

## Planning Commission Report

<b>Project Type:</b>	Site Development Plan
<b>Meeting Date:</b>	September 13, 2021
<b>From:</b>	Natalie Nye, Planner
<b>Location:</b>	13426 Olive Boulevard
<b>Description:</b>	<b><u>13426 Olive Blvd. (Total Access Urgent Care):</u></b> A Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 3.19-acre tract of land zoned "PC" Planned Commercial District located south of Olive Boulevard and east of North Woods Mill Road (16Q330911).

### **PROPOSAL SUMMARY**

TAUC Properties, LLC has submitted a request for a Site Development Plan for a new urgent care facility at 13426 Olive Blvd. The subject property is the former site of a Steak 'n Shake and is currently vacant. The proposal includes a new 5,080 square foot building, parking lot and associated landscaping. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 3140.



Figure 1: Aerial image of the subject site

**SITE HISTORY**

The subject site was originally zoned “C-8” Planned Commercial District by St. Louis County prior to the City’s incorporation. A Final Development Plan for the previous restaurant development was approved by St. Louis County in 1976, and later amended in 1989 to include a drive-through. On March 1, 2021 Ordinance 3140 was approved and the site was rezoned to “PC” Planned Commercial District to allow a medical use on the 3.19-acre tract of land.

**LAND USE AND ZONING OF SURROUNDING PROPERTIES**

The zoning and land use for the properties surrounding this parcel are as follows:

Direction	Zoning	Land Use
North	“C2” Shopping District & “PC” Planned Commercial District	Retail & Fast Food Establishment
East	“R3” Residence District	Incarnate Word Parish
South	“C8” Planned Commercial District	Office
West	“C8” Planned Commercial District & “R3” Residence District	Retail

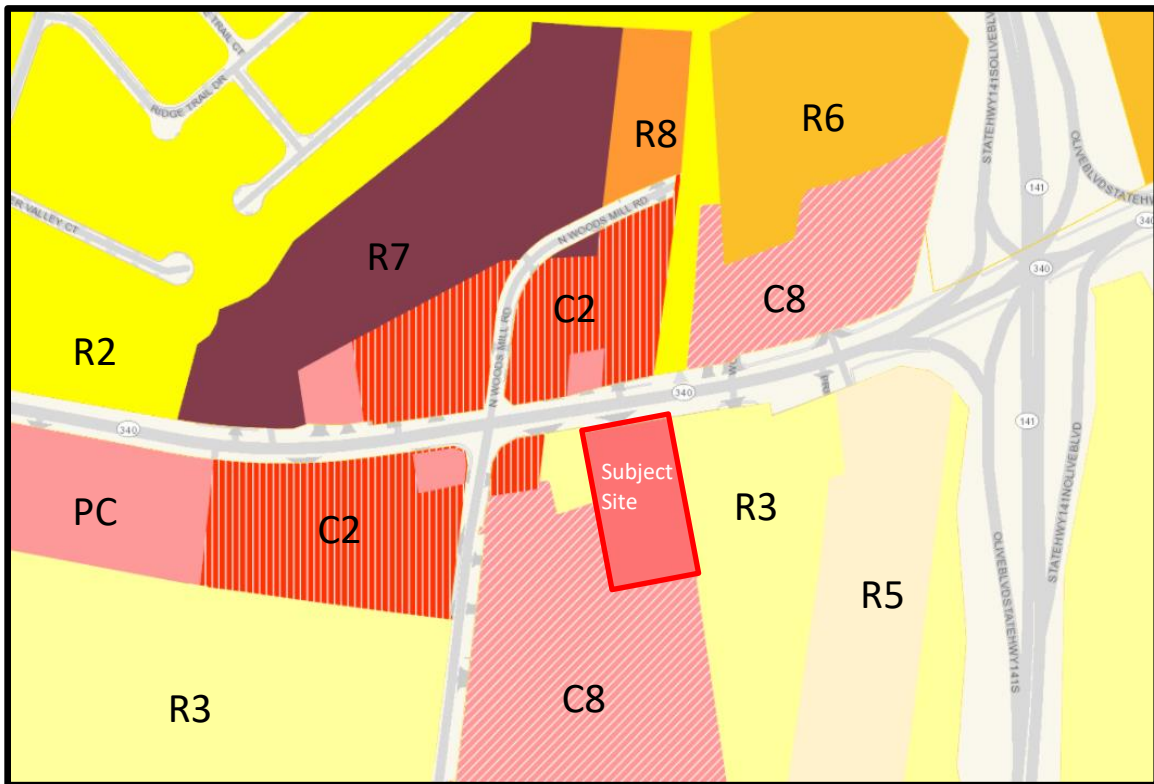


Figure 2: Zoning Map



Figure 3: Land Use Map

### **COMPREHENSIVE PLAN**

The City of Chesterfield Comprehensive Land Use Plan indicates the subject site as “Neighborhood Center.” This land use designation supports small scale, commercial centers that provide goods and services to the surrounding neighborhood. “Neighborhood Center” uses should be compatible with the nearby residential neighborhood and provide safe and convenient access. The proposed use provides a medical service to the surrounding neighborhood and operates during business hours. The proposed use is not obtrusive and will redevelop a currently vacant site.

### **STAFF ANALYSIS**

#### **Circulation, Access, and Parking**

The site is accessed via the existing drive along Olive Blvd. The site’s access, general layout, and circulation will remain the same as the previous Steak ‘n Shake. The parking lot however, will be significantly reduced in size. The new urgent care facility will require a minimum of 20 parking spaces, with a maximum of 25 parking spaces. The proposed project includes 23 parking spaces, two of which are accessible spaces. The previously paved area to the south of the building and proposed parking lot will be removed and seeded as shown in Figure 4. An internal sidewalk is proposed that will connect to the existing sidewalk along the frontage of the site. There is an existing bus stop located on Olive Blvd. in front of the proposed building; although there is no proposed sidewalk connection to the bus stop landing.

