificate shall provide for a 30 day policy cancellation notice to St. Louis County. Upon request, the County will provide the specific amounts for both per person and per occurrence limits.

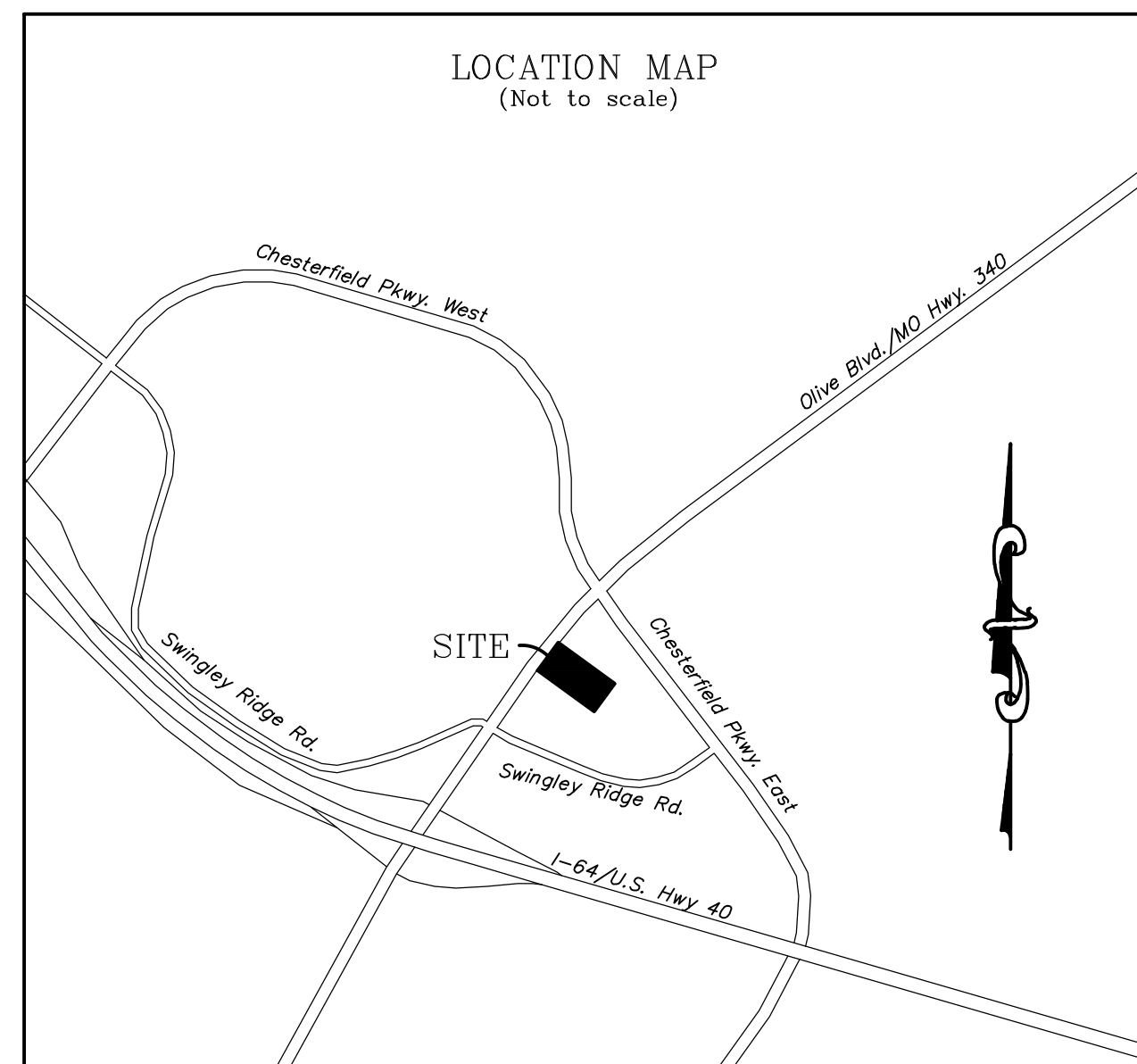
This Amended Site Development Plan was approved by the City of Chesterfield Planning Commission and duly verified on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by the Chairperson of said Commission, authorizing the recording of this Site Development Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning and the City Clerk.

Justin Wyse Director of Planning City of Chesterfield, Missouri

Vickie McGowan City Clerk City of Chesterfield, Missouri

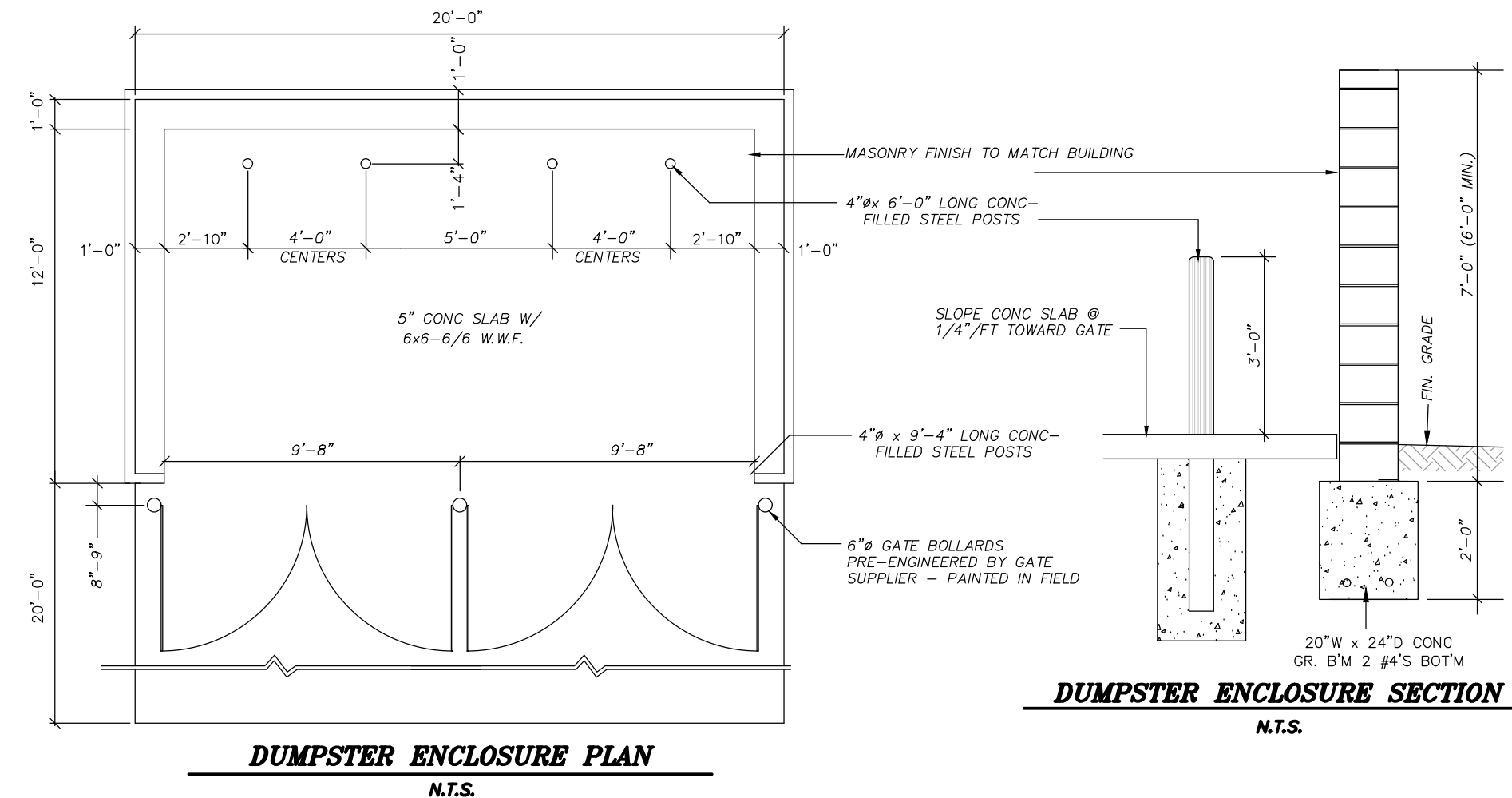
AMENDED SITE DEVELOPMENT PLAN STARBUCKS - 15548 OLIVE BLVD

A tract of land being part of Lot 8 of the Subdivision of John Long's Estate being situated in U.S. Surveys 415 & 2002, Section 10, Township 45 North - Range 4 East, City of Chesterfield, St. Louis County, Missouri.



SHEET INDEX

- 1. COVER SHEET AND NOTES 2. SITE DEVELOPMENT SECTION PLAN L-1 LANDSCAPING PLAN LIGHTING PLAN



IMPERVIOUS AREA table with columns for PAVEMENT, BUILDINGS, and TOTAL, and values for sq.ft. and percentages.

PERVIOUS AREA table with columns for LAWN & ISLANDS and TOTAL OPEN SPACE, and values for sq.ft. and percentages.

FLOOR AREA RATIO (FAR) table with columns for USE, SQ. FT., and FAR values for RESTAURANT, FAST FOOD, TOTAL PROPERTY AREA, FLOOR AREA RATIO (FAR), and MAXIMUM FAR ALLOWED.

GENERAL NOTES

- 1. CURRENT ZONING: "PC", PLANNED COMMERCIAL 2. PROPERTY INFO: PARCEL ID - 185520471 15548 OLIVE BLVD CHESTERFIELD, MO 63017 3. PROPERTY OWNER: MAROON BELLS CAPITAL LLC 35 N. BRENTWOOD BLVD, SUITE 201 SAINT LOUIS, MO 63105 4. AREA OF TRACT: 1.10 ACRES 5. PROPOSED USE: RESTAURANT, FAST FOOD STARBUCKS COFFEE SHOP. 6. THIS TRACT IS IN OR SERVED BY: A. FIRE DISTRICT MONARCH FIRE DISTRICT B. SEWER MSD C. WATER MISSOURI AMERICAN WATER D. TELEPHONE CENTURYTEL E. ELECTRIC AMEREN UE F. GAS LACLEDE GAS COMPANY 7. REGULATIONS AND PERFORMANCE STANDARDS: STRUCTURE SETBACKS: 25' MIN. (OLIVE BLVD) 25' MIN. (CHESTERFIELD PKWY) 15' MIN. (PERIMETER) PARKING, LOADING, & INTERNAL DRIVE SETBACKS: 15' MIN. (CHESTERFIELD PKWY) 15' MIN. (OLIVE BLVD) 10' MIN. (PERIMETER) OPEN SPACE: 35% MIN. FAR: 0.55 MAX. 8. ALL UTILITIES SHALL BE LOCATED UNDERGROUND. 9. BUILDING AND SITE SHALL BE IN COMPLIANCE WITH THE AMERICAN DISABILITIES ACT REGULATIONS. 10. NO SLOPE SHALL BE GREATER THAN 3:1. ALL DISTURBED AREAS SHALL BE RESTORED. 11. SIGNAGE SHALL BE IN ACCORDANCE WITH CITY OF CHESTERFIELD CODE AND APPROVED SEPARATELY. 12. LIGHTING SHALL BE IN ACCORDANCE WITH CITY OF CHESTERFIELD CODE. 13. ALL CURBING SHALL BE 6" CONCRETE.

