

## Architectural Review Board Staff Report

**Project type:** Amended Architectural Elevations

**Meeting Date:** October 14, 2021

**From:** Shilpi Bharti, Planner

**Location:** 18626 Olive Street Road

**Description:** **18626 Olive Street Road (New Vault, Inc.):** Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for a self-storage facility on a 2.39-acre tract of land, zoned “PI” Planned Industrial District.

### PROPOSAL SUMMARY

Storage Property Holdings, LLC has submitted a Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for a proposed self-storage and outdoor storage facility at 18626 Olive Street Road.

Proposed development includes:

- 4,045 square feet of self-storage building
- Outdoor storage
- Landscaping
- Screen fence for outdoor storage
- Lighting Plan

### HISTORY OF SUBJECT SITE

The subject site is located in Ward 4. The site was rezoned from “NU” Non-Urban District to “PI” – Planned Industrial District in 2014. The site is governed by site specific ordinance 2813, and sits vacant today.



Figure 1: Subject Site

## **STAFF ANALYSIS**

### **Site Relationships**

The building design is of a similar height to the adjacent building across Olive Street Road and nearly similar scaled buildings in the Spirit Valley Business Park subdivision. The building height decreases as we move from north to south. The front of the building facing Olive Street Road is higher in order to screen the outdoor storage equipment.

### **Circulation System and Access**

The site is accessed through Spirit Valley East Drive. Internal driveways are 26' wide with two-way access, an additional exit gate is provided in the south. The entry gate is card operated. As per City of Chesterfield Unified Development Code Section 405.04.040.D.10, the applicant is required to provide a minimum of 4 parking spaces with a maximum of 10 parking spaces. As per the applicant, anticipated vehicles on site include passenger vehicles and 32' box trucks. The outdoor storage will be used for storing repurposed shipping containers, construction equipment, and agricultural equipment sales.

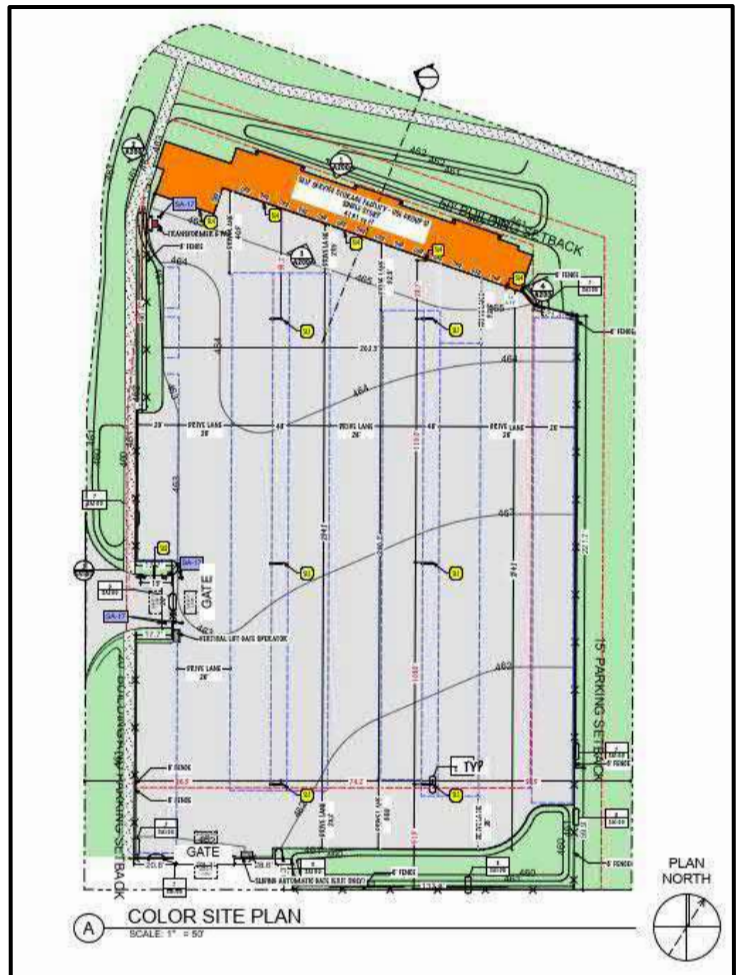


Figure 2: Site Plan

### **Scale, Topography and Retaining Wall**

The site is flat except for the drainage ditch to the east of the site. The height of the proposed building is 17'-21' and the adjoining buildings in the south and southwest are 26' and 30' in height, respectively. The site is proposing a 4' high retaining wall on the east side of the property. As per the applicant, the retaining wall is provided in order to have positive drainage to the paved areas, to provide adequate storm water treatment and protect the drainage channel existing slope and grading.

### **Screening**

As per City of Chesterfield Unified Development Code Section 405.04.010, D (4), screening is required for storage areas. As per the applicant, screening of outdoor storage could be achieved by the landscape buffer and proposed building in the north; 8' aluminum /poly vinyl fence in the west; and 6' chain link fence with vinyl slats on south and east of the property.

### **Materials and Color**

Building materials include CMU, metal, cement panels, glass and standing seam metal roof. Cementitious siding panels are used instead of EFIS or Stucco. Metal panels are used at the back of the building. As per applicant narrative, building materials used throughout the project are easily recyclable.

