

## Architectural Review Board Staff Report

**Meeting Date:** April 14<sup>th</sup>, 2022

**From:** Chris Dietz, Planner 

**Location:** 16806 Chesterfield Airport Rd.

**Description:** **The Smoke House (ASDP):** An Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for a 2.46 acre tract of land zoned "PC" – Planned Commercial located on the south side of Chesterfield Airport Road., west of Baxter Road.

### **PROPOSAL SUMMARY**

TR,I Architects, on behalf of Thomas Sehnert Trust, has submitted an Amended Site Development Plan, Architectural Elevations, Lighting Plan, Landscape Plan, and Architect's Statement of Design for a 3,250 square foot addition for a barn, kitchen, storage, and additional seating area to an existing restaurant. The barn will feature a two-story design. The development will be utilizing current site conditions including access points and topography. The proposed changes, aside from the 3,250 square foot building addition, include additional parking spots, relocation of existing butterfly garden, and constructing a patio to allow for outdoor seating that will incorporate a retaining wall.

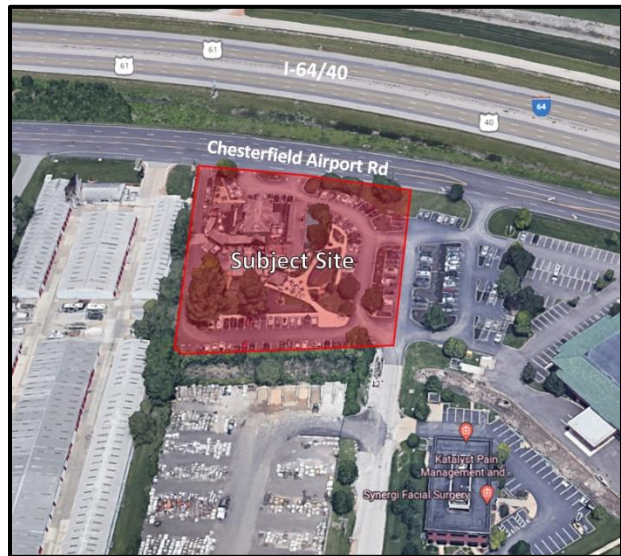


Figure 1: Subject Site

## **HISTORY OF SUBJECT SITE**

The site was zoned "NU" Non-Urban under St. Louis County zoning prior to City of Chesterfield incorporation. In 1993, the site was rezoned to "C8" Planned Commercial with the intention of permitting the operation of a market, outdoor dining, residence and accessory uses upon the subject property. This led to the construction of Smokehouse/Annie Gunn's market and restaurant. In 2004, the site-specific ordinance was amended to allow for revisions to the Floor Area Ratio. Following the 2004 revisions, amended Architectural Elevations were approved in 2008 to permit the use of tents for outdoor dining.

## **STAFF ANALYSIS**

The Unified Development Code's Architectural Review Design Standards are broken down into two (2) areas of review: Site Design & Building Design.

The general requirements for Site Design include Site Relationships, Topography & Parking, Circulation & Access, and Retaining Walls while the general requirements for Building Design include Scale, Design, Materials & Colors, Landscape Design & Screening, Signage, and Lighting.

The UDC has specific provisions regarding the redevelopment of existing buildings. All additions and exterior renovations to existing structures shall advance such structures toward further compliance with the provisions of UDC's Architectural Review Design Standards. Exterior additions must also be incorporated into one (1) cohesive design with the existing structure.

### **A. Site Relationships**

The proposed development consists of a building and patio addition to an existing market and restaurant. The site is surrounded by a mixture of commercial development to the east and industrial development to the west and south. Chesterfield Airport Road and Highway 64/40 are located to the north. The proposed building addition will reach 38' – 8" at roof ridge compared to the existing roof ridge standing at 30' – 5". There will be 136 parking spots provided on site. Additional parking is permitted on the adjacent lot via a Parking Lot Agreement during specific hours to help meet the minimum parking requirement of 156 spots.

### **B. Circulation System & Access**

As shown in Figure 2, the site is served by multiple existing vehicular access points. The primary access points are located along Chesterfield Airport Road with the secondary access being an existing easement leading to Baxter Road. The development currently has a series of internal sidewalks to provide connectivity between the market, restaurant and parking areas. Sidewalk will be constructed along Chesterfield Airport Road to provide additional connectivity to developments to the east and west.



Figure 2: Color Site Plan

**C. Topography & Parking**

Minor changes in the topography will be made to the southeast portion of the site to accommodate the outdoor seating patio area and the addition of parking spots.

**D. Retaining Walls**

A retaining wall is proposed along the southeast portion of the building addition to aid the change in topography necessary for the outdoor seating area. It will not exceed five (5) feet in height and will be comprised of natural stone.

**E. Scale**

The building addition features a two-story design for the barn portion. This will be 8' – 3" taller at the roof ridge than the existing building that fronts Chesterfield Airport Road. The remaining portions of the addition for the kitchen and seating area will be smaller in size, standing at 18' 3" in height at the roof ridge, as shown in Figure 3. The two-story design is larger in scale than the surrounding industrial developments, however, is similar in scale to the surrounding commercial developments.

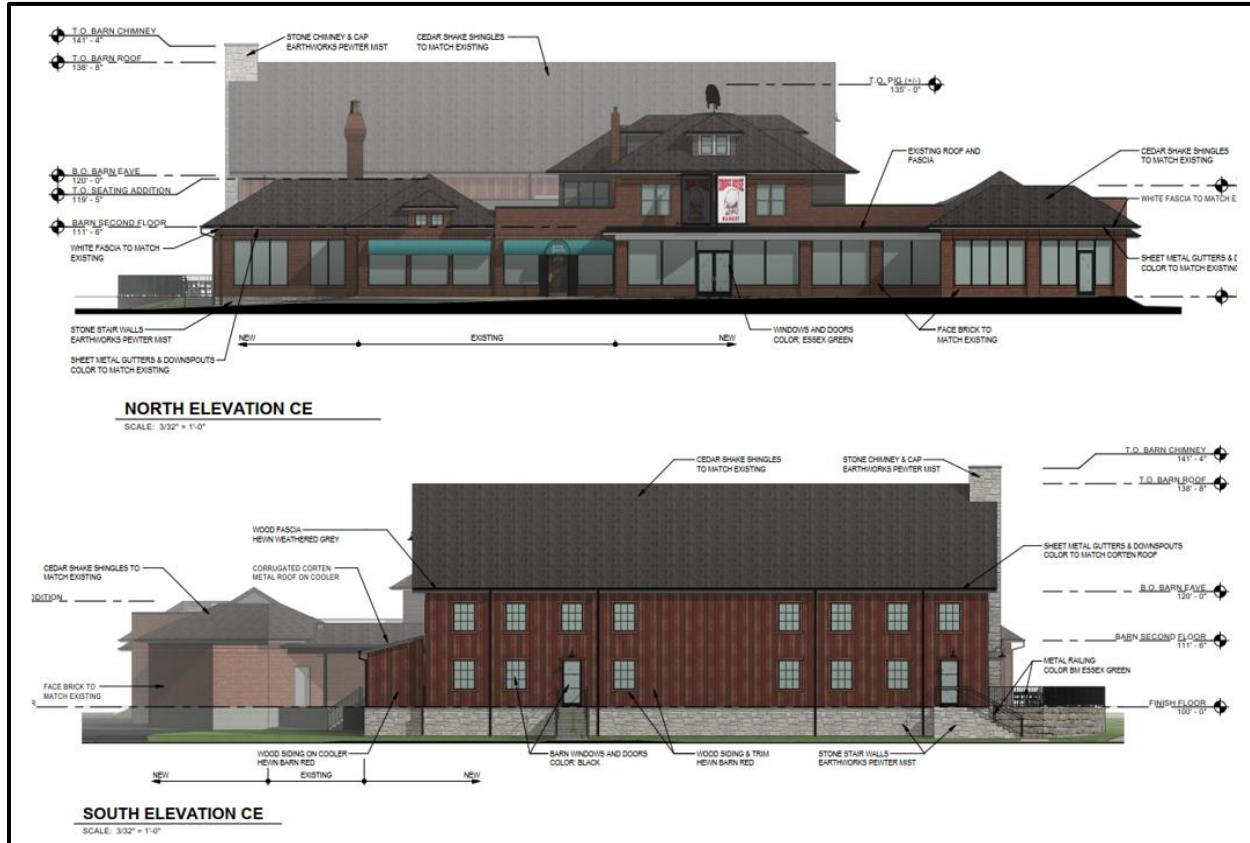


Figure 3: North and South Building Elevations to show scale

## F. Design, Materials, & Colors

The design of the proposed addition slightly deviates from the existing building which consists primarily of brick masonry. The rear barn addition will be comprised mainly of red toned wood siding around the body of the building with grey toned wood siding accenting the roof body. A proposed 41' – 4" natural stone chimney is to match the stairs that will be constructed to access the outdoor seating area. Cedar shake shingles to match existing will roof the entirety of the addition. A new trash enclosure will be constructed of brick to match the existing building.

## G. Landscape Design & Screening

Landscaping will be added along the frontage to create a barrier between the newly constructed sidewalk and parking lot. Additional landscaping and trees will be provided on the southwest side of the building to screen the driveway leading into the loading zone. The existing butterfly garden that will be displaced by the addition will be relocated to the northeast corner of the building.

## H. Lighting

Existing lighting is to be utilized. There are no new light poles being proposed. The new exterior building lights along the eastern and southern façades will be of similar style to existing, as shown on the lighting map in the provided packet from the applicant.

## I. Existing Structures

The proposed addition will incorporate red toned wood siding to complement the existing brick masonry and cedar shake roofing to match existing, creating one (1) cohesive design.

## J. Specific Requirements for the Chesterfield Valley

In addition to general requirements, Chesterfield Valley has specific requirements for commercial and industrial development.

The proposed development will adhere to the additional requirements of the Chesterfield Valley. Parking lots, including the spots being added, are located to the side or rear of the building that faces I-64/40. The trash area will be screened by a new trash enclosure. The new trash enclosure will be constructed of brick to match existing building. The loading area located on the west side of the building will be screened by additional landscaping.

## RENDERING



**DEPARTMENTAL INPUT**

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff's report to the Planning Commission.

Staff requests review and recommendation on the Amended Site Development Plan for 16806 Chesterfield Airport Road (Smokehouse/Annie Gunn's).

**MOTION**

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for 16806 Chesterfield Airport Road (Smokehouse/Annie Gunn's), as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for 16806 Chesterfield Airport Road. (Smokehouse/Annie Gunn's), to the Planning Commission with the following recommendations..."

Attachments

- 1. Architectural Review Packet Submittal



**ARCHITECTURAL REVIEW BOARD  
Project Statistics and Checklist**

**Date of First Comment Letter Received from the City of Chesterfield** 3-3-2022

**Project Title:** Smokehouse / Annie Gunn's **Location:** 16806 Chesterfield Airport Road

**Developer:** Thomas Sehnert Trust **Architect:** TR,i Architects **Engineer:** Grimes Consulting Inc.

**PROJECT STATISTICS:**

**Size of site (in acres):** 2.46 **Total Square Footage:** 19,941 SF **Building Height:** Max. Height 41'-4"

**Proposed Usage:** Restaurant & SmokeHouse market

**Exterior Building Materials:** Existing brick, Stone, and wood siding

**Roof Material & Design:** Gable / Hip cedar shake roof with flat roof areas for Mechanical units

**Screening Material & Design:** Roof parapets

**Description of art or architecturally significant features (if any):** Brick Farmhouse architecture using brick, Wood siding, and stone in a variety of colors and textures.

**ADDITIONAL PROJECT INFORMATION:**

**Checklist:** Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- Details of screening, retaining walls, etc.
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
- Landscape Plan.
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be brought to the ARB meeting)
- Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.



March 10, 2022

Mr. Christopher Dietz  
City Planner  
**City of Chesterfield**

**Re: Smokehouse / Annie Gunn's – 16806 Chesterfield Airport Rd.  
TR,i Project #: 21-047  
ARCHITECT'S STATEMENT OF DESIGN**

To Whom it may concern,

As required by Chesterfield's Unified Development Code the following is our Architect's Statement of Design responding to the Architectural review design standards as they apply to our project.

**General requirements for site design:**

1. Site relationships: The existing Annie Gunn's restaurant and Smokehouse is located at 16806 Chesterfield Airport Road which is located on the South side of Chesterfield Airport Road about 700 feet West of Baxter Road. The development has cross access to the First State Bank building to the East which is a part of the Chesterfield Grove development. There are two primary vehicular access points to the site off of Chesterfield Airport Road one is directly in front of the building and the other is a couple hundred feet to the East. There are secondary access points via cross access through the lot to the east which has access to Baxter Road and the existing public county road along the east side of Earthworks property which has access to the south onto Baxter Road. We are providing pedestrian connectivity via a new public sidewalk along Chesterfield Airport Road which will provide future access to both the properties to the East and West of our project on Chesterfield Airport Road. There is a network of interior sidewalks around the building that connect the public to the various uses of the project including the Smokehouse, Annie Gunn's restaurant and the new proposed outdoor patio to the East of the addition at the rear and east of the existing building. To the northwest of the new patio there is a butterfly garden with benches proposed that is a relocated garden which is being displaced by the proposed expansion.
2. Circulation system and access: The site organization emphasizes pedestrian connectivity of uses. We are providing connectivity to a new public sidewalk along Chesterfield Airport Road which will provide future access to both the properties to the East and West of our project on



Chesterfield Airport Road. There is a network of interior sidewalks around the building that connect the public to the various uses of the project include the Smokehouse, Annie Gunn's restaurant and the new proposed outdoor patio to the East of the addition at the rear and east of the existing building. The development plan includes separation between vehicular circulation and pedestrian circulation with a network of public sidewalks within the development. The comprehensive pedestrian circulation system connects street to building, parking areas to building and building use to building use. Landscaping is used along both the internal and external network of sidewalks to add interest to the pedestrian experience. To the northwest of the new patio there is a butterfly garden with benches proposed that is a relocated garden which is being displaced by the proposed expansion. As many of the existing trees in the expansion area are being saved as possible and several new trees are being added in the existing parking field.

3. Topography: There is very little change being proposed to the existing topography. The parking lot surface is remaining in most of the site with some minor changes at the front of the building and a few additional parking spaces being added new the Southeast corner of the rear addition.
4. Retaining walls: There is one new proposed retaining wall along the outside face of the new proposed outdoor patio to the East of the rear addition. This retaining wall will be a natural bolder wall with a height not to exceed 5-feet in height at the tallest point. The base of this wall will be enhanced with landscaping.

**General requirements for building design:**

1. Scale: The building scale for the project addition and renovation are comparable to the existing building and the Chesterfield grove development to the East. The developments to the West and South are industrial buildings however Petropolis which is on the West side of the storage facility is also of similar scale to the Annie Gunns/Smokehouse development. The Hip roofs used on the front and side of the building and building additions create a soft transition in scale from the adjacent uses. Human or pedestrian scale is accomplished with a shorter entry porch at the entry to the Smokehouse and the fabric awnings over the first story windows at the Annie Gunns restaurant entry. The addition has a roof eave height of about 10-feet that wraps around the majority of the addition and the Barn addition at the rear has separate first story and second story windows that provide a sense of human scale.
2. Design: The building design and finishes are coordinated on all sides of the building. The project has a unique character without influence of any corporate identity. The front elevation of the building utilizes hip and mansard roofs to transition from various story heights, this combined with the change in plane along the northern elevation creates a well articulated streetscape. The building entries are identified by a lower story newly enclosure porch at the Smokehouse and green fabric awnings at Annie Gunns restaurant. Brick detailing such as soldier courses above the windows and rowlock courses below the windowsill tie the varying planes of the building façade together. The rear barn addition adds an additional architectural style but

compliments the existing masonry color and material with the use of the red barn siding and the natural stone chimney and wainscoting. The barn roof will also having a matching cedar shake roof to match the existing building roof.

3. **Materials and Colors:** Warm earth tone finishes are used throughout the exterior design that are neutral and compatible with many other pallets. The materials include brick, natural stone, cedar shake roofing, barn wood siding, aluminum storefront, clear low-e glass, architectural windows and doors.
4. **Landscape design and screening:** Landscaping is used along the street to create connectivity to adjacent sites. Within the site landscaping is used to enhance the pedestrian experience, screen the service areas, and soften the building's base where it meets the site. A small butterfly garden at the Northeast corner of the building is provided with several benches to enhance the site and provide an opportunity for the public to enjoy the outdoor space while dining.
5. **Signage:** It is understood that signage is reviewed separately.
6. **Lighting:** All site lighting is existing and there are no new light poles proposed. All new exterior building mounted lighting will be fully cut off and will adhere to Chesterfields UDC. See the attached lighting plan which provides documentation of the existing lighting and proposed new building lighting locations and types.
7. **Existing Structures:** The addition to the existing structure compliments the existing architectural style with the use of a matching red brick and complimenting mansard roof line. The rear barn addition is historically in line with the old English barns of the mid 1800s that were built and often attached to farmhouses in the Missouri River Valley region. The barn structure compliments the existing structure with the use of the red barn siding which compliments the brick, the use of natural stone masonry, and cedar shake roofing to match the existing roof.

**Specific requirements for the Chesterfield Valley:**

1. The building architecture wraps all four sides of the building. The building is accented by a variety of lighting including soffit lighting, barn lights, and decorative light poles. All storage areas are screens with walls to match the adjacent structure, the trash is screen by a brick enclosure to match the building. The majority of the parking is on the side and rear of the building and the main building façade faces I-64/US 40.

Mr. Christopher Dietz  
City of Chesterfield  
ARCHITECT'S STATEMENT OF DESIGN  
Page 4  
March 10, 2022

I trust this information meets your needs. Please advise if you have any questions or comments.