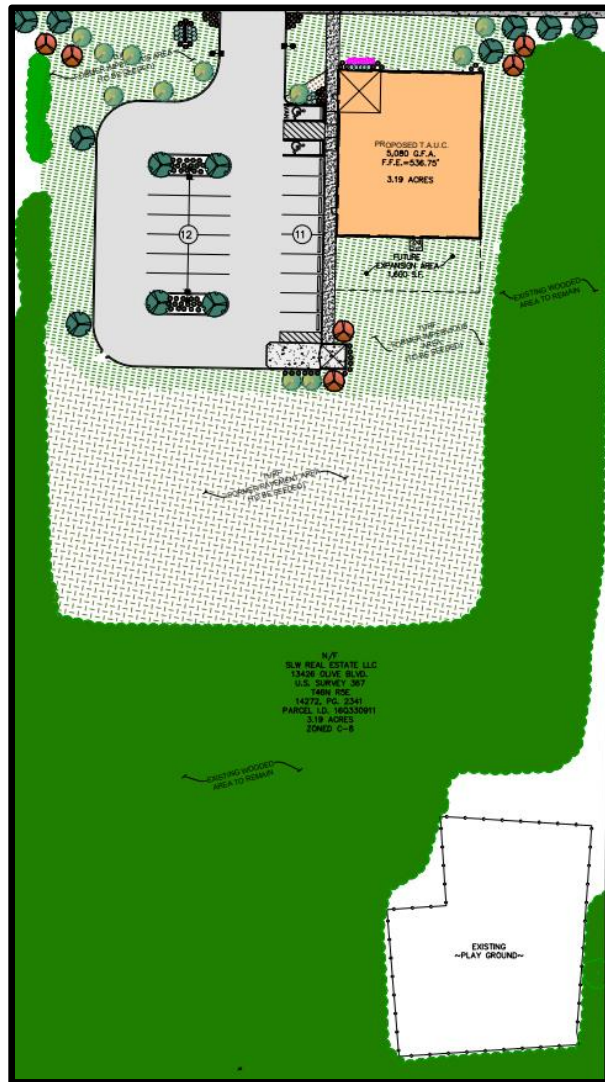


Figure 4: Color Site Plan

### Landscape Design

The applicant is proposing a variety of trees and shrubs in the required 30' landscape buffer along Olive Blvd. Adequate parking lot landscaping is provided and the new trash enclosure will be screened appropriately by new landscaping. New shrubs are proposed around the base of the monument sign and along the foundation of the northern elevation. The variety of plantings have been selected from the City of Chesterfield's approved tree list and conform with City standards set by the Unified Development Code (UDC). Additionally, the site will be preserving the existing 62,497 square feet of tree canopy.

### Screening

Mechanical equipment will be located on the roof of the proposed building and will be completely screened by the parapet walls as shown in Figure 5.

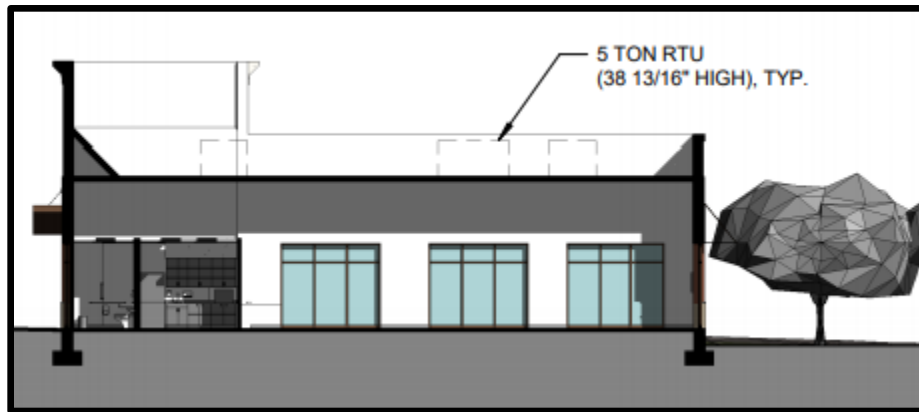


Figure 5: Rooftop Mechanical Unit Screening

### Lighting

All of the proposed parking lot lighting and building mounted light fixtures comply with the City's Unified Development Code. Three LED, flat lensed, fully shielded parking lot lights are proposed and 13 wall mounted fixtures are proposed to shine light over the doorways and windows, but will not spill beyond the canopies' overhead.



Figure 6: Proposed Light Fixtures

### Elevations

The proposed building's north and west elevations serve as front facades to the building. The north elevation will face Olive Blvd. and the west will face the parking lot. Both will be highly visible and can be seen in Figures 7 and 8. The proposed building is 27'6" in height at its highest point, and the maximum building height for this development is 30 feet per the site-specific ordinance. The entrances to the building will be on the north and west elevations and designed under a curved steel metal awning. The proposed building is primarily comprised of brick veneer, stone veneer and EIFS. The building also incorporates aluminum storefronts and metal canopies. The color palette emphasizes the red tones of the brick with neutral colors for the stone, EIFS and canopies.



Figure 7: North Elevation (facing Olive Blvd.)



Figure 8: Rendering

### **ARCHITECTURAL REVIEW BOARD INPUT**

The request was reviewed by the Architectural Review Board on Thursday, May 13, 2021. The Board made a motion to forward the Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design to the Planning Commission with a recommendation to approve with the following condition:

- Provide material samples prior to moving forward to Planning Commission.

Since the Architectural Review Board Meeting, the applicant has provided the requested samples per the condition. The Architectural Review Board had no further comments.

### **STAFF RECOMMENDATION**

Staff has reviewed the Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for 13426 Olive Blvd. (Total Access Urgent Care). Staff recommends approval based on the proposal's compliance with the Unified Development Code and site-specific Ordinance 3140.