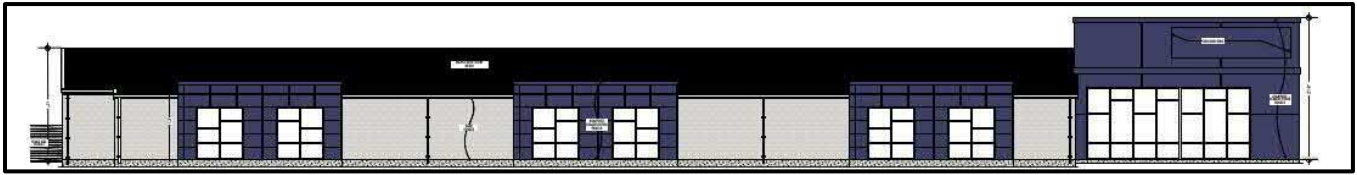


Figure 3: North side elevation

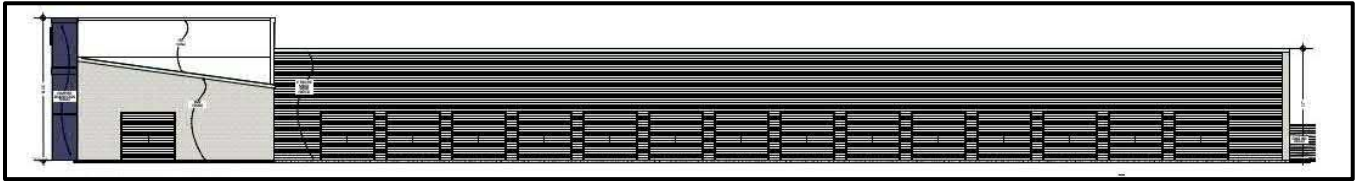


Figure 4: South side elevation

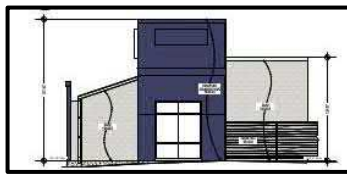


Figure 5: West Side Elevation

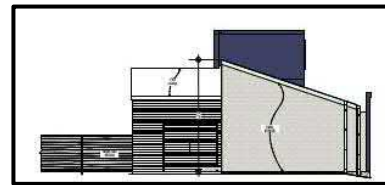


Figure 6: East Side Elevation

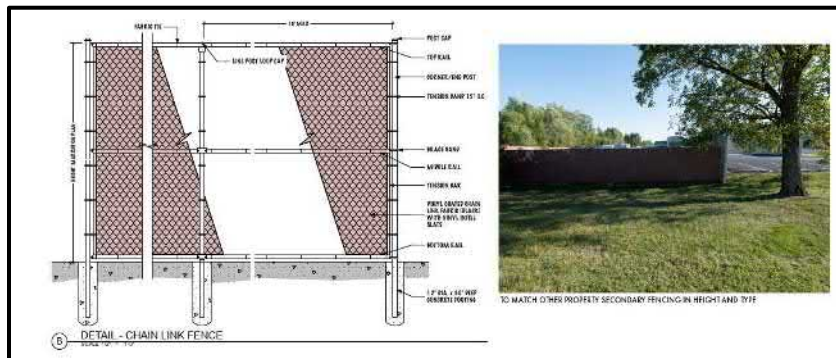


Figure 7: South Side Fence

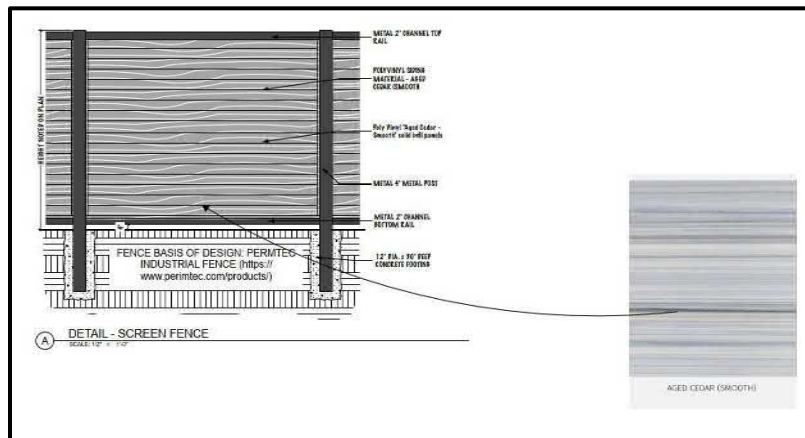


Figure 8: West and East Side Fence

**Lighting**

There are two types of lights proposed for the entire development. Six pole light SL 1 mounted at 20’ height are provided in the outdoor storage area at an interval of 108’. Wall pack SL4 are wall mounted lights installed at the height of 12’ at the back of the building. There are no lights proposed at the front or side of the building. All proposed lights are fully shielded and meet the City Unified Development Code minimum and maximum lighting standard.



Figure 9: Light specification

**Landscaping**

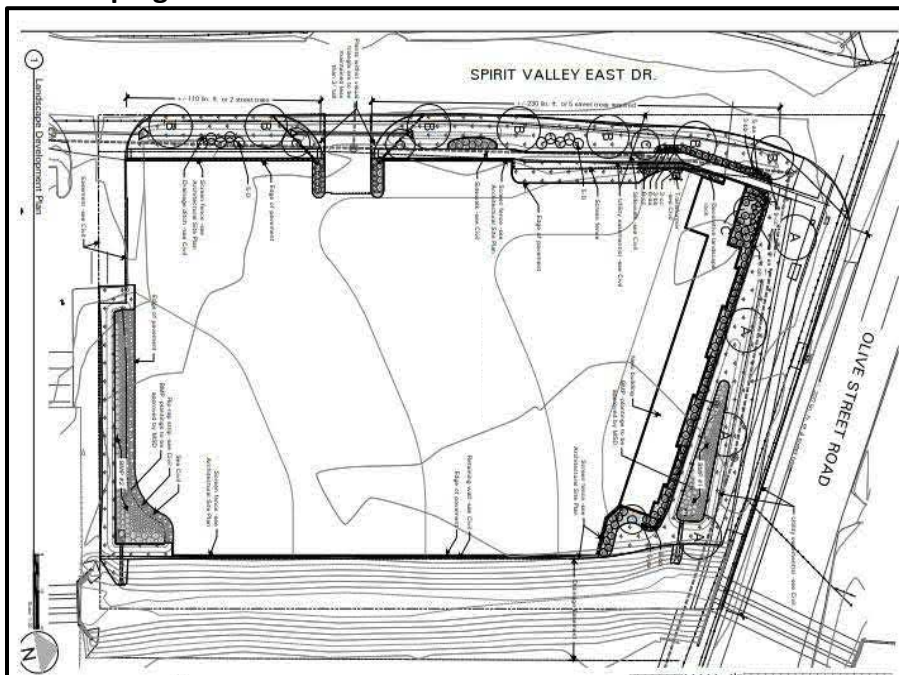


Figure 10: Landscape Plan

As per City of Chesterfield Unified Development Code Section 405.04.020, Table 2 “minimum of 30’ wide landscape buffer strip is required for development along arterial roadway”. The proposed development faces a major arterial roadway (Olive Street Road) and has depicted a 30’ landscape buffer. Applicant was referred to follow City Code Section 405.04.020 (J) for plant selection percentage.

The proposed landscape plan of the site consists of two bio-retention basins, four different varieties of trees, grass, shrubs and forbs. Redbud and Juniper

trees are provided on the north and west sides of the site for screening and buffering outdoor storage. All proposed plants were selected from the City of Chesterfield tree list and comply with the Unified Development Code.

**Rendering**



Figure 11: Rendering 1



Figure 12: Rendering 2

**DEPARTMENTAL INPUT**

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff’s report to the Planning Commission.

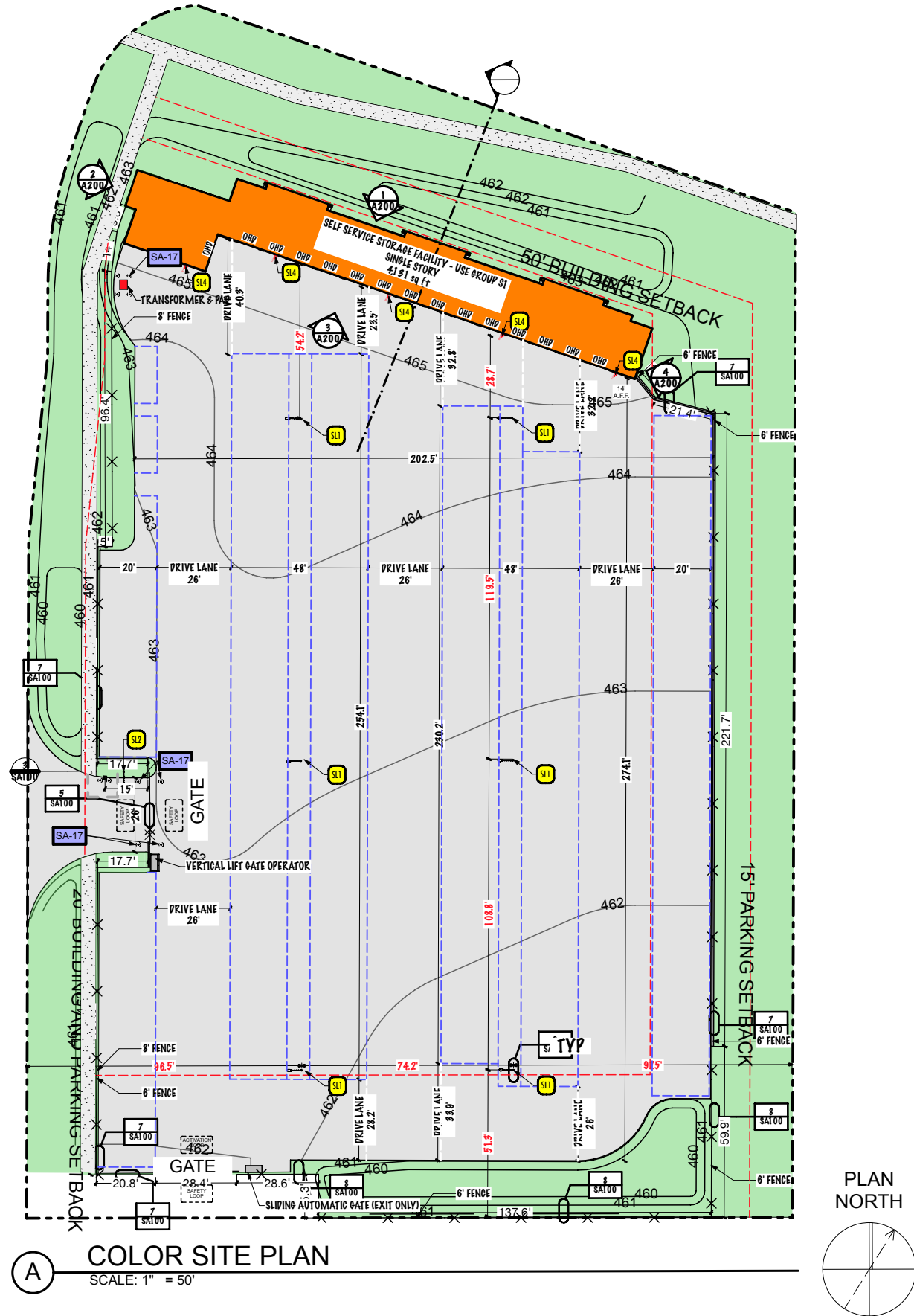
**MOTION**

The following options are provided to the Architectural Review Board for consideration relative to this application:

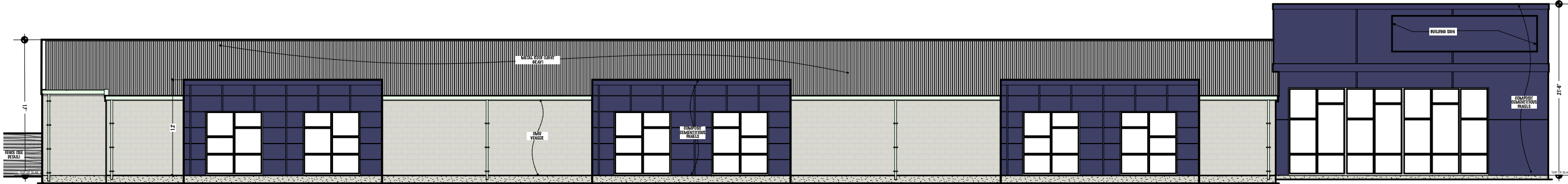
- 1) “I move to forward the Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for 18626 Olive Street Road (New Vault, Inc.), as presented, with a recommendation for approval (or denial).”
- 2) “I move to forward the Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for 18626 Olive Street Road (New Vault, Inc.) with a recommendation for approval with the following conditions...”

