

Planning Commission Staff Report

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| Project type: | Amended Site Development Plan |
| Meeting Date: | November 08, 2021 |
| From: | Shilpi Bharti, Planner <i>SB</i> |
| Location: | 1772 Clarkson Road |
| Description: | <u>Dierbergs The Market Place, Outlot Building 1772 Clarkson Road (Billy G's):</u> Amended Site Development Plan, Landscape Plan, and Amended Architectural Elevations for a restaurant located on an 11.35-acre tract of land located east of Clarkson Road and north of Baxter Road, zoned "C8"- Planned Commercial District. |

PROPOSAL SUMMARY

Dierbergs Chesterfield Village has submitted an Amended Site Development Plan for Dierbergs the Market Place. The Amended Site Development Plan proposes updates to the existing landscape, a new trash enclosure, and updates to the exterior façade of the existing outlot building. The proposed changes reduce the number of on-site parking by four spaces, but the site meets the Unified Development Code requirement for minimum parking.

The primary updates to the site consist of the amended architectural elevations for a new restaurant at 1772 Clarkson Road located in the existing outlot building.



Figure 1: Subject Location

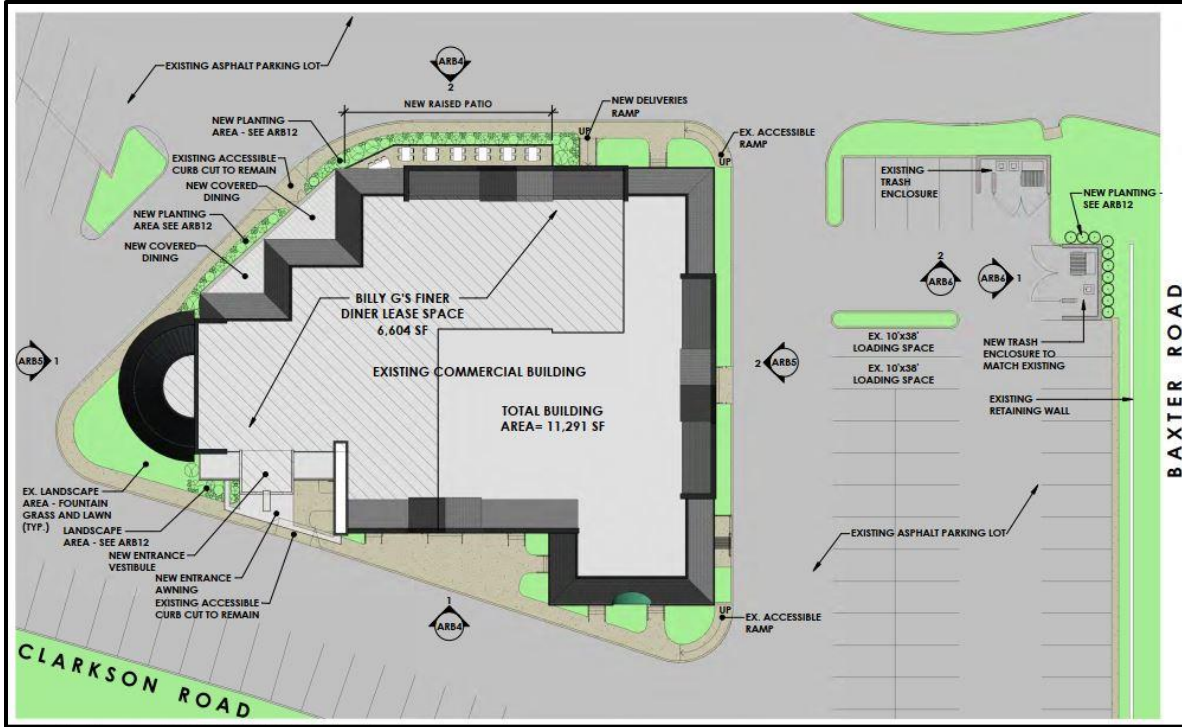


Figure 2: Site Plan 1772 Clarkson Road

HISTORY OF SUBJECT SITE

The subject site is zoned C8 and is surrounded by residential districts on the east and south sides, and commercial district on the west and north sides. The site was developed in 1987 under St. Louis County Ordinance 13,306. Since then, the ordinance was amended to modify permitted uses under this C8 district. The current ordinance governing the site is City of Chesterfield Ordinance 2950.

In 2011, a Partially Amended Landscape Plan was approved for Dierbergs The Market Place, which included some of the landscape area of the outlot building.

STAFF ANALYSIS

The site specific ordinance for Dierbergs the Market Place mentions architectural standards for the site under the architectural section of Ordinance 2950. As per the ordinance: "Building facades should be articulated by using color, arrangement or change in materials to emphasize the façade elements. The planes of the exterior walls may be varied in height, depth or direction. Extremely long facades shall be designed with sufficient building articulation and landscaping to avoid a monotonous or overpowering appearance."

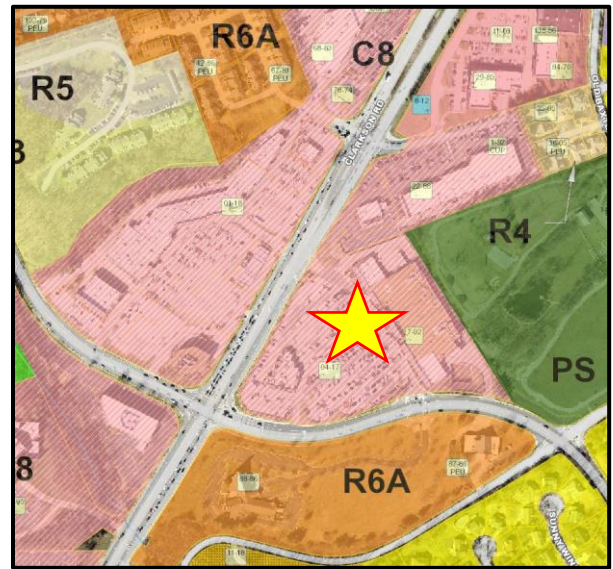


Figure 3: Zoning map

Accessibility and topography

The proposed site can be accessed from northbound Clarkson Road and Baxter Road. The contour of the site changes moving from south to north with the north side being 12' higher than the south. Dierbergs is located on the north side and the outlot building is located on the south side.

Architecture

The proposed changes to the outlot building include: new raised covered patio, concrete delivery ramp, storefront window, and painted metal railing on the east side; and new entrance vestibule, awning, and storefront on the west. The overall building façade has architectural wall paneling, diamond imprinted awning, and the PAC Clad standing seam roof is to be painted matte black and the existing brick stained to match the existing Dierbergs accent brick.



Figure 4: Existing Building



Figure 5: Rendering 1



Figure 6: Rendering 2

Lighting

The applicant is requesting to replace the existing exterior wall light fixtures with Brownlee lighting; Capsule Rd Fixture. The proposed light complies with the code minimum and maximum fc requirement. As the fixtures are not fully shielded, flat lens fixtures, Planning Commission approval is required.



Figure 7: Proposed Wall Light Fixture

Landscaping

New landscaping is proposed on the rear of the new trash enclosure, within the new landscape island, as well as on the east and northeast sides of the building. The trash enclosure is screened from Baxter Road by a series of evergreen trees and shrubs on the east and northeast side of the building. The plant schedule complies with the permitted trees within the City Code.