Respectfully,

A handwritten signature in black ink, appearing to read "J.P. Kaiser". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Jeffrey P. Kaiser  
Senior Project Manager

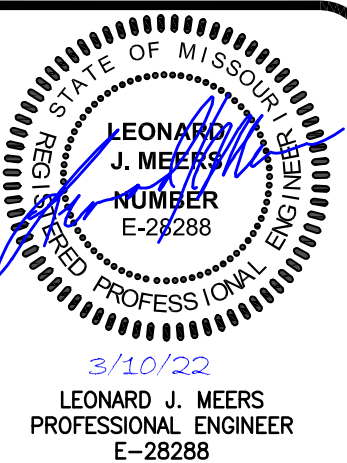
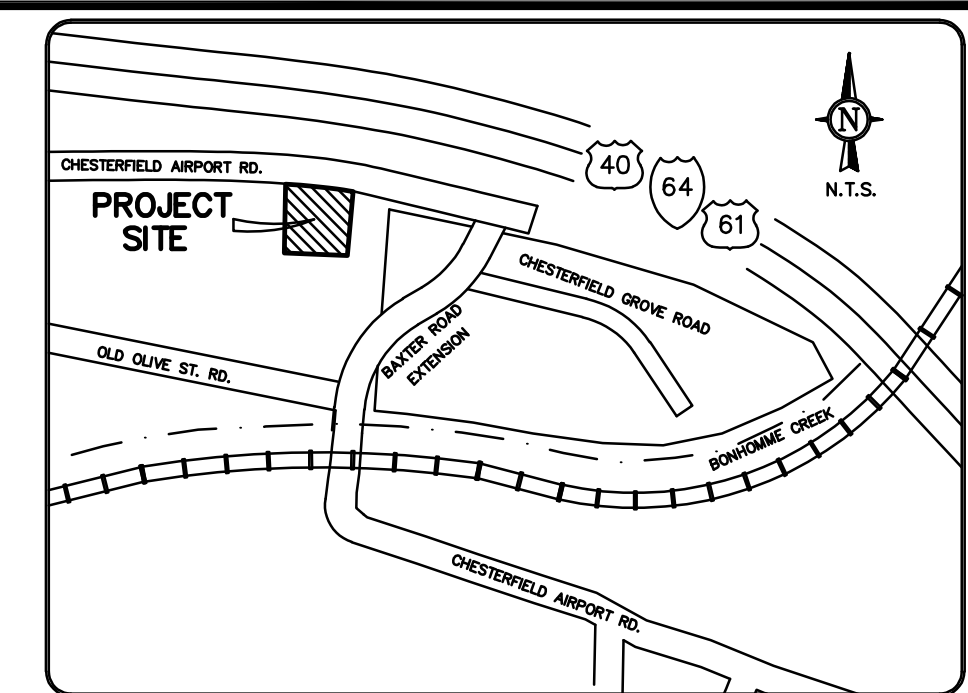
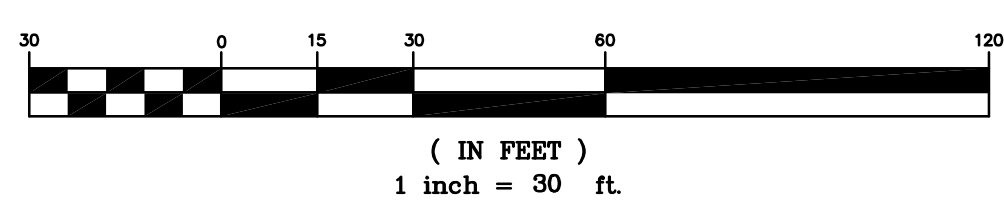
**PERTINENT DATA**

CURRENT ZONING "C-8"  
 SITE AREA 1.90 ACRES - WESTERN PARCEL  
 0.56 ACRES - EASTERN PARCEL  
 WATER SHED MISSOURI RIVER  
 WATER DISTRICT ST. LOUIS COUNTY WTR.  
 FIRE DISTRICT CHESTERFIELD  
 SCHOOL DISTRICT ROCKWOOD R-6  
 SEWER DISTRICT MSD  
 FEMA MAP NUMBER 2918900165 K  
 DATE: FEB. 4, 2015

**THIRD AMENDED SITE DEVELOPMENT PLAN FOR SMOKEHOUSE/ANNIE GUNN'S**

A TRACT OF LAND IN U.S. SURVEY 2031  
 TOWNSHIP 45 NORTH, RANGE 4 EAST  
 CITY OF CHESTERFIELD, ST. LOUIS COUNTY MISSOURI

**GRAPHIC SCALE**



**GRIMES CONSULTING, INC.**  
 Civil Engineering & Surveying Services  
 12300 OLD TESSON ROAD  
 ST. LOUIS, MO 63128  
 PH: (314) 849-6100  
 FAX: (314) 849-6010  
 www.grimesconsulting.com

**LEGEND**

- UTILITY POLE
- ⊗ FIRE HYDRANT
- ⊗ GAS VALVE
- SANITARY SEWER
- STORM SEWER
- GAS LINE
- WATER LINE
- O— OVERHEAD ELECTRIC LINE
- 580— EXISTING CONTOURS
- ⊗ EXISTING LIGHT STANDARD
- ⊗ EXISTING SIGN
- ⊗ PROPOSED SIGN
- ⊗ EXISTING TREE

**ABBREVIATIONS**

- N/F NOW OR FORMERLY
- w WIDE
- DB. DEED BOOK
- PB. PLAT BOOK
- PG. PAGE
- CONC. CONCRETE
- SAN. SANITARY
- MH MANHOLE
- R RADIUS
- L LENGTH
- TBR TO BE REMOVED
- UIP TO BE USED IN PLACE

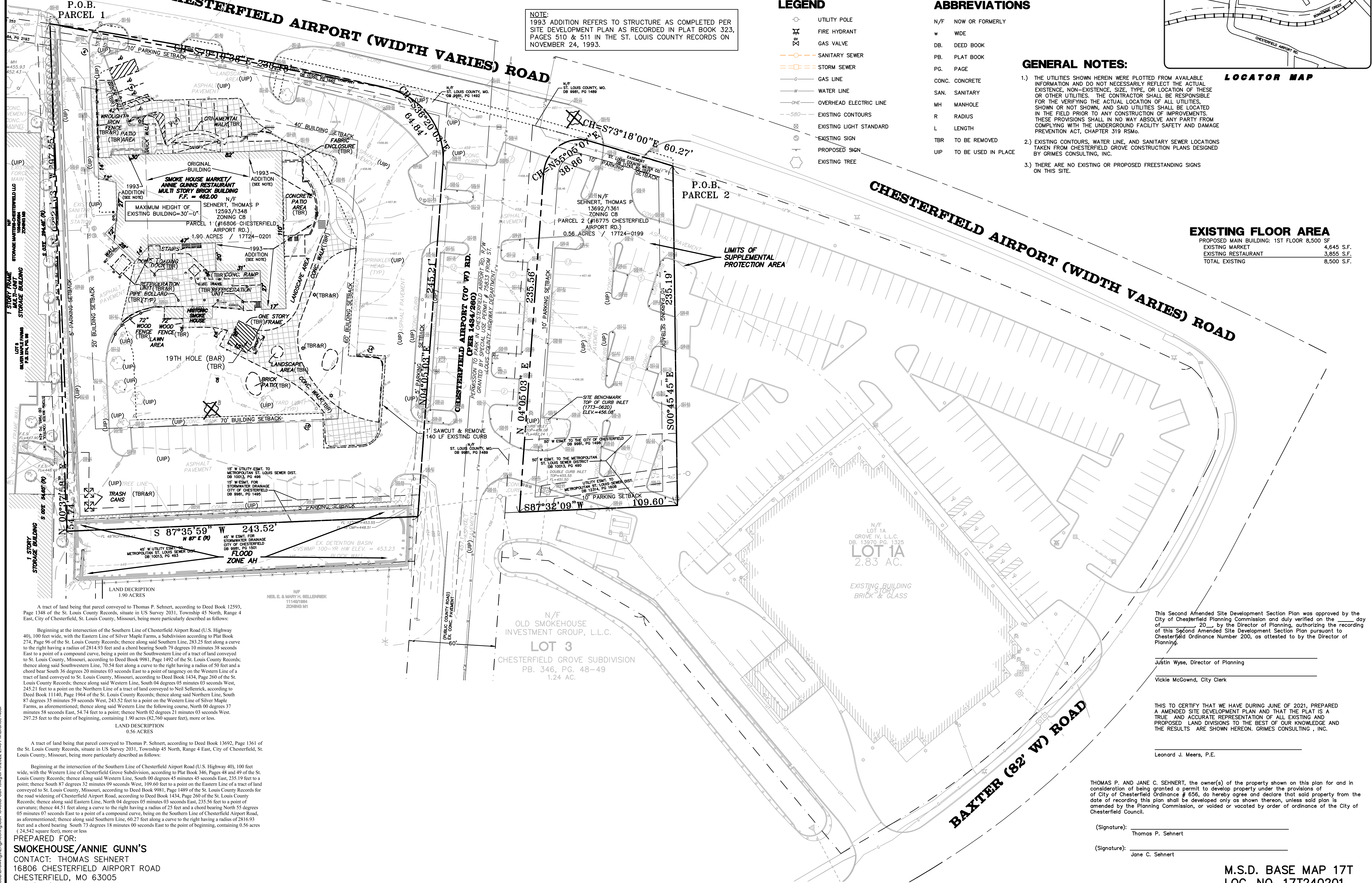
**GENERAL NOTES:**

- 1.) THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, OR LOCATION OF THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.
- 2.) EXISTING CONTOURS, WATER LINE, AND SANITARY SEWER LOCATIONS TAKEN FROM CHESTERFIELD GROVE CONSTRUCTION PLANS DESIGNED BY GRIMES CONSULTING, INC.
- 3.) THERE ARE NO EXISTING OR PROPOSED FREESTANDING SIGNS ON THIS SITE.

**LOCATOR MAP**

**EXISTING FLOOR AREA**

PROPOSED MAIN BUILDING: 1ST FLOOR	8,500 SF
EXISTING MARKET	4,645 S.F.
EXISTING RESTAURANT	3,855 S.F.
<b>TOTAL EXISTING</b>	<b>8,500 S.F.</b>



**NOTE:**  
 1993 ADDITION REFERS TO STRUCTURE AS COMPLETED PER SITE DEVELOPMENT PLAN AS RECORDED IN PLAT BOOK 323, PAGES 510 & 511 IN THE ST. LOUIS COUNTY RECORDS ON NOVEMBER 24, 1993.

A tract of land being that parcel conveyed to Thomas P. Sehnert, according to Deed Book 12593, Page 1348 of the St. Louis County Records, situate in US Survey 2031, Township 45 North, Range 4 East, City of Chesterfield, St. Louis County, Missouri, being more particularly described as follows:  
 Beginning at the intersection of the Southern Line of Chesterfield Airport Road (U.S. Highway 40), 100 feet wide, with the Eastern Line of Silver Maple Farms, a Subdivision according to Plat Book 274, Page 96 of the St. Louis County Records, thence along said Southern Line, 283.25 feet along a curve to the right having a radius of 2814.93 feet and a chord bearing South 79 degrees 10 minutes 38 seconds East to a point of a compound curve, being a point on the Southwest Line of a tract of land conveyed to St. Louis County, Missouri, according to Deed Book 9981, Page 1489 of the St. Louis County Records, thence along said Southern Line, 70.54 feet along a curve to the right having a radius of 50 feet and a chord bear South 36 degrees 20 minutes 03 seconds East to a point of tangency on the Western Line of a tract of land conveyed to St. Louis County, Missouri, according to Deed Book 1434, Page 260 of the St. Louis County Records, thence along said Western Line, South 04 degrees 03 minutes 03 seconds West, 245.21 feet to a point on the Northern Line of a tract of land conveyed to Neil Sellenrick, according to Deed Book 11140, Page 1964 of the St. Louis County Records, thence along said Northern Line, South 87 degrees 35 minutes 59 seconds West, 243.52 feet to a point on the Western Line of Silver Maple Farms, as aforementioned; thence along said Western Line the following course: North 00 degrees 37 minutes 58 seconds East, 54.74 feet to a point; thence North 02 degrees 21 minutes 03 seconds West, 297.25 feet to the point of beginning, containing 1.90 acres (82,760 square feet), more or less.  
**LAND DESCRIPTION**  
 0.56 ACRES

A tract of land being that parcel conveyed to Thomas P. Sehnert, according to Deed Book 13692, Page 1361 of the St. Louis County Records, situate in US Survey 2031, Township 45 North, Range 4 East, City of Chesterfield, St. Louis County, Missouri, being more particularly described as follows:  
 Beginning at the intersection of the Southern Line of Chesterfield Airport Road (U.S. Highway 40), 100 feet wide, with the Western Line of Chesterfield Grove Subdivision, according to Plat Book 346, Pages 48 and 49 of the St. Louis County Records, thence along said Western Line, South 00 degrees 45 minutes 45 seconds East, 235.19 feet to a point; thence South 87 degrees 32 minutes 09 seconds West, 109.60 feet to a point on the Eastern Line of a tract of land conveyed to St. Louis County, Missouri, according to Deed Book 9981, Page 1489 of the St. Louis County Records for the road widening of Chesterfield Airport Road, according to Deed Book 1434, Page 260 of the St. Louis County Records; thence along said Eastern Line, North 04 degrees 05 minutes 03 seconds East, 235.56 feet to a point of curvature; thence 44.21 feet along a curve to the right having a radius of 25 feet and a chord bearing North 55 degrees 05 minutes 07 seconds East to a point of a compound curve, being on the Southern Line of Chesterfield Airport Road, as aforementioned; thence along said Southern Line, 60.27 feet along a curve to the right having a radius of 2816.93 feet and a chord bearing South 73 degrees 18 minutes 00 seconds East to the point of beginning, containing 0.56 acres (24,542 square feet), more or less.  
**PREPARED FOR:**  
**SMOKEHOUSE/ANNIE GUNN'S**  
 CONTACT: THOMAS SEHNERT  
 16806 CHESTERFIELD AIRPORT ROAD  
 CHESTERFIELD, MO 63005  
 PH: (314) 862-5600

N/F  
 NEIL E. & MARY H. SELLENRICK  
 11140/994  
 ZONING M1  
 N/F  
 OLD SMOKEHOUSE  
 INVESTMENT GROUP, L.L.C.  
**LOT 3**  
 CHESTERFIELD GROVE SUBDIVISION  
 PB. 346, PG. 48-49  
 1.24 AC.

N/F  
 LOT 1A  
 GROVE IV, L.L.C.  
 DB. 13970 PG. 1325  
**LOT 1A**  
 2.83 AC.  
 EXISTING BUILDING  
 2 STORY  
 BRICK & GLASS

This Second Amended Site Development Section Plan was approved by the City of Chesterfield Planning Commission and duly verified on the \_\_\_ day of \_\_\_\_\_, 20\_\_\_, by the Director of Planning, authorizing the recording of this Second Amended Site Development Section Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning.

Justin Wyse, Director of Planning  
 Vickie McGownd, City Clerk

THIS TO CERTIFY THAT WE HAVE DURING JUNE OF 2021, PREPARED A AMENDED SITE DEVELOPMENT PLAN AND THAT THE PLAN IS A TRUE AND ACCURATE REPRESENTATION OF ALL EXISTING AND PROPOSED LAND DIVISIONS TO THE BEST OF OUR KNOWLEDGE AND THE RESULTS ARE SHOWN HEREON, GRIMES CONSULTING, INC.

Leonard J. Meers, P.E.

THOMAS P. AND JANE C. SEHNERT, the owner(s) of the property shown on this plan for and in consideration of being granted a permit to develop property under the provisions of Ordinance of City of Chesterfield Ordinance # 656, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the Planning Commission, or voided or vacated by order of ordinance of the City of Chesterfield Council.