**Attachments**

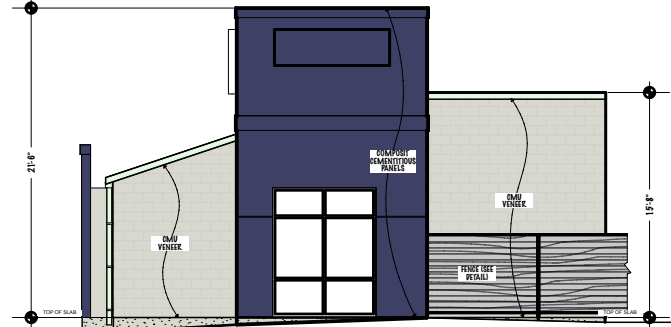
1. Architectural Review Packet Submittal



ADJACENT USES - PHOTO NOT TO SCALE



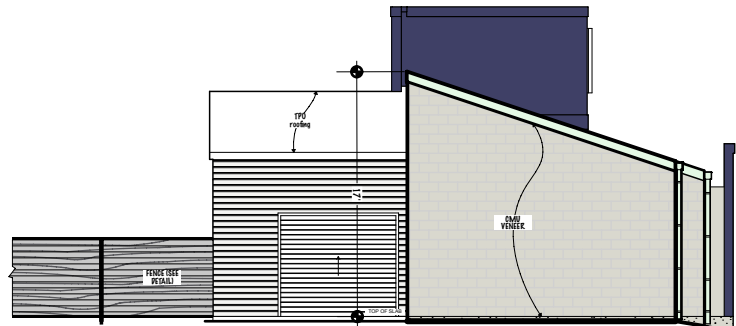
1 ELEVATION - FACING OLIVE STREET ROAD  
SCALE: 1:160



2 ELEVATION - FACING SPRIT DRIVE EAST  
SCALE: 1:160



3 ELEVATION - REAR  
SCALE: 1:160



4 ELEVATION - SIDE (FACING THE IRRIGATION CHANNEL)  
SCALE: 1:160



View from Olive Street Road



View from Olive Street Road & Spirit Valley East Drive



View from Olive Street Road



Detailed View of Elevation Materials and Landscaping





View from Olive Street Road Looking Down Spirit Valley East Drive - 8' Screen and Landscaping features



View of Main Gate in closed position (after hours) - 8' Screen and Landscaping features



Detailed Corner View of proposed building

COLORED SITE PHOTOS OF ADJACENT PROPERTIES - 11 x 17 format (405.04.010 - B1.d)



Across Olive Street Road & Spirit Valley East Drive - Single Family Home (as part of working farm)



Spirit Valley East Drive (looking west) - Industrial office / workshop / equipment storage



Spirit Valley East Drive (looking south) - Industrial office / workshop / equipment & material storage



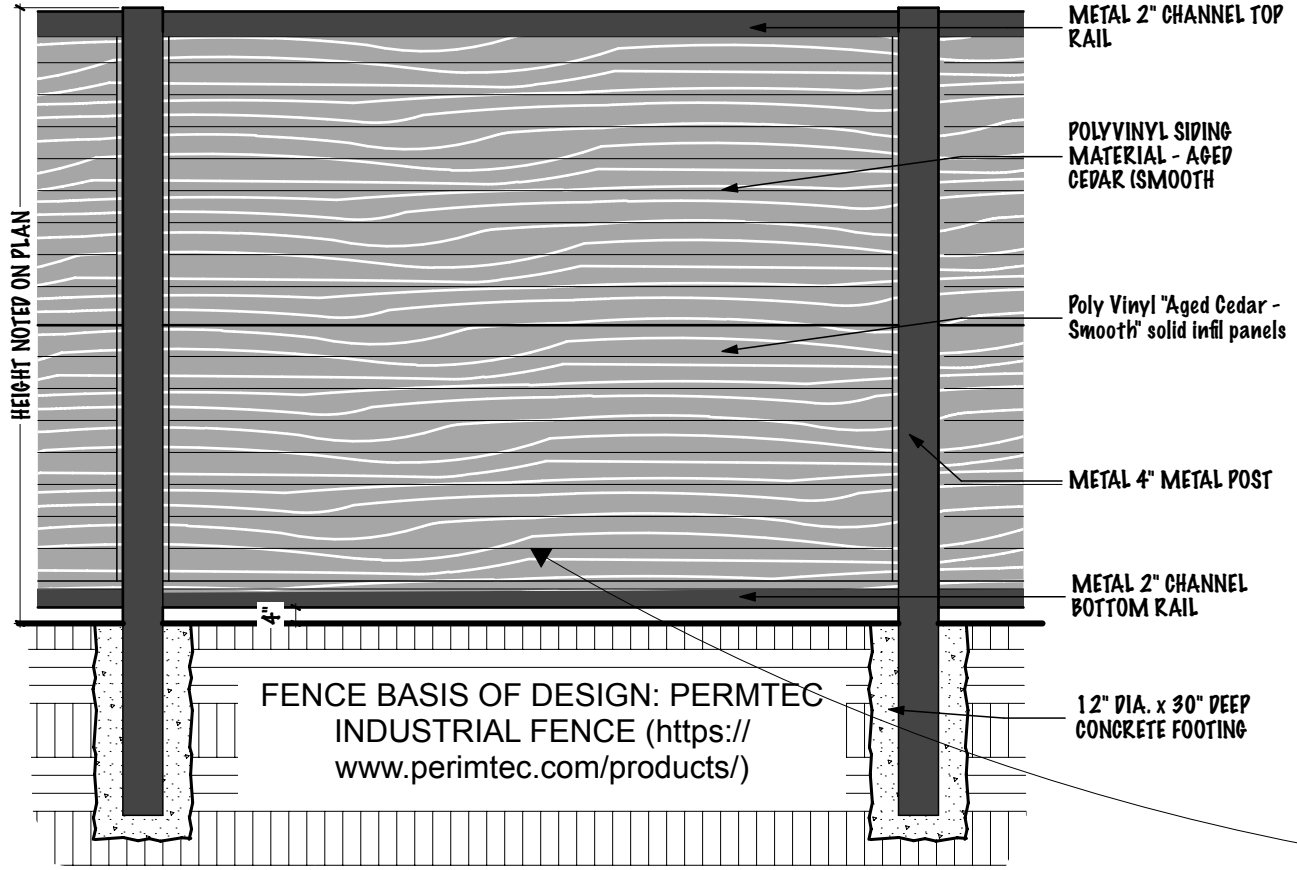
Across Olive Street Road & Spirit Valley East Drive - Vacated? Home (as part of working farm)