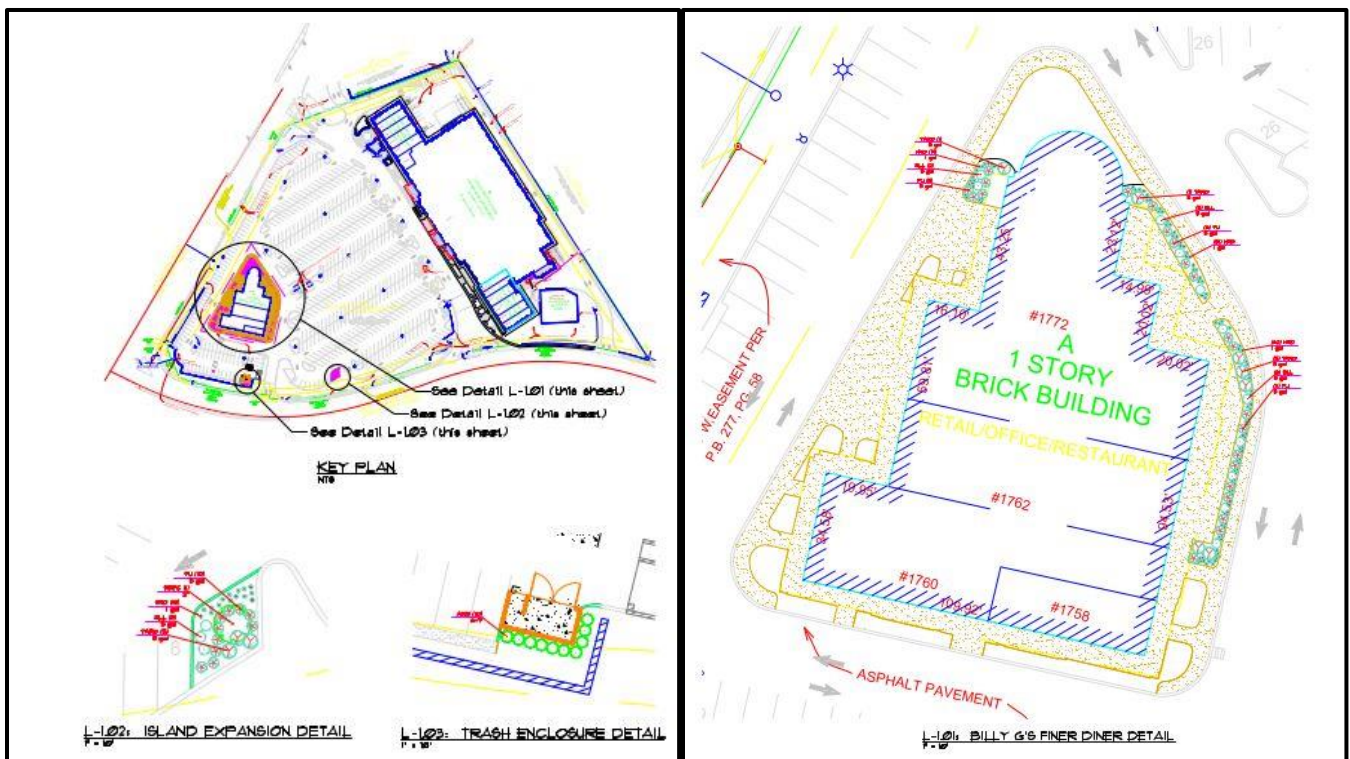


Figure 8: Proposed Landscaping

ARB Meeting Report

The project was reviewed by the Architectural Review Board on October 14, 2021. The Board forwarded the project to Planning Commission with a recommendation for approval with two (2) conditions:

1. Provide a rooftop screening diagram confirming that the proposed parapet walls will completely screen the visibility of the roof-top equipment from the site perimeter.
2. Provide a note on the elevations that the rear material color of the projecting wall element (CP-2 *Nichiha Miraia series "snow"*) will be of a similar color as the front.

The applicant has since addressed both comments, as shown below.

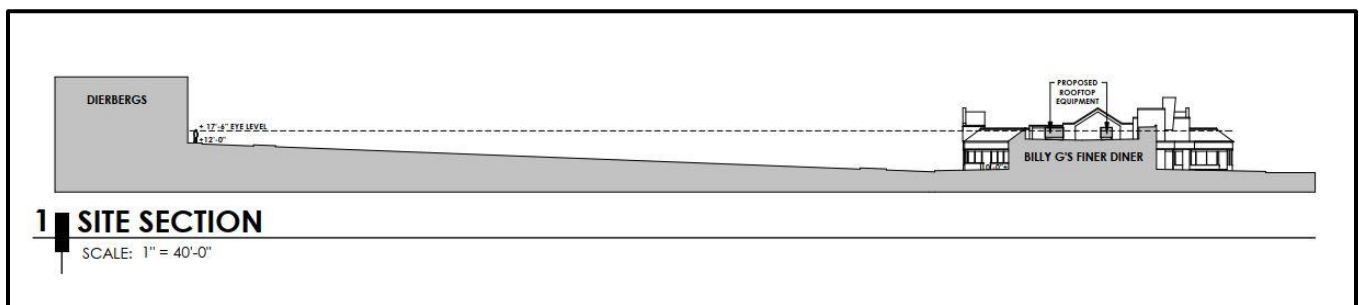


Figure 9: Roof Top Screening Diagram

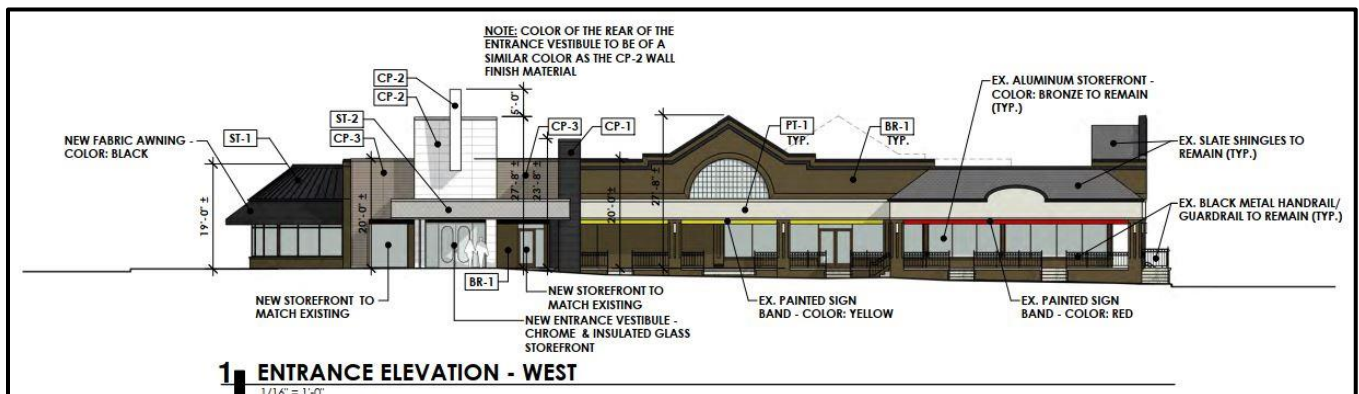


Figure 10: Note added on the Elevation

DEPARTMENTAL INPUT

Staff has reviewed this proposed development and found it to be in compliance with the City's Unified Development Code and site-specific ordinances. All outstanding comments have been addressed at this time. Staff recommends approval of the Amended Site Development Plan, Landscape Plan, and Amended Architectural Elevations for Dierbergs The Market Place, Outlot Building 1772 Clarkson Road (Billy G's).

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Amended Site Development Plan, Landscape Plan, and Amended Architectural Elevations for Dierbergs The Market Place, Outlot Building 1772 Clarkson Road (Billy G's) as presented."
- 2) "I move to approve the Amended Site Development Plan, Landscape Plan, and Amended Architectural Elevations for Dierbergs The Market Place, Outlot Building 1772 Clarkson Road (Billy G's) with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Attachments: Amended Site Development Plan Packet



3459 Arsenal Street | saint louis, mo 63118

November 1, 2021

VIA E-mail: Shilpi Bharti <SBharti@chesterfield.mo.us>

Ms. Shilpi Bharti
City Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, Missouri 63017

**Re: Dierbergs Chesterfield Village (1772 Clarkson Road)
ARB Re-submittal**

Dear Shilpi:

Thank you for your time and your review of the above referenced Architectural Review Board Submittal for the Billy G's project. Our written responses to the comments received from you are enclosed herewith along with the a complete set of the revised Submittal Package.

1. Attached please find a site section diagram that depicts the screening of the mechanical rooftop units. Furthermore, the applicant agrees that any additional or modified roof top equipment will be properly screened with materials of the same color as the existing building.
2. Please reference sheets ARB 3 & 4, for an added note that states that the back side of parapet walls of the entry element shall be of a similar color as the front material (CP-2, Nichiha Miraia Series "snow")

Sincerely,

Paul S. Brenden, NCARB

dadoworks

Missouri License # A-2004024855



3459 Arsenal Street | saint louis, mo 63118

September 30, 2021

ARCHITECT'S STATEMENT OF DESIGN-Billy G's Finer Diner

Introduction:

The project incorporates a tenant improvement of the existing restaurant space, including the addition of an entry vestibule, covered outdoor dining and patio areas. Additionally, the entire outbuilding will receive aesthetic improvements to modernize the building aesthetic.

The design intent is to improve and modernize the dated aesthetics of the existing building while respecting and harmonizing with the existing architecture. The design also strives to provide identity, protection and a visual cue for the entrance element for the main tenant restaurant. This is achieved with the new entrance vestibule through the use of form, massing, materiality and lighting.

In addition, the entire existing building will receive a stain to color the brick to be compatible with the recent modernization of the brick color at the adjacent Dierberg's Marketplace-

1. Scale

The building scale of the new entrance vestibule will be at the same height as the existing building's other entrance elements. This will provide a distinguishable new entrance to the new Billy G's Finer Diner restaurant.

2. Design

The new entry element and vestibule provides identity to the location and space to be occupied by Billy G's. A projecting canopy at the entrance will provide protection and a outside waiting area. The existing building will be modernized through the use of brick stain, new metal coping, gutters and downspouts and the replacement of the existing metal roof on a portion of the building. This new aesthetic will replace the dated green metal and red brick. A new covered outdoor dining space and patio are created on the east side of the existing building.