(Signature): Thomas P. Sehnert  
 (Signature): Jane C. Sehnert

REV. NO.	DATE	REMARKS

**SECOND AMENDED SITE DEVELOPMENT PLAN FOR SMOKEHOUSE/ANNIE GUNN'S**  
 16806 CHESTERFIELD AIRPORT ROAD CHESTERFIELD, MO 63005

**SURVEY/DEMO PLAN**

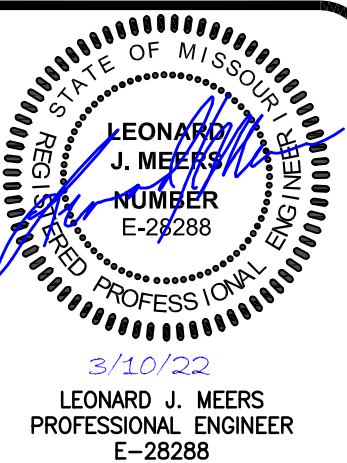
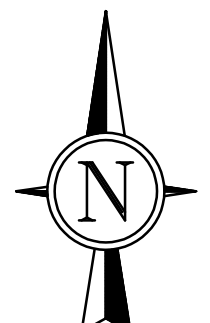
JOB NUMBER: **0486D**  
 DRAWN BY: **KAN**  
 DATE: **02/01/22**  
 CHECKED BY: **LJM**  
 DATE: **02/01/22**  
 SHEET:

M.S.D. BASE MAP 17T  
 LOC. NO. 177240201  
 ZIP CODE 63005

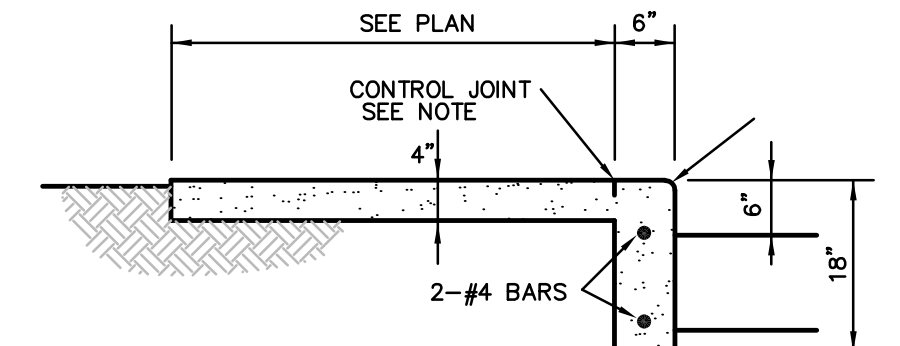
# THIRD AMENDED SITE DEVELOPMENT PLAN FOR SMOKEHOUSE/ANNIE GUNN'S

A TRACT OF LAND IN U.S. SURVEY 2031  
TOWNSHIP 45 NORTH, RANGE 4 EAST  
CITY OF CHESTERFIELD, ST. LOUIS COUNTY MISSOURI

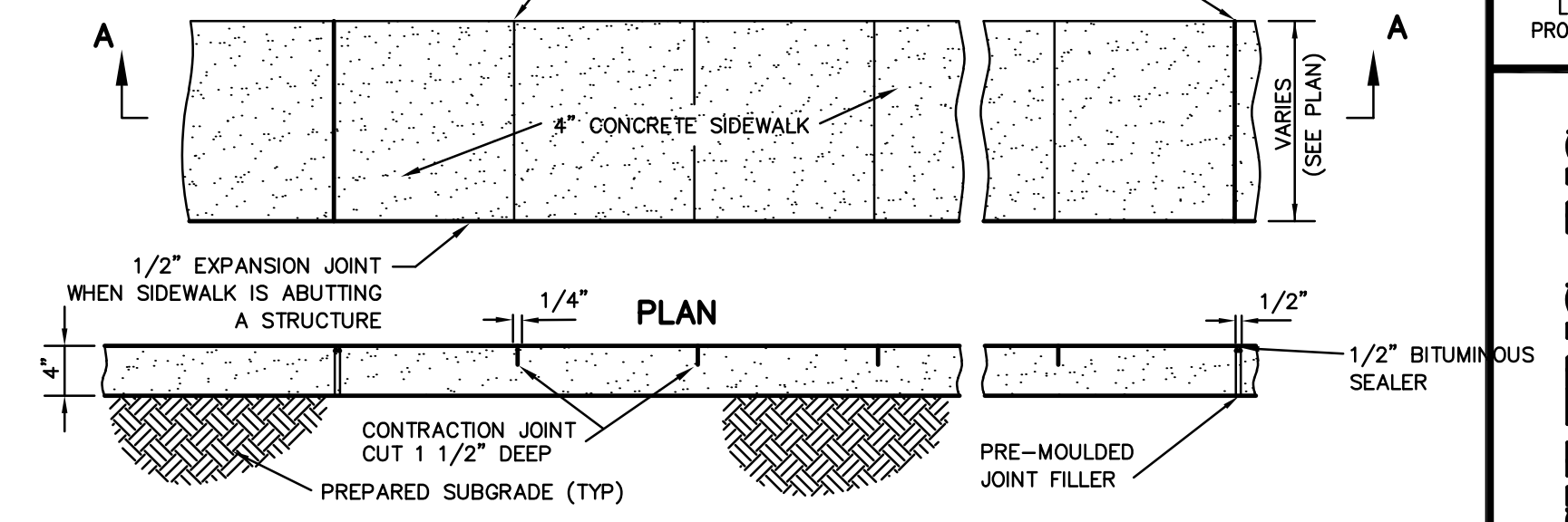
GRAPHIC SCALE



**GRIMES CONSULTING, INC.**  
Civil Engineering & Surveying Services  
12300 OLD TESSON ROAD  
ST. LOUIS, MO 63128  
PH: (314) 849-6100  
FAX: (314) 849-6010  
www.grimesconsulting.com



NOTE: EXPANSION JOINT MATERIAL SHALL BE INSTALLED IN THE WALK FOR ITS FULL WIDTH AND DEPTH AT INTERVALS OF APPROX. 50'. CONTROL JOINTS AT INTERVALS OF 1.5 TIMES ITS WIDTH.



SECTION A-A  
DETAIL OF CONCRETE SIDEWALK

**PARKING SUMMARY**

TYPE	STANDARD	ACCESSIBLE	TOTAL
SURFACE (9'x19')		5	136
TOTAL	131	5	136

**ORDINANCE PARKING REQUIRED:**  
RESTAURANT/SIT DOWN  
12 PS REQUIRED PER 1,000 SQFT GFA = 3,855 SF  
EXISTING RESTAURANT 2,792 SF  
SEATING/DISPLAY 1,333 SF  
KITCHEN ADDITION 1,145 SF  
SMOKEHOUSE ENCLOSED PATIO 1,644 SF  
BARN ADDITION 260 SF  
BAKERY ADDITION 260 SF  
TOTAL RESTAURANT/SIT DOWN 11,029 SF/1,000=11.03  
11.03x12=132.36 PS  
TOTAL REQ. PS RESTAURANT = 133 STALLS

GROCERY  
3.33 PS REQUIRED PER 1,000 SQFT GFA = 6,869 SF  
EXISTING MARKET 4,645 SF  
BARN ADDITION 2,043 SF  
STORAGE ADDITION 181 SF  
TOTAL GROCERY 6,869 SF  
6,869 SF/1,000=6.87  
6.87x3.33=22.89 PS  
TOTAL REQ. PS GROCERY = 23 STALLS

TOTAL REQUIRED PARKING = 133+23 = 156 PS

MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED = 5, WHERE THE TOTAL NUMBER OF SPACES IS BETWEEN 101 AND 150, PER ADAAG. NUMBER OF ACCESSIBLE SPACES PROVIDED = 5

PARKING ON CHESTERFIELD GROVE LOT 1A ALLOWED PER AGREEMENT RECORDED IN BOOK 1397, PAGES 1342-1350 During the periods commencing at 5:00 p.m. Monday through Thursday of each week and ending at 7:00 a.m. the following day and commencing at 5:00 p.m. on Friday of each week and ending at 7:00 a.m. on the next following Monday.

**ORDINANCE LOADING REQUIRED:**  
PER TABLE A:  
GFA 5,000 SF - 25,000 SF REQ LOADING 1 10'x40'

**PROPOSED FLOOR AREA**

PROPOSED MAIN BUILDING: 1ST FLOOR	8,500 S.F.
EXISTING MARKET	4,885 S.F.
EXISTING RESTAURANT	3,855 S.F.
SEATING/DISPLAY	2,792 S.F.
KITCHEN ADDITION	1,333 S.F.
BARN ADDITION	2,043 S.F.
BARN 2ND STORY	1,145 S.F.
SMOKEHOUSE ENCLOSED PATIO	1,644 S.F.
BAKERY ADDITION	260 S.F.
STORAGE ADDITION	181 S.F.
TOTAL EXISTING	8,500 S.F.
TOTAL ADDITION	11,441 S.F.
TOTAL PROPOSED	19,941 S.F.

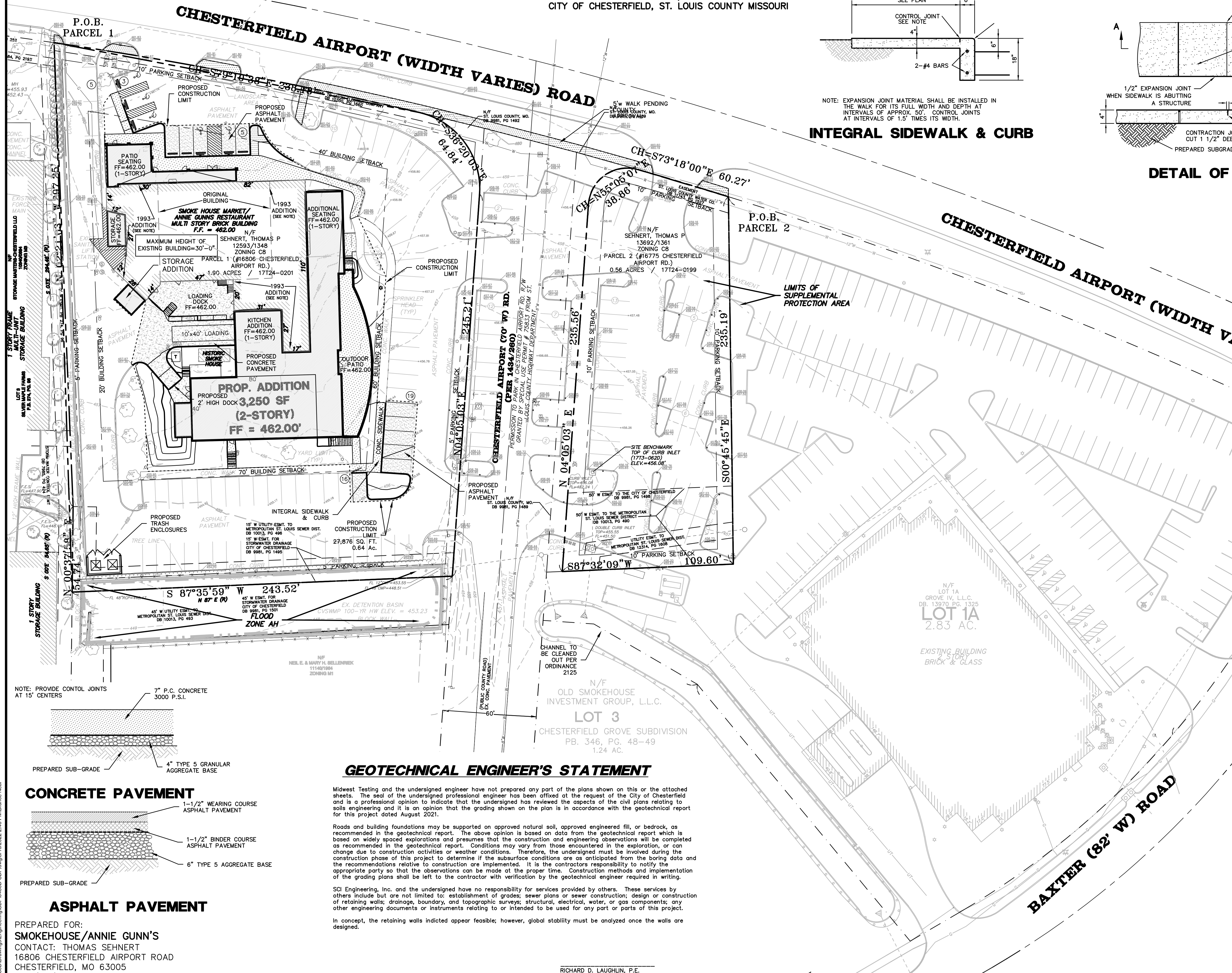
**FLOOR AREA RATIO**

PROPOSED AREA	
1ST FLOOR	17,898 S.F.
2ND FLOOR	2,043 S.F.
GROSS SQUARE FOOTAGE	6,500 S.F.
EXISTING GROSS SQUARE FOOTAGE	8,500 S.F.
PROPOSED GROSS SQUARE FOOTAGE	17,898 S.F.

**DIFFERENTIAL CALCULATIONS**

EXISTING: (2.46 ACRES)	
ROOF:	
● 4.20 cfs PER ACRE	0.22 Ac. = 0.92 cfs
PAVEMENT:	
● 3.54 cfs PER ACRE	1.53 Ac. = 5.42 cfs
GRASS:	
● 1.70 cfs PER ACRE	0.71 Ac. = 1.21 cfs
TOTAL = 7.55 cfs	
PROPOSED: (2.46 ACRES)	
ROOF:	
● 4.20 cfs PER ACRE	0.43 Ac. = 1.81 cfs
PAVEMENT:	
● 3.54 cfs PER ACRE	1.50 Ac. = 5.31 cfs
GRASS:	
● 1.70 cfs PER ACRE	0.53 Ac. = 0.90 cfs
TOTAL = 8.02 cfs	
PROPOSED - EXISTING = DIFFERENCE	
8.02 cfs - 7.55 cfs = 0.47 cfs	
0.47 cfs < 2.0 cfs	

**STORMWATER MANAGEMENT - WATER QUALITY NOTE**  
LAND AREA DISTURBED = 0.64 ACRES - WATER QUALITY IS NOT REQUIRED ANY FURTHER DEVELOPMENT SHALL INCLUDE THESE IMPROVEMENTS AS WELL



**GEOTECHNICAL ENGINEER'S STATEMENT**

Midwest Testing and the undersigned engineer have not prepared any part of the plans shown on this or the attached sheets. The seal of the undersigned professional engineer has been affixed at the request of the City of Chesterfield and is a professional opinion to indicate that the undersigned has reviewed the aspects of the civil plans relating to soils engineering and it is an opinion that the grading shown on the plan is in accordance with the geotechnical report for this project dated August 2021.

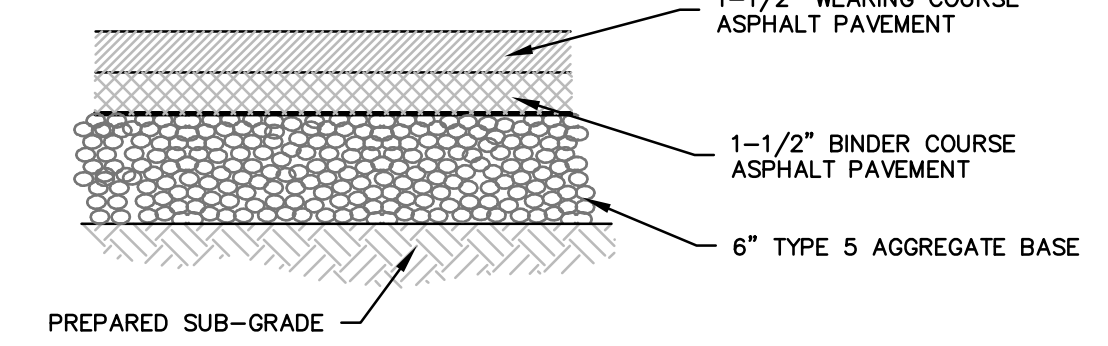
Roads and building foundations may be supported on approved natural soil, approved engineered fill, or bedrock, as recommended in the geotechnical report. The above opinion is based on data from the geotechnical report which is based on widely spaced explorations and presumes that the construction and engineering observations will be completed as recommended in the geotechnical report. Conditions may vary from those encountered in the exploration, or can change due to construction activities or weather conditions. Therefore, the undersigned must be involved during the construction phase of this project to determine if the subsurface conditions are as anticipated from the boring data and the recommendations relative to construction are implemented. It is the contractor's responsibility to notify the appropriate party so that the observations can be made at the proper time. Construction methods and implementation of the grading plans shall be left to the contractor with verification by the geotechnical engineer required in writing.

SCI Engineering, Inc. and the undersigned have no responsibility for services provided by others. These services by others include but are not limited to: establishment of grades; sewer plans or sewer construction; design or construction of retaining walls; drainage, boundary, and topographic surveys; structural, electrical, water, or gas components; any other engineering documents or instruments relating to or intended to be used for any part or parts of this project.

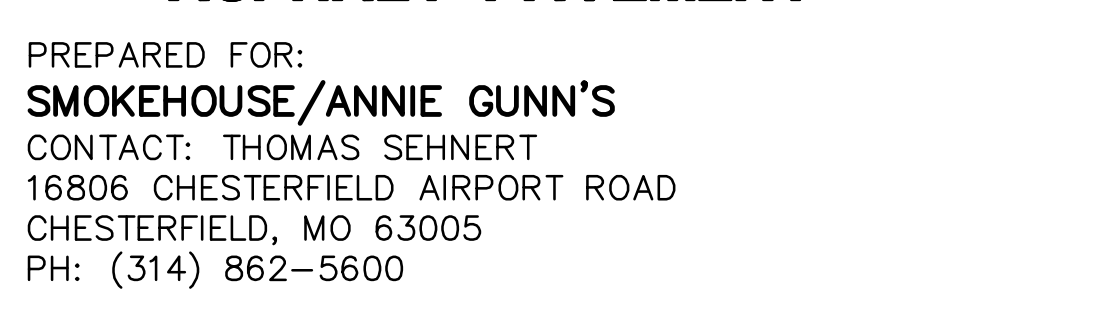
In concept, the retaining walls indicated appear feasible; however, global stability must be analyzed once the walls are designed.