### **MOTION**

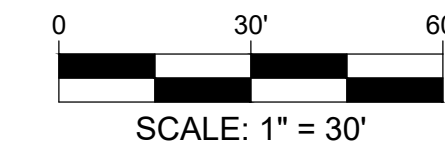
The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for 13426 Olive Blvd. (Total Access Urgent Care) as presented".
- 2) "I move to approve the Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for 13426 Olive Blvd. (Total Access Urgent Care) with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Attachments: Site Development Plan Submittal Packet

# SITE DEVELOPMENT PLAN

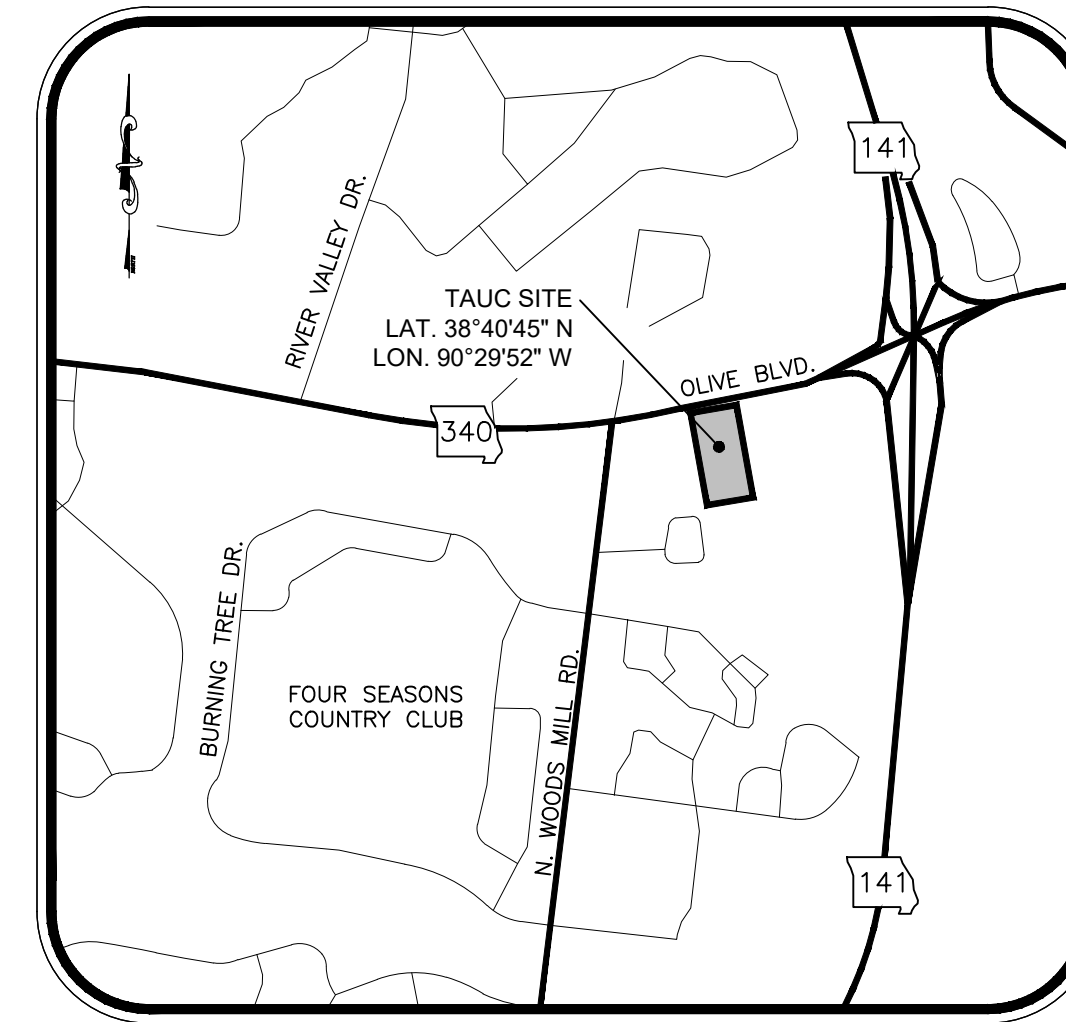
08/19/2021



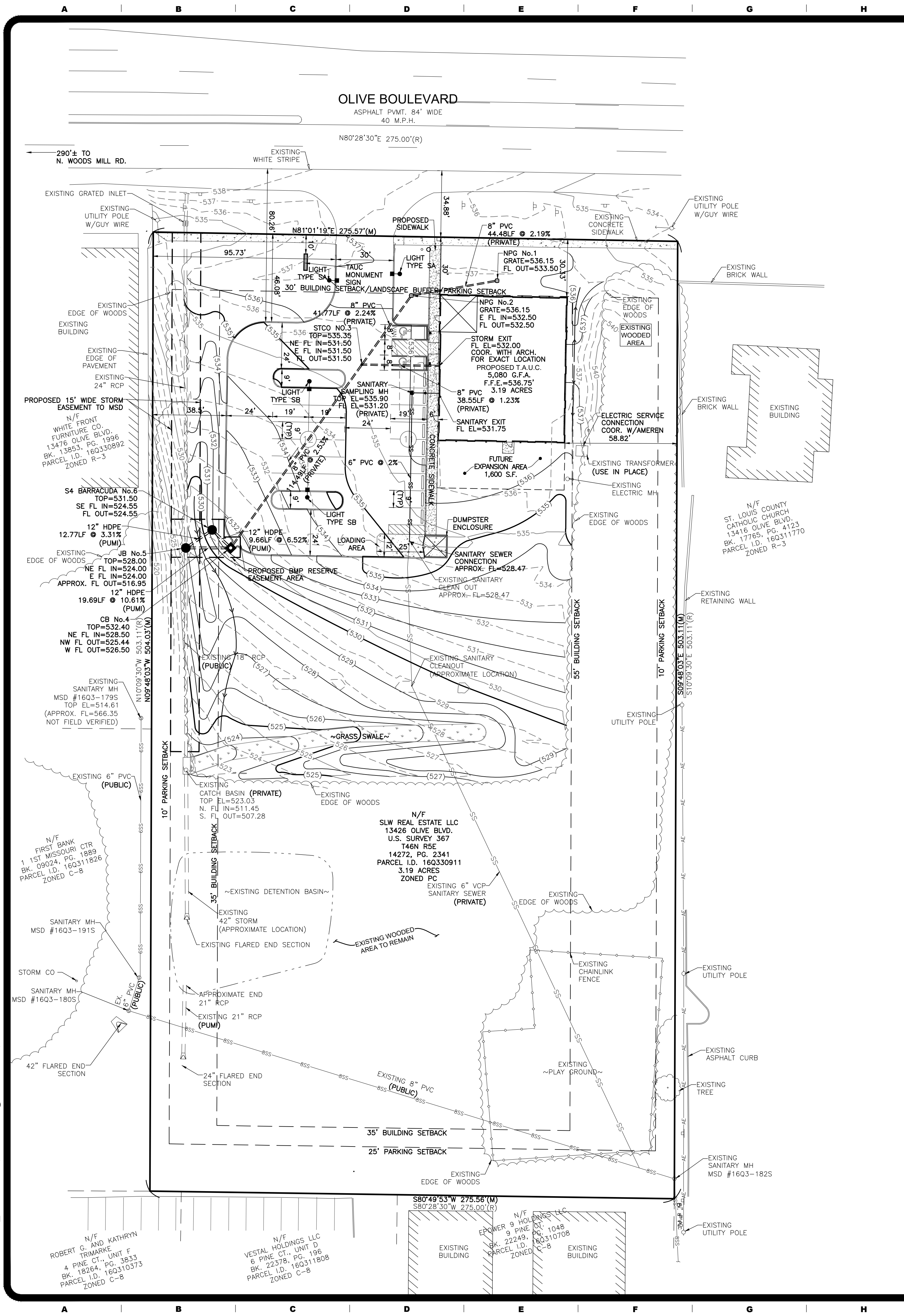
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**NOTES:**