The existing parapet walls will screen the existing and supplemental roof top equipment.

A new trash enclosure will be constructed adjacent to the existing enclosure for the increased waste handling. It will be identical to the existing masonry enclosure in height scale and materiality.

3. Materials and Colors

Materials and colors were chosen to distinguish the new entry and to modernize the building while still being compatible with the existing building aesthetics. The main material will be Nichiha Wall panels chosen for its aesthetic characteristics, ease of construction, energy efficiency and its durability. A low gloss brushed stainless steel panel will be utilized as signage band, and also to accentuate the entry. It is of the same dimension and height of the existing building sign band.

The existing dated green metal roof at the north end of the building will be replaced with a matte black metal roof. The existing green copings, gutters and downspouts will be replaced with matte black metal to match the roof and a new black awning will replace the existing awning.

4. Landscape Design and Screening

The landscape plan will provide screening for the new trash enclosure to be consistent with the mature landscaping that exists, and a new landscape island expansion in the parking area will be

added. Additional building landscaping will be incorporated at the new entry and along the sidewalk to be compatible with the existing landscape theme.

5. Signage and Sign Package

All signage will be incorporated through a separate submittal.

6. Site Lighting

Existing Site lighting will remain in its current condition. The existing wall mounted building sconces will be replaced with energy efficient LED fixtures as part of the design to modernize the building.



7110 LED

CAPSULE is a wet location rated sconce offered in two sizes. While intended for exterior facades, it also used in commercial interior applications such as elevator lobbies, hallways, and meeting rooms. Heavy duty aluminum construction, uniformly illuminated frosted acrylic diffuser, stainless steel hardware, dedicated 120-277V LED components - all standard. CAPSULE is available in two form factors: round (model #: 7110) and square (model #: 7115).

FINISHES



CAPSULE-RD

STANDARD SPECIFICATIONS

HOUSING

Heavy duty commercial-grade assembly is constructed of formed aluminum (0.080" thickness) with welded ends. Two countersunk stainless steel fasteners are regressed behind the trim at each end of the fixture. No exposed hardware on the sides of the fixture. Rear mount plate includes factory installed closed-cell foam gasket.

DIFFUSER

UV stabilized frosted acrylic, form molded, stout thickness of 0.090" throughout.

LED PERFORMANCE - 3500K STANDARD

120-277V - 3500K, 82 CRI - L80 rating - 60,000 hrs - L70 rating (projected) - 100,000 hrs
 Amperage rated @ 110V input
 Operating ambient temperature: -20°C / -4°F - 60°C / 140°F

Delivered 3500K lumens noted. Consult Brownlee.com for performance of all CCTs.

15" Size: H08 - 8W nominal, .07 A input - 688 lm. Dimmable (0-10V).
 15" Size: H16 - 16W nominal, .14 A input - 1370 lm. Dimmable (0-10V).
 26" Size: H16 - 16W nominal, .14 A input - 1684 lm. Dimmable (0-10V).
 26" Size: H32 - 32W nominal, .27 A input - 3158 lm. Dimmable (0-10V).

MOUNTING

Directly to 4x4 j-box (by others). 26" size contains thru-holes for anchoring located toward top and bottom of mount plate and should be utilized to achieve a firm connection to the surface throughout (anchoring hardware by others).

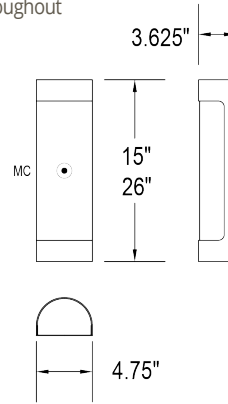
FINISH

All 7110 parts are prepared using a three step pre-treatment/sealing process, followed by a powder coat primer prior to applying any of the Brownlee finishes.

WARRANTY

5 year limited warranty on this LED product. Consult factory for details.

| |
|----------------------|
| PROJECT: |
| MODEL #: |
| FIXTURE TYPE: |



WET



ORDERING INFORMATION

7110

Model 2. 3. 4. 5. 6. (if required)

2. SIZE

15" 15" length
 26" 26" length

3. FINISH

BL Black
BZ Bronze
MB Metallic Bronze
NT Nickel Tone
WH White

TB Textured Black
TG Textured Grey
TW Textured White

Note: TB, TG, TW are ultra fine textured matte finishes. Contact your local representative for color swatches.

4. WATTAGE

15 SIZE
H08 8W H Series LED
H16 16W H Series LED

26 SIZE
H16 16W H Series LED
H32 32W H Series LED

5. COLOR TEMPERATURE

35K 3500K standard color temperature
30K 3000K color temperature
40K 4000K color temperature

6. AVAILABLE OPTIONS

BAC¹ Buy American Compliant
DTR⁴ Triac (Line Voltage) Dimming (120V)
ECW⁵ Extreme Cold Weather (-40°C / -40°F min.)
ES⁶ ENERGY STAR® (All except H08)
FCL⁷ French Canadian Labels

Notes: (0) 90R - cannot be combined with ES. (1) BAC - cannot be combined with FCL. (2) BBI/BBS/BBC - cannot be combined with ECW, EXT, or T24. (3) BLD - includes integral OCC sensor (do not combine with OCC option). Cannot be combined with DTR or T24. (4) DTR - cannot be combined with BLD or T24. (5) ECW - cannot be combined with BBI, BBC, or DTR. (6) ES - cannot be combined with 90R or T24. (7) FCL - cannot be combined with BAC or T24. (8) OCC - integral ON/OFF occupancy sensor. (9) T24 - includes JA8 labeling and 90 CRI LEDs (do not combine with 90R option). Cannot be combined with BBI, BBC, BBS, BLD, DTR, ES, or FCL. (10) BBS - cannot be combined with BLD, ECW, EXT, OCC, or T24. (11) PCH/PC4 - cannot be combined with BLD or OCC. **Add'l Notes:** *BBI/BBS/BBC - standard BBI (and BBS) option has a minimum operating temperature of 10C/50F. BBC option has a minimum operating temperature of -20C/-4F. **BLD - integral OCC sensor with onboard control. 1: Motion is detected, illuminate to 100%. 2: Motion no longer detected, dim to 50% (factory default), 30%, 20% or 10%. 3: Remain in continuous dimmed state (factory default) or turn off after set period.

Specifications and dimensions subject to change without notice.

Consult your Brownlee Lighting representative for availability and ordering information.



| LEGEND OF SYMBOLS | |
|------------------------------|--------------------------------------|
| EXISTING | PROPOSED |
| UTILITY POLE | UTILITY POLE |
| QUY WIRE | QUY WIRE |
| WALL | WALL |
| TREE | TREE |
| BUILDING | BUILDING |
| TELEPHONE LINE | TELEPHONE LINE |
| OHE | OHE |
| ELECTRIC LINE (OVERHEAD) | ELECTRIC LINE (OVERHEAD) |
| FIBER OPTIC CABLE | FIBER OPTIC CABLE |
| W | W |
| GAS LINE | GAS LINE |
| CABLE LINE | CABLE LINE |
| SANITARY LINE | SANITARY LINE |
| STORM LINE | STORM LINE |
| FORCE MAIN | FORCE MAIN |
| MANHOLE WITH STORM SEWER | MANHOLE WITH STORM SEWER |
| GRATE INLET WITH STORM SEWER | GRATE INLET WITH STORM SEWER |
| AREA INLET WITH STORM SEWER | AREA INLET WITH STORM SEWER |
| MANHOLE WITH SANITARY SEWER | MANHOLE WITH SANITARY SEWER |
| STORM STRUCTURE NUMBER | STORM STRUCTURE NUMBER |
| SANITARY STRUCTURE NUMBER | SANITARY STRUCTURE NUMBER |
| LIGHT | LIGHT |
| FIRE DEPARTMENT CONNECTION | FIRE DEPARTMENT CONNECTION |
| FIRE HYDRANT | FIRE HYDRANT |
| GAS VALVE | GAS VALVE |
| GAS METER | GAS METER |
| CLEAN OUT | CLEAN OUT |
| WATER VALVE | WATER VALVE |
| WATER METER | WATER METER |
| ELECTRIC METER | ELECTRIC METER |
| CONTOURS | CONTOURS |
| SPOT ELEVATION | SPOT ELEVATION |
| TC 565.19 | SPOT ELEVATION AT TOP OF CURB |
| BC 565.19 | SPOT ELEVATION AT BOTTOM OF CURB |
| FL 565.19 | SPOT ELEVATION AT FLOWLINE OF GUTTER |
| TW 565.19 | SPOT ELEVATION AT TOP OF WALL |
| BW 565.19 | SPOT ELEVATION AT BOTTOM OF WALL |
| TS 565.19 | SPOT ELEVATION AT TOP OF SLOPE |
| BS 565.19 | SPOT ELEVATION AT BOTTOM OF SLOPE |
| STREET SIGN | STREET SIGN |
| FENCE | FENCE |

DIERBERGS CHESTERFIELD VILLAGE, INC.
 IN CONNECTION WITH A CHANGE IN ZONING FOR THE FOLLOWING DESCRIBED PROPERTY FROM C-B, PLANNED COMMERCIAL, ORDINANCE #2356 TO PG, PLANNED COMMERCIAL, ORDINANCE #2355.