RICHARD D. LAUGHLIN, P.E.  
E-20132

**CONCRETE PAVEMENT**



**ASPHALT PAVEMENT**



PREPARED FOR:  
SMOKEHOUSE/ANNIE GUNN'S  
CONTACT: THOMAS SEHNERT  
16806 CHESTERFIELD AIRPORT ROAD  
CHESTERFIELD, MO 63005  
PH: (314) 862-5600

S.M.D. BASE MAP 17T  
LOC. NO. 177240201  
ZIP CODE 63005

SECOND AMENDED SITE DEVELOPMENT PLAN FOR SMOKEHOUSE/ANNIE GUNN'S  
16806 CHESTERFIELD AIRPORT ROAD CHESTERFIELD, MO 63005

REV. NO.	DATE	REMARKS

REVISIONS	BY
1-28-2022	RVM
2-4-2022	RVM
3-10-2022	RVM

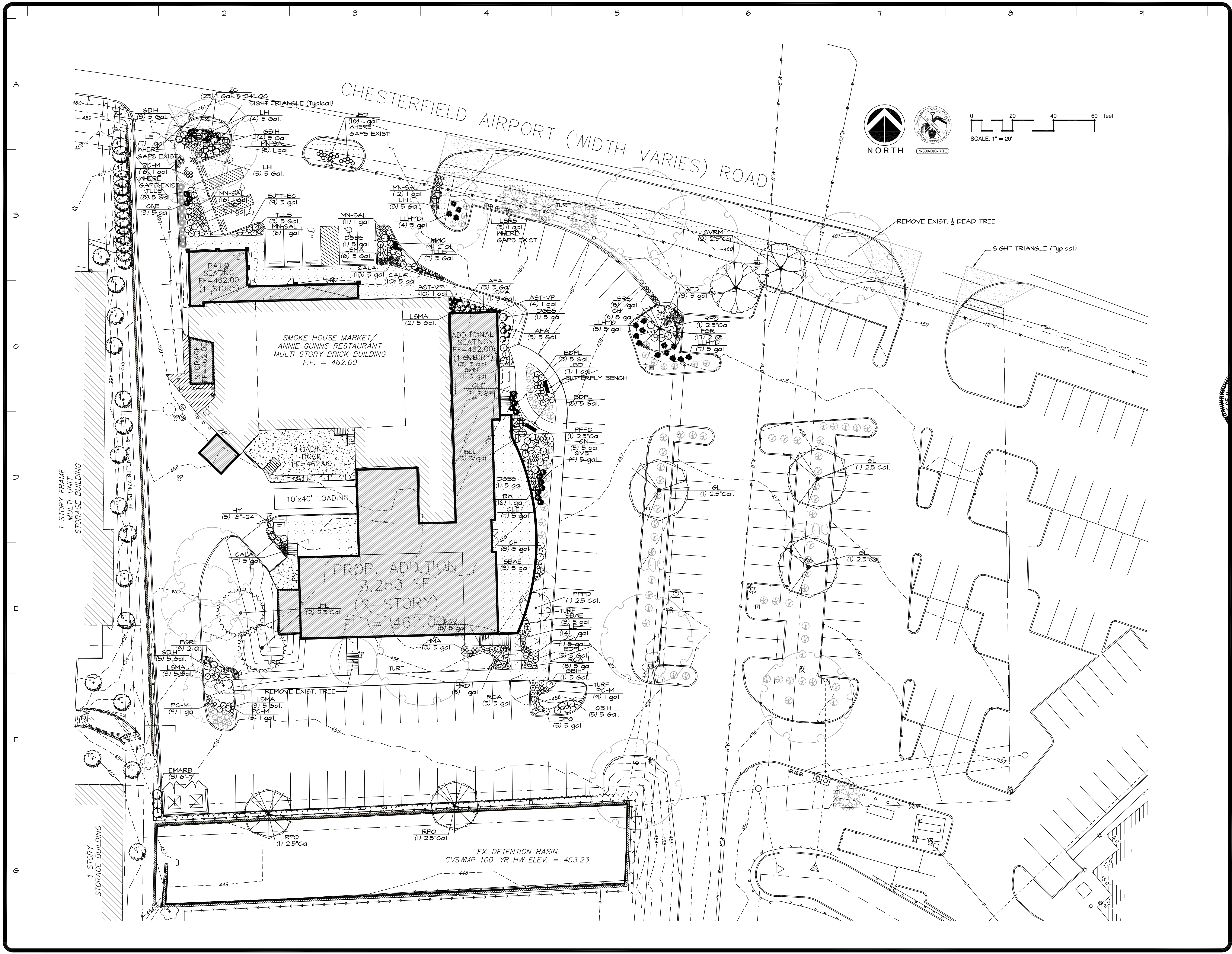
*landscape*  
**TECHNOLOGIES**

87 Jacobs Creek Drive, Suite 100  
St. Louis, MO 63105  
P: 314.241.1100  
F: 314.241.1101  
www.landscape-technologies.com

RANDALL A. HARDS  
REGISTERED LANDSCAPE ARCHITECT #000014  
DATE: 3/10/2022

PLANTING PLAN FOR THE PROPOSED  
**Smokehouse/Annie Gunn's**  
16806 CHESTERFIELD AIRPORT RD. CHESTERFIELD, MO 63005

DRAWN	R. HARDS
CHECKED	RMM/EL
DATE	11-4-2021
SCALE	1"=20'-0"
JOB No.	2021-172
SHEET	



# LANDSCAPE GUIDELINE SPECS:

## GENERAL:

- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
- Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
- Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- It shall be the landscape contractor's responsibility to:
  - Verify all existing and proposed features shown on the drawings prior to commencement of work.
  - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
  - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
- Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
- Provide single-stem trees unless otherwise noted in plant schedule.
- All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock".
- It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners' Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
- All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
- Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
- All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
- Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
- Landscape contractor shall kill & remove all existing weeds within the project site.
- All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
- Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
- All substitutions of plant material shall be submitted to landscape architect or the owners' approval.
- All landscape areas (including islands) shall be provided with a mechanically automated underground irrigation system.

## PRUNING:

- Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
- All pruning shall comply with ANSI A300 standards.

## INSURANCE:

- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

## MULCH:

- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc. No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Mirafli fabric shall be used beneath all gravel mulch beds. Lap fabric 6" over adjacent coverages.
- Edge all beds with spade-cut edge unless otherwise noted.

# IRRIGATION GUIDELINE SPECS:

## GENERAL:

- System shall be designed for 30 gpm @ 80 PSI. Contractor to field verify actual conditions.
- Exact tap, backflow and controller location to be coordinated with owner or owner's representative.
- All control wiring to be 14 ga. Minimum 3 extra strands to be installed in each direction from the controller to the end of the mainline.
- All piping to be sleeve in SCH40 PVC when passing under hardscape. FVC Sleeve to be a minimum of twice the size of pipe(s) running through.
- Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the irrigation contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RITE).
- It shall be the irrigation contractor's responsibility to:
  - Verify all existing and proposed features shown on the drawings prior to commencement of work.
  - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
- All landscaped areas shall have installed an automatic, permanent irrigation system - designed to cover all landscape areas. Irrigation shall be design / build.

## SIGHT TRIANGLES:

- No landscape material or other obstructions shall be placed or be maintained within the sight distance area so as to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or paving surfaces.
- Sight triangles at the intersection of a public street and a private access way (except for single family residences) shall also be formed by measuring from the point of intersection of the street frontage curbs and the entrance curb lines a distance of 35' and connecting the points so established to form the sight triangle area.

## TOPSOIL:

- Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.
- Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
- Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
- Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.

## TURF:

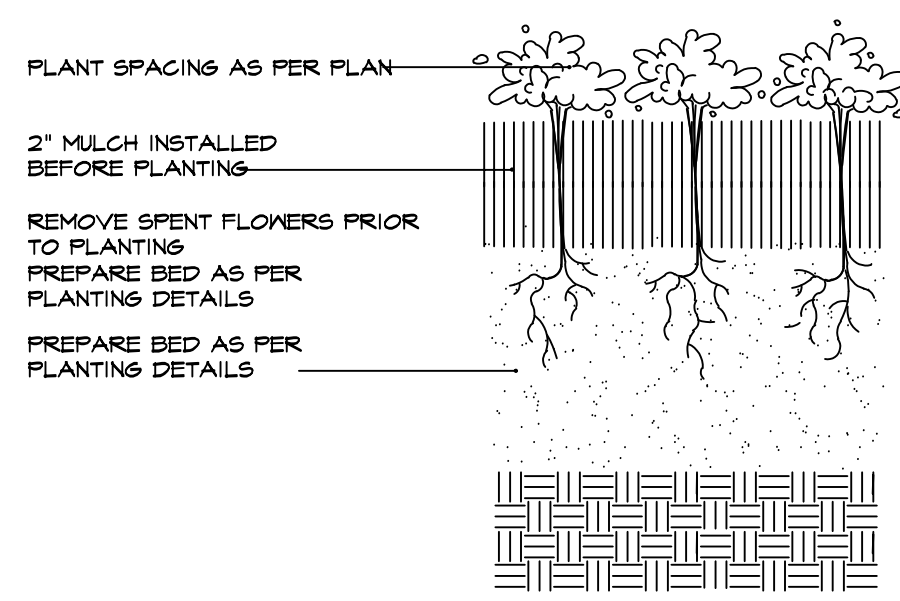
- All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (18# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND irrigation system is operating.
- Granular or pelleted fertilizer consisting of 50% water-insoluble slow release nitrogen, phosphorous and potassium in a 12-12-12 composition.
- The turf contractor shall be responsible for protection of finished grade; restore and repair any erosion or water damage and obtain owners' approval prior to seeding or sod installation.
- Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted.
- Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
- All sod shall be placed a maximum of 24 hours after harvesting.
- Recondition existing lawn areas damaged by Contractor's operations including equipment/material storage and movement of vehicles.
- Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.

## WARRANTY:

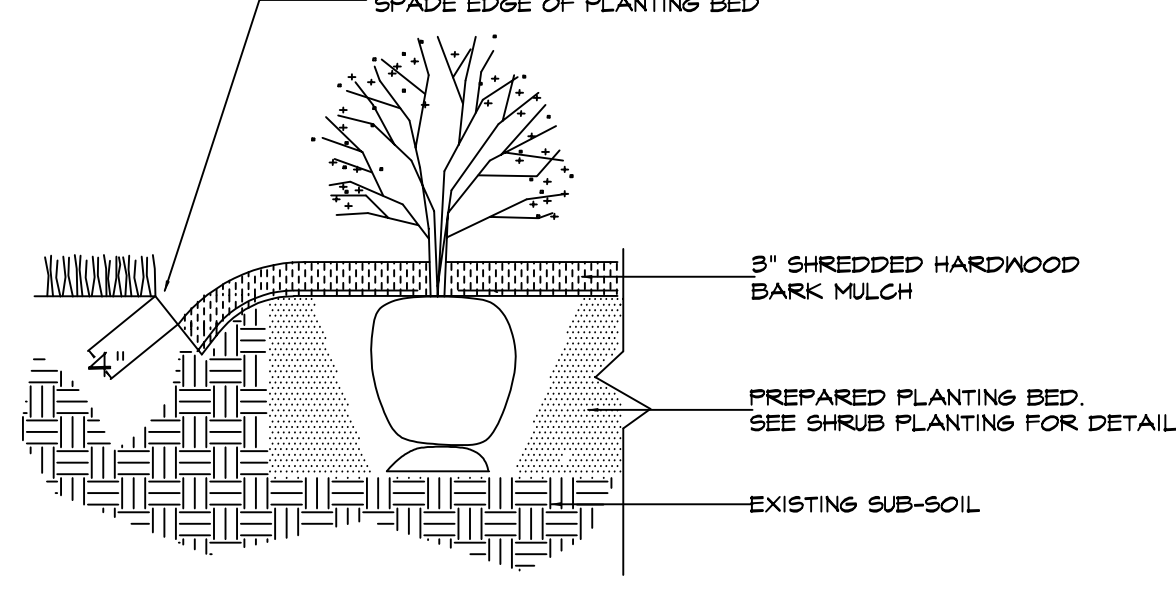
- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
- Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
- Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
- Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
- A written guarantee shall be provided to the owner per conditions outlined in #1 above.

# PLANT SCHEDULE

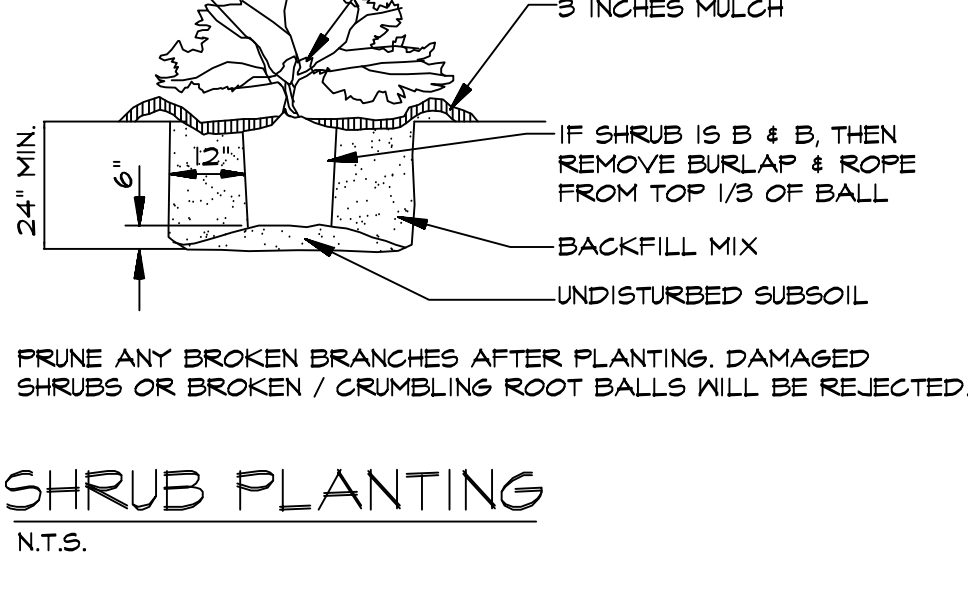
TREES	QTY	COMMON / BOTANICAL NAME	SIZE	MATURE HEIGHT	GROWTH RATE
GL	3	Greenspire Littleleaf Linden / <i>Tilia cordata</i> 'Greenspire'	2.5' Cal.	50' - 70' ht.	Moderate
RPO	3	Regal Prince Oak / <i>Quercus marei</i> 'Long' TM	2.5' Cal.	40' - 60' ht.	Moderate
SVRM	2	Sun Valley Red Maple / <i>Acer rubrum</i> 'Sun Valley'	2.5' Cal.	20' - 35' ht.	Fast
EVERGREEN TREES	QTY	COMMON / BOTANICAL NAME	SIZE	MATURE HEIGHT	GROWTH RATE
EMARB	3	Emerald Arborvitae / <i>Thuja occidentalis</i> 'Emerald'	6'-1'	12' - 14' ht.	Slow
FLOWERING TREES	QTY	COMMON / BOTANICAL NAME	SIZE	MATURE HEIGHT	GROWTH RATE
JTL	2	Ivory Silk Japanese Tree Lilac / <i>Syringa reticulata</i> 'Ivory Silk'	2.5' Cal.	20' - 25' ht.	Moderate
PPFD	2	Prairie Pink Flowering Dogwood / <i>Cornus florida</i> 'Prairie Pink'	2.5' Cal.	15' - 20' ht.	Moderate
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE		
AFD	3	Arctic Fire Dogwood / <i>Cornus stolonifera</i> 'Arctic Fire'	5 gal		
AFA	10	Autumn Fire Azalea / <i>Azalea</i> x 'Roblez' TM	5 gal.		
BDPL	13	Bloomerang Dwarf Purple Lilac / <i>Syringa</i> x 'SMNJRPU' TM	5 gal.		
BLL	5	Bloomerang Lilac / <i>Syringa</i> x 'Panda'	5 gal		
BUTT-BC	4	Blue Chip Butterfly Bush / <i>Buddleja davidii</i> 'Blue Chip'	5 gal		
CH	4	China Boy/Girl Holly / <i>Ilex meserveae</i> 'China Boy/Girl' TM	5 gal		
CN	5	Coppertina Ninebark / <i>Physocarpus opulifolius</i> 'Coppertina'	5 gal		
DCV	6	Dwarf Cranberry Viburnum / <i>Viburnum opulus</i> 'Nanum'	5 gal		
DGBS	3	Dwarf Globe Blue Spruce / <i>Picea pungens</i> 'Globosa'	5 gal		
GBIH	18	Gem Box Inkberry Holly / <i>Ilex glabra</i> 'Gem Box'	5 gal.		
GVB	12	Green Velvet Boxwood / <i>Buxus</i> 'Green Velvet'	5 gal		
HMA	3	Hetz Midget Arborvitae / <i>Thuja occidentalis</i> 'Hetz Midget'	5 gal		
HY	5	Hicks Yew / <i>Taxus media</i> 'Hicksii'	18"-24"		
LLHYD	16	Little Lime Hydrangea / <i>Hydrangea paniculata</i> 'Little Lime'	5 gal		
LSMA	15	Low Scape Mound Chokeberry / <i>Aronia melanocarpa</i> 'Low Scape Mound'	5 gal.		
LHI	12	Little Henry Sweetpire / <i>Itea virginica</i> 'Little Henry' TM	5 gal.		
RCA	13	Rose Creek Abelia / <i>Abelia</i> x <i>grandiflora</i> 'Rose Creek'	5 gal		
SBWE	6	Sonic Bloom Weigela / <i>Weigela florida</i> 'Sonic Bloom'	5 gal		
SWN	1	Summer Wine Ninebark / <i>Physocarpus opulifolius</i> 'Summer Wine'	5 gal		
TLLB	18	Titan Littleleaf Boxwood / <i>Buxus sinica</i> 'Titan'	5 gal.		
CLE	15	Hummingbird Summersweet / <i>Clethra alnifolia</i> 'Hummingbird'	5 gal.		
ANNUALS/PERENNIALS	QTY	COMMON / BOTANICAL NAME	SIZE		
BW	16	Butterfly Milkweed / <i>Asclepias tuberosa</i>	1 gal		
F&R	25	Fireworks Goldenrod / <i>Solidago rugosa</i> 'Fireworks'	2 qt		
HRD	5	Happy Returns Daylily / <i>Hemerocallis</i> hybrid 'Happy Returns'	1 gal		
JSD	30	Java Sea Daylily / <i>Hemerocallis</i> x 'Java Sea'	1 gal		
LE	21	Lamb's Ears / <i>Stachys byzantina</i> 'Silver Carpet'	1 gal		
LSRS	13	Little Spire Russian Sage / <i>Perovskia atriplicifolia</i> 'Little Spire' TM	1 gal		
MN-SAL	50	May Night Salvia / <i>Salvia nemorosa</i> 'May Night'	1 gal		
MWC	4	Montrose White Calamint / <i>Calamintha nepeta</i> 'Montrose White'	2 qt		
PC-M	34	Purple Coneflower / <i>Echinacea purpurea</i> 'Magnus'	1 gal		
AST-VP	14	Visions in Pink Astilbe / <i>Astilbe chinensis</i> 'Visions in Pink'	1 gal		
ZC	25	Zagreb Tickseed Coreopsis / <i>Coreopsis verticillata</i> 'Zagreb'	1 gal. @ 24" OC		
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE		
DFG	5	Dwarf Fountain Grass / <i>Pennisetum alopecuroides</i> 'Hameln'	5 gal		
CALA	30	Foerster's Reed Grass / <i>Calamagrostis acutifolia</i> 'Karl Foerster'	5 gal		