Spirit Valley East Drive (looking west) - Existing Fence and Equipment Yard

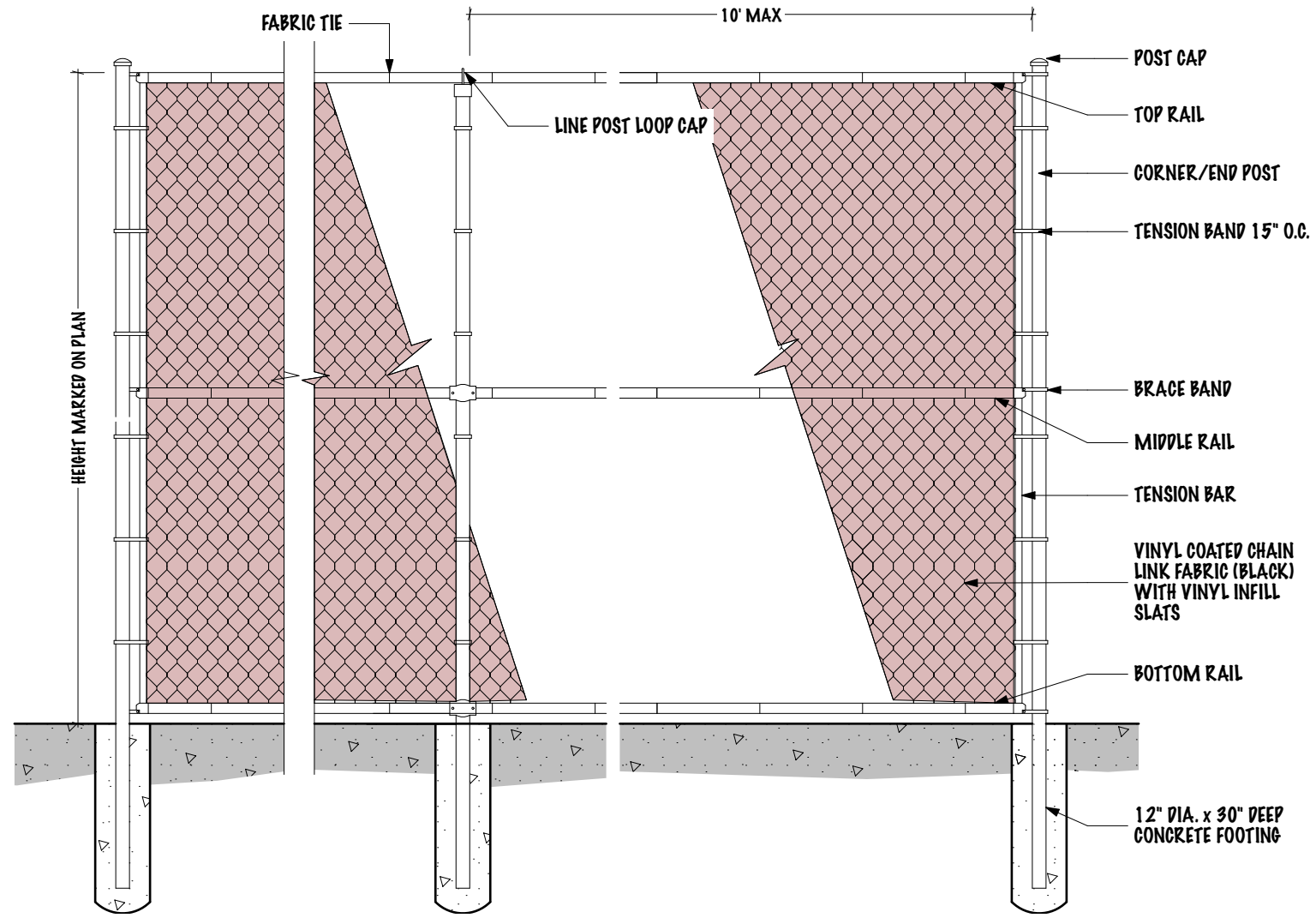


Spirit Valley East Drive (looking south) - Existing Fence at southern border of site.



**A** DETAIL - SCREEN FENCE  
SCALE: 1/2" = 1'-0"



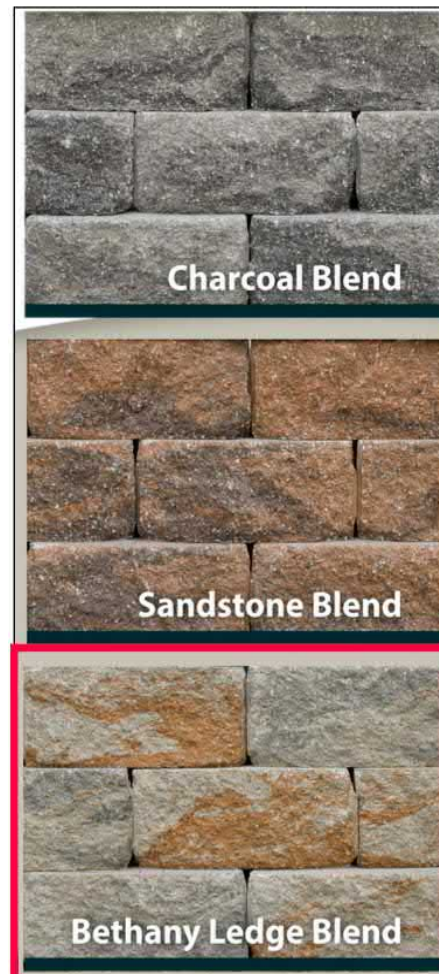


TO MATCH OTHER PROPERTY SECONDARY FENCING IN HEIGHT AND TYPE

**B** **DETAIL - CHAIN LINK FENCE**  
SCALE: 1/2" = 1'-0"













NOTE:

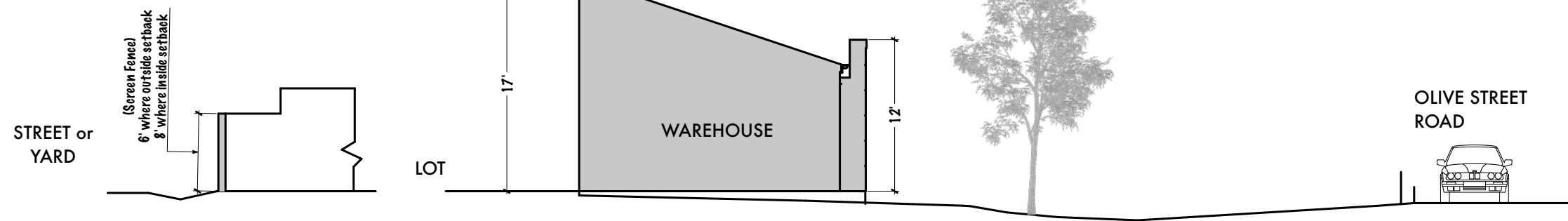
SEE CIVIL / GRADING PLAN FOR WALL HEIGHTS



For more ideas visit: [www.VersaLok.com](http://www.VersaLok.com)

### VersaLok Wall Products

PRODUCT	SIZE IN INCHES (DxWxL)	UNIT/SQFT	UNIT/PALLET	SQFT/PALLET	WT/PALLET	COLORS
<b>Non-Weathered</b>						
 <b>Standard</b> <i>Pins sold separately.</i>	12 x 6 x 16	1.5	48	32	4000	<b>Available in:</b> Bethany Ledge Blend, Charcoal Blend, Sandstone Blend, Timberwood Blend, Limestone, and Tan
 <b>Accent</b> <i>Pins sold separately.</i>	12 x 4 x 12	3	96	32	3400	<b>Available in:</b> Bethany Ledge Blend, Charcoal Blend, Sandstone Blend, and Timberwood Blend
 <b>Cobble</b> <i>Pins sold separately.</i>	12 x 6 x 8	3	96	32	4000	<b>Available in:</b> Bethany Ledge Blend, Charcoal Blend, Sandstone Blend, and Timberwood Blend
				<b>2 Piece Pattern Harmony</b> 1 Standard and 1 Cobble (1 SqFt) Units can be used in random amounts Available Weathered or Non-Weathered		
 <b>Corner</b> <i>Pins sold separately.</i>	12 x 6 x 8	3	96	48	4320	<b>Available in:</b> Bethany Ledge Blend, Charcoal Blend, Sandstone Blend, Timberwood Blend, Limestone, and Tan
 <b>Square Foot</b> <i>Pins sold separately.</i>	12 x 8 x 18	1	36	36	3170	<b>Available in:</b> Bethany Ledge Blend, Sandstone Blend, Limestone, and Tan
<b>Weathered</b>						
 <b>Weathered Standard</b> <i>Pins sold separately.</i>	12 x 6 x 16	1.5	48	32	3780	<b>Available in:</b> Bethany Ledge Blend, Charcoal Blend, Sandstone Blend, and Timberwood Blend
 <b>Weathered Accent</b> <i>Pins sold separately.</i>	12 x 4 x 12	3	96	32	3500	<b>Available in:</b> Bethany Ledge Blend, Charcoal Blend, Sandstone Blend, and Timberwood Blend
 <b>Weathered Cobble</b> <i>Pins sold separately.</i>	12 x 6 x 8	3	96	32	4000	<b>Available in:</b> Bethany Ledge Blend, Charcoal Blend, Sandstone Blend, and Timberwood Blend
				<b>Weathered 4 Piece Pattern Mosaic</b> 2 Accent, 1 Standard and 1 Cobble (1.667 SqFt) Available Weathered or Non-Weathered		
 <b>Weathered Corner</b> <i>Pins sold separately.</i>	12 x 6 x 8	3	96	48	4320	<b>Available in:</b> Bethany Ledge Blend, Charcoal Blend, Sandstone Blend, and Timberwood Blend
 <b>Weathered 2 Faced Solid</b> <i>Non Weathered available on special order basis</i>	10 x 6 x 16	1.5	48	32	3504	<b>Available in:</b> Bethany Ledge Blend, Charcoal Blend, Sandstone Blend, and Timberwood Blend