A TRACT OF LAND BEING PART OF PROPERTY CONVEYED TO DIERBERGS CHESTERFIELD VILLAGE, INC. BY INSTRUMENT RECORDED IN DEED BOOK 8242, PAGE 300, SITUATED IN U.S. SURVEY 2002, TOWNSHIP 45 NORTH, RANGE 4 EAST, CITY OF CHESTERFIELD, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF THE AFORESAID PROPERTY CONVEYED TO DIERBERGS CHESTERFIELD VILLAGE, INC. AT ITS INTERSECTION WITH A POINT IN THE SOUTHEASTERN CORNER THEREOF; THENCE SOUTHWESTERLY ALONG THE EASTERN LINE THEREOF; SOUTH 32 DEGREES 48 MINUTES 48 SECONDS EAST 816.34 FEET TO ITS INTERSECTION WITH A POINT IN THE NORTHERN RIGHT-OF-WAY LINE OF NEW BAXTER ROAD, ACCORDING TO THE SECTION PLAT THEREOF RECORDED IN PLAT BOOK 277, PAGE 24, OF SAID RECORDS; THENCE NORTHWESTERLY ALONG THE NORTHERN LINE THEREOF, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 172.20 FEET, AN ARC DISTANCE OF 442.89 FEET (NORTH 84 DEGREES 55 MINUTES 04 SECONDS WEST 484.26 FEET ON ITS CHORD) TO A POINT OF TANGENCY; THENCE SOUTH 71 DEGREES 28 MINUTES 50 SECONDS WEST 147.71 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY, CONTINUING ALONG THE NORTHERN RIGHT-OF-WAY LINE THEREOF, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 875.20 FEET, AN ARC DISTANCE OF 235.63 FEET (SOUTH 81 DEGREES 25 MINUTES 50 SECONDS WEST 234.43 FEET ON ITS CHORD) TO A POINT; THENCE NORTH 01 DEGREE 25 MINUTES 41 SECONDS EAST 10.00 FEET TO A POINT OF CURVATURE; THENCE NORTHWESTERLY, CONTINUING ALONG SAID NORTHERN RIGHT-OF-WAY LINE THEREOF, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 955.20 FEET, AN ARC DISTANCE OF 208.89 FEET (NORTH 79 DEGREES 31 MINUTES 57 SECONDS WEST 208.89 FEET ON ITS CHORD) TO A POINT IN THE EASTERN LINE OF PROPERTY CONVEYED TO THE STATE OF MISSOURI, PER DEED BOOK 8242, PAGE 3236, AFORESAID; THENCE NORTHWESTERLY ALONG SAID EASTERN LINE OF PROPERTY CONVEYED TO THE STATE OF MISSOURI, PER DEED BOOK 8242, PAGE 3236, AFORESAID; THENCE NORTHWESTERLY, CONTINUING ALONG THE EASTERN LINE OF THE AFORESAID PROPERTY CONVEYED TO THE STATE OF MISSOURI, NORTH 30 DEGREES 56 MINUTES 00 SECONDS EAST 159.19 FEET TO A POINT; THENCE NORTH 08 DEGREES 31 MINUTES 16 SECONDS EAST 300.04 FEET TO A POINT; THENCE NORTH 31 DEGREES 15 MINUTES 16 SECONDS EAST 63.62 FEET TO THE POINT OF BEGINNING, CONTAINING 11.35 ACRES, MORE OR LESS.

DIERBERGS CHESTERFIELD VILLAGE, INC., THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN FOR AND IN CONSIDERATION OF BEING GRANTED A PERMIT TO DEVELOP PROPERTY UNDER THE PROVISIONS OF THE UNIFIED ZONING ORDINANCE, SECTION 04-04 PG, PLANNED COMMERCIAL, OF THE CITY OF CHESTERFIELD, MISSOURI, DO HEREBY AGREE AND DECLARE THAT SAID PROPERTY FROM THE DATE OF RECORDING THIS PLAN SHALL BE DEVELOPED ONLY AS SHOWN THEREON, UNLESS SAID PLAN IS AMENDED BY THE PLANNING COMMISSION, OR VOIDED OR REVOKED BY ORDER OF THE CITY OF CHESTERFIELD COUNCIL.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN ST. LOUIS COUNTY, MISSOURI, THIS 24TH DAY OF AUGUST, 2024.

BY: ROBERT J. DIERBERG
 STATE OF MISSOURI)
 COUNTY OF ST. LOUIS)

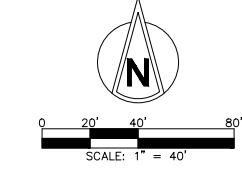
ON THIS DAY OF AUGUST, A.D. 2024, BEFORE ME PERSONALLY APPEARED ROBERT J. DIERBERG, TO ME KNOWN, WHO BEING BY ME SWORN IN, DO SAY THAT HE IS THE PRESIDENT OF DIERBERGS CHESTERFIELD VILLAGE, INC., A CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF MISSOURI, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENTS IS THE CORPORATE SEAL OF SAID CORPORATION, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND THE SAID ROBERT J. DIERBERG, ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN ST. LOUIS COUNTY, MISSOURI, THIS 24TH DAY OF AUGUST, 2024.

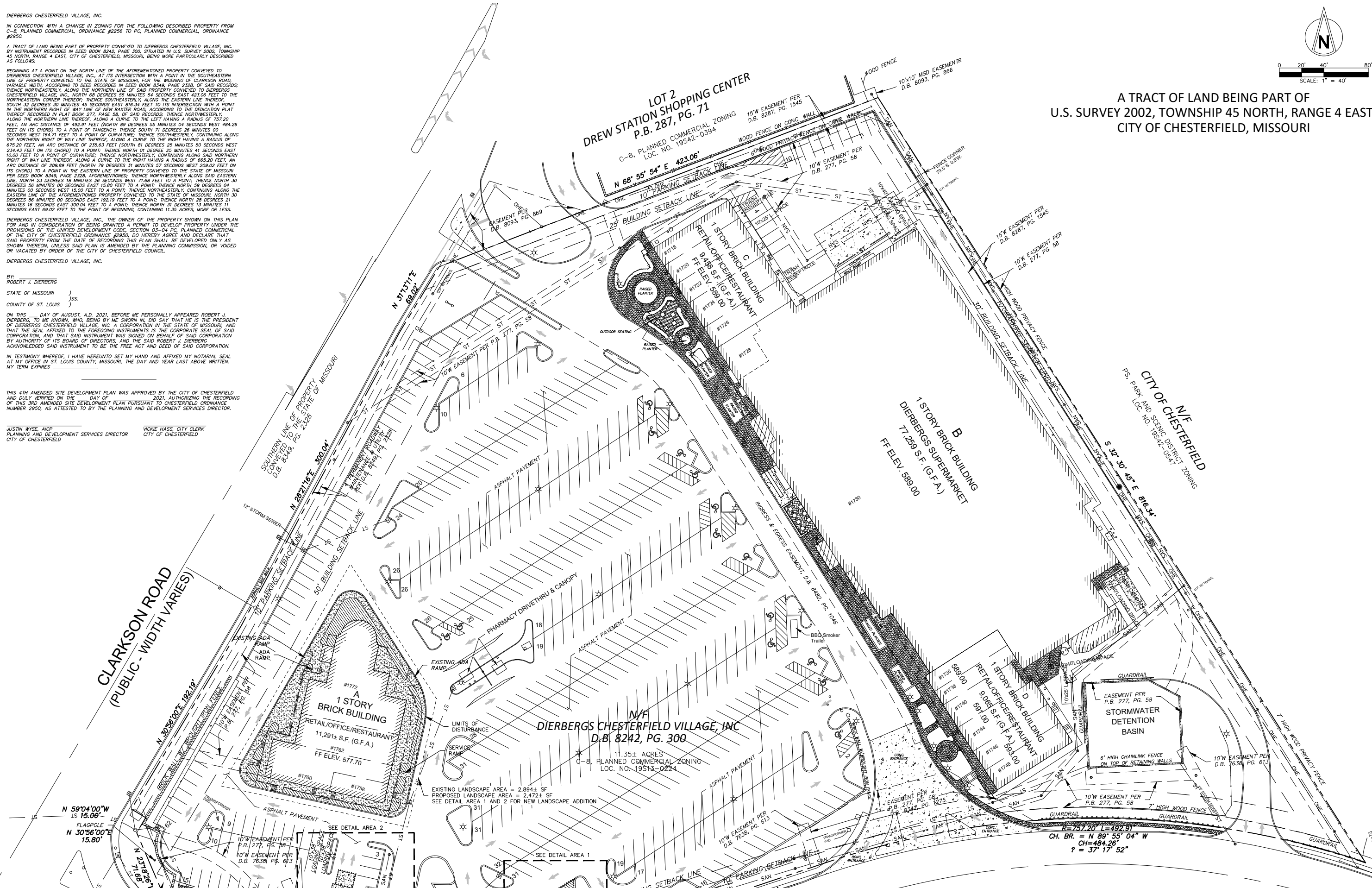
JUSTIN WYSE, ACP
 PLANNING AND DEVELOPMENT SERVICES DIRECTOR
 CITY OF CHESTERFIELD