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- Bearing referenced to Grid North of the Missouri Coordinate System 1983, East Zone per GPS observations utilizing the MoDOT VRS RTK Network.
- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.  
Bearing referenced to Grid North of the Missouri Coordinate System 1983, East Zone per GPS observations utilizing the MoDOT VRS RTK Network.  
Temporary Benchmark No. 1 - Found Iron Rod at the northwest corner of the site EL=534.49'  
Temporary Benchmark No. 2 - Found Iron Rod at the northeast corner of the site EL=532.63'
- This site scales within Zone "X", areas determined to be outside of the 0.2% annual chance floodplain as per Federal Emergency Management Agency Flood Insurance Rate Map, Panel No. 186 of 445, Map No. 29188C0196K, effective date February 4th, 2015.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
- Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
- Contractor shall refer to architectural plans for exact locations, dimensions and material types of downspouts, roof drains, and utility services into the building.
- The Contractor is responsible for keeping stormwater run-off and sedimentation under control during construction.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractors expense.
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
- All new parking lot lighting poles and fixtures with lamps and paint will be provided by the Owner and installed by the Electrical Contractor. The Electrical Contractor shall provide the Owner a one-year warranty certificate. All incurred costs for receiving, storage, liability, and warranty labor shall be included in the installation and contract price. Refer to architectural plans for site lighting conduit routing.
- All dimensions are to the face of curb and all radii are to the back of curb, unless otherwise shown.
- Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
- Sidewalks and designated walkways are to be accessible. Passenger loading and landing areas are to be 2% maximum grade in any direction. Outside of the loading and landing areas, longitudinal running slopes are to be a maximum of 5% grade with a maximum of a 2% running slope. Ramps are to be a maximum of 1:12 slope with a maximum of 6" rise.



SITE LOCATION MAP  
NOT TO SCALE



PARKING DATA	
PROPOSED MEDICAL OFFICE	5,080 G.F.A.
CITY REQUIRED PARKING MEDICAL OFFICE:	
4.0 SPACES FOR EACH 1,000 G.F.A. MINIMUM = 20 SPACES	
5.0 SPACES FOR EACH 1,000 G.F.A. MAXIMUM = 25 SPACES	
TOTAL PARKING PROVIDED: 23 SPACES (INCLUDING 2 H.C. SPACES)	
REQUIRED:	
9' WIDE X 18' DEEP, 90° SPACE WITH 22' WIDE DRIVES	
PROVIDED:	
9' WIDE X 18' DEEP, 90° SPACE WITH 24' WIDE DRIVES	

SITE DATA	
CURRENT ZONING: "PC" PLANNED COMMERCIAL ORDINANCE No. 3140	
PROPOSED USE: MEDICAL OFFICE	
PROPOSED BUILDING SETBACKS:	
30 FEET FROM THE NORTHERN BOUNDARY OF THIS PC DISTRICT (SOUTH RIGHT OF WAY LINE OF OLIVE BOULEVARD)	
55 FEET FROM THE EASTERN BOUNDARY OF THIS PC DISTRICT	
35 FEET FROM THE SOUTHERN BOUNDARY OF THIS PC DISTRICT	
35 FEET FROM THE WESTERN BOUNDARY OF THIS PC DISTRICT	
PROPOSED PARKING SETBACKS:	
30 FEET FROM THE NORTHERN BOUNDARY OF THIS PC DISTRICT (SOUTH RIGHT OF WAY LINE OF OLIVE BOULEVARD)	
10 FEET FROM THE EASTERN BOUNDARY OF THIS PC DISTRICT	
25 FEET FROM THE SOUTHERN BOUNDARY OF THIS PC DISTRICT	
10 FEET FROM THE WESTERN BOUNDARY OF THIS PC DISTRICT	
ESTIMATED TREE CANOPY ON PROPERTY: 63,910 S.F.	
MAXIMUM BUILDING HEIGHT: 30 FEET	
F.A.R. PRE EXPANDED BUILDING: 0.37	
F.A.R. EXPANDED BUILDING: 0.48	

DESCRIPTION	SITE PLAN LEGEND	
	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—
UNDERGROUND TELEPHONE	—UT—	—UT—
GAS LINE	—G—	—G—
FIBER OPTIC LINE	—FO—	—FO—
WATERLINE	—W—	—W—
SANITARY SEWER	—SS—	—SS—
STORM SEWER	=====	=====
PROPERTY LINE	—P—	—P—
CHAINLINK FENCE	—CF—	—CF—
UTILITY POLE	•	•
GUARD POST	GP	GP
SANITARY MANHOLE	●	○
WATER VALVE	•	•
FIRE HYDRANT	+	+
CATCH BASIN/AREA INLET	■	□
JUNCTION BOX	●	○
GRADED INLET	■	■
CLEANOUT	•	•

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

M.S.D. #20MSD-xxxxx  
BASE MAP #16Q

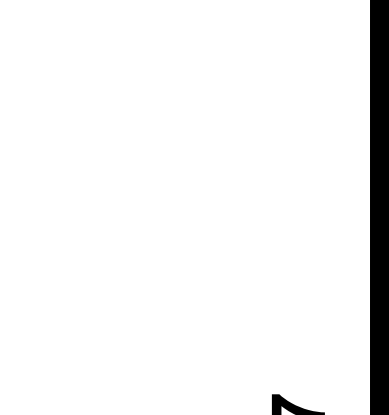
**Current Property Owner**  
SWL Real Estate LLC  
13426 Olive Blvd.  
Chesterfield, MO 63017