PARKING CALCULATION

PROPOSED USE: COFFEE SHOP PARKING REQUIREMENT: FIVE (5) SPACES FOR EVERY ONE THOUSAND (1,000) SQUARE FEET PARKING REQUIRED: 1,999 SQ FT (GFA) \* 5/1000 = 10.0 SPACES PARKING PROVIDED: 27 SPACES INCLUDING 2 ADA SPACES



AMENDED SITE DEVELOPMENT PLAN STARBUCKS COVER SHEET

Prepared For: Maroon Bells Capital, LLC

REVISIONS table with columns for NO., DATE, and DESCRIPTION

ENGINEER'S AUTHENTICATION text block

KARL ANTHONY SCHOENKE, PE PROFESSIONAL ENGINEER PE-2003015039

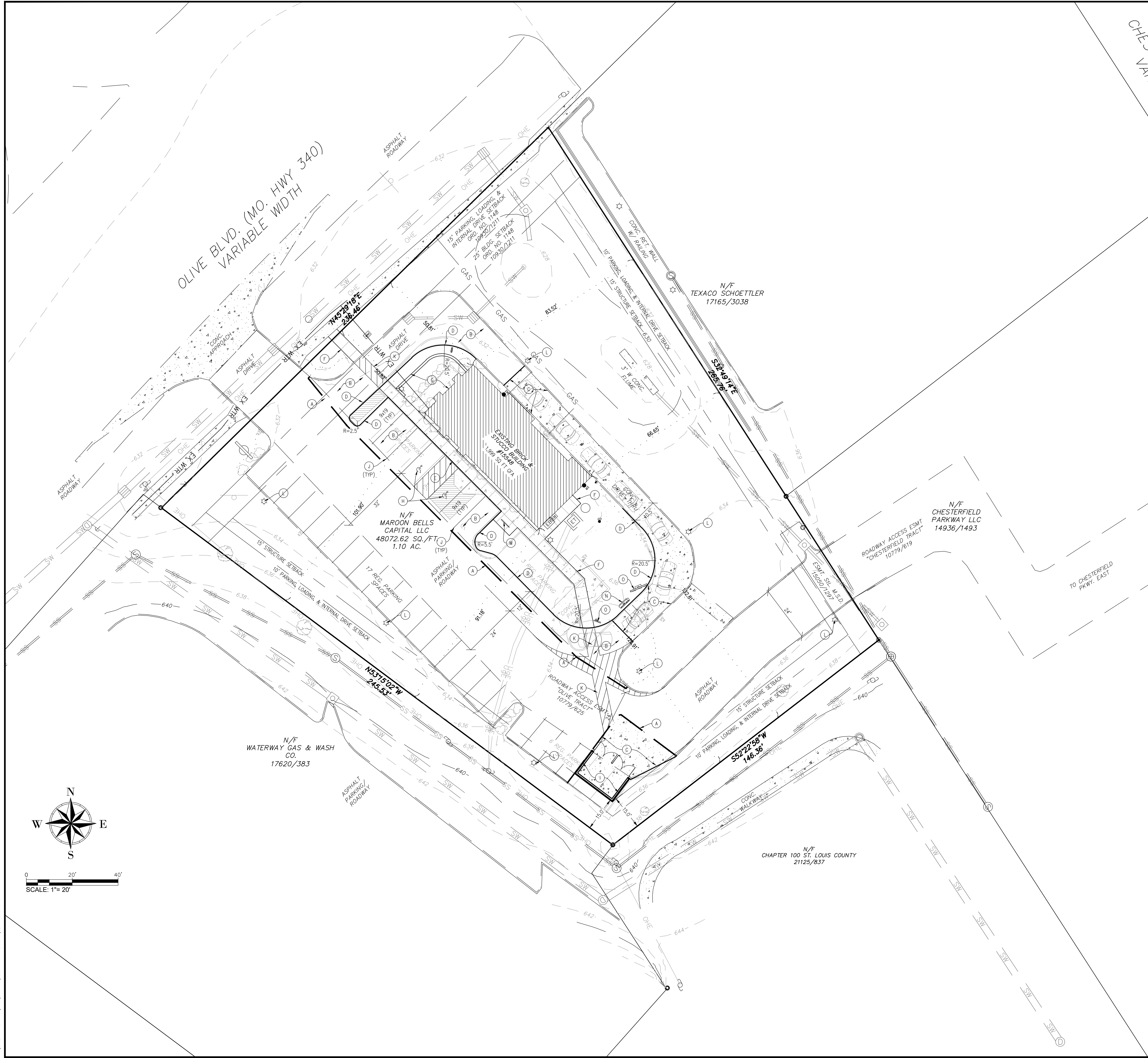
DRAWN DATE K.A.S. 03/15/22

CHECKED DATE D.S.T. 03/15/22

PROJECT # 320-160 TASK # X FIELD BOOK X

Amended Site Development Plan STARBUCKS COVER SHEET

SHEET 01 OF 02



OLIVE BLVD. (MO. HWY 340)  
VARIABLE WIDTH

CHESTERFIELD PKWY EAST  
VARIABLE WIDTH

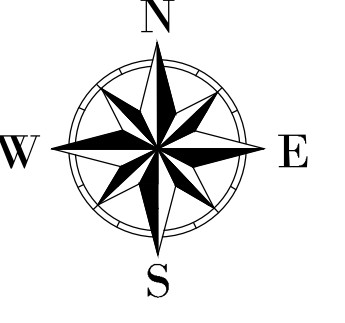
N/F  
TEXACO SCHOETTLER  
17165/3038

N/F  
CHESTERFIELD  
PARKWAY LLC  
14936/1493

N/F  
MAROON BELLS  
CAPITAL LLC  
48072.62 SQ./FT.  
1.10 AC.

N/F  
WATERWAY GAS & WASH  
CO.  
17620/383

N/F  
CHAPTER 100  
ST. LOUIS COUNTY  
21125/837



SCALE: 1"= 20'

**SITE PLAN NOTES**

- IT IS THE RESPONSIBILITY OF ALL CONTRACTORS CONTACT UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON OR RELATING TO THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE OR ARRANGE FOR THE RELOCATION OF ANY UTILITIES AFFECTED BY THE PROJECT CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHESTERFIELD STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHOWN HEREON ARE AT FACE OF CURB, UNLESS NOTED OTHERWISE.
- WORK NOT SPECIFICALLY DETAILED OR CALLED OUT HEREON REQUIRED TO COMPLETE THE SITE CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THE WORK WHICH IS CALLED OUT HEREON.
- REFER TO ARCHITECTURAL PLANS FOR EXTERIOR SITE LIGHTING, INTERIOR BUILDING UTILITIES AND BUILDING DETAILS.

**SITE PLAN KEYED NOTES**

- (A) PROPOSED SAWCUT
- (B) PROPOSED ASPHALT PAVEMENT.
- (C) PROPOSED CONCRETE PAVEMENT.
- (D) PROPOSED 6" VERTICAL CURB.
- (E) PROPOSED SIDEWALK TO BE FLUSH WITH PAVEMENT, NO CURB OR RAMPS
- (F) PROPOSED SIDEWALK.
- (G) PROPOSED CONCRETE PATIO
- (H) PROPOSED HANDICAP SYMBOL & SIGN.
- (I) PROPOSED DUMPSTER LOCATION
- (J) PROPOSED 4" WIDE PARKING STRIPE, WHITE
- (K) PROPOSED PAINTED CROSS WALK
- (L) EXISTING LIGHT STANDARDS
- (M) PROPOSED BIKE RACK
- (N) PROPOSED DIGITAL ORDER SCREEN WITH CANOPY
- (O) PROPOSED MENU BOARD

**UTILITIES NOTE**

UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UTILITIES LOCATED IN THE FIELD PRIOR TO EXCAVATION OR CONSTRUCTION.



**AMENDED SITE DEVELOPMENT PLAN  
STARBUCKS  
SITE PLAN**

Prepared For:  
Maroon Bells Capital, LLC

35 N. Brentwood Blvd, Suite 201  
St. Louis, Missouri 63105  
314-281-2540

**Pickett Ray & Silver**  
Part of Civil & Environmental Consultants, Inc. (CECI)  
St. Charles  
3000 Little Blue Expy  
Suite 102  
St. Charles, MO 63301  
Phone (314) 856-4966  
Fax (314) 856-4944  
www.prsinc.com

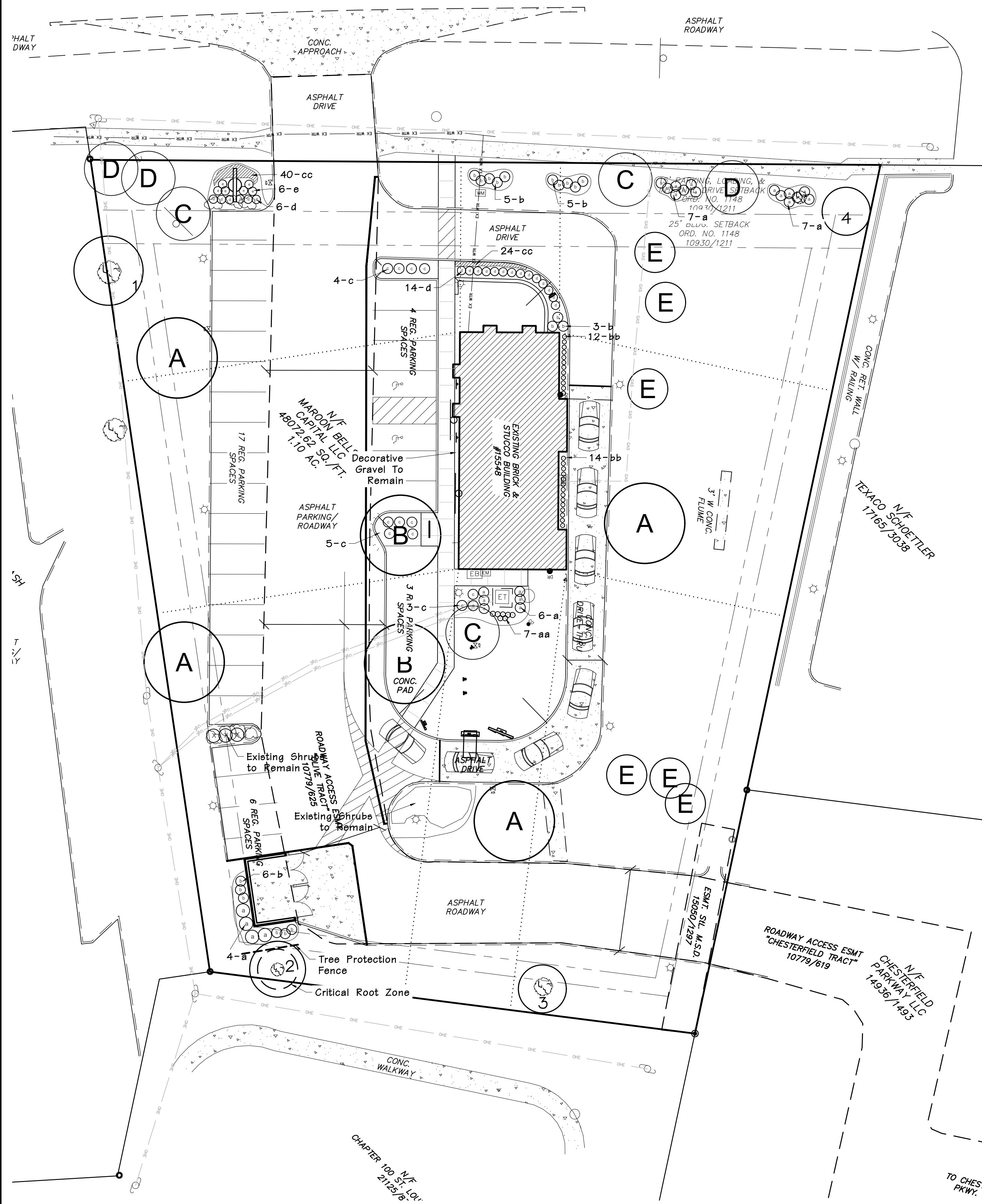
REVISIONS NO.	DATE	DESCRIPTION

**ENGINEER'S AUTHENTICATION**  
The responsibility for professional engineering liability on this project is hereby limited to the seal of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.