1

SECTION OF BUILDING

SCALE: 3/32" = 1'-0"

STATEMENT OF DESIGN - 11 x 17 format (405.04.010 - B1.g)

ARCHITECT STATEMENT OF DESIGN

*Response to 405.04.010.C, Item 1:*

**Site Relationships.** Using a stepped scale design approach, the building design is scaled relative to the adjacent small scaled building across Olive Street Road. The height of the building is designed to conceal stored equipment behind the building. The end element is more tuned to the industrial buildings further to the south of the site and increases in height. The pitched roof is in reference to the neighboring farm buildings while the end and facade features reference the nearby industrial buildings.

*Response to 405.04.010.C, Item 2:*

**Circulation System and Access.** Circulation on site are simple access lanes to greater widths required by Appendix D in the IFC. An additional exit gate is provided to allow larger vehicles to exit without excessive turns or loops. Because the building holds no occupancy and is not open to the public, no street pedestrian or bicycle traffic is anticipated. Because access lanes are so wide and beyond the requirements of the fire code, parking for the leased storage units in the building is permitted next to the building and this should be adequate to serve any lease holder. Traffic demand to this site is anticipated, based on previous developments, at roughly 5 cars or trucks per day. Vehicle sizes will range from passenger vehicles to 32' box trucks to serve the building. No tractor trailer vehicles are anticipated to circulate on site.

*Response to 405.04.010.C, Item 3:*

**Topography.** The topography of the site is generally dead flat except for the drainage ditch to the east of the site.

*Response to 405.04.010.C, Item 4:*

**Retaining Walls.** Short (less than 4' high) retaining walls are necessary in order to provide positive drainage to the paved areas on the site, to provide adequate storm water treatment and protect the drainage channel existing slope and grading. This is due to the existing topography of the site.

*Response to 405.04.010.D, Item 1:*

**Scale.** Insets and placement of window elements and bumped facade elements provide visual interest and pedestrian scale. Using a stepped scale design approach, the building design is scaled relative to the adjacent small scaled building across Olive Street Road. The height of the building is designed to conceal stored equipment behind the building.

*Response to 405.04.010.D, Item 2:*

**Design item a.** Facades have multiple materials and patterns coordinated to comply with the code. Veneer block is used to provide a backdrop for the blue panel features that break up the long building.

**Design item b.** Rules of three have been applied to limit repetitive element. Blue facade features are limited to three. Window panels are limited to three. Datums are broken at asymmetric locations (ie the end cap of the building).

**Design item c.** This building is unique to other buildings held by this company.

**Design item d.** Window glazing and patterns follows other commercial development, specifically the hotel building on Olive Street Road and the building directly to the south, which can be seen due to the curve in Spirit Valley East Drive.

**Design item e.** This is an industrial building and not open to the public.

**Design item f.** This building is neither heated or cooled. Site lighting is LED and has dimming capabilities for ultimate low energy use. The building has no sewer or domestic water requirements.

**Design item g.** This building can be easily recycled (Steel, Glass and Cement based siding panels) and the lot in which it's on repurposed for other future uses.

**Design item h.** There is no public entry to this building. Each storage unit is entered into at the rolling doors facing the storage yard. Vehicle entry is through the gate, when open. Pedestrian entry from the street will be prohibited. Monitoring of the site is done through remote cameras.

**Design item i.** No temporary walls are anticipated.

**Design item j.** This building will not be heated or cooled and therefore do not require roof top equipment.

*Response to 405.04.010.D, Item 3:*

**Materials and Colors.** Building materials were selected based on their traditional, functional use, economy and appropriate application. Siding material is durable, non-staining and fade resistant. Color is selected to provide a cool contrast between the block veneer. Metal panels are used at the back to harmonize with the metal rolling doors and provide shadow relief. Adjacent properties exhibit these same materials. Concrete and Stucco is exhibited in the existing industrial buildings. Metal siding and roofing is exhibited in the adjacent farm buildings.

*Response to 405.04.010.D, Item 4:*

**Landscaping.** Additional landscaping beyond the standards provide grounding the building and add to screening stored equipment behind the building and screen fences.

Fencing material is durable, aluminum and vinyl made to look like wood. Color was selected in order to provide some consistence with the CMU veneer.

Fencing used at the back of this site is chain link with vinyl slats. It is a predominate fencing material for the adjacent properties. In order to provide a consistent design element with the adjacent properties, we have chosen to present the use of chain link in a limited manner.

*Response to 405.04.010.D, Item 5:*

**Signage.** Signage package will be provided as part of a separate package per UDC.

*Response to 405.04.010.D, Item 6:*

**Lighting.** Lighting is included in the package, but will be reviewed separately per UDC.

*Response to 405.04.010.D, Item 7:*

**Existing Structures.** There are no existing structures on site to remove.

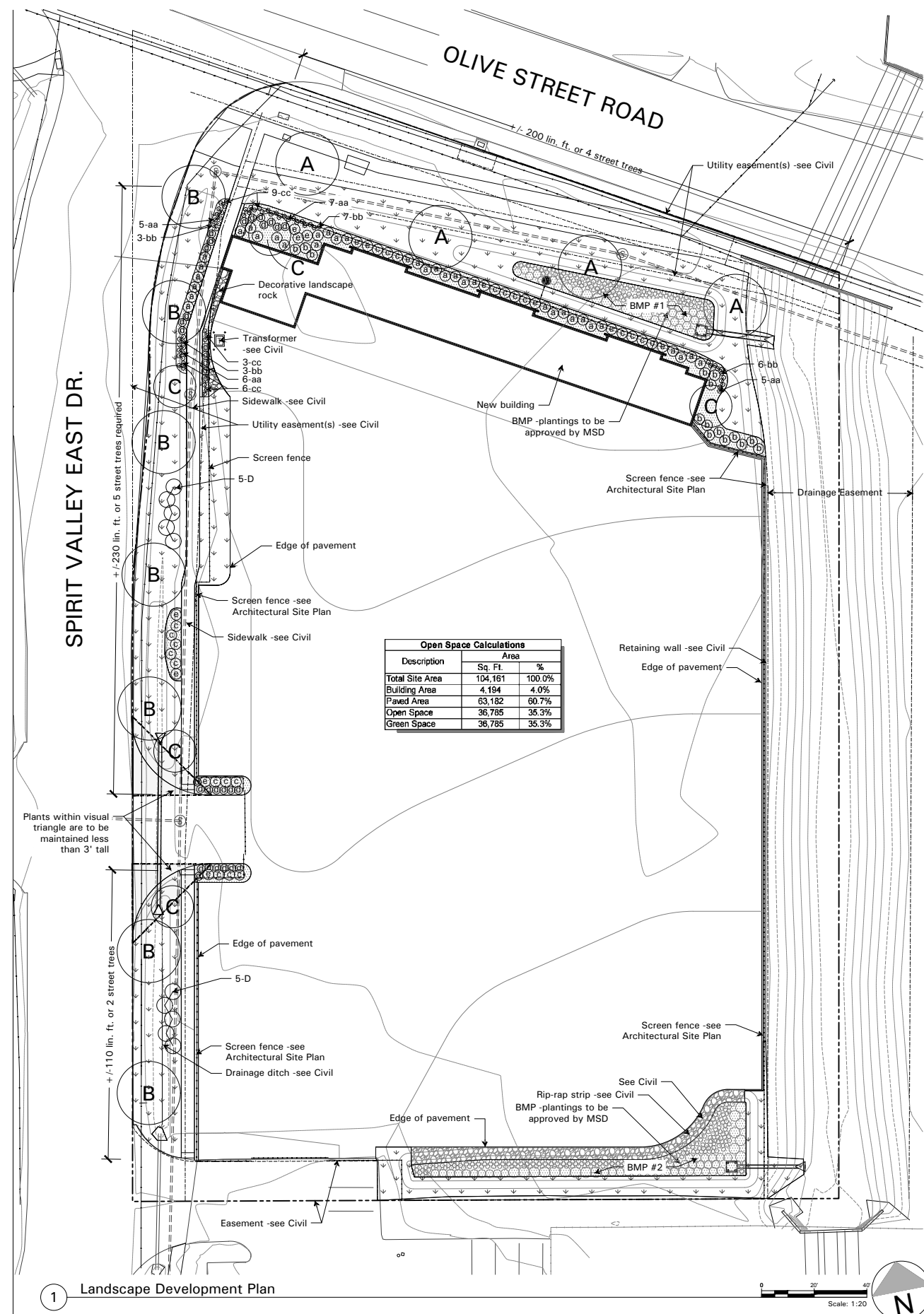
*Response to 405.04.010.E,*

**Facades.** All materials are used on all sides of the building. The building is sided using masonry, steel roofing and siding and cementitious panels. Materials are used in an "honest" way, to their structural and tectonic as applied to support the building. Metal siding provides lateral support (as the use of metal siding on the tallest part of the back of the building). Masonry provides load bearing and strength and smooth panels provide facade interest and provide lateral support.