**Under Contract/Developer**  
TAUC PROPERTIES, LLC  
975 Hornet Drive  
Hazelwood, MO 63042  
(314) 961-2255

**Owner's Representative**  
John Schebaum, P.E.  
for BFA, Inc.  
103 Elm Street,  
Washington, MO 63090  
(636) 231-4337

TELEPHONE: (636) 239-4751  
**BFA**  
Engineering-Surveying  
WASHINGTON, MISSOURI 63090  
103 ELM STREET

**FOR REVIEW PURPOSES ONLY**  
Date: 08/17/21  
John B. Schebaum, P.E. #2020000083  
State of Missouri  
Registered Professional Engineer  
for BFA, Inc. Professional Engineer #000472

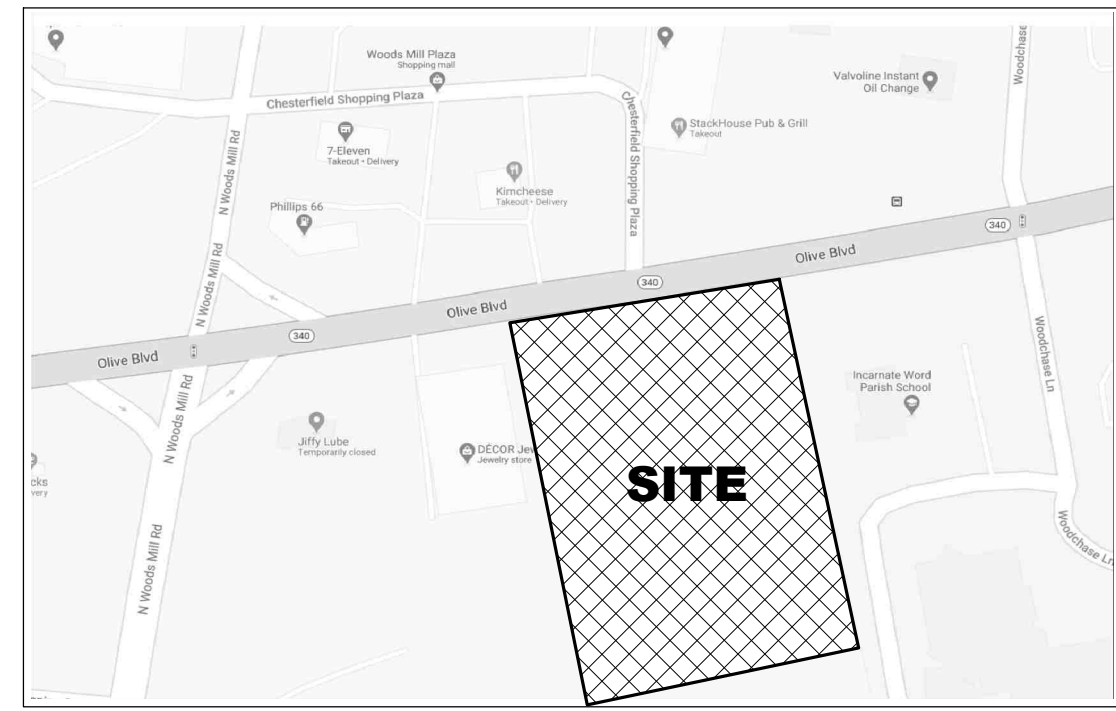


**TAUC PROPERTIES LLC**  
13426 Olive Boulevard  
City of Chesterfield,  
St. Louis County, MO 63017

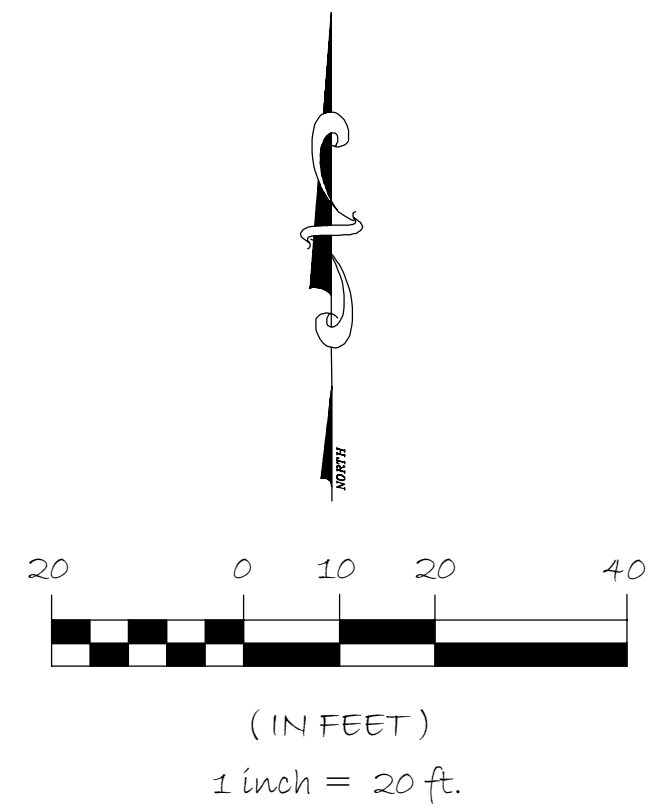
DRAWN: E.J.H.  
CHECKED: J.B.S.  
DATE: 05/25/21  
SCALE: 1" = 30'  
JOB No.: 6354  
SHEET NAME: SITE DEVELOPMENT PLAN