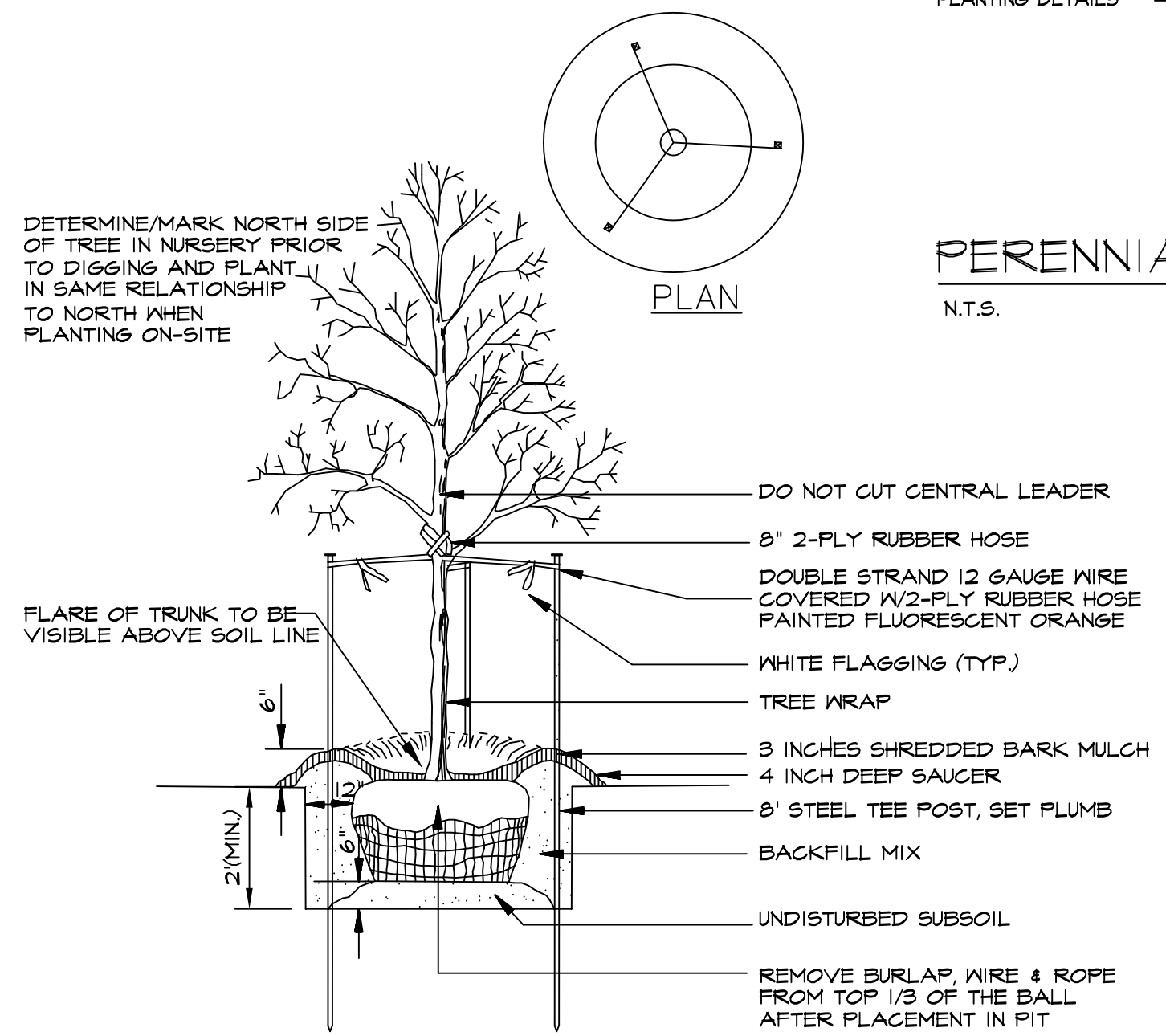
PERENNIAL / ANNUAL PLANTING N.T.S.



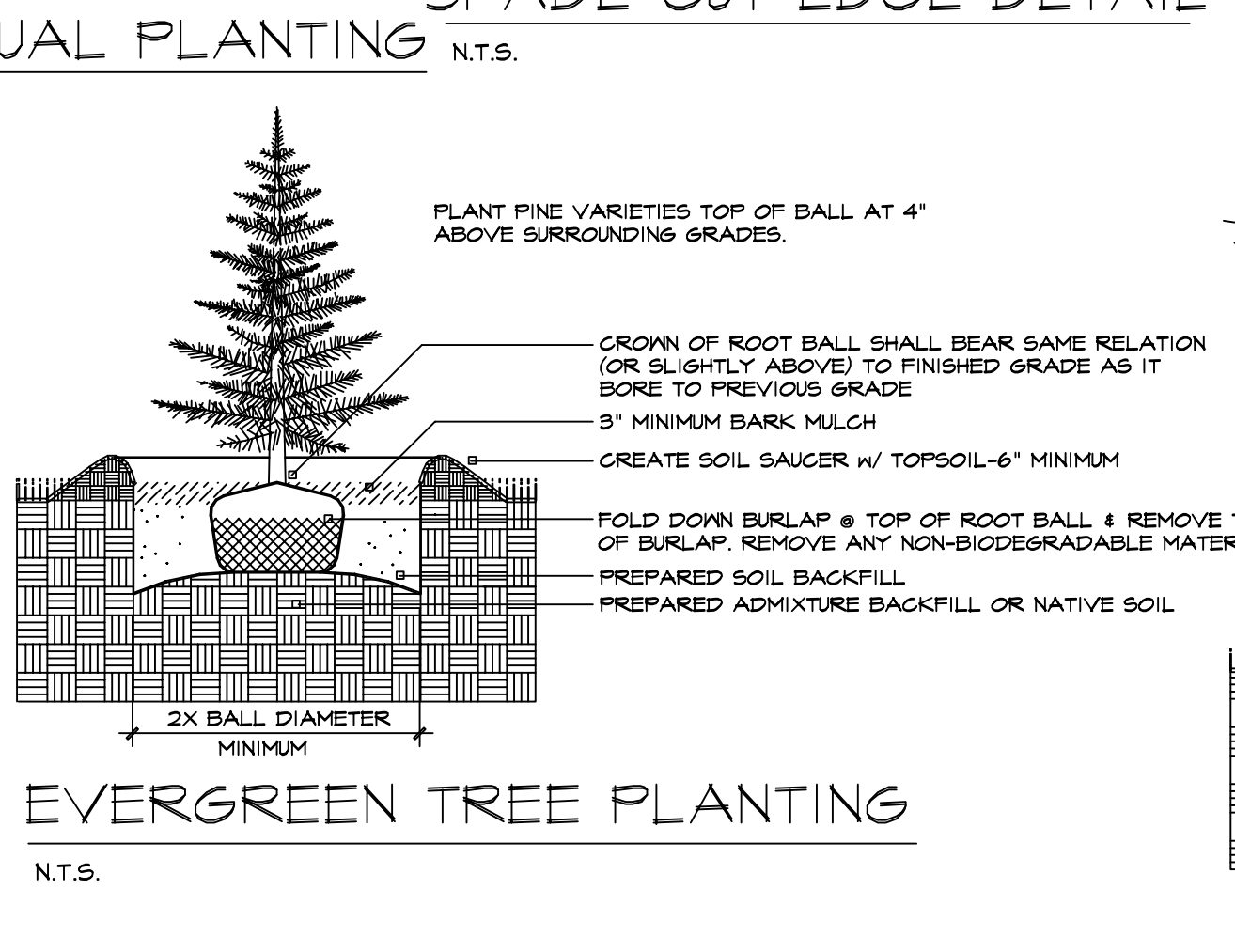
SPADE-CUT EDGE DETAIL N.T.S.



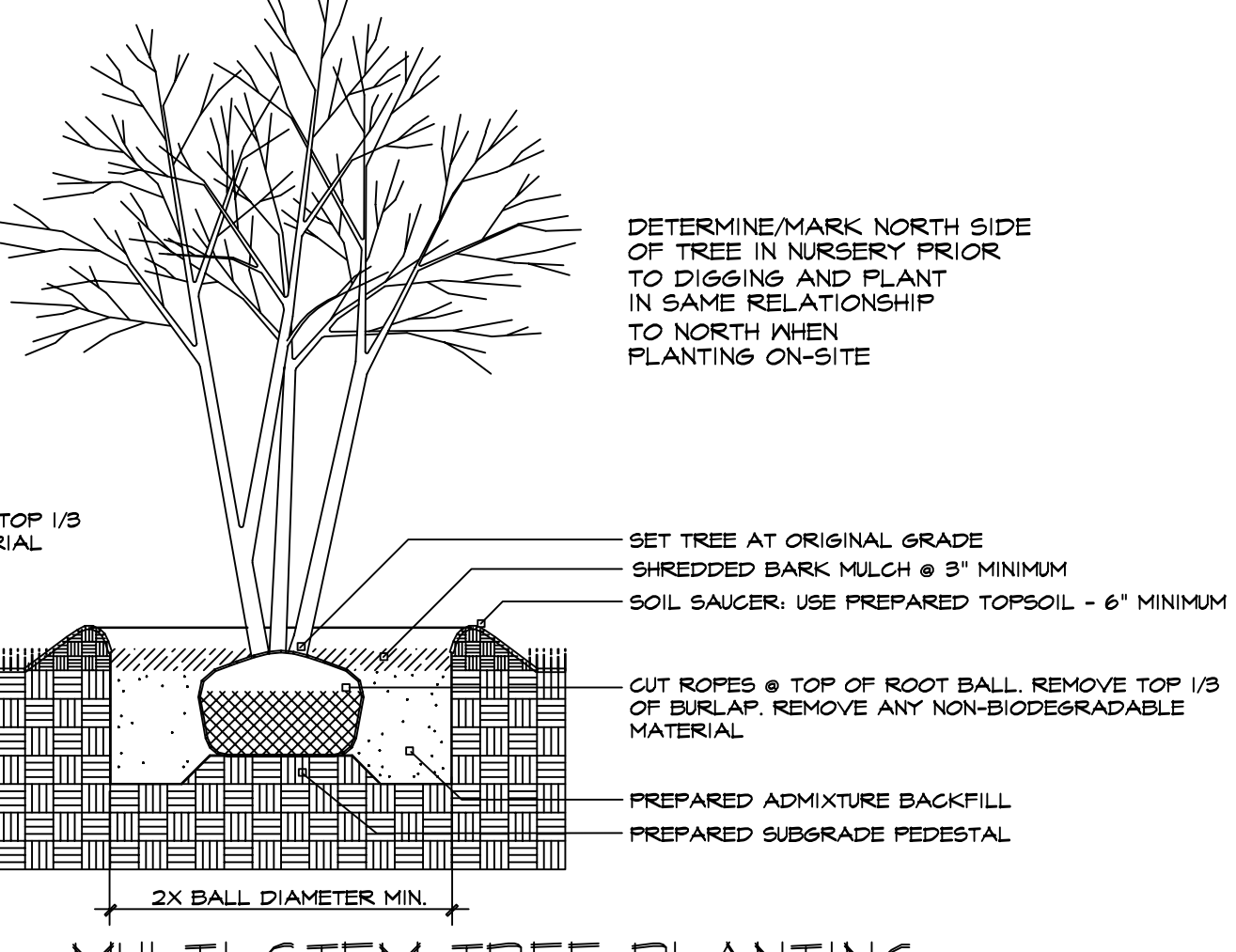
SHRUB PLANTING N.T.S.



DECIDUOUS TREE PLANTING N.T.S.



EVERGREEN TREE PLANTING N.T.S.



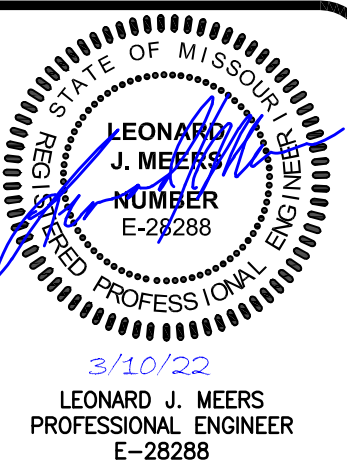
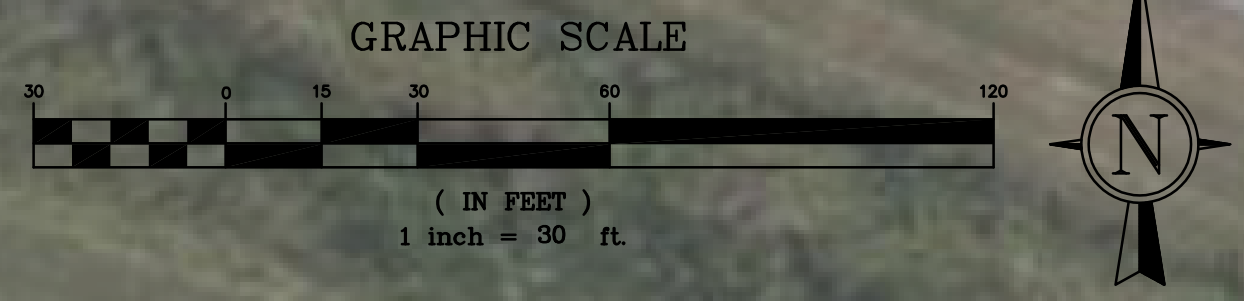
MULTI-STEM TREE PLANTING N.T.S.

REVISIONS	BY
1-28-2022	RVM
2-4-2022	RVM
3-10-2022	RVM

**Landscape TECHNOLOGIES**  
 67 Jacobs Creek Drive, Suite 100  
 630 Landscape Architects, Corporation 630-202-0090

**PLANTING PLAN FOR THE PROPOSED Smokehouse/Annie Gunn's**  
 16806 CHESTERFIELD AIRPORT RD. CHESTERFIELD, MO 63005

DRAWN: R. HARDSIS  
 CHECKED: RMM/EL  
 DATE: 11-4-2021  
 SCALE: N.A.  
 JOB No. 2021-172  
 SHEET L-2 OF TWO SHEETS



**GRIMES CONSULTING, INC.**  
 Civil Engineering & Surveying Services  
 LEONARDO J. MEERS  
 PROFESSIONAL ENGINEER  
 E-28288  
 12300 OLD TESSON ROAD  
 ST. LOUIS, MO 63128  
 PH: (314) 849-6100  
 FAX: (314) 849-6010  
 www.grimesconsulting.com

REV. NO.	DATE	REMARKS

SECOND AMENDED SITE  
 DEVELOPMENT PLAN FOR  
**SMOKEHOUSE/  
 ANNIE GUNN'S**  
 16806 CHESTERFIELD AIRPORT ROAD CHESTERFIELD, MO 63005

SHEET TITLE  
**SDP 1**

JOB NUMBER: **0486D**  
 DRAWN BY: **KAN**  
 DATE: **02/01/22**  
 CHECKED BY: **LJM**  
 DATE: **02/01/22**  
 SHEET:



PREPARED FOR:  
**SMOKEHOUSE/ANNIE GUNN'S**  
 CONTACT: THOMAS SEHNERT  
 16806 CHESTERFIELD AIRPORT ROAD  
 CHESTERFIELD, MO 63005  
 PH: (314) 862-5600

M.S.D. BASE MAP 17T  
 LOC. NO. 17T240201  
 ZIP CODE 63005

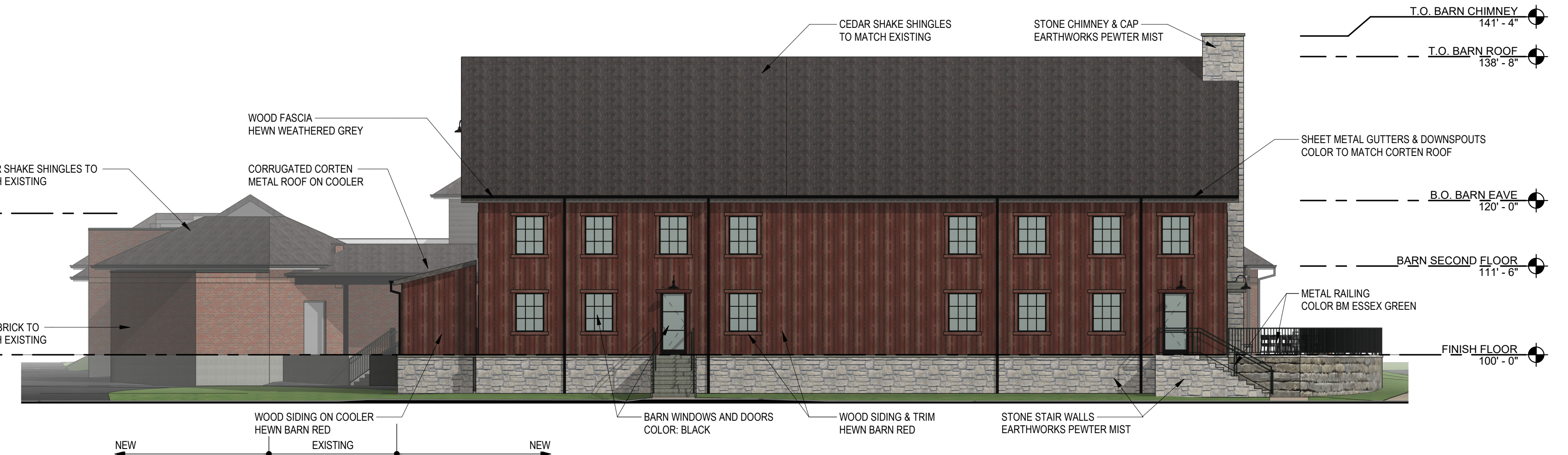
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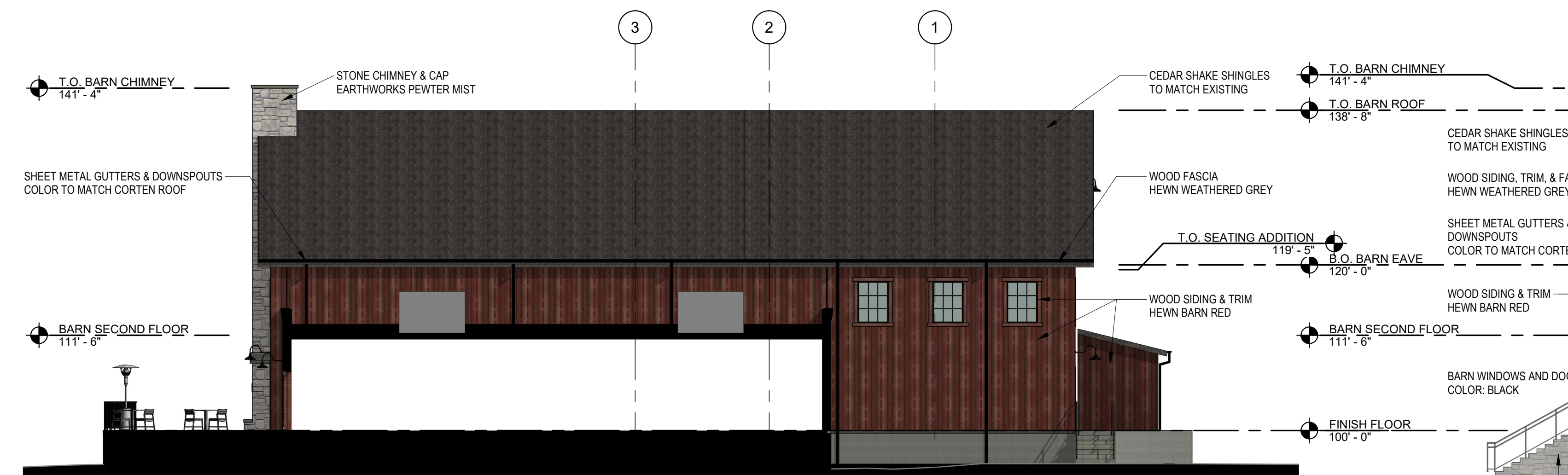
**NORTH ELEVATION CE**