**Storage.** As requested by ordinance, all storage is screened.

**Utilities.** All electrical utilities are underground.

**Parking.** All parking is screened from NO40, 64 and Olive Street Road.



Open Space Calculations		
Description	Sq. Ft.	%
Total Site Area	104,161	100.0%
Building Area	4,194	4.0%
Paved Area	63,182	60.7%
Open Space	36,785	35.3%
Green Space	36,785	35.3%

1 Landscape Development Plan

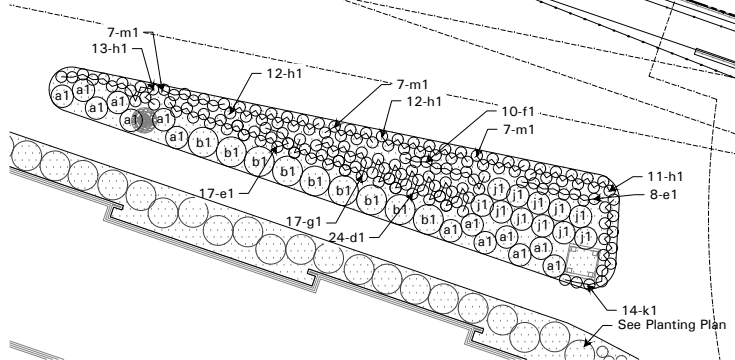
Landscape Planting Schedule					
Key	Qty	Common Name	Botanical Name	Size	Comment
A	4	Red Maple	Acer rubrum 'Red Sunset'	2.5" Cal.	4' 6" Clear
B	7	Black Gum	Nyssa sylvatica	2.5" Cal.	4' 6" Clear
C	5	Redbud	Cercis canadensis	2.5" Cal.	
D	10	Juniper Tree	Juniperus virginiana 'Canaertii'	6-8' Tall	branched to ground
a	34	Gold Tip Juniper	Juniperus x pfitzeriana 'Gold Coast'	5 Gal.	
b	15	Nine Bark	Physocarpus opulifolius 'Diabolo'	18-24"	
c	23	Red Switch Grass	Panicum virgatum 'Shenandoah'	1 Gal.	
d	32	Prairie Drop Seed	Sporobolus heterolepis	1 Gal.	
e	14	Russian Sage	Perovskia atriplicifolia	1 Gal.	
aa	23	Purple Cone Flower	Echinacea purpurea 'Kim's Knee High'	1 Gal.	
bb	19	Black Eyed Susan	Rudbeckia fulgida 'Goldstrum'	1 Gal.	
cc	18	Day Lily	Hemerocallis 'Stella D'Oro'	1 Gal.	
	2,565	Sq. Ft. Double ground Hardwood Bark Mulch			
	100	Sq. Ft. Decorative Landscape Rock with weed fabric			
	2,015	Sq. Ft. MSD Approved mulch			
	16,575	Sq. Ft. Fescue Sod			

- GENERAL NOTES:
- Plan provided for City of Chesterfield ARB, Planning and Zoning Commission and City Council review and approval NOT FOR CONSTRUCTION.
  - Street trees Required: +/-540 lin. ft. /50 ft = 10.8 or 11 street trees.
  - Additional screen/ buffer trees provided include 5 Redbud and 10 Juniper Trees
  - All street trees will be located at least 3' from existing sidewalk.
  - All street trees will be located at least 10' from all storm sewer structures.
  - All disturbed areas to be sodded.

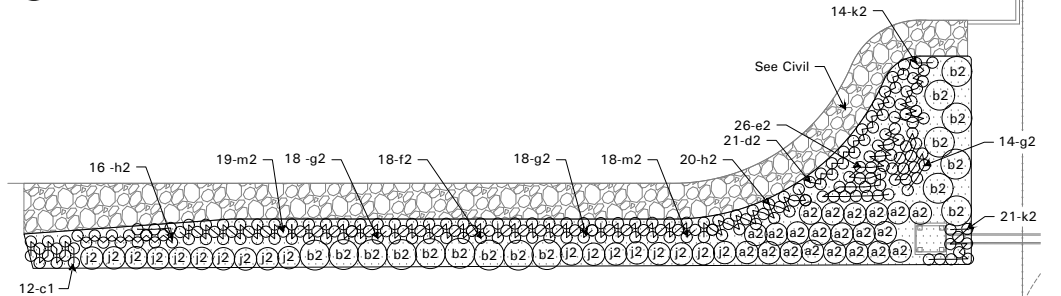
Tree Planting Schedule/ Summary Table							
Key	Qty	Common Name	Botanical Name	Size	Type	Mature Height	Growth Rate
A	4	Red Maple	Acer rubrum 'Red Sunset'	2.5" Cal.	Street Tree	45' +	Fast (Large)
B	7	Black Gum	Nyssa sylvatica	2.5" Cal.	Street Tree	30-50'	Slow (Medium)
C	5	Redbud	Cercis canadensis	2.5" Cal.	Ornamental Tree	20-30'	Fast (Medium)
D	10	Juniper Tree	Juniperus virginiana 'Canaertii'	2.5" Cal.	Evergreen Tree	20-30'	Slow/Medium (Small)

Slow and Slow/Medium Tree Growth Rates = 17 trees (7 Black Gum + 10 Juniper trees) or 65% total trees and exceeds 30% required minimum percentage

BMP #1 Planting Schedule						
Type	Key	Qty	Botanical Name	Common Name	Size	Spacing
SHRUBS	a1	14	Calliandra americana 'Pearl Glam'	American Beautyberry	3 Gal.	30" OC
	b1	9	Hydrangea arborescens 'Annabelle'	Hydrangea	1 Gal.	48" OC
GRASS/SEDGES	d1	24	Schizachyrium scoparium	Little Bluestem	1 Gal.	18" OC
	e1	25	Sporobolus heterolepis	Prairie Drop Seed	1 Gal.	18" OC
FORBS	f1	10	Aster oblongifolius	Aromatic Aster	1 Gal.	18" OC
	g1	17	Asclepias tuberosa	Butterfly Milkweed	1 Gal.	18" OC
	h1	23	Echinacea purpurea 'Kim's Knee High'	Purple Coneflower	1 Gal.	18" OC
	j1	11	Hibiscus lasiocarpus 'Kopper King'	Rose Mallow	1 Gal.	30" OC
	k1	14	Iris fulva	Copper Iris	1 Gal.	18" OC
	m1	21	Rudbeckia fulgida 'Goldstrum'	Orange Coneflower	1 Gal.	18" OC



2 Planting at BMP #1



BMP #2 Planting Schedule						
Type	Key	Qty	Botanical Name	Common Name	Size	Spacing
SHRUBS	a2	1219	Calliandra americana 'Pearl Glam'	American Beautyberry	1 Gal.	30" OC
	b2	16	Hydrangea arborescens 'Annabelle'	Hydrangea	1 Gal.	48" OC
GRASS/SEDGES	c2	12	Carex albicans	Oak Sedge	1 Gal.	12" OC
	d2	21	Schizachyrium scoparium	Little Bluestem	1 Gal.	18" OC
	e2	26	Sporobolus heterolepis	Prairie Drop Seed	1 Gal.	18" OC
FORBS	f2	18	Aster oblongifolius	Aromatic Aster	1 Gal.	18" OC
	g2	50	Asclepias tuberosa	Butterfly Milkweed	1 Gal.	18" OC
	h2	36	Echinacea purpurea 'Kim's Knee High'	Purple Coneflower	1 Gal.	18" OC
	j2	18	Hibiscus lasiocarpus 'Kopper King'	Rose Mallow	1 Gal.	30" OC
	k2	35	Iris fulva	Copper Iris	1 Gal.	18" OC
	m2	37	Rudbeckia fulgida 'Goldstrum'	Orange Coneflower	1 Gal.	18" OC