WOLFE HASS, CITY CLERK
 CITY OF CHESTERFIELD

THIS 4TH AMENDED SITE DEVELOPMENT PLAN WAS APPROVED BY THE CITY OF CHESTERFIELD AND DULY VERIFIED ON THE DAY OF AUGUST, 2024, AUTHORIZING THE RECORDING OF THIS 4TH AMENDED SITE DEVELOPMENT PLAN PURSUANT TO CHESTERFIELD ORDINANCE NUMBER 2350, AS ATTESTED TO BY THE PLANNING AND DEVELOPMENT SERVICES DIRECTOR.



A TRACT OF LAND BEING PART OF
 U.S. SURVEY 2002, TOWNSHIP 45 NORTH, RANGE 4 EAST,
 CITY OF CHESTERFIELD, MISSOURI



GENERAL NOTES

- THE SITEWORK ON THIS PROJECT SHALL MEET OR EXCEED ALL STANDARDS AND SPECIFICATIONS REQUIRED BY THE CITY OF CHESTERFIELD.
- CASCO DIVERSIFIED CORPORATION HAS NOT PERFORMED ANY INVESTIGATION REGARDING UNDERGROUND CONDITIONS, HAZARDOUS WASTES, OR UTILITIES AFFECTING THE SITE SHOWN HEREIN.
- ALL DIMENSIONS ARE FROM THE CORNER UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS OUTSIDE OF PAVEMENT AND BUILDING PAD AREAS SHALL RECEIVE 4" OF SUITABLE TOPSOIL. CONTRACTOR SHALL SEED, MULCH, FERTILIZE AND MAINTAIN ALL DISTURBED AREAS OUTSIDE OF PAVEMENT UNTIL SUFFICIENT VEGETATIVE GROWTH HAS BEEN ESTABLISHED PER THE SWPPP. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS REQUIRED TO ESTABLISH PERMANENT SOIL STABILIZATION.
- ALL SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MISSOURI AT THE CONTRACTOR'S OWN EXPENSE. CONDITIONS OF THE RESPECTIVE MANUFACTURERS AND THE CITY OF CHESTERFIELD.
- ALL TRENCHES EXCAVATED UNDERNEATH AREAS TO BE PAVED SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL AND COMPACTED TO MEET REQUIREMENTS OF THE GEOTECHNICAL REPORT AND CITY OF CHESTERFIELD REQUIREMENTS.
- CONTRACTOR SHALL INSTALL ALL UNDERGROUND PIPING AND CONDUITS PER THE REQUIREMENTS OF THE RESPECTIVE MANUFACTURERS AND THE CITY OF CHESTERFIELD.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, NEITHER THE OWNER NOR THE ENGINEER WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL SAFETY MEASURES AND REGULATIONS. CONTRACTOR SHALL COMPLY WITH ALL OSHA REGULATIONS AND SAFETY MEETING REQUIREMENTS. THE CONTRACTOR SHALL BE COMPLETELY AND SOLELY RESPONSIBLE FOR JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PERSONS AT ALL TIMES DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, MAINTAINING, AND IMPLEMENTING ALL SAFETY DEVICES AND PRACTICES DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC AND PRIVATE PROPERTY ADJACENT TO THE WORK. CONTRACTOR SHALL EXERCISE DUE CARE AND CAUTION TO AVOID DAMAGE TO SUCH PROPERTY. CONTRACTOR SHALL REPLACE OR RESTORE TO EQUAL OR BETTER CONDITION THAN THE ORIGINAL CONDITION AT THE CONTRACTOR'S OWN EXPENSE. ALL IMPROVEMENTS WITHIN OR ADJACENT TO THE AREA OF WORK WHICH ARE NOT DESIGNATED FOR REMOVAL OR ADJUSTMENT AND WHICH ARE DAMAGED OR REMOVED AS A RESULT OF THE CONTRACTOR'S ACTIONS.
- CONTRACTOR SHALL CONTINUALLY MONITOR JOB SITE CONDITIONS. CONDITIONS REQUIRING CONSTRUCTION DIFFERENT THAN THAT SHOWN ON THE PLANS SHALL BE REPORTED TO THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING PRESENCE AND LOCATIONS (VERTICALLY AND HORIZONTALLY) OF ALL UTILITIES. IN NO WAY DOES THE ENGINEER OR THE OWNER SUGGEST, IMPLY, OR CONFIRM THAT UTILITIES SHOWN ARE INCLUSIVE OF ALL UTILITIES WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING IN PLACE ALL UTILITIES. ANY DAMAGE OR LOSS OF EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SHOULD ANY DAMAGE OCCUR AS A RESULT OF THE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL REPLACE OR REPAIR THE DAMAGES TO THE FULL SATISFACTION OF THE UTILITY OWNER AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR SHALL AGREE TO DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND THE ENGINEER FROM ANY AND ALL DAMAGES OR LOSS.
- UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS, AND INFORMATION, AND THEREFORE, DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES, AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.

MSD NOTES

- THIS PROJECT CONSISTS OF:
 - INTERIOR RENOVATIONS TO AN EXISTING BUILDING AND LANDSCAPING REVISIONS TO THE EXISTING BUILDING
 - ADDITION OF A TRASH ENCLOSURE AND REMOVAL OF SIDEWALK
 - REMOVAL OF PARKING SPACES FOR A LANDSCAPED AREA
- NO NEW DOMESTIC WATER TAPS ARE PROPOSED.
- CONTRACTOR TO MATCH EXISTING GRADE AND MAINTAIN EXISTING DRAINAGE PATTERNS AND THEREFORE, DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES, AND UTILITIES.
- THERE IS NO INCREASE IN AREA OF IMPERVIOUS SURFACES, THEREFORE, STORMWATER RUNOFF WILL NOT INCREASE.

PROJECT DISTURBANCE = 0.183± ACRES

ANY FUTURE LAND DISTURBANCE AND/OR INCREASE IN IMPERVIOUS AREA ON THIS SITE MAY REQUIRE ADDITIONAL STORMWATER MANAGEMENT PER MSD REGULATIONS IN PLACE AT THAT TIME (INCLUDING TOTAL LAND DISTURBANCE AND/OR IMPERVIOUSNESS ADDED ON THIS PLAN).

CITY OF CHESTERFIELD NOTES

- NOTIFY THE CITY OF CHESTERFIELD DEPARTMENT OF PUBLIC WORKS 48 HOURS PRIOR TO COMMENCEMENT OF GRADING AND/OR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL KEEP ROAD CLEAR OF MUD AND DEBRIS. THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS.
- CONTRACTOR SHALL KEEP ROAD CLEAR OF MUD AND DEBRIS.
- THE STREETS SURROUNDING THIS DEVELOPMENT AND ANY STREET USED FOR CONSTRUCTION SHALL BE KEPT CLEAN THROUGHOUT THE DAY.
- NO EXCAVATION SHALL BE MADE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJACENT PROPERTY OF ANY PUBLIC OR PRIVATE STREET WITHOUT SUPPORTING AND PROTECTING SUCH PUBLIC OR PRIVATE STREET FROM SETTLING, CRACKING, OR OTHER DAMAGE.
- ALL FILLS, INCLUDING TRENCH BACKFILLS WITHIN AND OFF THE ROAD RIGHT-OF-WAY, SHALL BE COMPACTED IN 8" HORIZONTAL LAYERS TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED ASTM T-180 COMPACTION TEST" (ASTM-1557) FOR THE ENTIRE DEPTH OF THE FILL. COMPACTED GRANULAR BACKFILL IS REQUIRED IN ALL TRENCH EXCAVATION WITHIN THE STREET RIGHT-OF-WAY AND UNDER ALL PAVED AREAS. ALL TESTS SHALL BE LOGGED IN THE FIELD UNDER THE DIRECTION AND VERIFIED BY A GEOTECHNICAL ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
- SOFT SOILS IN THE BOTTOM AND BANKS OF ANY EXISTING OR FORMER POND SITES OR TRIBUTARIES OR ANY SEDIMENT BASINS OR TRAPS SHOULD BE REMOVED, SPREAD OUT AND PERMITTED TO DRY SUFFICIENTLY TO BE USED AS FILL. NONE OF THIS MATERIAL SHOULD BE PLACED IN PROPOSED PUBLIC RIGHT-OF-WAY, STORM SEWER LOCATION.
- ALL EXCAVATIONS, GRADING, OR FILLING SHALL HAVE A FINISHED GRADE NOT TO EXCEED A 3:1 SLOPE (33%), UNLESS SPECIFICALLY APPROVED OTHERWISE.
- ANY WELLS, CISTEMS, AND/OR SPRINGS, WHICH MAY EXIST ON THIS PROPERTY, SHOULD BE LOCATED AND SEALED IN A MANNER ACCEPTABLE TO THE CITY OF CHESTERFIELD AND THE OWNER.
- THE LOT SHALL BE SEEDED AND MULCHED OR SOODED BEFORE OCCUPANCY PERMIT IS ISSUED EXCEPT THAT A TEMPORARY OCCUPANCY PERMIT MAY BE ISSUED BY THE CITY OF CHESTERFIELD PLANNING DEPARTMENT IN CASE OF UNDUE HARDSHIP BECAUSE OF UNFAVORABLE GROUND CONDITIONS. THE LOT IS TO BE SEEDED AND MULCHED IT SHALL BE DONE SO IN A MANNER THAT IT MEETS OR EXCEEDS THE REQUIREMENTS OF THE CITY OF CHESTERFIELD'S "SEEDMENT AND EROSION CONTROL GUIDELINES."