SDP-1



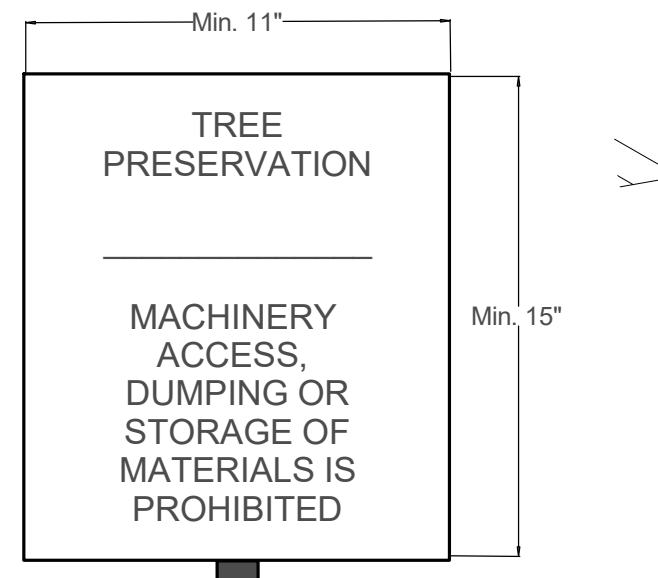


LOCATION MAP



ABBREVIATIONS

- CL - Centerline
- C.O - Cleanout
- D.S - Downspout
- E.P - Edge of Pavement
- F.F - Finished Floor
- F.G - Finished Grade
- FL - Flowline
- G.L - Gutterline
- L.S - Light Standard
- (T.B.R) - To Be Removed
- T.O.C - Top of Curb
- T.P - Top of Pavement
- T.O.W - Top of Wall
- C.M. - Concrete Monument
- T.W.R - Top of Walk
- PL - Property Line
- A.I - Area Inlet
- R.W - Right of Way
- G.I - Grate Inlet
- M.H - Manhole
- O.I.P - Old Iron Pipe
- R - Radius
- P.B - Plot Book
- D.B - Deed Book
- T.B.R - Top of Bank
- T.S - Top of Slope
- C.M.P - Corrugated Metal Pipe
- P.V.C - Polyvinyl Chloride Pipe
- V.C.P - Vitrified Clay Pipe
- C.P - Non-Reinforced Concrete Pipe
- R.C.P - Reinforced Concrete Pipe
- D.I.P - Ductile Iron Pipe
- F.F - Face to Face
- B.B - Back to Back
- U.S.I.P - Use in Place
- (U.I.P) - Use in Place
- B.W - Bottom of Wall
- T.I - Top of Island
- T.G - Top of Grade
- (TYP) - Typical
- Cont. - Concrete
- RE - Refer
- Det. - Detail



TREE PRESERVATION SIGN DETAIL

TREE PROTECTION NOTES:

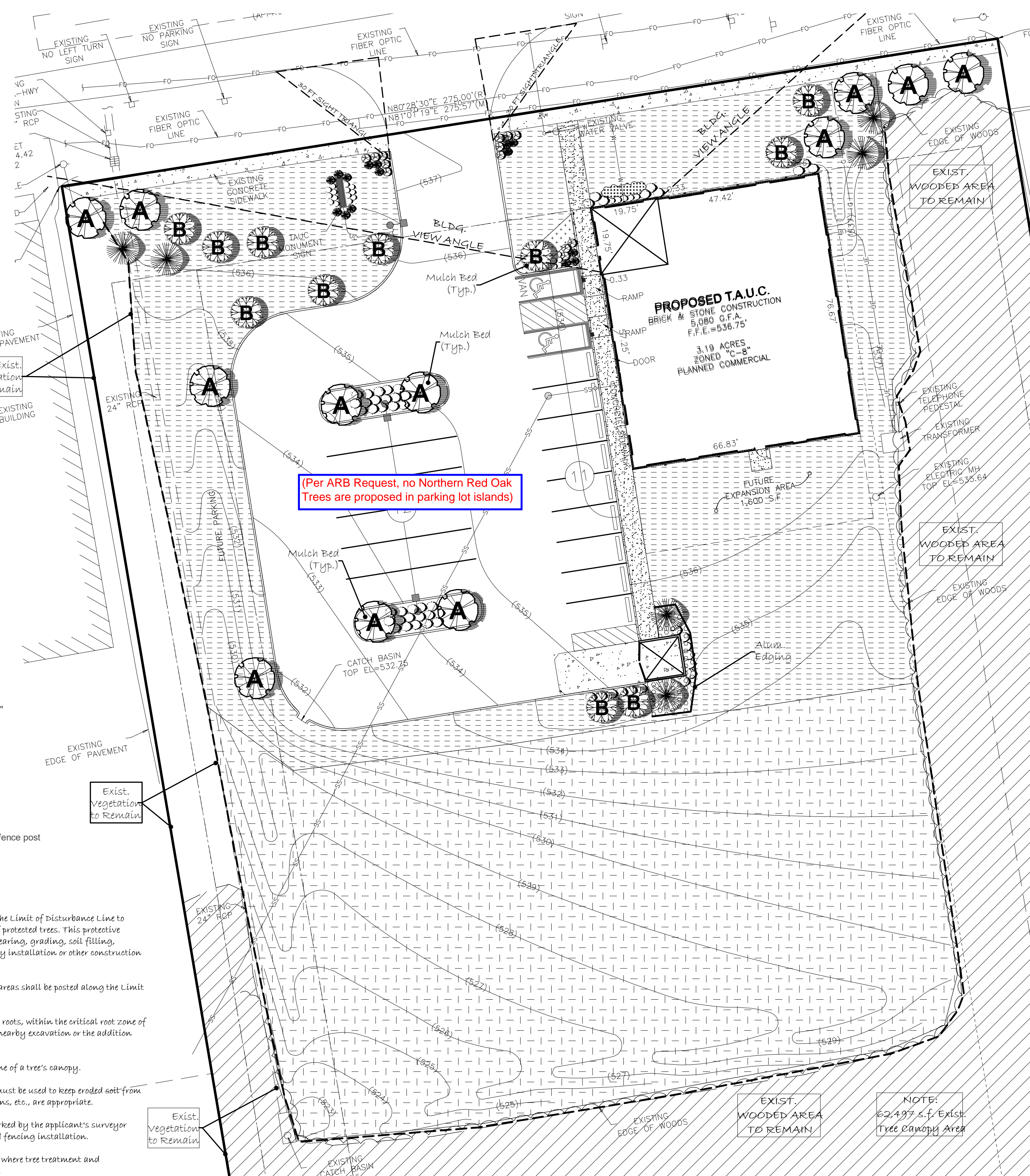
- A. Protective fencing shall be installed along the Limit of Disturbance Line to prevent damage to the roots, trunk, and tops of protected trees. This protective fence shall protect the tree and its roots from clearing, grading, soil filling, storage of materials, parking of vehicles, utility installation or other construction activity of any kind.
- B. Signs designating required tree protection areas shall be posted along the Limit of Disturbance Line.
- C. Root Pruning or trenching shall occur when roots, within the critical root zone of a protected tree, will be damaged as a result of nearby excavation or the addition of fill over the root system.
- D. Trenches are not permitted inside the drip line of a tree's canopy.
- E. Sediment and Erosion Control Structures must be used to keep eroded soil from covering roots of protected trees. Siltation screens, etc., are appropriate.
- F. Clearing limits shall be enough staked or marked by the applicant's surveyor in order to facilitate location for trenching and fencing installation.
- G. No clearing or grading shall begin in areas where tree treatment and preservation measures have not been completed.
- H. Refer to this sheet for protective devices details.
- I. Early maintenance schedule shall be provided by Tree Specialist noting any pruning, injection, fertilizing required.
- J. Name of Tree Specialist shall be determined prior to construction.