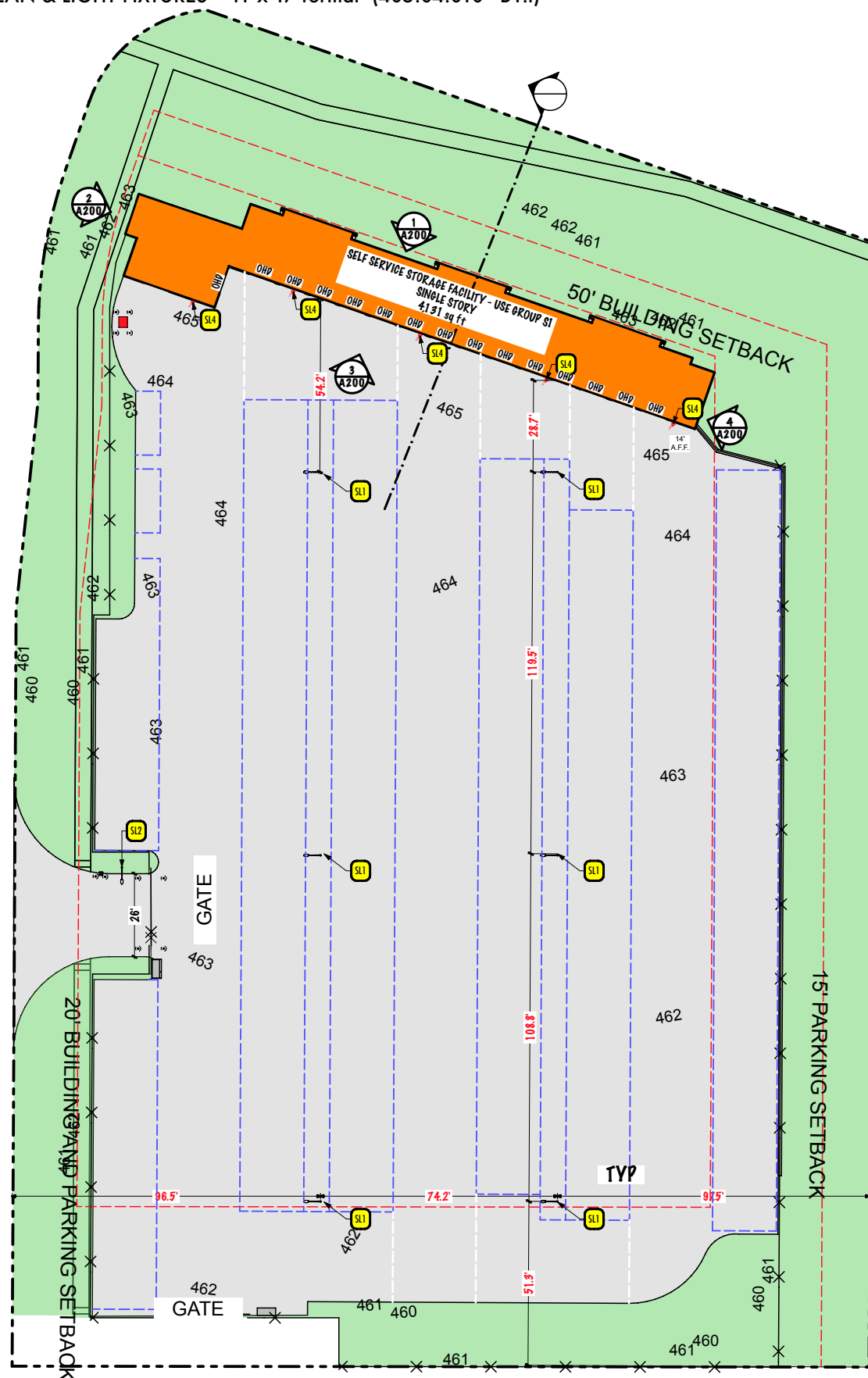
3 Planting at BMP #2

Overall BMP Planting Schedule						
Type	Key	Qty	Botanical Name	Common Name	Size	Spacing
SHRUBS	a	1233	Calliandra americana 'Pearl Glam'	American Beautyberry	1 Gal.	30" OC
	b	25	Hydrangea arborescens 'Annabelle'	Hydrangea	1 Gal.	48" OC
GRASS/SEDGES	c	12	Carex albicans	Oak Sedge	1 Qt.	12" OC
	d	45	Schizachyrium scoparium	Little Bluestem	1 Gal.	18" OC
	e	51	Sporobolus heterolepis	Prairie Drop Seed	1 Gal.	18" OC
FORBS	f	28	Aster oblongifolius	Aromatic Aster	1 Gal.	18" OC
	g	67	Asclepias tuberosa	Butterfly Milkweed	1 Gal.	18" OC
	h	84	Echinacea purpurea 'Kim's Knee High'	Purple Coneflower	1 Gal.	18" OC
	j	29	Hibiscus lasiocarpus 'Kopper King'	Rose Mallow	1 Gal.	30" OC
	k	49	Iris fulva	Copper Iris	1 Gal.	18" OC
	m	58	Rudbeckia fulgida 'Goldstrum'	Orange Coneflower	1 Gal.	18" OC

- Bio - Retention Planting Notes:
- All plantings shall adhere to "Ecotype Rule." Plants of Missouri and/or Southern Illinois ecotype are required.
  - Plant selections and design is based on providing a formal aesthetic.
  - Refer to 'Planting, Water and Mulch Requirements for Stormwater BMP for Irrigation requirements.
  - All landscape installation and maintenance work shall adhere to 'Landscape Guide for Stormwater Best Management Practice Design' published by MSD, St. Louis, MO Revision 2, May 2012.
  - Bio-Retention plantings to be watered by hand as needed.
  - See Civil Sheets for seeding, sod and erosion control.

Planting, Water and Mulch Requirements						
Water Availability	Required Planting Period	Minimum Container Size:	Water Requirement First 3 Weeks	Water Requirement After 3 Weeks	Shredded leaf compost mulch depth for forbs and grasses	Shredded hardwood Bark Mulch for shrubs
Manual watering by hand	Late Feb. - Early June Sept. - October	see planting schedule this sheet	1" (60 min) every 4 days	1" (60 min) every 7 days until plants established	1.5" for plugs 2.5" for quarts	3" Depth





1 LIGHTING PLAN  
SCALE: 1:563

A17-5T150N/MVS



Technical Specifications

**Compliance**  
UL Listed: Suitable for wet locations  
IESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.  
DLC Listed: This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.  
DLC Product Code: PLR9DLASY3T  
Electrical: Driver: Constant Current, Class 2, 120-277V, 50/60Hz, 120V: 1.50A, 208V: 0.70A, 240V: 0.70A, 277V: 0.60A  
Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

**THD:** 3.67% at 120V, 8.96% at 277V  
**Power Factor:** 99.9% at 120V, 93.1% at 277V  
**Surge Protection:** 10kV  
**Performance**  
Lifespan: 100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations  
**Construction**  
IES Classification: The Type V distribution produces light in a wide and uniform 360° pattern that is perfect for large outdoor areas such as parking lots, corporate parks and retail settings

**Cold Weather Starting:** Minimum starting temperature is -40°C (-40°F)  
**Maximum Ambient Temperature:** Suitable for use in up to 40°C (104°F)  
**Lens:** Polycarbonate lens  
**Housing:** Die-cast aluminum housing, lens frame and mounting arm

Ordering Matrix

Family	Distribution	Wattage/Lumens	Mounting	Color Temp	Driver	Options
A17	5T	150	Blank = Universal Pole Mount SF = Slipfitter (Factory installed SF available in 150W)	N	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming <sup>1</sup>	Blank = No Option /3PRS = 3-pin Receptacle and Shorting Cap /7PRS = 7-pin Receptacle and Shorting Cap /MVS = Microwave Motion Sensor /LC = Lightcloud® Controller

<sup>1</sup> 480V driver available standard on 150W and 300W. All other models are special order.  
Type II distribution available as special order  
Wall mount and adjustable universal pole mount available as optional field-installed accessories