SCALE: 3/32" = 1'-0"



**SOUTH ELEVATION CE**

SCALE: 3/32" = 1'-0"



**DOCK SOUTH ELEVATION CE**

SCALE: 3/32" = 1'-0"



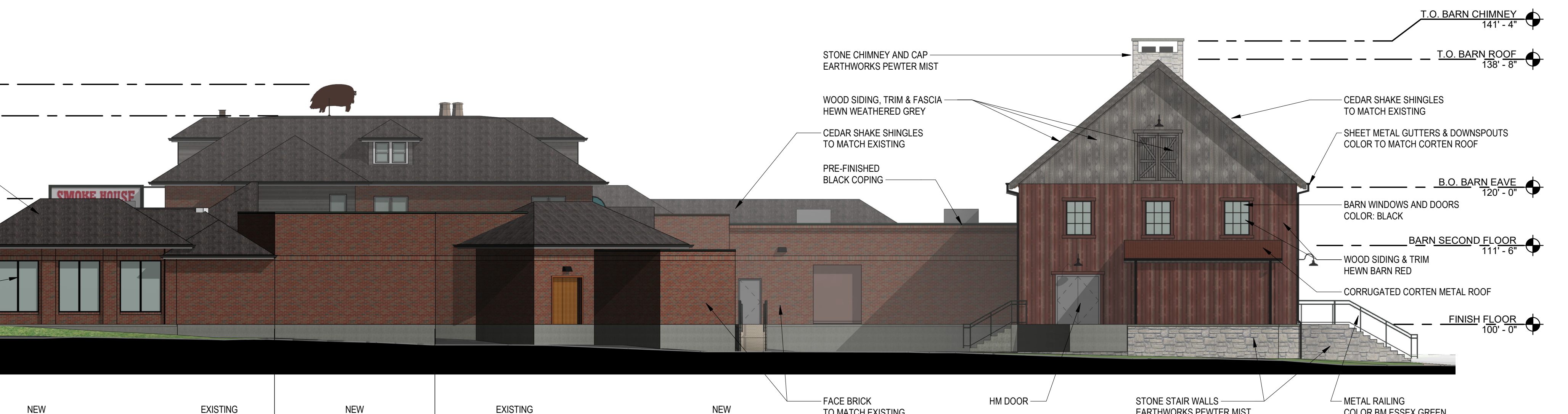
**EAST ELEVATION CE**

SCALE: 3/32" = 1'-0"



**DOCK NORTH ELEVATION CE**

SCALE: 3/32" = 1'-0"



**WEST ELEVATION CE**

SCALE: 3/32" = 1'-0"





PERSPECTIVE AT NORTHWEST CORNER

## ANNIE GUNN'S

CHESTERFIELD,  
21-047

MISSOURI  
03-14-2022

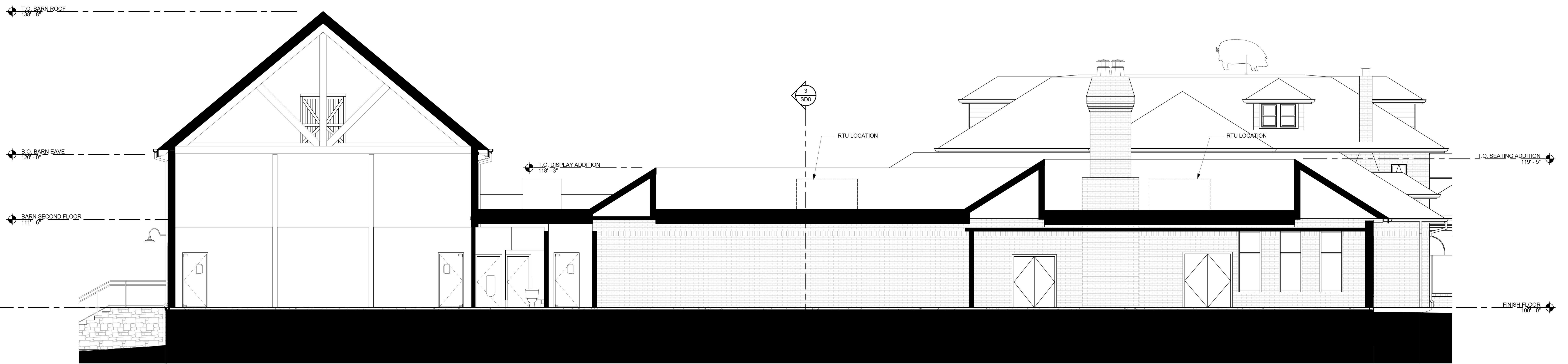


PERSPECTIVE AT SOUTHEAST CORNER

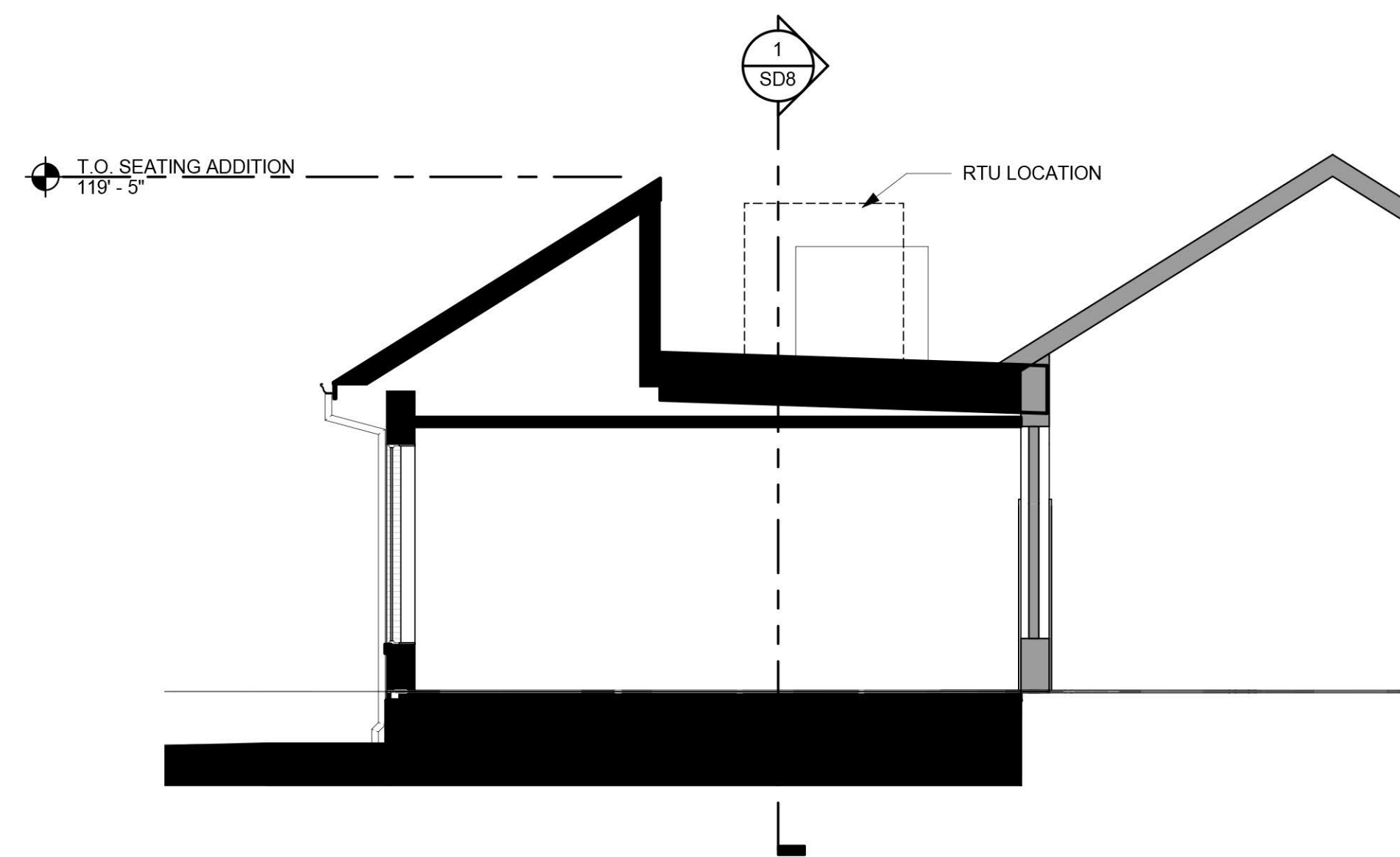
## ANNIE GUNN'S

CHESTERFIELD,  
21-047

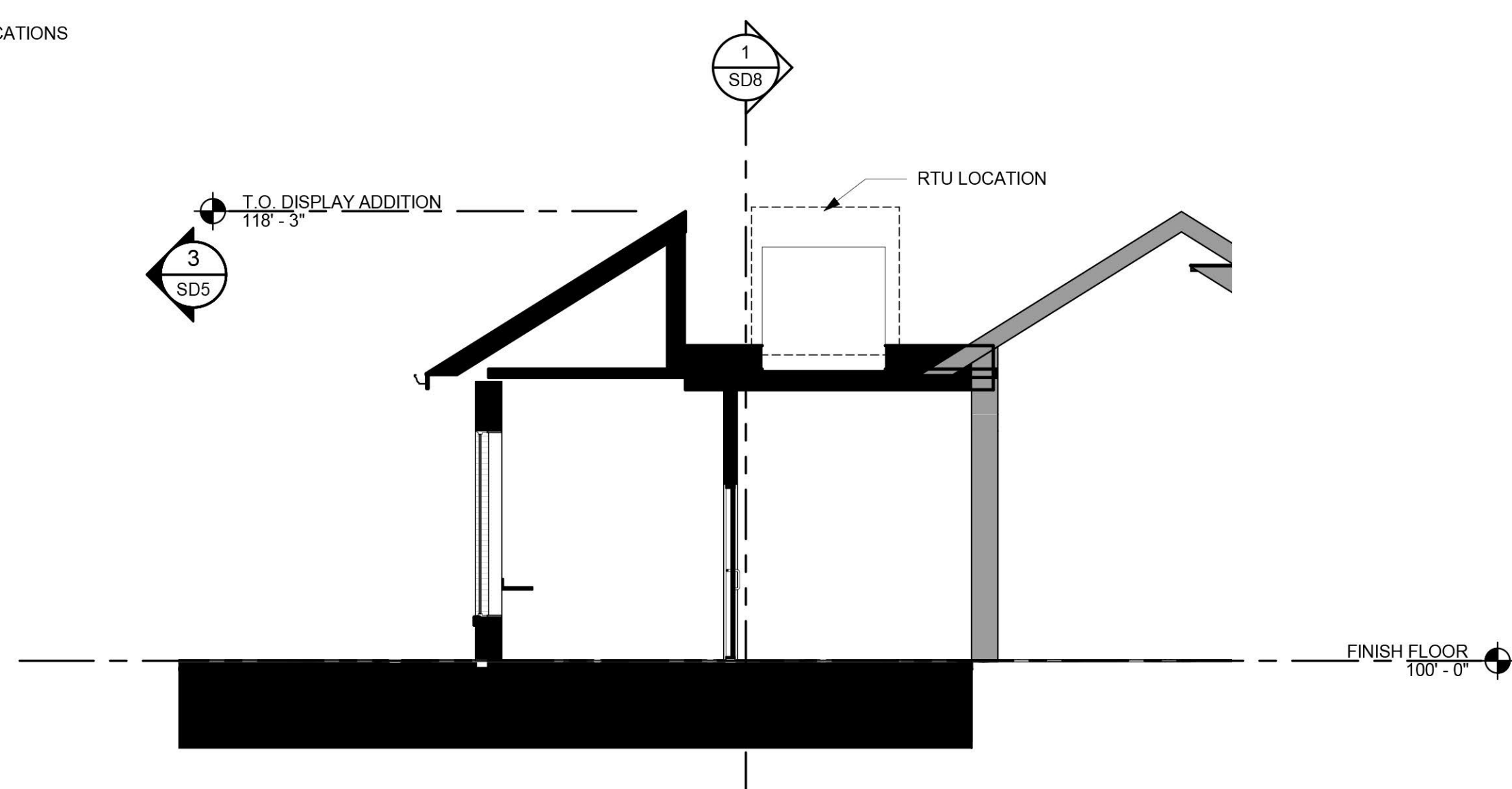
MISSOURI  
03-14-2022



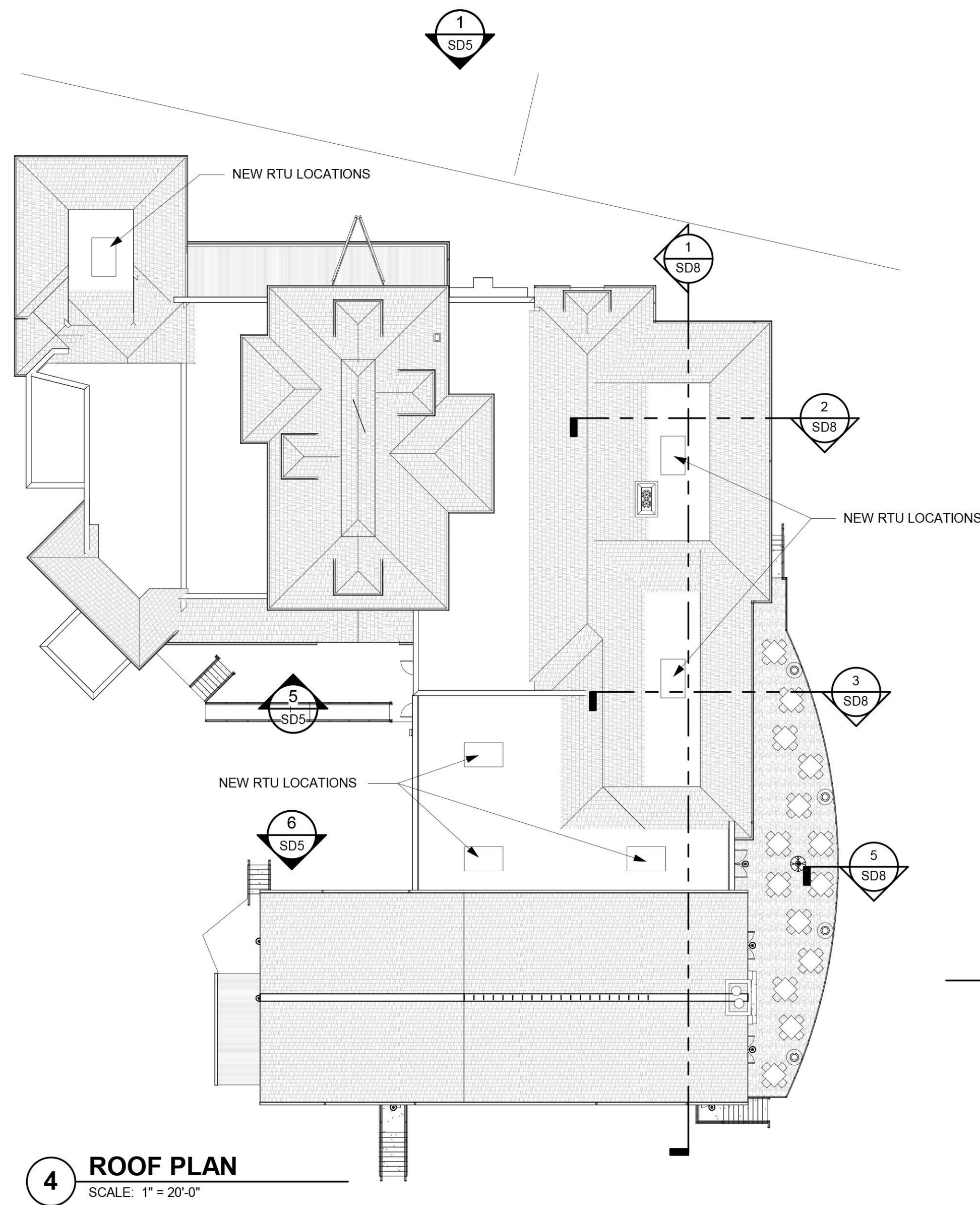
**1 SECTION THROUGH DISPLAY AND SEATING ADDITIONS**  
SCALE: 3/16" = 1'-0"