REVISIONS:  
 3-26-21 City Comments  
 4-12-21 Dumpster Relocation

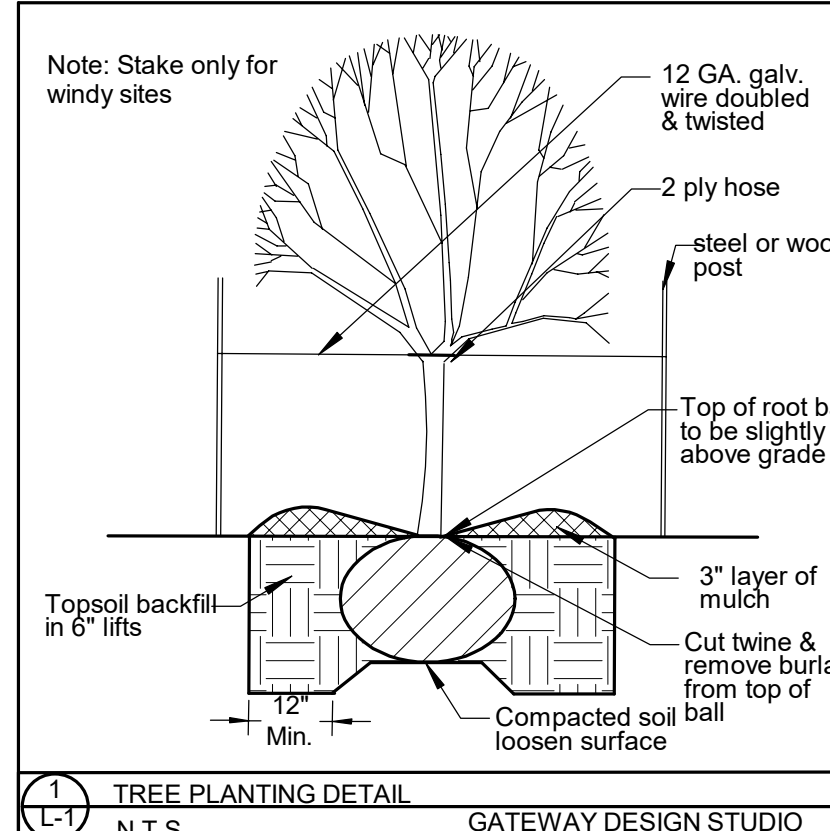
A record original of this document is on file at the office of GATEWAY DESIGN STUDIO, LLC. Any unauthorized alterations or changes made without the expressed consent from GATEWAY DESIGN STUDIO, LLC shall deem us not responsible for any said alterations and changes.



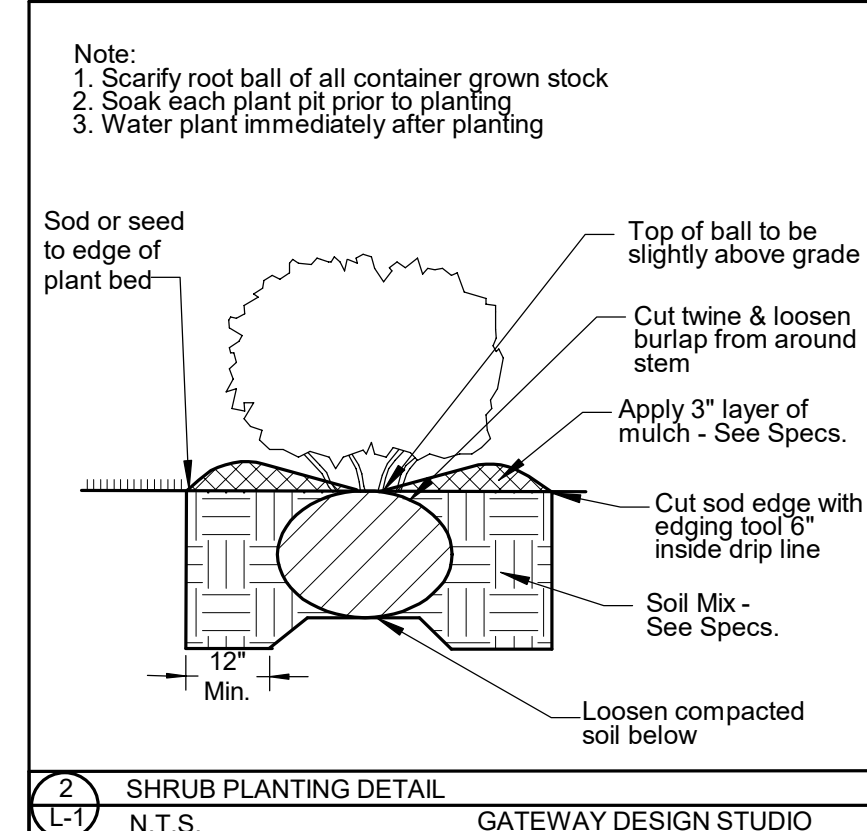
Underground facilities, structures & utilities have been plotted from available surveys, records & information and therefore do not necessarily reflect the actual conditions, nonexistence, size, type, number or location of these facilities, structures & utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures & utilities, whether shown or not shown on these plans. The underground facilities, structures & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMo.