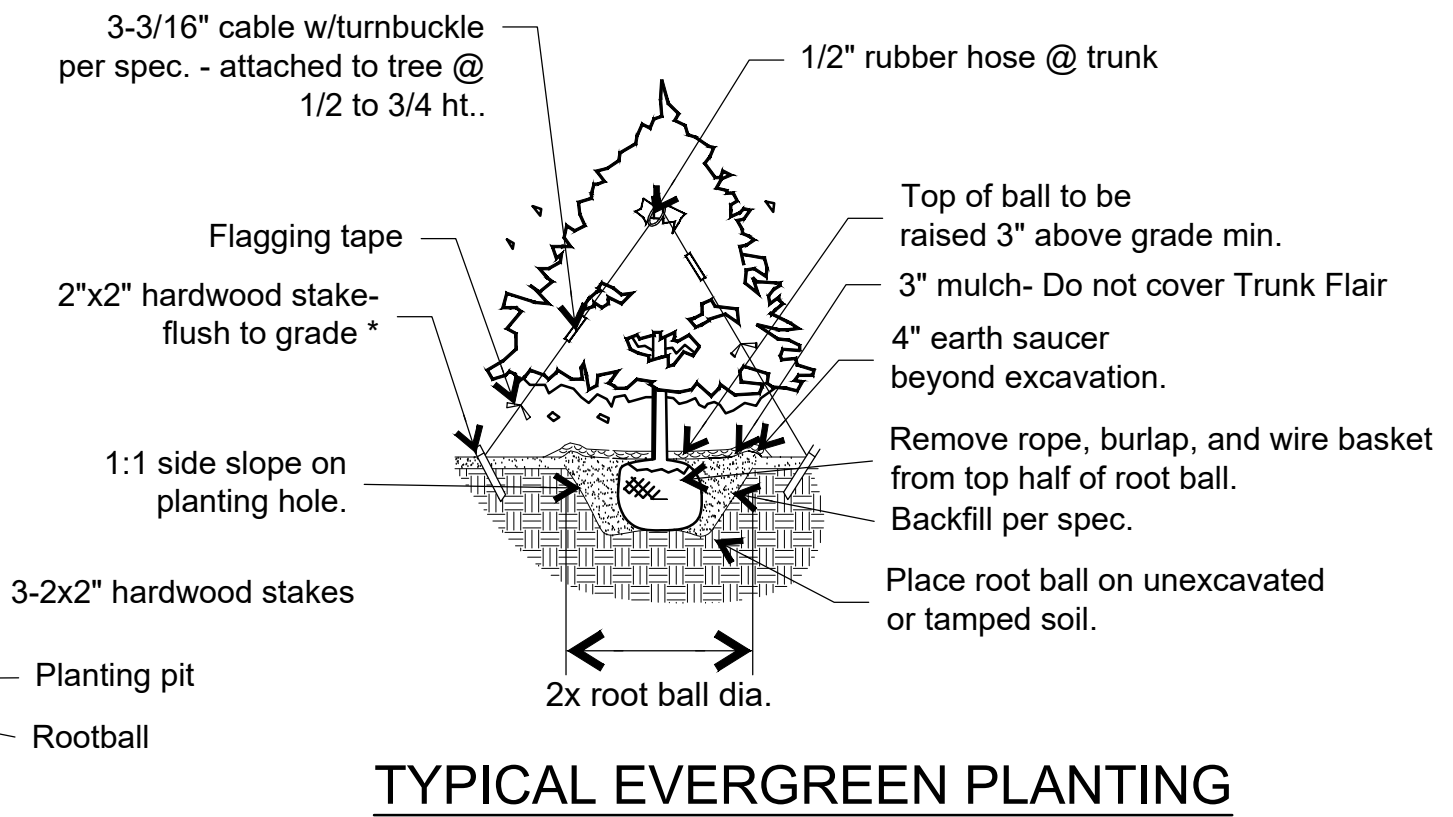
**PICKETT, RAY & SILVER, INC.**  
KARL ANTHONY SCHOENWIE, PE  
PROFESSIONAL ENGINEER  
PE-2003015039

DRAWN	K.A.S.	DATE	03/15/22
CHECKED	D.S.T.	DATE	03/15/22
PROJECT	# 320-160		
TASK #	X	FIELD BOOK	X

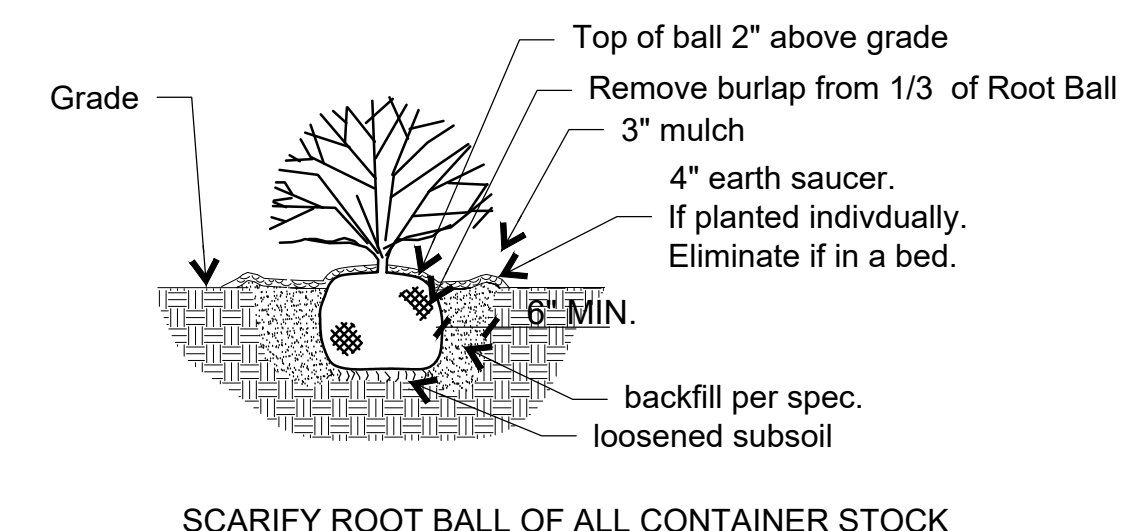
OLIVE BLVD. (MO. HWY 340)  
VARIABLE WIDTH



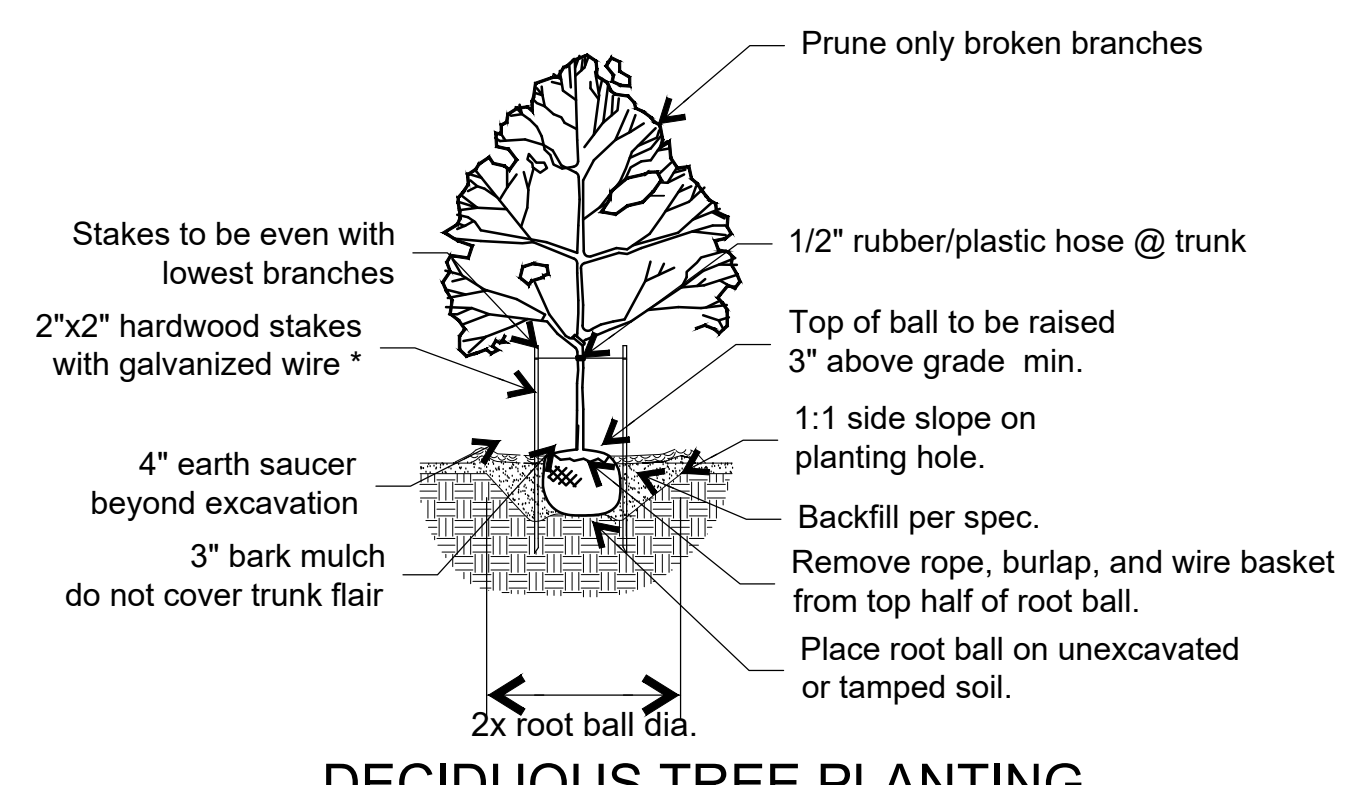
**Landscape Plan**  
SCALE 1"=20'



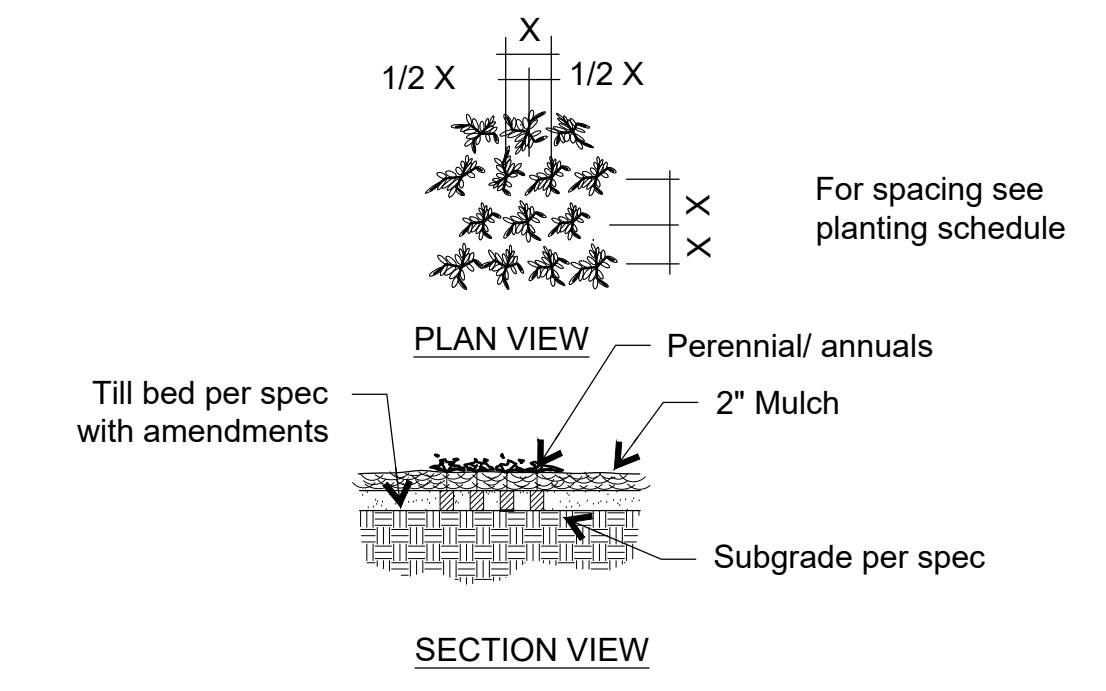
\* Staking should be done only when:  
Planting in soft, loose soils  
Root balls with sandy soil, or wet clay  
Trees located in an extremely windy location