PARKING AND LOADING SPACE CALCULATIONS

PARKING CALCULATIONS:

TOTAL GROSS FLOOR AREA = 106,975± SF

REQUIRED PARKING = 106,975 x 4.75 / 1,000 = 509 SPACES REQUIRED (RESTAURANT USES LESS THAN 20% OF TOTAL)

| PARKING SPACES PROVIDED | REVISD PARKING SPACES PROVIDED |
|-------------------------|--------------------------------|
| REGULAR 549 | REGULAR 545 |
| HANDICAP 14 | HANDICAP 14 |
| TOTAL 563 | TOTAL 559 |

LOADING SPACE CALCULATIONS:

| REQUIREDS | PROVIDED |
|--|----------|
| SUPERMARKET 4 10'x40' LOADING SPACES | 2 |
| RETAIL BUILDING A 2 10'x25' LOADING SPACES | 4 |
| RETAIL BUILDING C 1 10'x25' LOADING SPACES | 1 |
| RETAIL BUILDING D 1 10'x25' LOADING SPACES | 1 |

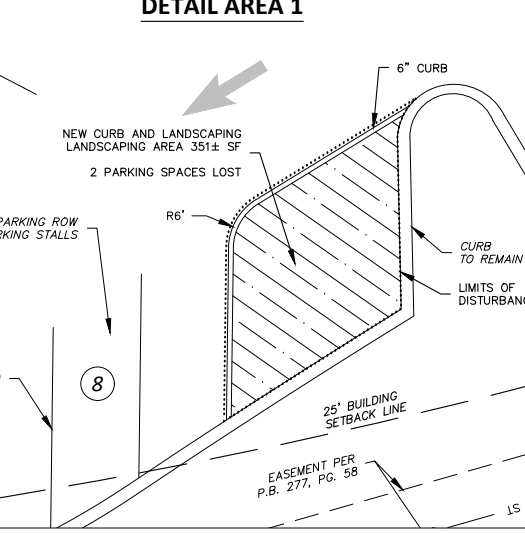
LANDSCAPE AREA CALCULATIONS

| | |
|--|-----------|
| EXISTING LANDSCAPE AREA (AROUND BUILDING): | 2,894± SF |
| PROPOSED LANDSCAPE AREA (AROUND BUILDING): | 2,472± SF |
| + LANDSCAPE AREA ADDED (NEW CURB) | + 351± SF |
| + LANDSCAPE AREA ADDED (NEW TRASH ENCLOSURE) | + 138± SF |
| TOTAL PROPOSED LANDSCAPE AREA = | 2,961± SF |

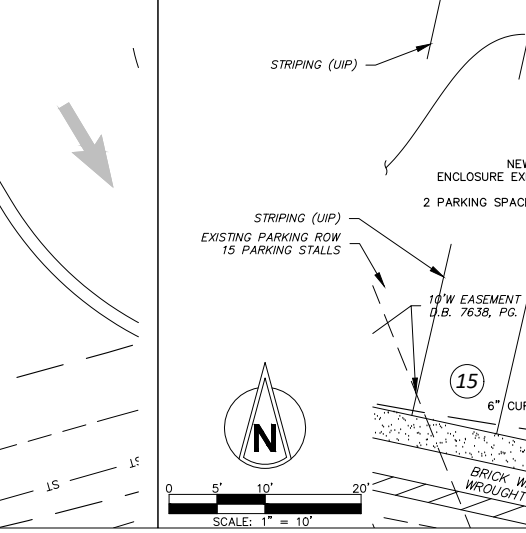
SURVEY NOTE

THE AMENDED SITE DEVELOPMENT PLAN WAS SCANNED FROM A PROPERTY BOUNDARY SURVEY PREPARED BY THE CLAYTON ENGINEERING COMPANY FOR DIERBERGS CHESTERFIELD VILLAGE, INC. DATED 11-18-1998. CONTOURS ARE BASED ON THE ORIGINAL SITE DEVELOPMENT PLAN DATED 04-27-1997.

DETAIL AREA 1



DETAIL AREA 2



CONSTR. DOC. & REVISIONS

| No. | Description | Date |
|----------|------------------------|----------|
| 10-05-21 | PROFESSIONAL OF RECORD | 10-05-21 |
| 10-05-21 | CONTRACTOR | 10-05-21 |

CASCO DIVERSIFIED CORPORATION
 CERTIFICATE OF AUTHORITY - ENGINEERING
 #000813 - 12/31/21

PROFESSIONAL ENGINEER
 STATE OF MISSOURI
 CONSTRUCTION ENGINEERING

PROFESSIONAL OF RECORD
 Connor M. Endres
 License No. PC-2020034034
 Expiration Date 12/31/22

Drawn By/Checked By: MEB/ALA
 Project Number: 2101082
 Permit Date: ---
 Bid Date: ---
 Drawing Date: 10-05-21

4TH AMENDED SITE DEVELOPMENT PLAN

C1.0

21MSD-xxxxx | MSD BASEMAP 19-5

CASCO CIVIL

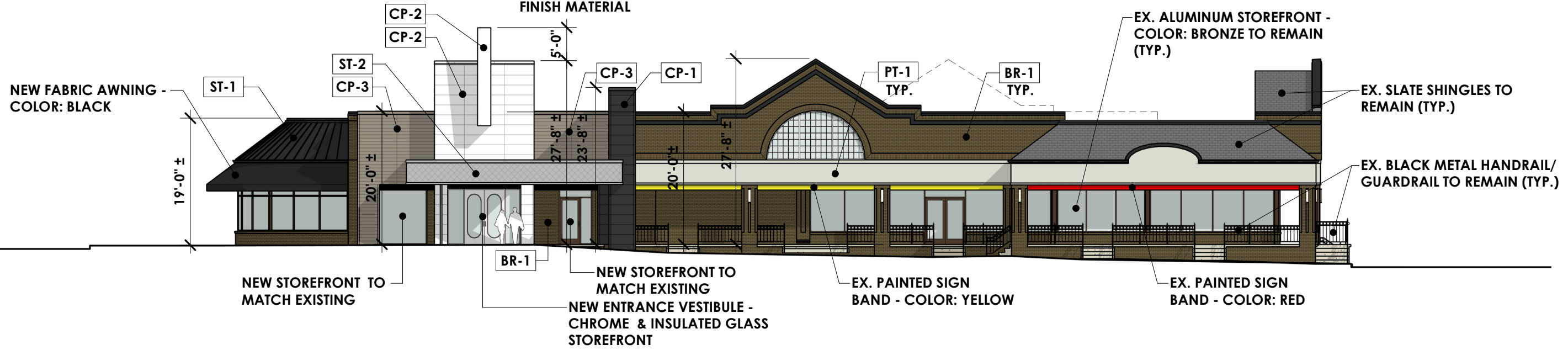
4TH AMENDED SITE DEVELOPMENT PLAN
 DIERBERGS - THE MARKETPLACE
 1772 CLARKSON ROAD
 CHESTERFIELD, MO 63017