1 POLE LIGHT (SL1 & 2)  
SCALE: 1:2

RAB

Project: Olive Street Type: Pole SL1 and SL2

Prepared By: Date: 9/13

**Driver Info**  
Type Constant Current Watts 150W  
120V 1.50A Color Temp 4000K (Neutral)  
208V 0.80A Color Accuracy 70 CRI  
240V 0.70A L70 Lifespan 100,000 Hours  
277V 0.06A Lumens 19,804  
Input Watts 148.49W Efficacy 133.4 lm/W

**LED Info**



SLIMFC37NW/PC



Technical Specifications

**Compliance**  
UL Listed: Suitable for Wet Locations. Wall Mount Only.  
IESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.  
DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.  
DLC Product Code: P1124EDM  
Construction: Designed to replace RAB HID WP1 wall packs, both in size and footprint template, so upgrading to LED is easy and seamless  
IP Rating: Ingress protection rating of IP66 for dust and water

**Cold Weather Starting:** Minimum starting temperature is -40°C (-40°F)  
**Maximum Ambient Temperature:** Suitable for use in up to 40°C (104°F)  
**Housing:** Precision die-cast aluminum housing and door frame  
**Mounting:** Die-cast back box with four (4) conduit entry points and knockout pattern for junction box or direct wall mounting. Hinged housing and bubble level for easy installation.  
**Full Cutoff:** Full-cutoff meets dark-sky requirements

**Recommended Mounting Height:** Up to 20 ft  
**Lens:** Microprismatic diffusion glass lens reduces glare and has smooth and even light distribution  
**Reflector:** Specular thermoplastic  
**Gaskets:** The unique design of the tight-lock gasket ensures no water or environmental elements will ever get inside the SLIM

RAB

Project: Olive Street Road Type:

Prepared By: Date:

**Driver Info**  
Type Constant Current Watts 37W  
120V 0.31A Color Temp 4000K (Neutral)  
208V N/A Color Accuracy 73 CRI  
240V N/A L70 Lifespan 100,000 Hours  
277V N/A Lumens 3,536  
Input Watts 34.6W Efficacy 102.2 lm/W

**LED Info**

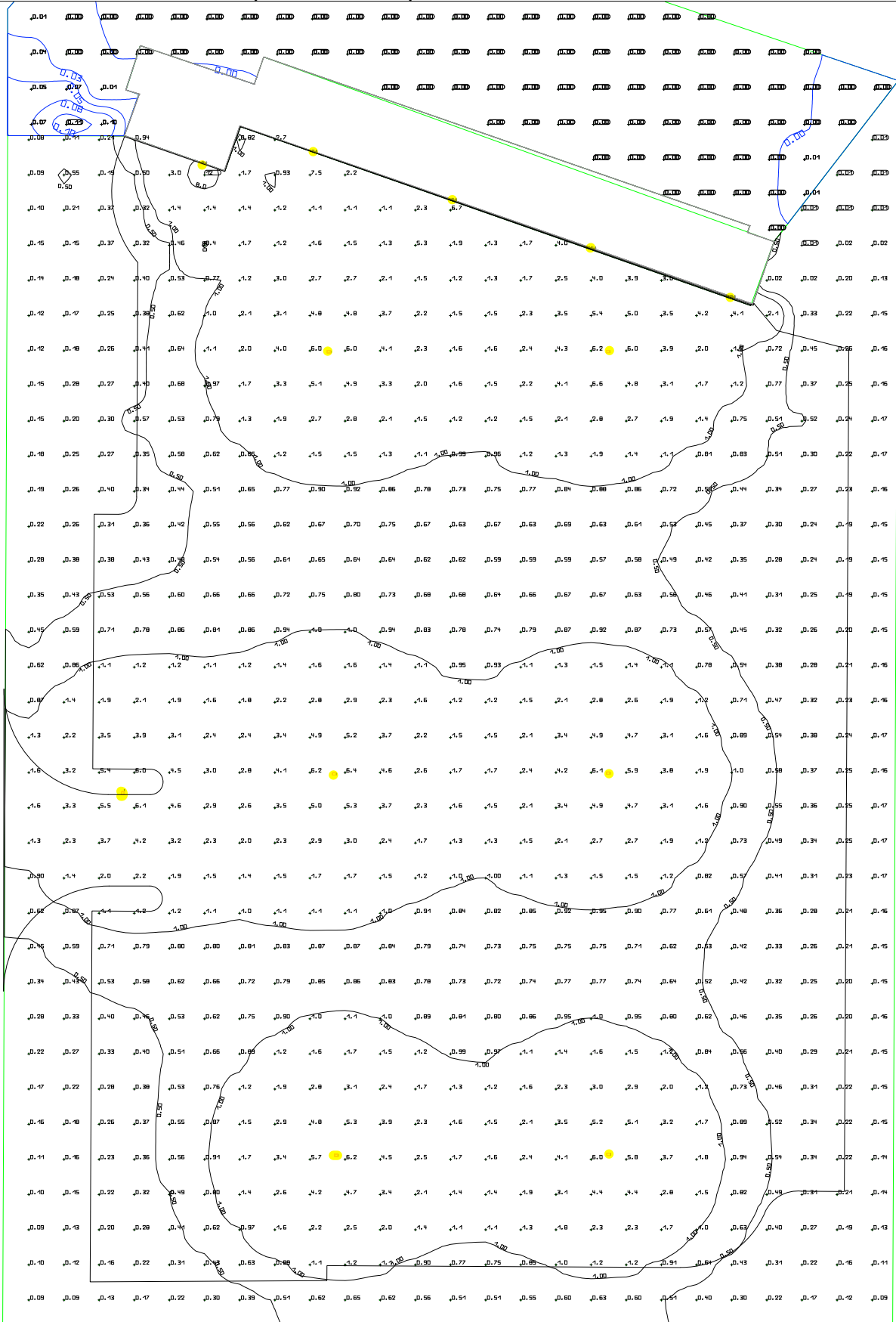
SLIMFC37NW/PC

Ordering Matrix

Family	Cutoff	Wattage	Color Temp	Finish	Driver Options	Options	Other Options
SLIM	FC	37	N	W	Blank = Standard (120-277V) /BL = BL-Level /D10 = Dimmable /480 = 480V	/LC = Lightcloud® Controller Blank = No Option /PC = 120V Button Photocell /PC2 = 277V Button Photocell /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell	Blank = Standard USA = SAA Compliant

2 WALL PACK (SL4)  
SCALE: 1:2

LIGHTING PLAN & PHOTOMETRICS - 11 x 17 format (405.04.010 - B1.i)



Index	Manufacturer	Article name	Item number	Rating	Luminaire Foot	Light beam radius	Connected load	Quantity
1	400 LIGHTING	400 LIGHTING	400-0100	1	2000	100	100.0 W	1

CALCULATIONS PERFORMED USING DIALUX VERSION 5.9.25160 UNITS = FOOTCANDLES. ALL CALCULATION POINTS ARE AT SLI MOUNTING HEIGHT = 8' PILE SLI MOUNTING HEIGHT = 12' ABOVE GRADE.

**Preliminary**  
09/10/2021 8:14:22 AM

PROFESSIONAL SEAL



NOTE: THIS SEAL APPLIES ONLY TO THIS DOCUMENT. I DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THIS PROJECT OR ANY OTHER PROJECT.

engineers architects construction consultants

The Pines Office Center  
1 The Pines Court, Suite A  
Chesterfield, MO 63141  
Tel: (314) 439-9900  
Fax: (314) 439-9906

www.vestalcorporation.com

NO.	DESCRIPTION	DATE
1	REVISED	09/10/2021
0	ISSUE	07/26/2021

CLIENT:

AGM, INC

PROJECT:

NEW VAULT, INC.  
18626 OLIVE STREET ROAD  
CHESTERFIELD, MO

SHEET TITLE:

SITE PLAN - LIGHTING CALCULATIONS

PROJECT NUMBER: 21 1308

DATE: 07/26/2021

DRAWN BY: SKS

DESIGNED BY: SKS

CHECKED BY: -

APPROVED BY: -

SHEET NUMBER:

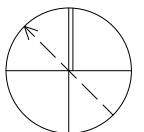
E101

SCALE: 1/16" = 1'-0"

1 OF 1 REV: -

1 SITE PHOTOMETRIC CALCULATIONS  
SCALE: 1/16" = 1'-0"

PLAN NORTH



SITE LIGHTING PHOTOMETRIC PLAN

SCALE: 1:3