**TYPICAL SHRUB PLANTING**



**TYPICAL DECIDUOUS TREE PLANTING**

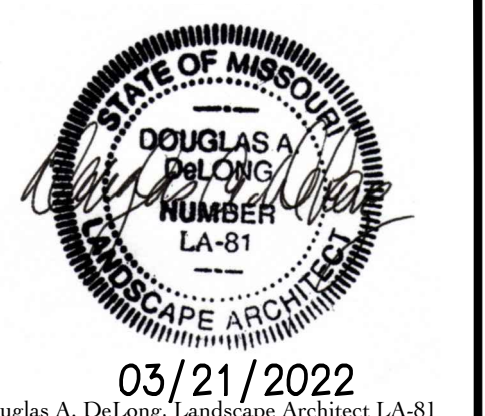


**TYPICAL PERENNIAL PLANTING**

- Existing Trees To Remain
- 33" dbh Black Walnut
  - 6" dbh State Street Maple
  - 20" dbh Red Maple
  - 11" dbh Flowering Crab

PLANTING SCHEDULE						
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	PERCENT
A	4	Acer rubrum 'Red Sunset'	Red Sunset Maple	2.5"	Fast Growing	12.5%
B	2	Tilia cordata 'Greenspire'	Greenspire Linden	2.5"	Slow Growing	12.5%
C	3	Cercis Canadensis 'Merlot'	Merlot Redbud	2.5"	Fast Growing	18.7%
D	3	Crataegus laevigata 'Superba'	Crimson Cloud Hawthorn	2.5"	Medium Growing	18.7%
E	6	Taxodium distichum	Baldcypress	8'	Medium Growing	37.5%
a	24	Pyracantha angustifolia 'Gnome'	Firethorn	24-30"	3' O.C.	
b	19	Physocarpus opulifolius 'Darts Gold'	Darts Gold Ninebark	18-24"	30" O.C.	
c	12	Juniperus Procumbens	Compact Juniper	18-24"	48" O.C.	
d	20	Buxus sinica var. insularis 'Wintergreen'	Wintergreen Boxwood	18-24"	30" O.C.	
e	6	Spiraea japonica 'galen'	Double Play Artist Spirea	18-24"	30" O.C.	
aa	7	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal	18" O.C.	
bb	26	Carex flacca 'Blue Zinger'	Blue Zinger Sedge	1 gal	18" O.C.	
cc	64	Coreopsis x 'Baluptonz' PP #28,882	UpTick Gold & Bronze Coreopsis	1 qt	12" O.C.	

- Landscape Requirements:**
- Street Trees: 1 Tree per 50 LF 236.46 lf/50=4.7 or 5 Trees
  - Parking Area: A tree within 50 feet of a parking space
  - All disturbed areas not planted will be seeded.
  - Existing trees to remain will be protected during construction if required.
  - Open space: 35% (16,771 sq ft)



03/21/2022  
Douglas A. DeLong, Landscape Architect LA-81

Consultants:

**Starbucks**  
**Chesterfield, MO**  
Maroon Bells Capital, LLC

Revisions:

Date	Description	No.
3/10/22	City Comments	1
3/21/22	City Comments	2

Drawn: bad  
Checked: dad

DeLong Landscape Architecture, LLC  
7620 West Bruno Ave  
St. Louis, MO. 63117  
(314) 346-4856  
delong.la@gmail.com

Sheet Title: Landscape PLan  
Sheet No: **L-1**  
Date: 1/31/2022  
Job #: 210.001



REVISIONS NO.	DATE	DESCRIPTION

**ENGINEER'S AUTHENTICATION**  
 The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.

**PICKETT, RAY & SILVER, INC.**

KARL ANTHONY SCHOENKNE, PE  
 PROFESSIONAL ENGINEER  
 PE-2003015039

DRAWN	DATE
K.A.S.	03/15/22
CHECKED	DATE
D.S.T.	03/15/22

PROJECT # 320-160

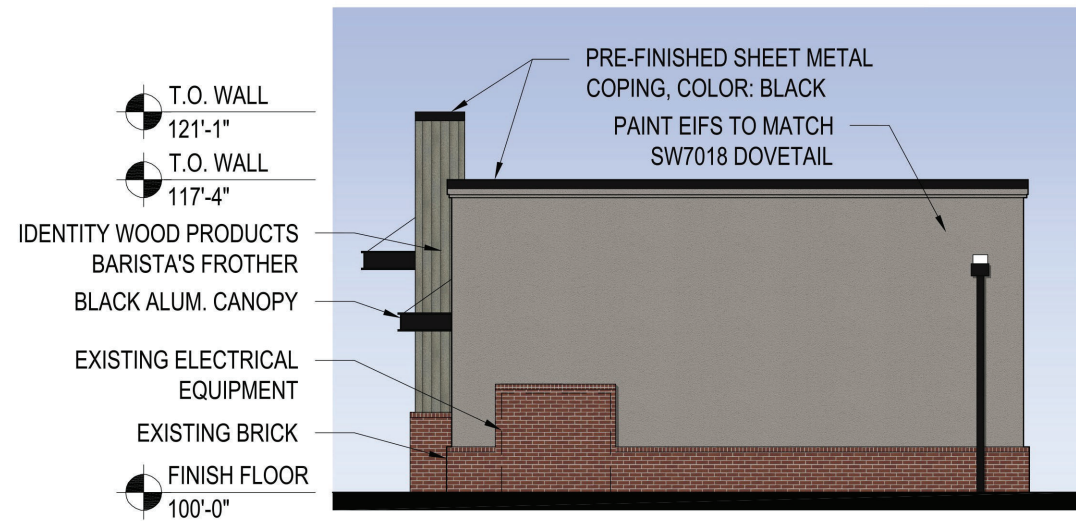
TASK #	X	FIELD BOOK	X
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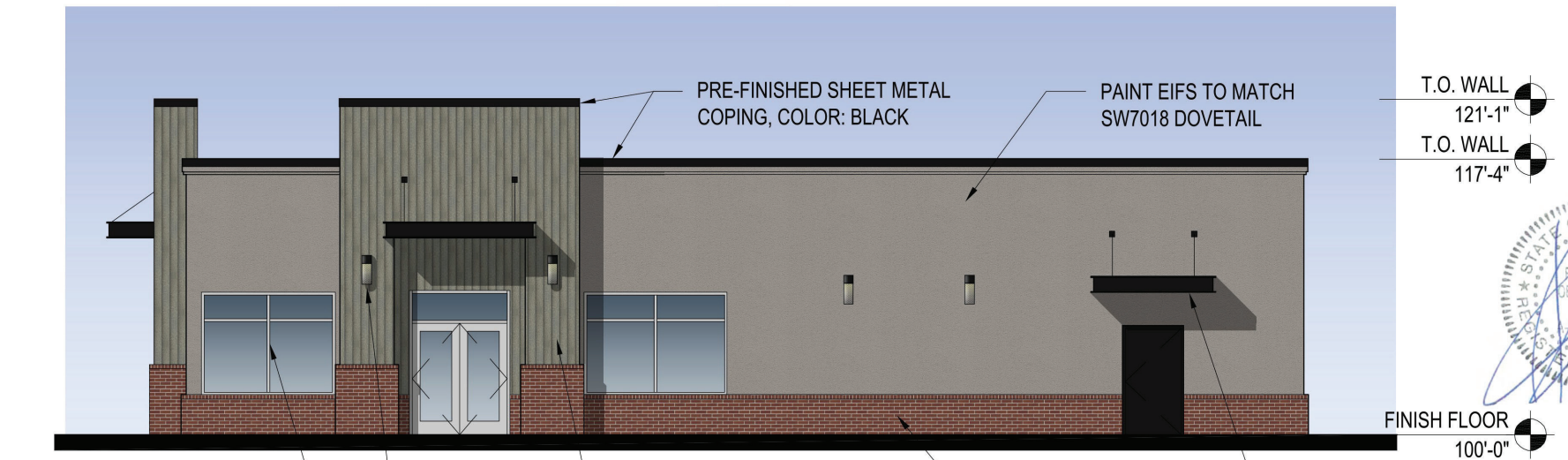
**NORTH ELEVATION**



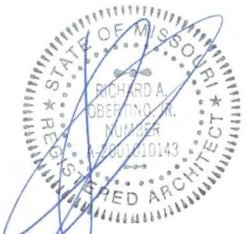
**EAST ELEVATION**



**SOUTH ELEVATION**



**WEST ELEVATION**



EXISTING NORTH ELEVATION



EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION



EXISTING WEST ELEVATION

15548 OLIVE BLVD.





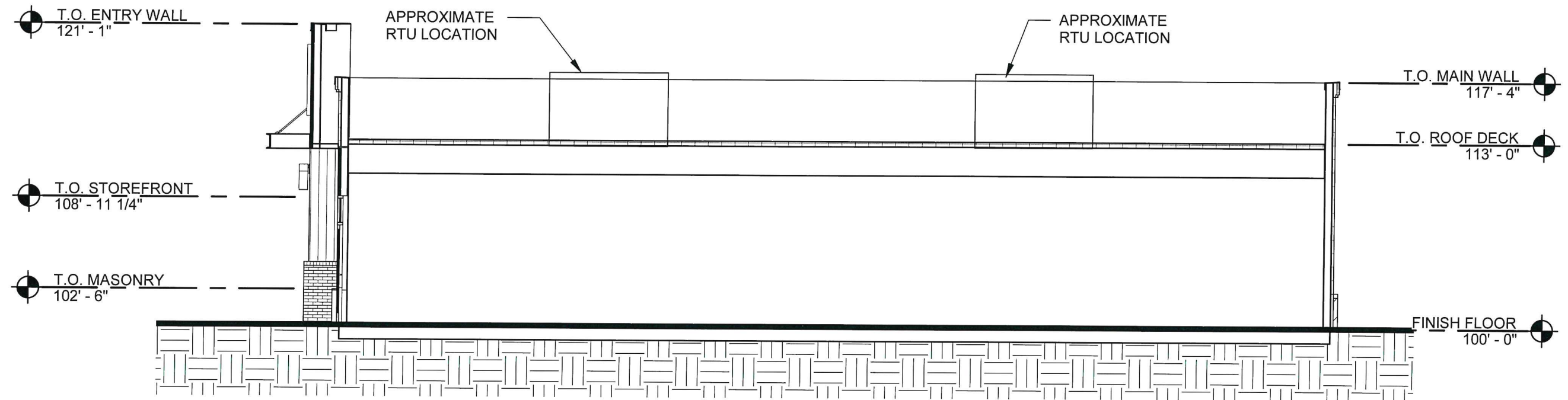
BUILDING PERSPECTIVE

STARBUCKS  
15548 OLIVE BLVD.