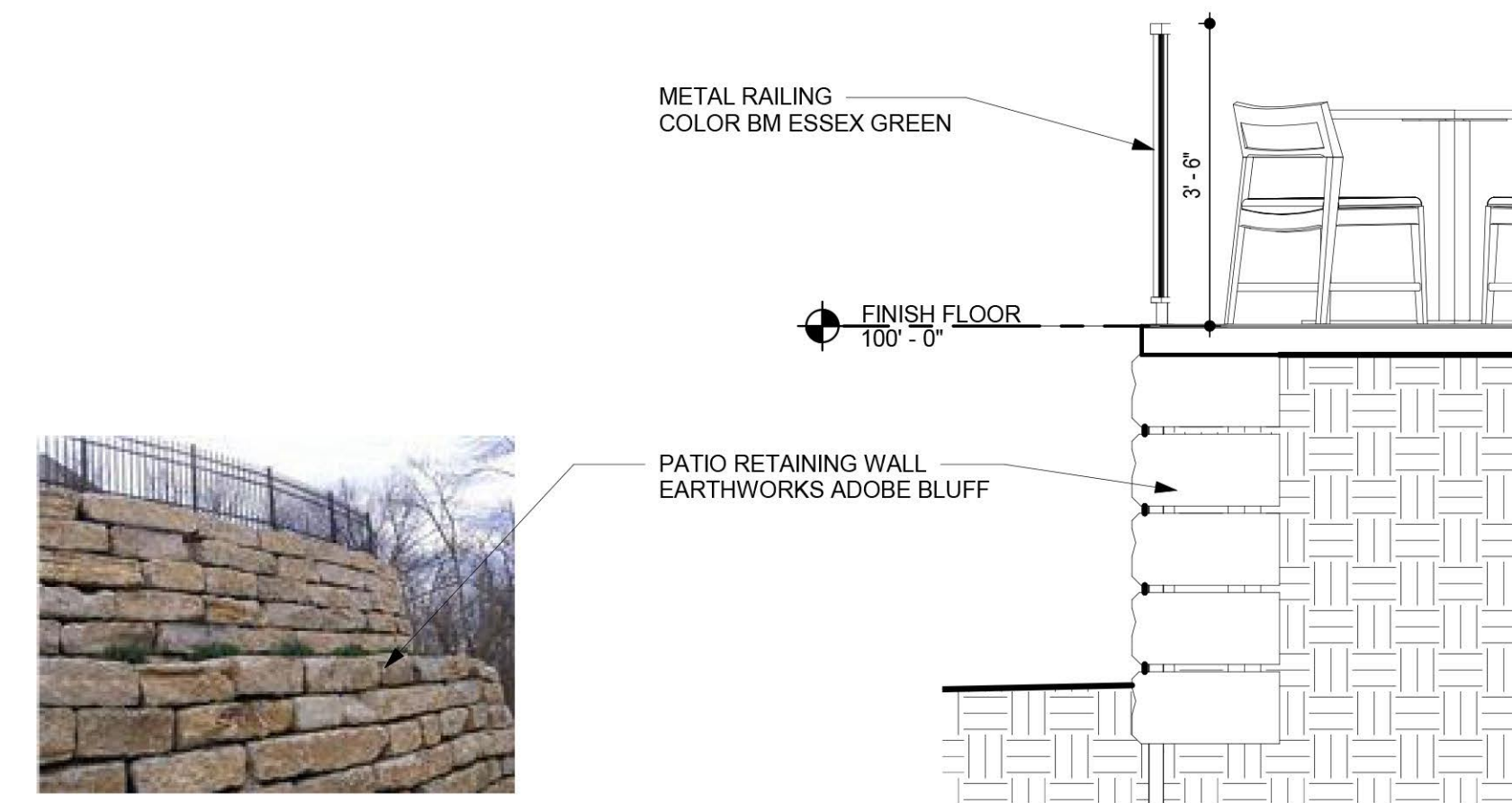
**2 SECTION THROUGH SEATING ADDITION**  
SCALE: 3/16" = 1'-0"



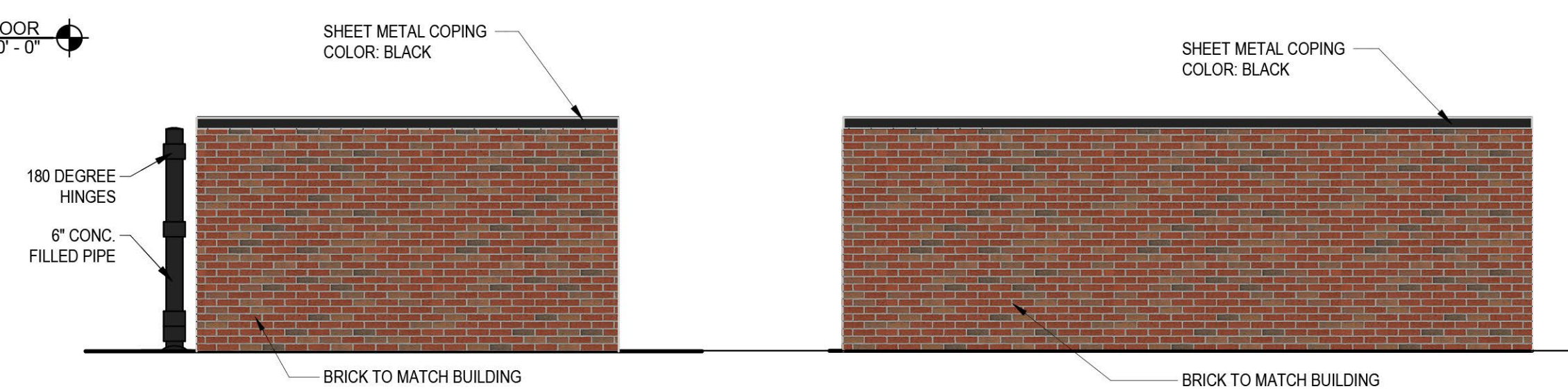
**3 SECTION THROUGH DISPLAY ADDITION**  
SCALE: 3/16" = 1'-0"



**4 ROOF PLAN**  
SCALE: 1" = 20'-0"

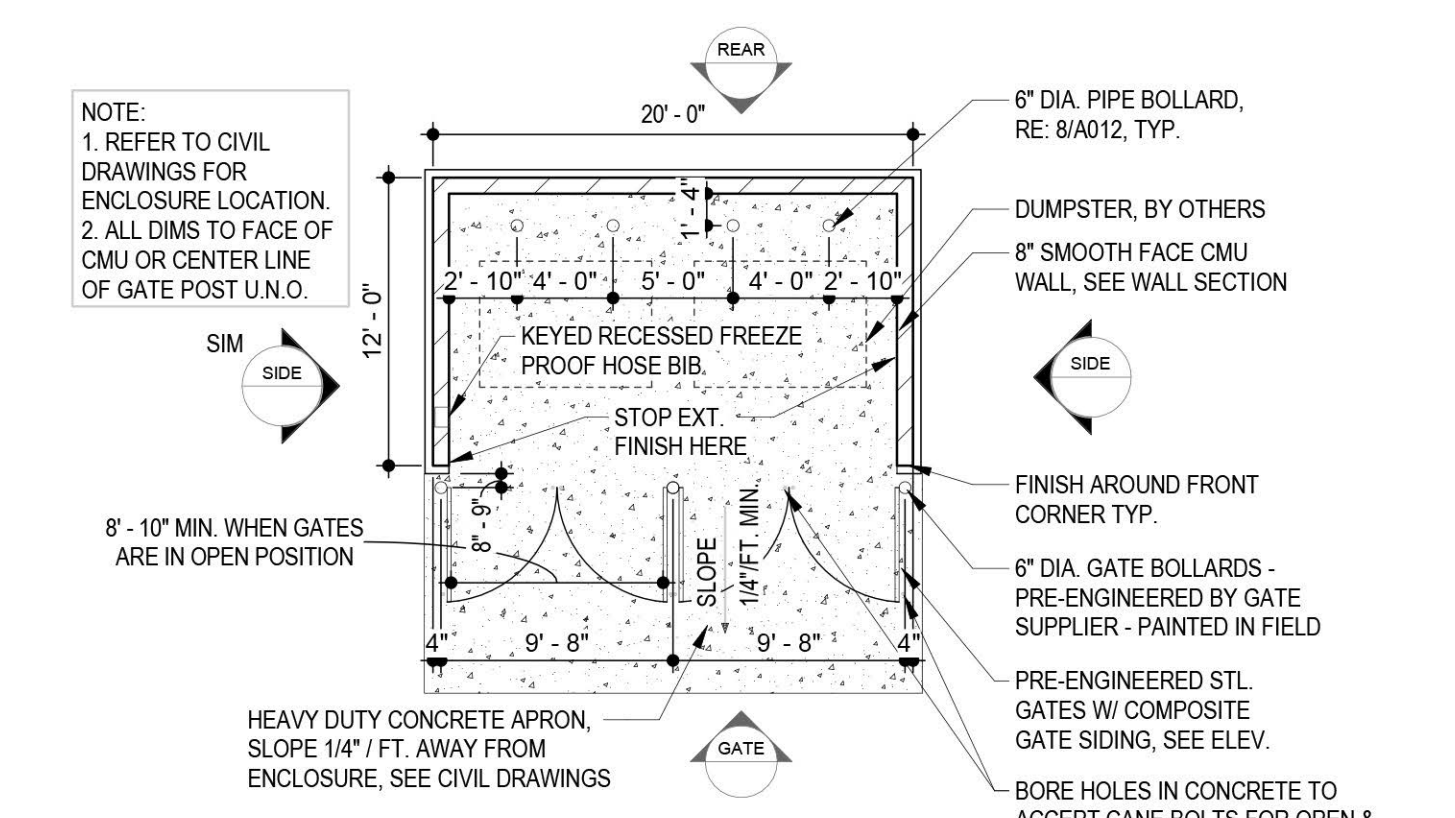


**5 SECTION THROUGH PATIO WALL**  
SCALE: 1/2" = 1'-0"

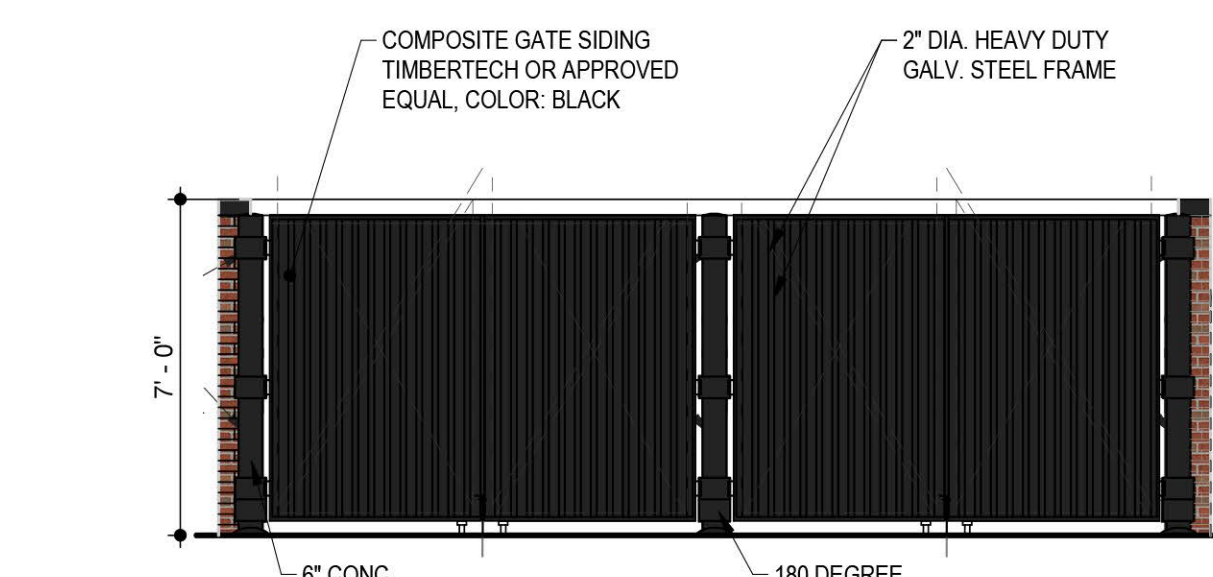


**8 TRASH ENCL. SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

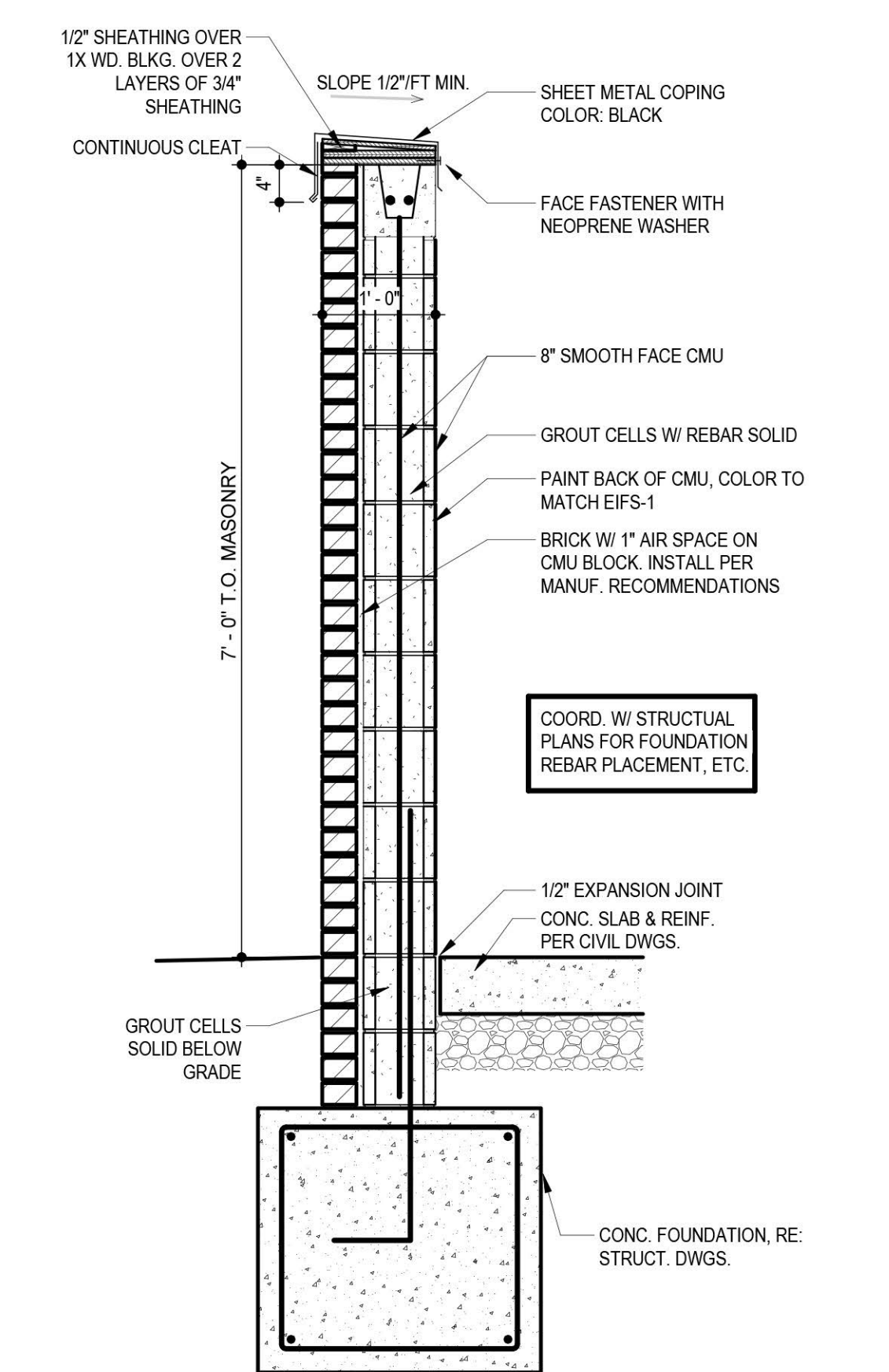
**9 TRASH ENCL. REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