Dierberga



PROPOSED SCHEME- FRONT LEFT

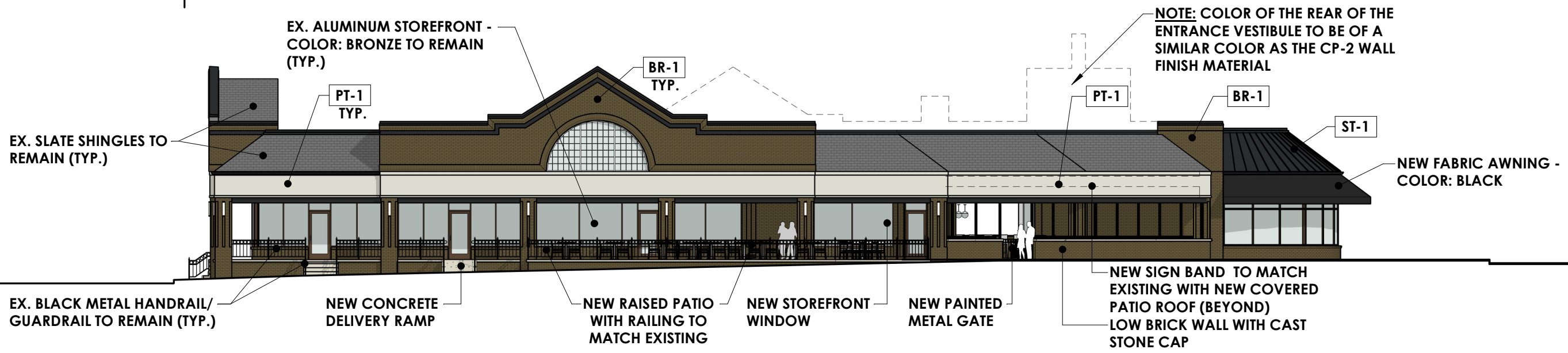
NOTE: COLOR OF THE REAR OF THE ENTRANCE VESTIBULE TO BE OF A SIMILAR COLOR AS THE CP-2 WALL FINISH MATERIAL



1 ENTRANCE ELEVATION - WEST

1/16" = 1'-0"

NOTE: COLOR OF THE REAR OF THE ENTRANCE VESTIBULE TO BE OF A SIMILAR COLOR AS THE CP-2 WALL FINISH MATERIAL



2 OUTDOOR DINING - EAST ELEVATION

1/16" = 1'-0"

NOTE: REFER TO MATERIAL SAMPLES & RENDERINGS FOR FINISH MATERIAL COLORATION

| CP-1 | CP-2 | CP-3 | ST-1 | ST-2 | BR-1 | PT-1 |
|--|--|--|--|---|--|---|
| NICHIHA ARCHITECTURAL WALL PANEL - ILLUMINATION SERIES COLOR: GRAPHITE | NICHIHA ARCHITECTURAL WALL PANEL - MIRAIA SERIES COLOR: SNOW | NICHIHA ARCHITECTURAL WALL PANEL - VINTAGEWOOD SERIES COLOR: ASH | PAC CLAD STANDING SEAM ROOF COLOR: MATTE BLACK | DIAMOND IMPRINTED AWNING - #4 BRUSHED STAINLESS STEEL | BRICK STAIN TO MATCH EXISTING DIERBERGS ACCENT BRICK - COLOR: SHERWIN WILLIAMS URBANE BRONZE | EXISTING SIGN BAND: PAINTED MDO PLYWOOD - COLOR: GRAY |

NOTE: COLOR OF THE REAR OF THE ENTRANCE VESTIBULE TO BE OF A SIMILAR COLOR AS THE CP-2 WALL FINISH MATERIAL

EX. ALUMINUM STOREFRONT - COLOR: BRONZE TO REMAIN (TYP.)

EX. SLATE SHINGLES TO REMAIN (TYP.)

NEW RAISED PATIO WITH BLACK METAL RAILING TO MATCH EXISTING

NEW PAINTED METAL GATE - COLOR: BLACK

NEW SIGN BAND TO MATCH EXISTING WITH NEW COVERED PATIO ROOF (BEYOND)
NEW LOW BRICK WALL WITH CAST STONE CAP

NEW FABRIC AWNING - COLOR: BLACK

EX. BLACK METAL HANDRAIL/GUARDRAIL TO REMAIN (TYP.)

NEW WALL CP-3

CP-2

NEW ENTRANCE VESTIBULE

CP-2

NEW WALL WRAP

CP-1

NEW AWNING

ST-2

PT-1 TYP.

EX. PAINTED SIGN BAND - COLOR: RED

BR-1

1 NORTH ELEVATION

1/16" = 1'-0"

EX. SLATE SHINGLES TO REMAIN (TYP.)

EX. GREEN STANDING SEAM METAL ROOF TO REMAIN

EX. PAINTED SIGN BAND - COLOR: RED

PT-1 TYP.

BR-1 TYP.

NEW BLACK METAL PARAPET CAP (TYP.)

NEW BLACK METAL GUTTER AND DOWNSPOUTS (TYP.)

REPLACE EXISTING EXTERIOR LIGHT FIXTURES WITH - BROWNLEE LIGHTING: CAPSULE-RD FIXTURE

EX. BLACK METAL HANDRAIL/GUARDRAIL TO REMAIN (TYP.)

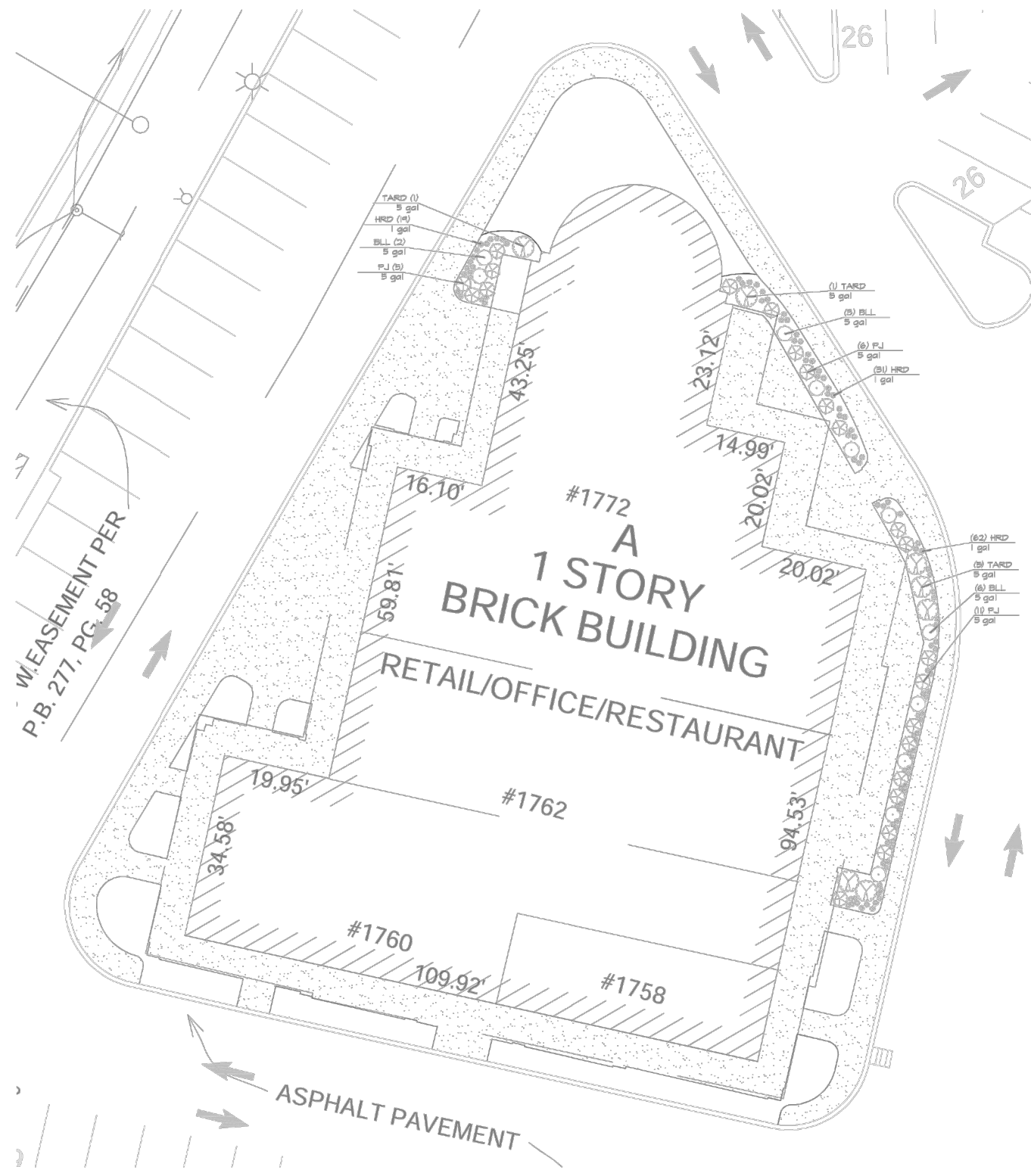
EX. ALUMINUM STOREFRONT - COLOR: BRONZE TO REMAIN (TYP.)