**TRI**  
**ARCHITECTS**  
1790 S. Brentwood Blvd.  
St. Louis, Missouri 63144  
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CHESTERFIELD,  
21-066

MISSOURI  
03-04-2022



**BUILDING SECTION**

1/8" = 1'-0"



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 St. Louis, Missouri 63144  
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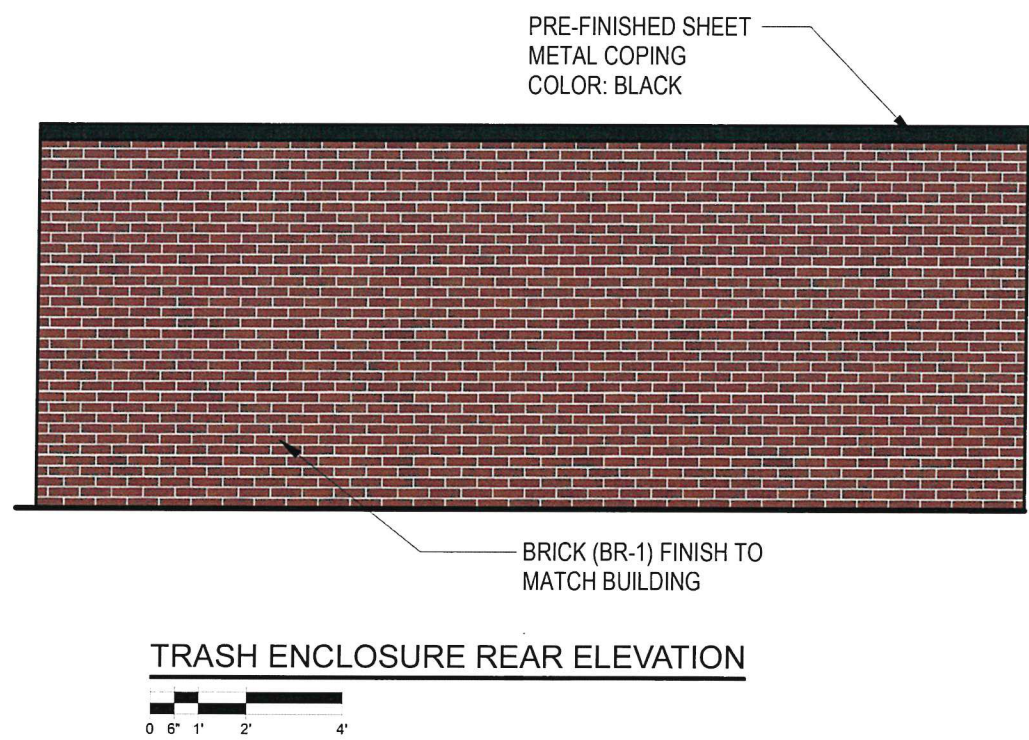
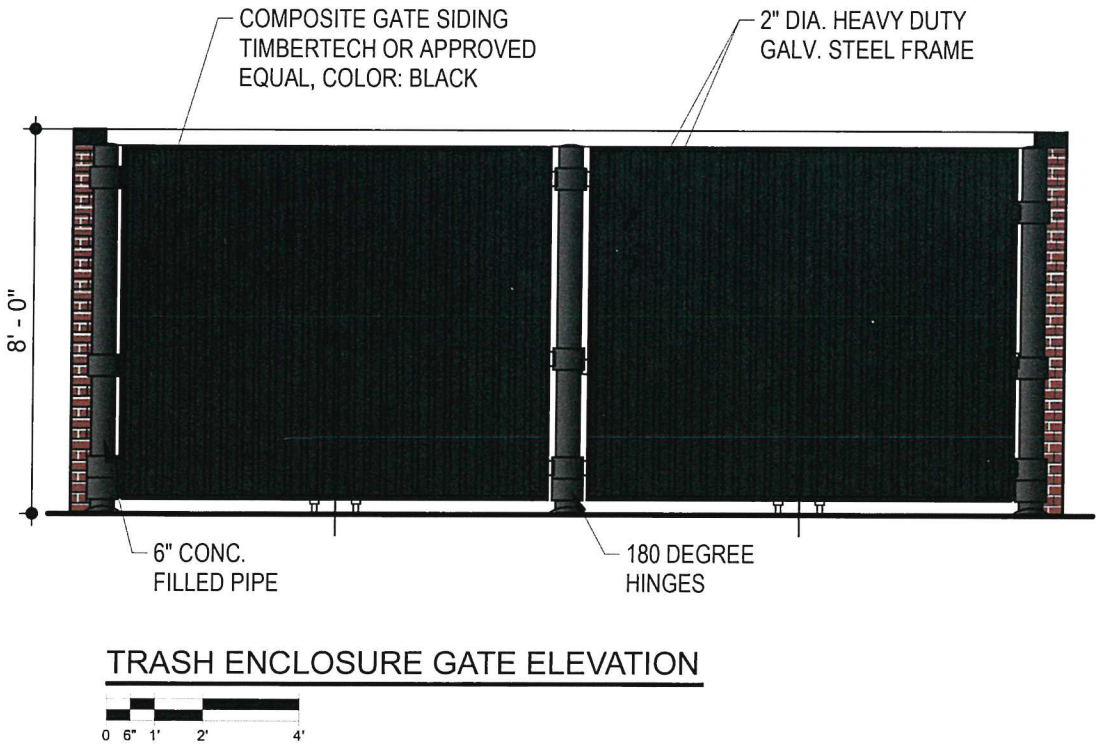
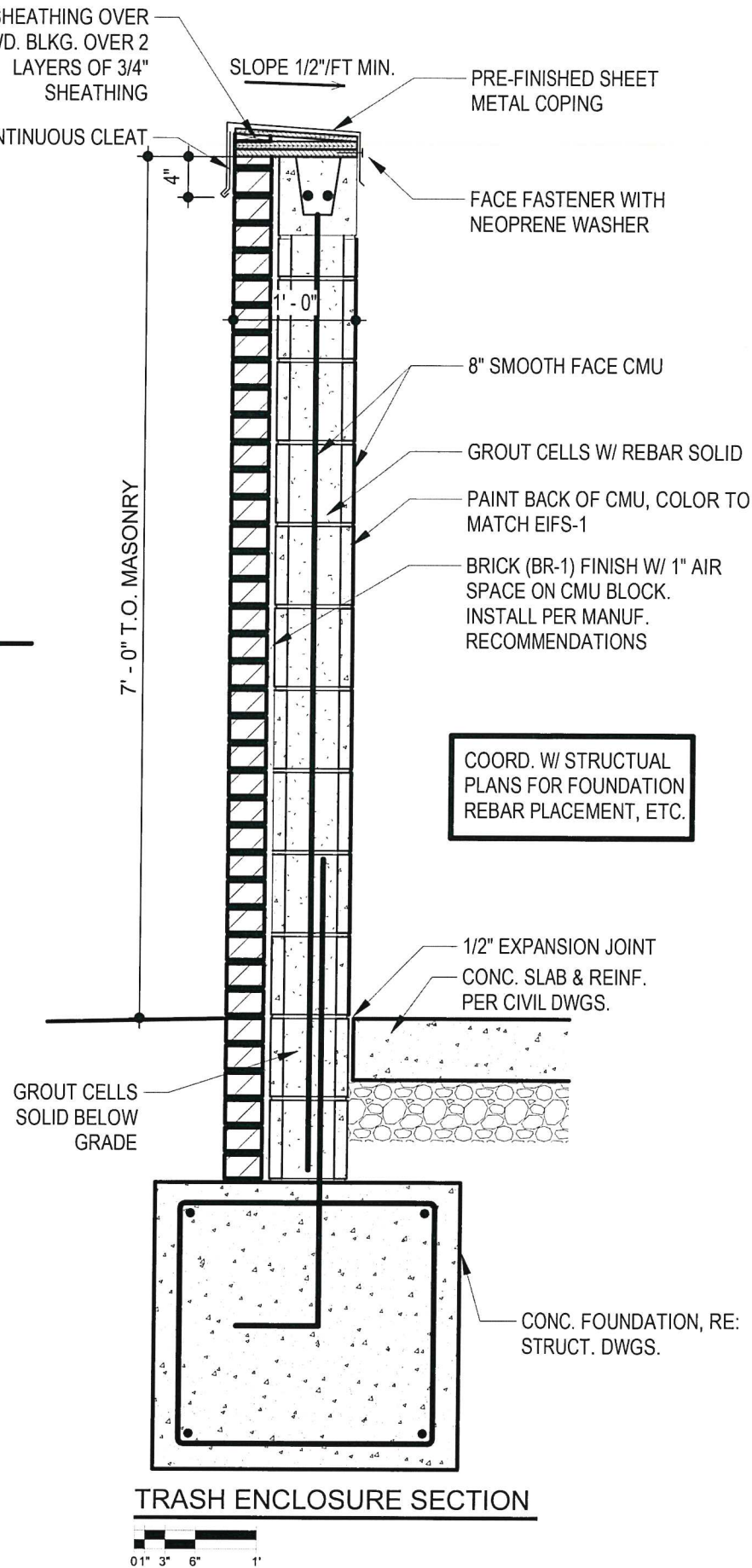
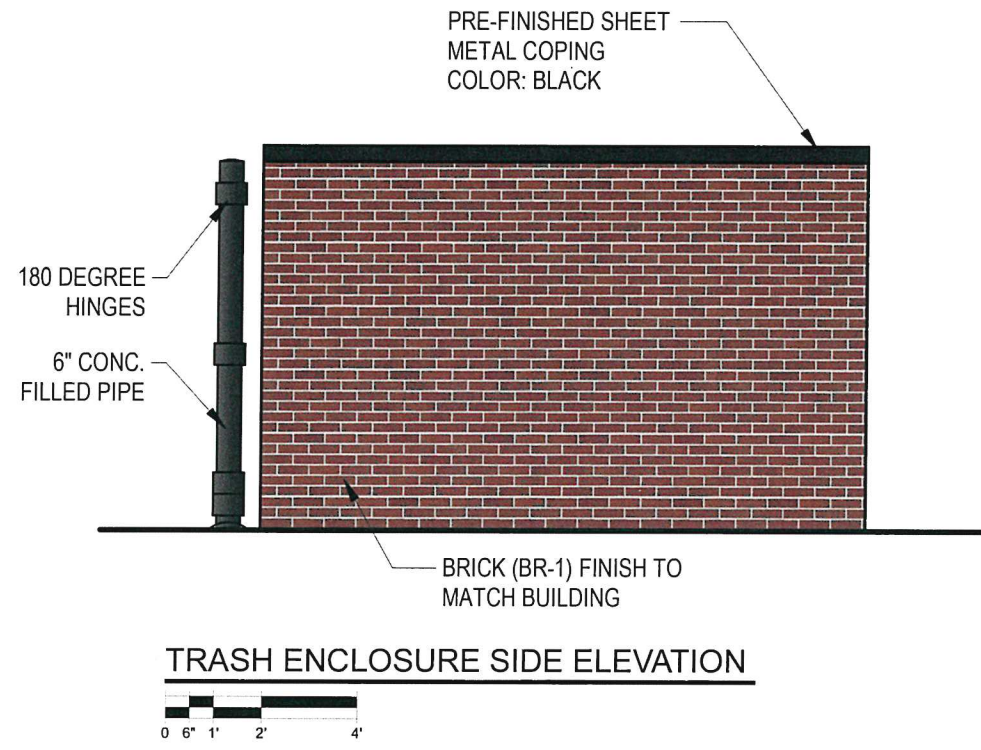
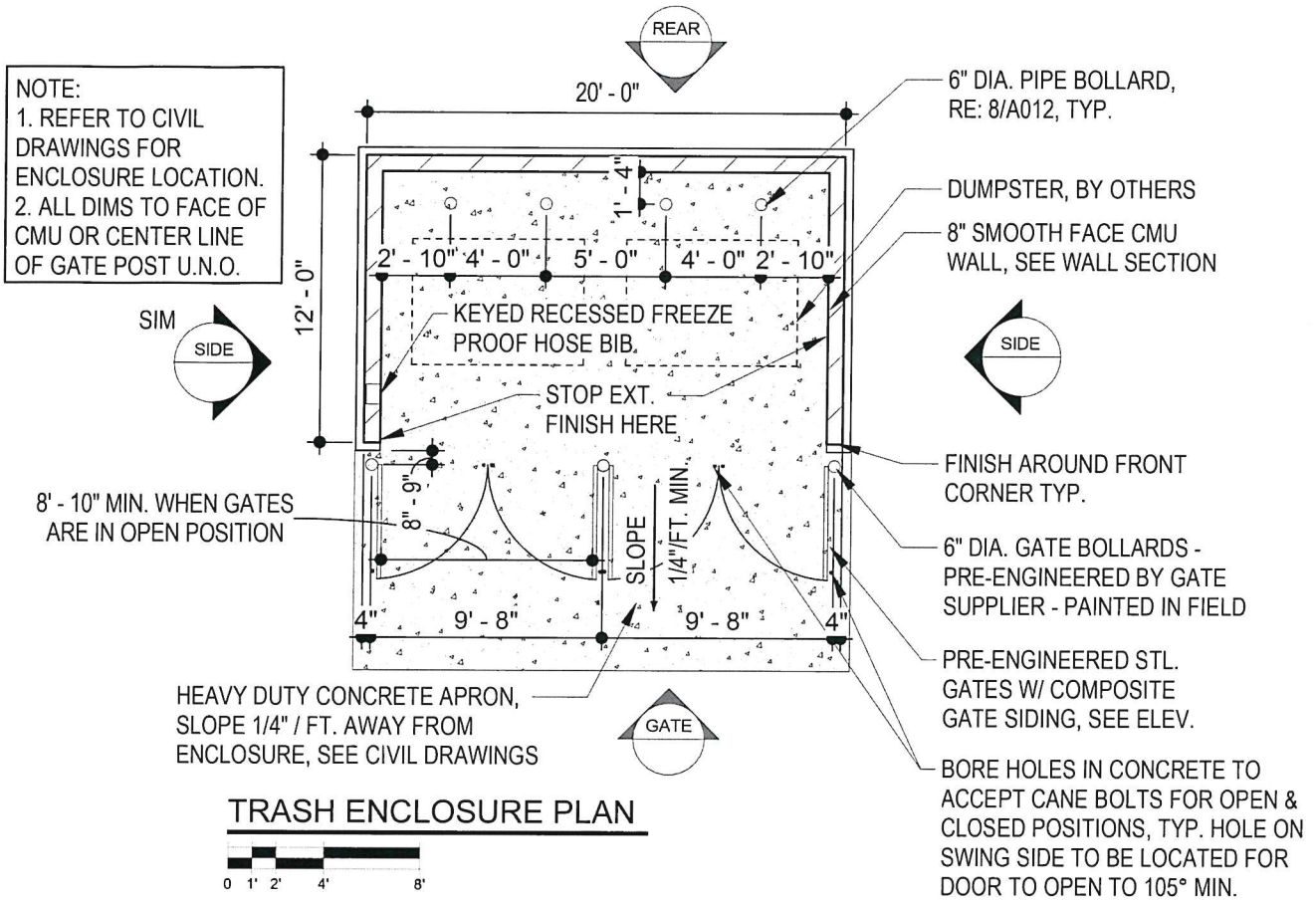
**STARBUCKS**