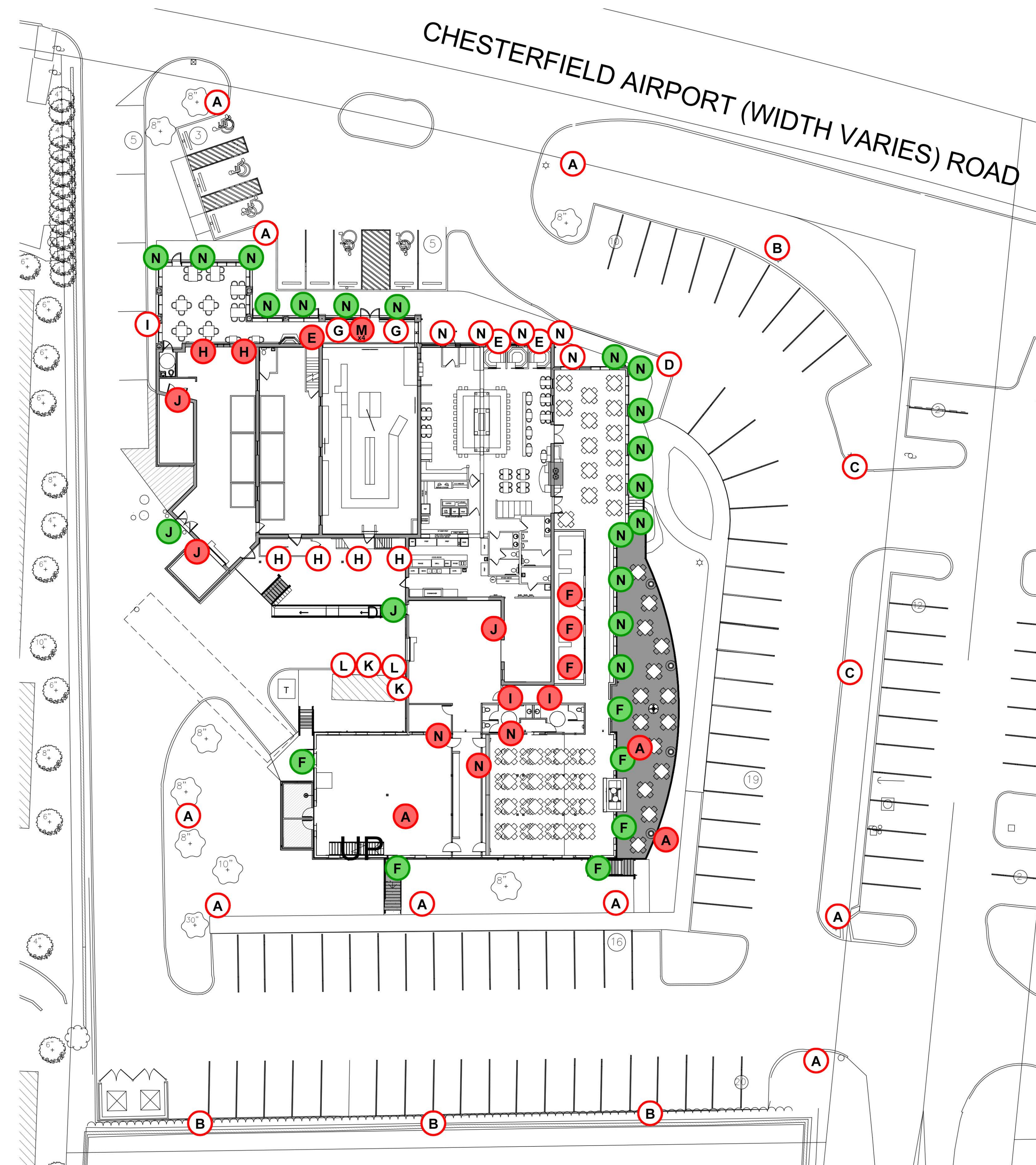
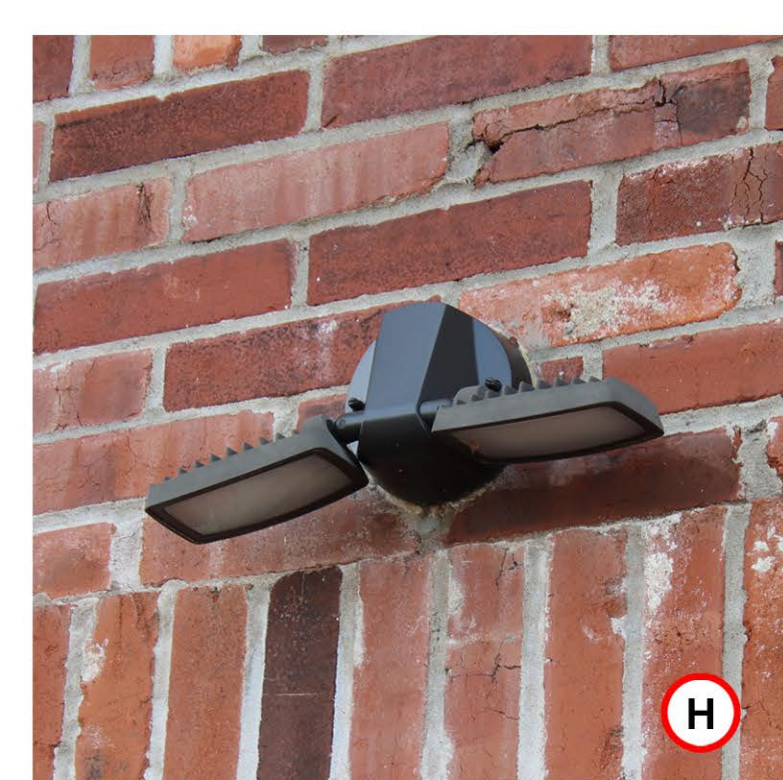
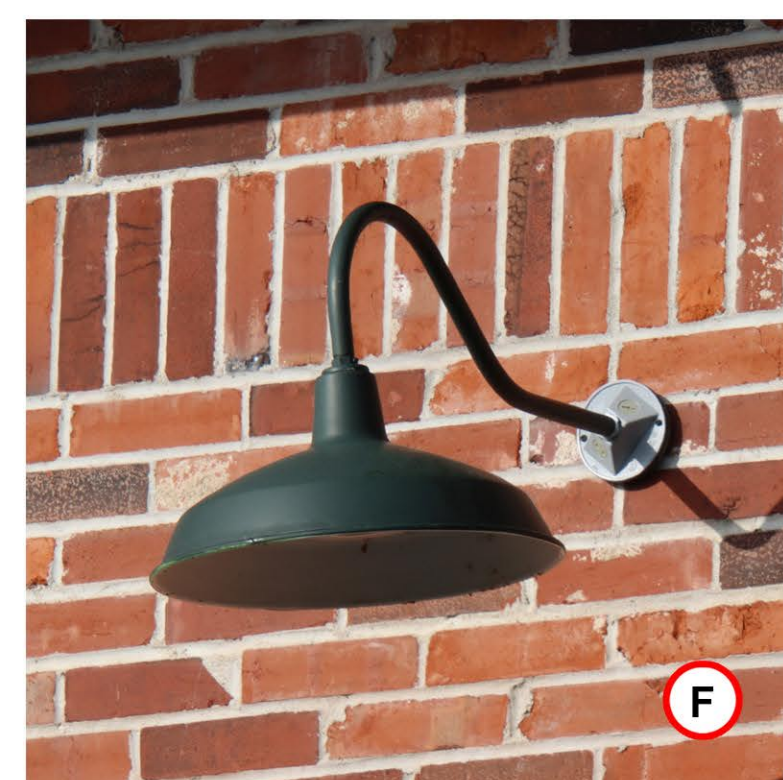
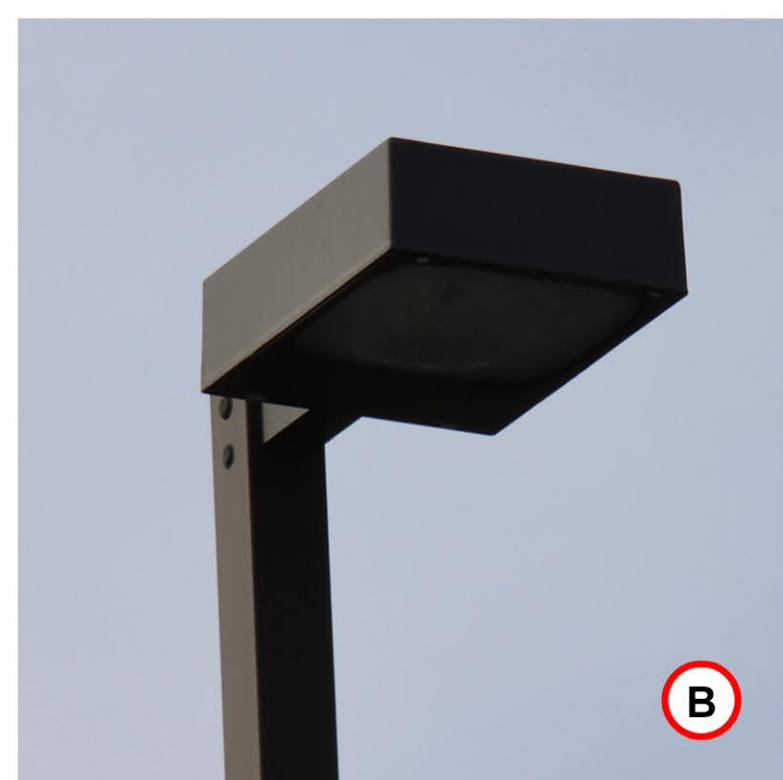
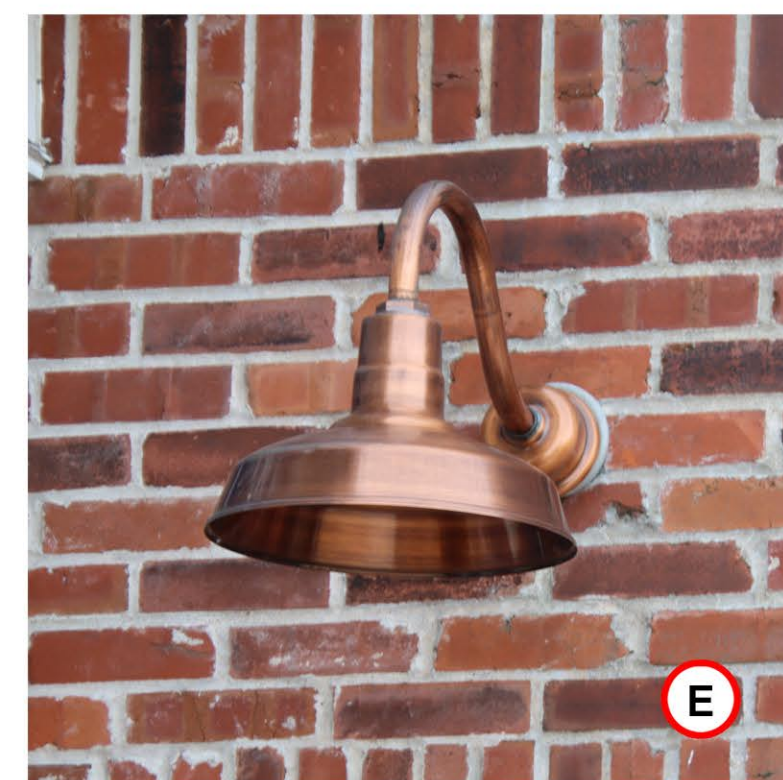
**6 TRASH ENCLOSURE PLAN**  
SCALE: 1/8" = 1'-0"



**7 TRASH ENCL. GATE DETAIL**  
SCALE: 1/4" = 1'-0"



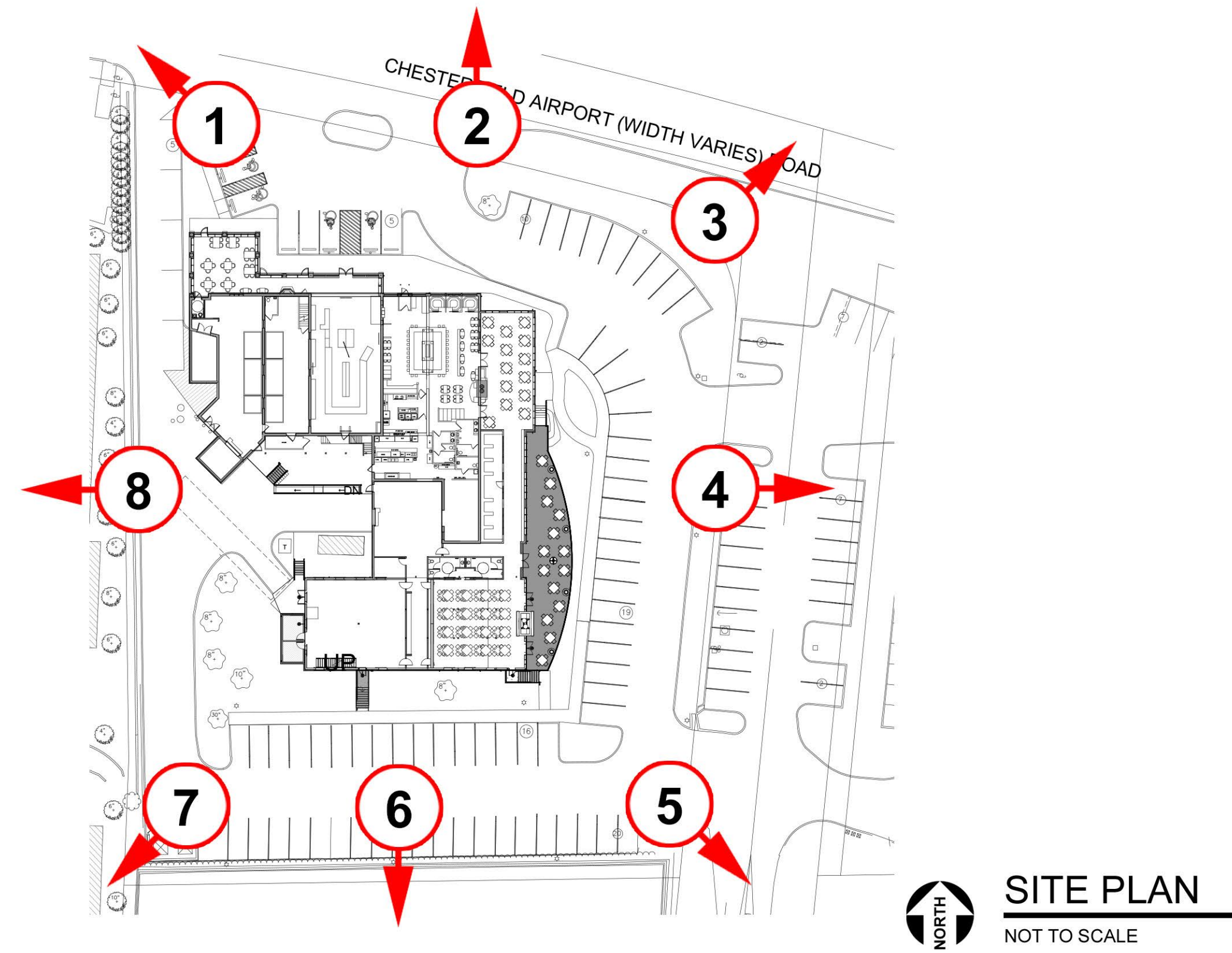
**10 TRASH ENCL. SECTION**  
SCALE: 3/4" = 1'-0"

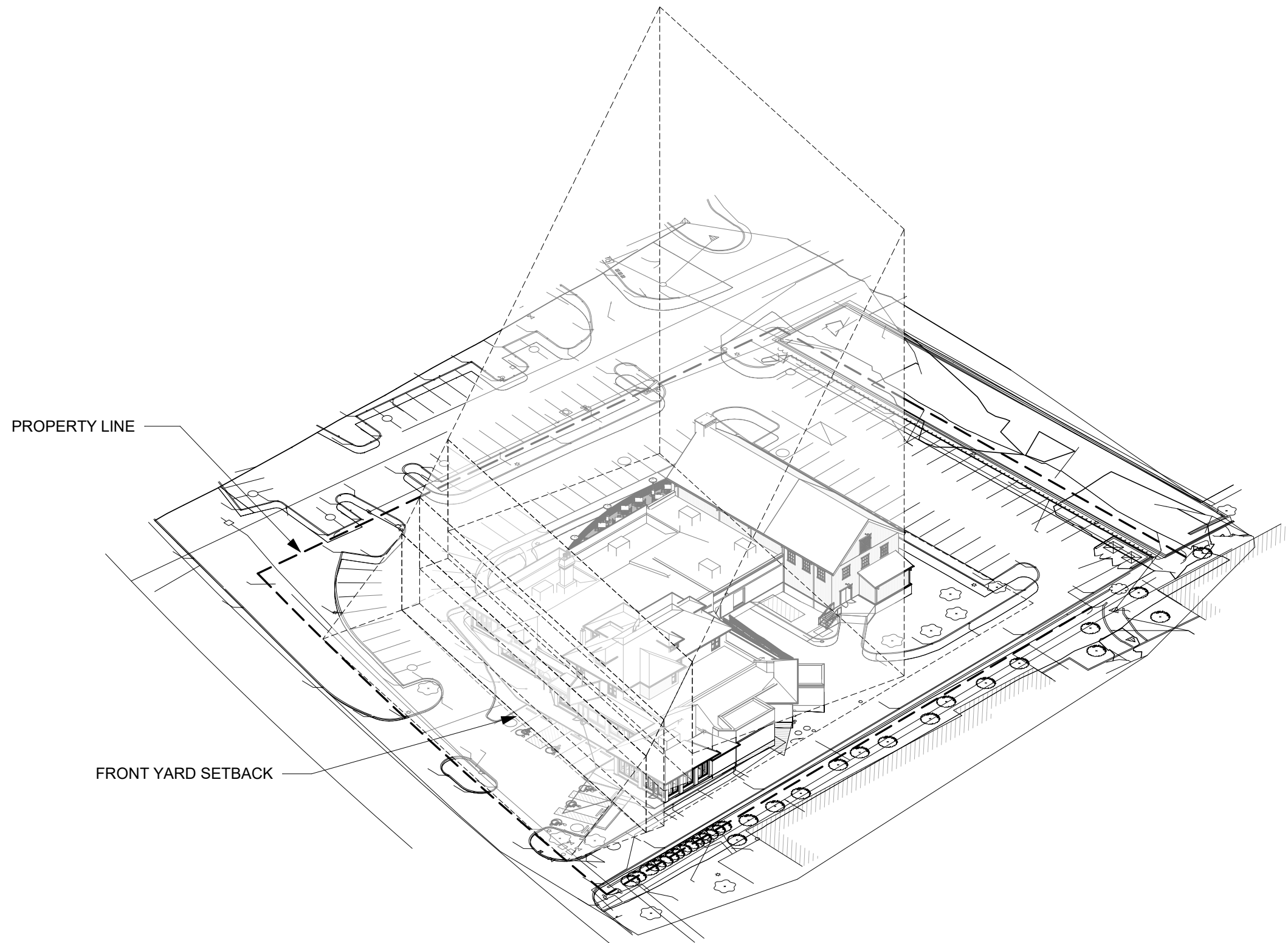


**SITE PLAN**  
NOT TO SCALE

**LEGEND**

- EXISTING LIGHT TO REMAIN
- LIGHT TO BE REMOVED OR RELOCATED
- NEW (SIMILAR) LIGHT OR RELOCATED LIGHT





**SETBACK SKY EXPOSURE PLANE**

**ANNIE GUNN'S**