2 SOUTH ELEVATION

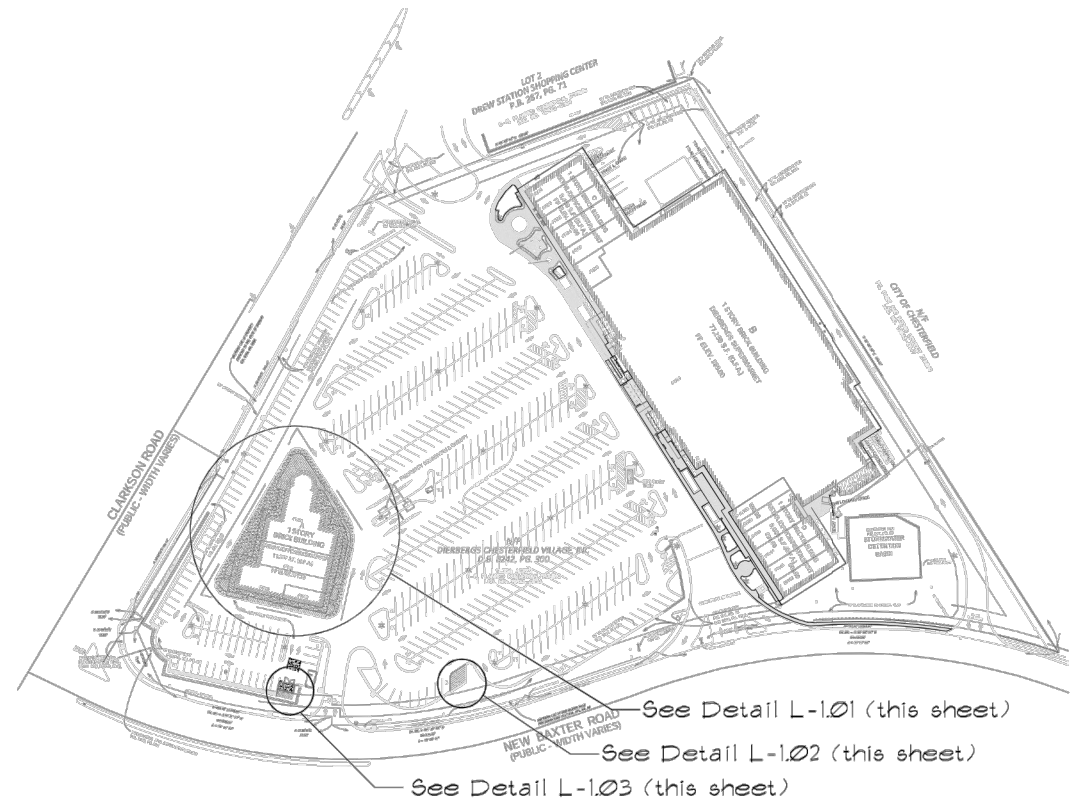
1/16" = 1'-0"

NOTE: REFER TO MATERIAL SAMPLES & RENDERINGS FOR FINISH MATERIAL COLORATION

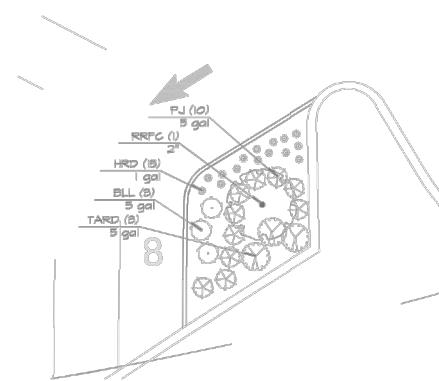
| CP-1 | CP-2 | CP-3 | ST-1 | ST-2 | BR-1 | PT-1 |
|---|---|---|---|---|---|---|
| NICHIHA ARCHITECTURAL WALL PANEL - ILLUMINATION SERIES COLOR: GRAPHITE | NICHIHA ARCHITECTURAL WALL PANEL - MIRAIA SERIES COLOR: SNOW | NICHIHA ARCHITECTURAL WALL PANEL - VINTAGEWOOD SERIES COLOR: ASH | PAC CLAD STANDING SEAM ROOF COLOR: MATTE BLACK | DIAMOND IMPRINTED AWNING - #4 BRUSHED STAINLESS STEEL | BRICK STAIN TO MATCH EXISTING DIERBERGS ACCENT BRICK - COLOR: SHERWIN WILLIAMS URBANE BRONZE | EXISTING SIGN BAND: PAINTED MDO PLYWOOD - COLOR: GRAY |



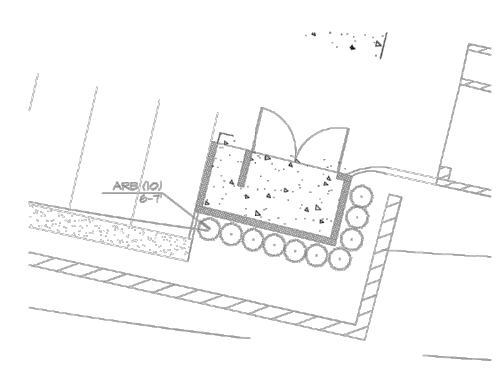
L-1.01: BILLY G'S FINER DINER DETAIL
1" = 10'



KEY PLAN
NTS



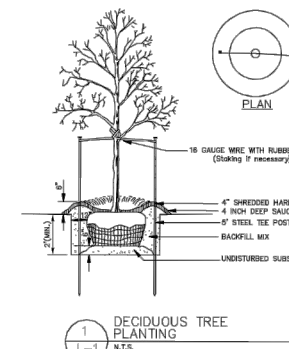
L-1.02: ISLAND EXPANSION DETAIL
1" = 10'



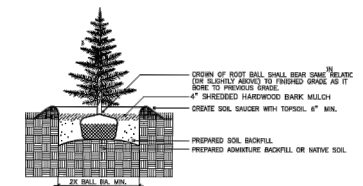
L-1.03: TRASH ENCLOSURE DETAIL
1" = 10'

PLANT SCHEDULE

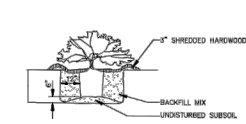
| TREES | COMMON / BOTANICAL NAME | CONT. | QTY. |
|--------|---|-------|------|
| RRFC | Royal Raindrops Fl. Crab Malva x 'Royal Raindrops' | 2" | 1 |
| ARB | Emerald Arborvitae Thuja occidentalis 'Emerald' | 6-T | 10 |
| SHRUBS | COMMON / BOTANICAL NAME | SIZE | QTY. |
| HRD | Happy Returns Dually Hemerocallis x 'Happy Returns' | 1 gal | 127 |
| TARD | Tardiva Hydrangea Hydrangea paniculata 'Tardiva' | 5 gal | 10 |
| PJ | Procutibans Juniper Juniperus procumbens | 5 gal | 92 |
| BLL | Blooming Lilac Syringa pendula 'Bloomingang' | 5 gal | 14 |



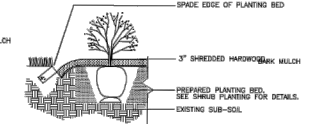
1 DECIDUOUS TREE PLANTING
L-1 N.T.S.



2 EVERGREEN TREE PLANTING
L-1 N.T.S.



3 SHRUB PLANTING
L-1 N.T.S.



4 SPADE-CUT EDGE DETAIL
L-1 N.T.S.

Drawn by: CIA
Scale: 1" = 10'
Date: 8-25-21
Revised: 9-21-21

BAXTER FARMS
and NURSERIES
3411 CREVE COEUR MILL ROAD
ST. LOUIS, MISSOURI 63146
314/542-9400

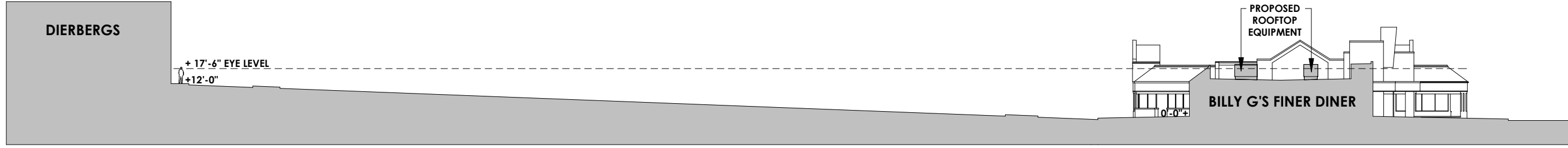


Partial Amended Landscape Plan For:
Dierbergs-The Marketplace
Baxter Road & Clarkson Road
Chesterfield, MO 63017

Drawing Number:

SHEET #:
ARB13

of one



1 | SITE SECTION

SCALE: 1" = 40'-0"