CHESTERFIELD,  
 21-066

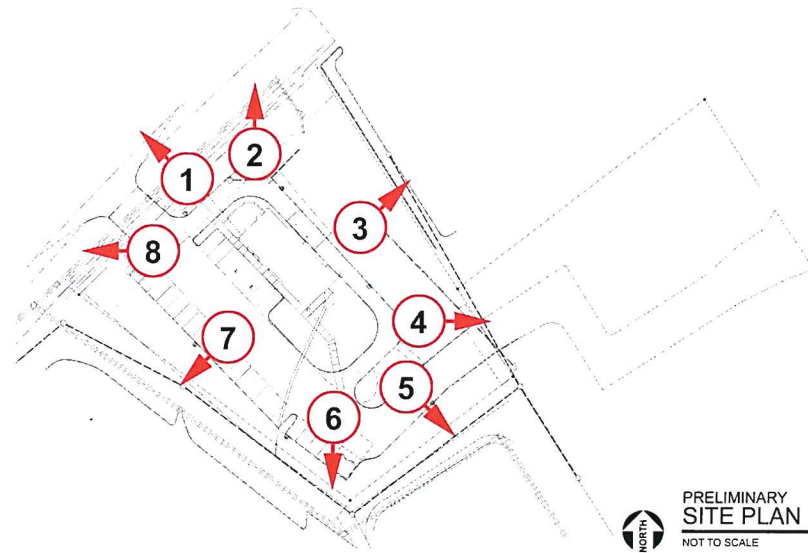
MISSOURI  
 03.08.2022



NOTE:  
 1. REFER TO CIVIL DRAWINGS FOR ENCLOSURE LOCATION.  
 2. ALL DIMS TO FACE OF CMU OR CENTER LINE OF GATE POST U.N.O.



15548 OLIVE BLVD.



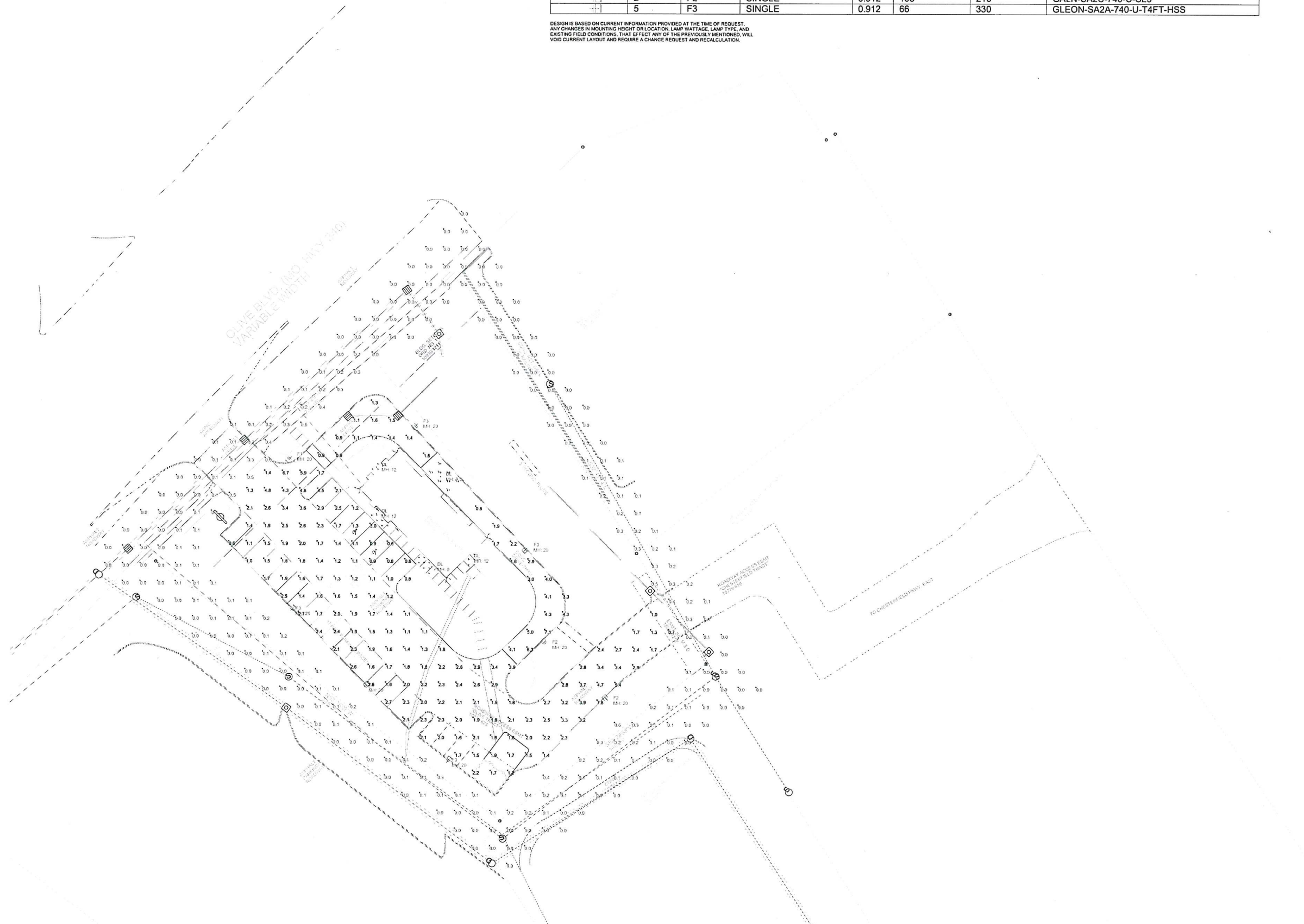
STARBUCKS  
15548 OLIVE BLVD.

POLE FIXTURE MOUNTING HEIGHT INCLUDES BASE  
LIGHT LEVELS CALCULATED ON THE GROUND

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BACK DOOR	Illuminance	Fc	5.03	5.9	4.1	1.23	1.44
DRIVE-THRU WINDOW	Illuminance	Fc	4.43	7.6	1.4	3.16	5.43
FRONT CANOPY	Illuminance	Fc	5.03	5.4	4.6	1.09	1.17
SIDE CANOPIES	Illuminance	Fc	3.99	7.9	0.8	4.99	9.88
SITE	Illuminance	Fc	2.21	7.8	0.6	3.68	13.00
SPILL LIGHT	Illuminance	Fc	0.08	0.6	0.0	N.A.	N.A.

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Lum. Watts	Total Watts	Description
⊙	5	DL	SINGLE	0.900	10	50	HC610D010-HM612840-61WDH
+	1	F1	Single	0.912	82	82	GALN-SA2B-740-U-SLL
+	2	F2	SINGLE	0.912	108	216	GALN-SA2C-740-U-SL3
+	5	F3	SINGLE	0.912	66	330	GLEON-SA2A-740-U-T4FT-HSS

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST.  
ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP VOLTAGE, LAMP TYPE, AND  
EXISTING FIELD CONDITIONS, THAT AFFECT ANY OF THE PREVIOUSLY MENTIONED, WILL  
VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.





Dolan Hospitality  
 26 South Hanford St.  
 Seattle, WA 98134, USA  
 Toll Free Ph: 888-506-7383  
 Toll Free Fax: 866-268-1967  
 info@dolanhospitality.com

**STARBUCKS - WALL SCONCE**

	<b>MFR#:</b>	<b>468807</b>
	<b>DESCRIPTION:</b>	EXTERIOR LARGE SCONCE
	<b>DIMENSIONS:</b>	7"W X 21.75"Height (177.8mm X 552.45mm Height)
	<b>CERTIFICATION:</b>	
	<b>WET RATED:</b>	YES
	<b>TITLE 24:</b>	BASED ON CONTROL SYSTEM VERIFY WITH ARCHITECT OF RECORD
	<b>DARK SKY:</b>	YES
	<b>FIXTURE COLOR:</b>	BUCKEYE BRONZE
	<b>SHADE MATERIAL:</b>	STAINLESS STEEL MESH
	<b>CORD:</b>	N/A
	<b>FASTENERS USED:</b>	WALL MOUNTED
	<b>WARRANTY:</b>	2 YEARS
	<b>COUNTRY OF ORIGIN:</b>	CHINA
	<b>BOX SIZE:</b>	24"L X 9.65"W X 9.65"H (609.6 MM L X 245.11 MM W X 245.11 MM H)
	<b>QTY PER CARTON:</b>	1 UNIT
	<b>QTY PER MASTER PACK:</b>	1 UNIT
	<b>ITEM WEIGHT(GROSS):</b>	5LBS
	<b>ITEM WEIGHT(NET):</b>	5LBS
	<b>COMMENTS:</b>	
	SHIPPED WITH BULB BELOW	
	<b>BULB:</b>	LED
	<b>SOCKET TYPE:</b>	GU-24
	<b>WATTAGE:</b>	5W
	<b>MAX WATTAGE STICKER</b>	5W MAX
	<b>VOLTAGE:</b>	120
	<b>HERTZ:</b>	60
	<b>KELVIN TEMP:</b>	2700K
	<b>BULBS INCLUDED:</b>	YES

# HALO

## DESCRIPTION

The Halo Surface Mount LED Downlight (SMD) is a low profile surface mounting luminaire with a modern look and high performance. SMD6 (6") is designed for installation in many 3-1/2" and 4" square, octagon, or round junction boxes. Supply wire adapter with LED quick wiring connector included. The SMD6 may also retrofit in 5" and 6" aperture IC and Non-IC recessed housings.

Catalog #		Type
Project	Starbucks	DL
Comments		Date
Prepared by		

## SPECIFICATION FEATURES

### HOUSING

- Non-electrically conductive polycarbonate frame.
- High impact diffuse polystyrene lens provides shielding to the light guide with no pixilation
- Stamped aluminum housing provides thermal cooling achieving L70 at 50,000 hours in IC and non-IC applications

### GASKETS

- Closed cell gasket achieves restrictive airflow and wet location requirements without additional caulking

### OPTICS

- Precision acrylic light guide organizes source flux into wide distribution with 1.2 – 1.4 spacing criteria useful for general area illumination

### LED

- Mid power LED array provide a uniform source with high efficiency and long life.
- Available in 90 CRI minimum, R9 greater than 50 and color accuracy within 3 SDCM provide color accuracy and uniformity

### DRIVER

#### SMD 120V

- Integral 120V 50/60Hz constant current driver provides noise free operation.
- Continuous, flicker-free dimming from 100% to 5% with select leading or trailing edge 120V phase cut dimmers.
- Dimming to 5% is best assured using dimmers with low end trim adjustment. Consult dimmer manufacturer for compatibility and conditions of use. (Note some dimmers require a neutral in the wallbox.)
- Inline electrical quick connect and E26 adapter (provided) provides mains connections.

#### SMD 120-277V

- Integrated 120-277V 60Hz constant current driver provides noise free operation.
- SMD Universal Voltage (120-277V) configurations are recommended for use with compatible 0-10V DC low voltage dimmers only.

### MOUNTING/RETENTION

- Adjustable spider plate allows for quick installation into both junction boxes and recessed housings.
- Torsion springs and friction blades included

### ELECTRICAL JUNCTION BOX MOUNTING

- The SMD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation.

- Suitable for installation in many 3-1/2" and 4" square, octagon, and round electrical junction boxes.

**Note:** SMD120-277V UNV is only compatible with junction boxes that provide minimum depth of 2-1/8"

- Installer must ensure compatibility of fit, wiring and proper mounting in the electrical junction box. This includes all applicable national and local electrical and building coded

### RECESSED HOUSING MOUNTING

- May be installed in IC recessed housings in direct contact with insulation

**Note:** Not for use in recessed housing in direct contact with spray foam insulation. Refer to NEMA LSD 57-2013.

#### Torsion Spring 5" & 6"

- Precision formed torsion spring bracket kit included
- The torsion springs adjust on the mounting plate to fit 5" or 6" compatible housings

#### Friction Blade 5" & 6"

- Precision formed friction blades included
- For retrofit in 5" and 6" housings without torsion springs mounting tabs.
- Friction blade design allows the SMD to be installed in any position within the housing aperture (360 degrees)

### DESIGNER SKINS (SOLD SEPARATELY)

- SMD skins are accessory rings in both round and square. These skins attach to the SMD for a permanent finish. Refer to the SMD accessories specification sheet for details.

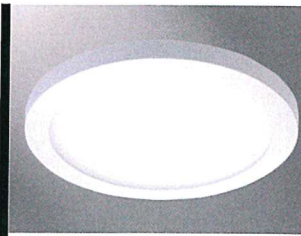
- Matte White (Paintable)
- Satin Nickel
- Tuscan Bronze

### WARRANTY

- Five year limited warranty, consult website for details. [www.cooperlighting.com](http://www.cooperlighting.com)

### COMPLIANCE

- cULus Certified for use with Halo housings and for use with other's housings, see instruction sheet for conditions of acceptability.
- Wet and Damp Location listed, airtight per ASTM-E283
- Suitable for use in closets, compliant with NFPA® 70, NEC® Section 410.16 (A)(3) and 410.16 (C)(5)
- EMI/RFI emissions per FCC 47CFR Part 15B
- Contains no mercury or lead and RoHS compliant.
- Photometric testing in accordance with IES LM-79-08
- Lumen maintenance projections in accordance with IES LM-80-08 and TM-21-11.
- Can be used for State of California Title 24 high efficacy luminaire compliance, reference the California Energy Commission Title 20 Appliance Efficiency Database for current listings.
- Can be used for International Energy Conservation Code (IECC) and high efficiency luminaire compliance
- ENERGY STAR® listed, reference database for current listings



## SMD6 Series

6 inch Round and Square

### SMD6R SMD6S

### 6" Surface Mount Downlight

Suitable for ceiling or wall  
electrical junction boxes

Suitable for 5" and 6"  
recessed housing retrofit

Non-conductive  
Dead Front



Refer to ENERGY STAR® Certified Products List.  
Can be used to comply with California Title 24 High Efficacy requirements.  
Certified to California Appliance Efficiency Database under JAB.

## ENERGY DATA

### SMD6R6 SMD6S6

	Round	Square
Lumens (5000K models)	788	815
Input Power	9.6 W	9.9 W
Input Current	0.0811 A	0.085 A
Efficiency	82 lm/W	82 lm/W
THD	13.9	14.7
Input Voltage	120V	
Frequency	50/60 Hz	
CRI	90 CRI	
Power Factor	0.99	
T Ambient	-30 - +40°C	
Sound Rating	Class A	

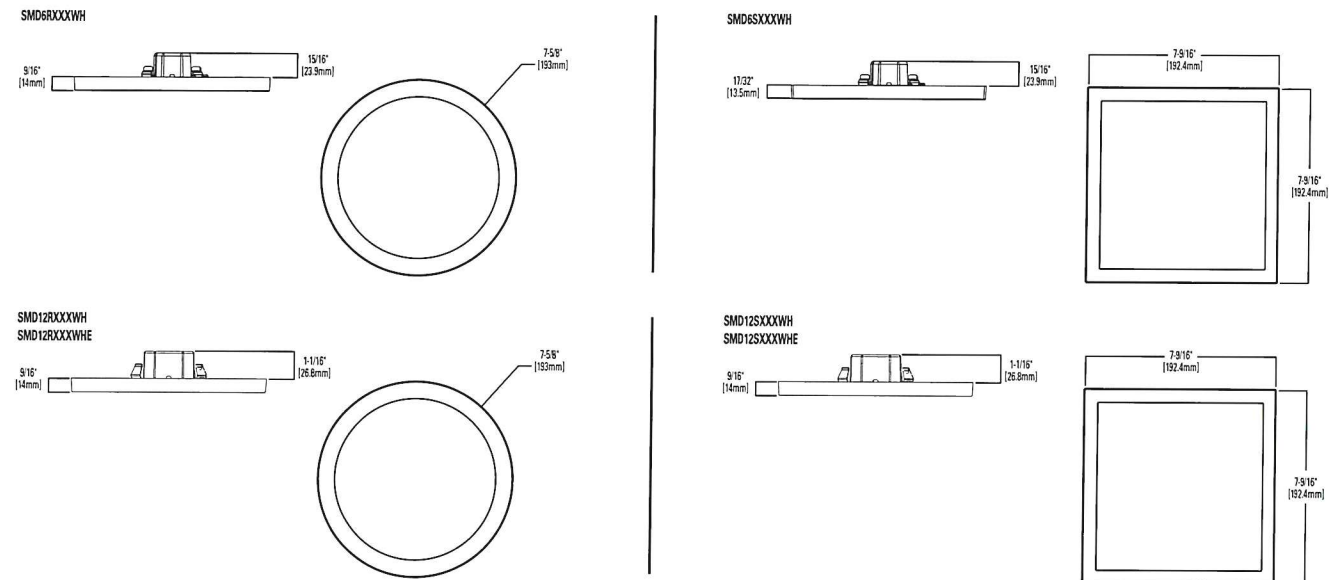
### SMD6R12 SMD6S12

	Round	Square
Lumens (5000K models)	1252	1235
Input Power	15.3	15.7
Input Current	0.133 A	0.132 A
Efficiency	82 lm/W	79 lm/W
THD	15.3	15.7
Input Voltage	120V	
Frequency	50/60 Hz	
CRI	92 CRI	
Power Factor	0.98	
T Ambient	-30 - +40°C	
Sound Rating	Class A	

### SMD6R12-E SMD6S12-E

	Round	Square
Lumens (5000K models)	1200	1180
Input Power	15.3	16
Input Current	0.133 A - (120V) 0.061 A - (277V)	0.132 A - (120V) 0.061 A - (277V)
Efficiency	78	73
THD	15.3	15.7
Input Voltage	120 - 277V	
Frequency	60 Hz	
CRI	92 CRI	
Power Factor	0.99	
T Ambient	-30 - +40°C	
Sound Rating	Class A	

## DIMENSIONS



## ORDERING INFORMATION

**SAMPLE NUMBER:** SMD6R6930WH=6" Round Surface Mount Downlight, 90CRI, 3000K  
**Junction Box Installation:** Order junction box separately, as supplied by others, to complete installation.  
**Recessed Installation:** Order Halo recessed housing separately to complete installation.

Models	Lumens	CRI / CCT	Finish	Voltage
SMD6R= 6" Round Surface Mount Downlight SMD6S= 6" Square Surface Mount Downlight	6=600 lumen series (120V only) 12=1200 lumen series	927=90CRI, 2700K 930=90CRI, 3000K 935=90CRI, 3500K 940=90CRI, 4000K 950=90CRI, 5000K	WH= Matte White	Blank= 120V standard E= UNV Universal 120-277V*

### Accessories

#### Designer Trims

SMD6RTRMSN=6" Round SMD Satin Nickel  
 SMD6RTRMTBZ=6" Round SMD Tuscan Bronze  
 SMD6RTRMWH=6" Round SMD White (paintable)

SMD6STRMSN=6" Square SMD Satin Nickel  
 SMD6STRMTBZ=6" Square SMD Tuscan Bronze  
 SMD6STRMWH=6" Square SMD White (paintable)

T24HWKIT= Title 24 Cable harness kit used to convert incandescent and low voltage housings to LED  
 HE26LED= E26 Screw base adapter for retrofit (included)



\* UNV voltage configuration is offered only in the 1200 lumen series

Project	Starbucks	Catalog #		Type	F1, F2, & F3
Prepared by		Notes		Date	



## McGraw-Edison

### GLEON Galleon

Area / Site Luminaire

#### Product Features



#### Product Certifications



#### Connected Systems

- WaveLinX
- Enlighted

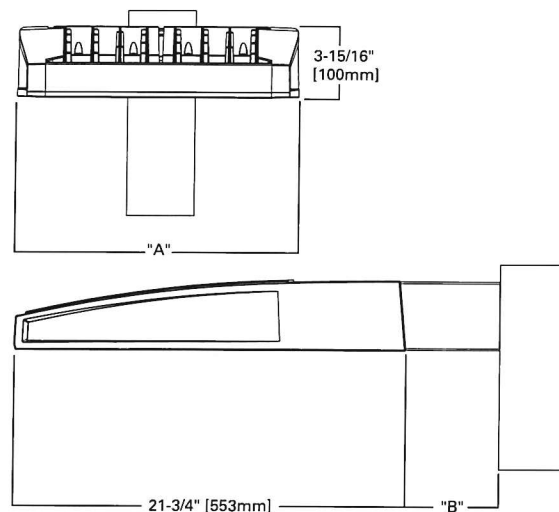
#### Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Distributions [page 4](#)
- Product Specifications [page 4](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 9](#)

#### Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficacy up to 156 lumens per watt
- Options to meet Buy American and other domestic preference requirements

#### Dimensional Details



Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Extended Arm Length <sup>1</sup>	"B" Quick Mount Arm Length	"B" Quick Mount Extended Arm Length
1-4	15-1/2"	7"	10"	10-5/8"	16-9/16"
5-6	21-5/8"	7"	10"	10-5/8"	16-9/16"
7-8	27-5/8"	7"	13"	10-5/8"	-
9-10	33-3/4"	7"	16"	-	-

**NOTES:**  
For arm selection requirements and additional line art, see Mounting Details section.

NOTES:  
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.  
2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: GLEON-SA4C-740-U-T4FT-GM


Product Family 1,2	Light Engine		Color Temperature	Voltage	Distribution	Mounting	Finish
	Configuration	Drive Current					
GLEON=Galleon BAA-GLEON=Galleon, Buy American Act Compliant 25 TAA-GLEON=Galleon, Trade Agreements Act Compliant 25	SA1=1 Square SA2=2 Squares SA3=3 Squares SA4=4 Squares SA5=5 Squares 4 SA6=6 Squares SA7=7 Squares 5 SA8=8 Squares 5 SA9=9 Squares 6 SA0=10 Squares 6	A=600mA B=800mA C=1000mA D=1200mA 14	722=70CRI, 2200K 727=70CRI, 2700K 730=70CRI, 3000K 735=70CRI, 3500K 740=70CRI, 4000K 750=70CRI, 5000K 760=70CRI, 6000K 827=80CRI, 2700K 830=80CRI, 3000K AMB=Amber, 590nm 14,16	U=120-277V 1=120V 2=208V 3=240V 4=277V 8=480V 7,8 9=347V 7	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5NQ=Type V Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	[Blank]=Arm for Round or Square Pole EA=Extended Arm 9 MA=Mast Arm Adapter 19 WM=Wall Mount QM=Quick Mount Arm (Standard Length) 11 QML=Quick Mount Arm (Standard Length, Large) 17 QMEA=Quick Mount Arm (Extended Length) 12	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White RALXX=Custom Color

Options (Add as Suffix)	Controls and Systems Options (Add as Suffix)	Accessories (Order Separately) 24
<p><b>DIM</b>=External 0-10V Dimming Leads 18,20  <b>F</b>=Single Fuse (120, 277 or 347V Specify Voltage)  <b>FF</b>=Double Fuse (208, 240 or 480V Specify Voltage)  <b>Z0K</b>=Series 20kV UL 1449 Surge Protective Device  <b>ZL</b>=Two Circuits 17,18  <b>HA</b>=50°C High Ambient  <b>HSS</b>=Installed House Side Shield 28  <b>GRSBK</b>=Glare Reducing Shield, Black 23  <b>GRSWH</b>=Glare Reducing Shield, White 23  <b>LCF</b>=Light Square Trim Painted to Match Housing 27  <b>MT</b>=Installed Mesh Top  <b>TH</b>=Tool-less Door Hardware  <b>CC</b>=Coastal Construction finish 3  <b>L90</b>=Optics Rotated 90° Left  <b>R90</b>=Optics Rotated 90° Right  <b>CE</b>=CE Marking 29  <b>AHD145</b>=After Hours Dim, 5 Hours 22  <b>AHD245</b>=After Hours Dim, 6 Hours 22  <b>AHD255</b>=After Hours Dim, 7 Hours 22  <b>AHD355</b>=After Hours Dim, 8 Hours 22  <b>DALI</b>=DALI Drivers</p>	<p><b>BPC</b>=Button Type Photocontrol  <b>PR</b>=NEMA 3-PIN Photocontrol Receptacle  <b>PR7</b>=NEMA 7-PIN Photocontrol Receptacle 21  <b>SPB2</b>=Dimming Occupancy Sensor with Bluetooth Interface, 8' - 20' Mounting 34  <b>SPB4</b>=Dimming Occupancy Sensor with Bluetooth Interface, 21' - 40' Mounting 34  <b>MS-L20</b>=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height 24  <b>MS-L40W</b>=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height 24  <b>MS/X-L20</b>=Bi-Level Motion Sensor, 9' - 20' Mounting Height 24,25  <b>MS/X-L40W</b>=Bi-Level Motion Sensor, 21' - 40' Mounting Height 24,25  <b>MS/DIM-L20</b>=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height 24  <b>MS/DIM-L40W</b>=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height 24  <b>ZW</b>=WaveLinX Module and 4-PIN Receptacle  <b>ZD</b>=WaveLinX Module with DALI driver and 4-PIN Receptacle  <b>SWPD4XX</b>=WaveLinX Sensor Only, 7'-15' 13, 32, 33  <b>SWPD5XX</b>=WaveLinX Sensor Only, 15'-40' 13, 32, 33  <b>WOBXX</b>=WaveLinX Sensor with Bluetooth, 7'-15' 13, 32  <b>WOFXX</b>=WaveLinX Sensor with Bluetooth, 15'-40' 13, 32  <b>LWR-LW</b>=Enlighted Sensor, 8'-16' Mounting Height 28  <b>LWR-LN</b>=Enlighted Sensor, 16'-40' Mounting Height 28  <b>DIM10-MS/DIM-L08</b>=Synapse Occupancy Sensor (&lt;8' Mounting) 19  <b>DIM10-MS/DIM-L20</b>=Synapse Occupancy Sensor (9'-20' Mounting) 19  <b>DIM10-MS/DIM-L40</b>=Synapse Occupancy Sensor (21'-40' Mounting) 19</p>	<p><b>OA/RA1016</b>=NEMA Photocontrol Multi-Tap - 105-285V  <b>OA/RA1027</b>=NEMA Photocontrol - 480V  <b>OA/RA1201</b>=NEMA Photocontrol - 347V  <b>OA/RA1013</b>=Photocontrol Shorting Cap  <b>OA/RA1014</b>=120V Photocontrol  <b>MA12S2</b>=10kV Surge Module Replacement  <b>MA1036-XX</b>=Single Tenon Adapter for 2-3/8" O.D. Tenon  <b>MA1037-XX</b>=2@180° Tenon Adapter for 2-3/8" O.D. Tenon  <b>MA1197-XX</b>=3@120° Tenon Adapter for 2-3/8" O.D. Tenon  <b>MA1188-XX</b>=4@90° Tenon Adapter for 2-3/8" O.D. Tenon  <b>MA1189-XX</b>=2@90° Tenon Adapter for 2-3/8" O.D. Tenon  <b>MA1190-XX</b>=3@90° Tenon Adapter for 2-3/8" O.D. Tenon  <b>MA1191-XX</b>=2@120° Tenon Adapter for 2-3/8" O.D. Tenon  <b>MA1038-XX</b>=Single Tenon Adapter for 3-1/2" O.D. Tenon  <b>MA1039-XX</b>=2@180° Tenon Adapter for 3-1/2" O.D. Tenon  <b>MA1192-XX</b>=3@120° Tenon Adapter for 3-1/2" O.D. Tenon  <b>MA1193-XX</b>=4@90° Tenon Adapter for 3-1/2" O.D. Tenon  <b>MA1194-XX</b>=2@90° Tenon Adapter for 3-1/2" O.D. Tenon  <b>MA1195-XX</b>=3@90° Tenon Adapter for 3-1/2" O.D. Tenon  <b>FSIR-100</b>=Wireless Configuration Tool for Occupancy Sensor 24  <b>GLEON-MT1</b>=Field Installed Mesh Top for 1-4 Light Squares  <b>GLEON-MT2</b>=Field Installed Mesh Top for 5-6 Light Squares  <b>GLEON-MT3</b>=Field Installed Mesh Top for 7-8 Light Squares  <b>GLEON-MT4</b>=Field Installed Mesh Top for 9-10 Light Squares  <b>GLEON-QM</b>=Quick Mount Arm Kit 11  <b>GLEON-QMEA</b>=Quick Mount Extended Arm Kit 12  <b>LS/HSS</b>=Field Installed House Side Shield 28, 29  <b>LS/GRSBK</b>=Glare Reducing Shield, Black 23, 28  <b>LS/GRSWH</b>=Glare Reducing Shield, White 23, 28  <b>LS/PFS</b>=Perimeter Shield, Black 18  <b>WOLC-7P-10A</b>=WaveLinX Outdoor Control Module 19, 31  <b>SWPD4-XX</b>=WaveLinX Wireless Sensor, 7'-15' Mounting Height 13, 19, 32, 33  <b>SWPD5-XX</b>=WaveLinX Wireless Sensor, 15'-40' Mounting Height 13, 19, 32, 33</p>

**NOTES:**

- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WPS13001EN for additional support information.
- DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. Not available with TH option.
- Not compatible with MS/LX or MS/LXX sensors.
- Not compatible with extended quick mount arm (QMEA).
- Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA).
- Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A.
- 480V must utilize Wye system only. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems.)
- May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
- Factory installed.
- Maximum 8 light squares.
- Maximum 6 light squares.
- Requires ZW or ZD receptacle.
- Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose drive current A; supplied at 500mA drive current only. Available with 5WQ, 5MQ, SL2, SL3 and SL4 distributions. Can be used with HSS option.
- Set of 4 pcs. One set required per Light Square.
- Not available with HA option.
- ZL is not available with MS, MS/X or MS/DIM at 347V or 480V. ZL in SA2 through SA4 requires a larger housing, normally used for SA5 or SA6. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
- Not available with Enlighted wireless sensors.
- Cannot be used with other control options.
- Low voltage control lead brought out 18" outside fixture.
- Not available if any "MS" sensor is selected. Motion sensor has an integral photocell.
- Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
- Not for use with T4FT, T4W or SL4 optics. See IES files for details.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information.
- Replace X with number of Light Squares operating in low output mode.
- Enlighted wireless sensors are factory installed only requiring network components LWP-EM-1, LWP-GW-1 and LWP-PoE8 in appropriate quantities.
- Not available with house side shield (HSS).
- Not for use with 5NQ, 5MQ, 5WQ or RW optics. A black trim plate is used when HSS is selected.
- CE is not available with the LWR, MS, MS/X, MS/DIM, BPC, PR or PR7 options. Available in 120-277V only.
- One required for each Light Square.
- Requires PR7.
- Replace XX with sensor color (WH, BZ or BK.)
- WAC Gateway required to enable field-configurability. Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed.
- Smart device with mobile application required to change system defaults. See controls section for details.
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.
- Available for 7-10 squares.

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology 	D=Standard Dome Camera H=Hi-Res Dome Camera Z=Remote PTZ Camera	C=Cellular, No SIM A=Cellular, AT&T V=Cellular, Verizon S=Cellular, Sprint  R=Cellular, Rogers W=Wi-Fi Networking w/ Omni-Directional Antenna E=Ethernet Networking