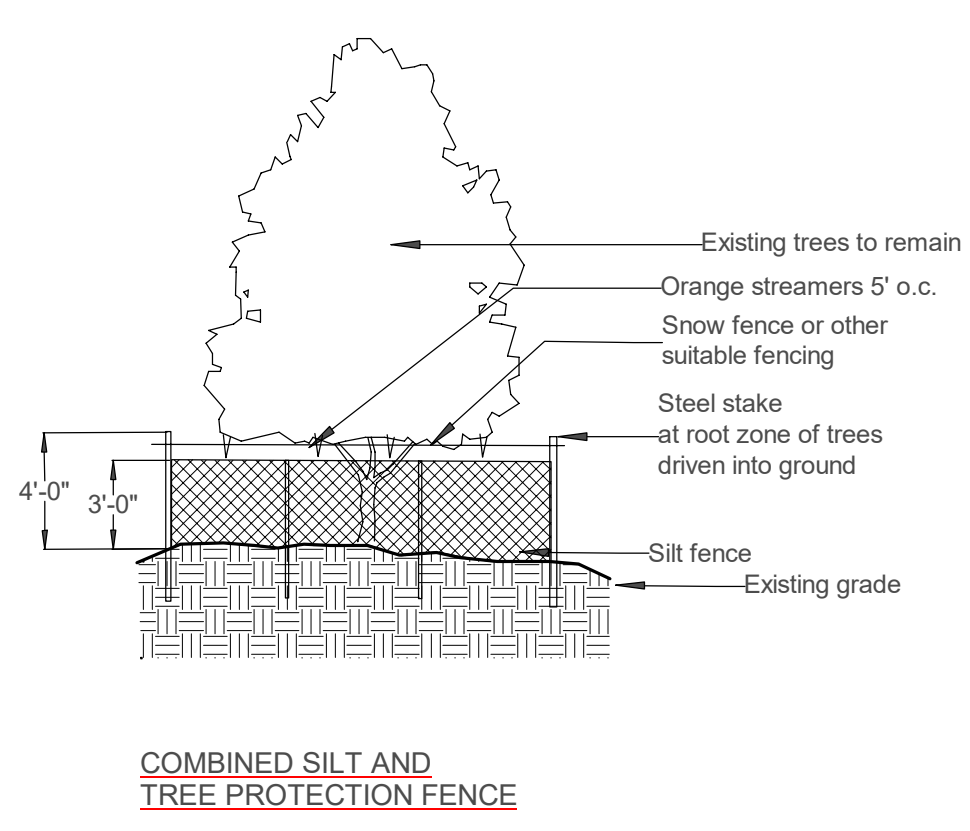
(Per ARB Request, no Northern Red Oak Trees are proposed in parking lot islands)



TREE PLANTING DETAIL N.T.S. GATEWAY DESIGN STUDIO



SHRUB PLANTING DETAIL N.T.S. GATEWAY DESIGN STUDIO



COMBINED SILT AND TREE PROTECTION FENCE

PROPOSED LANDSCAPE LEGEND/LIST

QUANT.	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	GROWTH RATE	SIZE CLASS
<b>(12) 2.5" DECIDUOUS CANOPY TREES (41% provided)</b>					
(4)	Northern Red Oak	(Quercus rubra)	60-75 feet	Medium/Fast	Large
(4)	'Green Vase' Zelkova	(Zelkova serrata 'Green Vase')	50-80 feet	Fast	Large
(4)	Upright European Hornbeam	(Carpinus betulus 'Fastigiata')	30-40 feet	Slow/Medium	Medium
<b>(11) 2.5" 6 ft. DECIDUOUS ORNAMENTAL TREES (38% provided)</b>					
(4)	Eastern Redbud	(Cercis canadensis)	25-30 feet	Fast	Medium
(6)	Downy Serviceberry	(Amelanchier arborea)	25-30 feet	Slow/Med	Medium
(1)	Sweetbay Magnolia	(Magnolia virginiana 'Jim Wilson')	15-25 feet	Medium	Small
<b>(6) 6 ft. MIN. EVERGREEN TREES (20% provided)</b>					
(6)	Canaret Eastern red-cedar	(Juniperus virginiana)	20-35 feet	Medium	Medium
<b>(13) 18-24" min. DECIDUOUS SHRUBS (46% provided)</b>					
(10)	'Henry's Garnet' Sweetspire	(Itea virginica 'Henry's Garnet')	2-3 feet	Medium	Small
(3)	'Mnuer' Weigela	(Weigela florida 'Mnuer')	2-3 feet	Medium	Small
<b>(15) 18-24" min. EVERGREEN SHRUBS (54% provided)</b>					
(3)	'Green Velvet' Boxwood	(Buxus x 'Green Velvet')	3 feet	Medium	Small
(6)	'Taurton' Yew	(Taxus x media 'Taurton')	3 feet	Medium	Small
(6)	Green Mound Jap Juniper	(Juniperus heterophylla 'Green Mound')	.75 feet	Medium	Small
<b>(54) 1-2 GAL ORNAMENTAL GRASS</b>					
QUANT.	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	GROWTH RATE	SIZE CLASS
(22)	Dwarf Fountain Grass	(P. alopecuroides 'Hameln')	2 feet	Medium	Small
(12)	Karl Foerster Reed Grass	(C. x acutiflora 'Karl Foerster')	5 feet	Fast	Medium
(20)	Prairie Dropseed	(Sporobolus heterophyllus)	3 feet	Fast	Slow
<b>(24) 1 QT. 1 GAL PERENNIAL FLOWER</b>					
QUANT.	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	GROWTH RATE	SIZE CLASS
(13)	Happy Returns Daylily	(Hemerocallis x 'Happy Returns')	2 feet	Medium	Small
(5)	Little Spire Russian Sage	(P. atriplicifolia 'Little Spire')	2 feet	Medium	Small
(6)	Big Blue Liatris	(Liatris muscari 'Big Blue')	1-2 feet	Medium	Small

- TURF - SOD (Turf Type Fescue)
- TURF - SEED (Utility Seed Mix Fescue)
- 2" o.p. SEASONAL FLOWERS
- 3' MIN. SHREDDED BARK MULCH
- 2" MIN. THICK STONE MULCH W/ FILTER FABRIC
- 4 ft. High Tree Protection Fence/ Limit of Disturbance Line
- EXIST. WOODLAND AREA TO REMAIN

LANDSCAPE CALCULATIONS:

Olive Blvd Frontage - Approx. 275' x 275/50 = (6) Canopy Trees required - (6) Canopy Trees Provided

Landscape Requirements for Tree Islands

Single Island-Row of Parking - 2 Islands x 2 trees = (4) Deciduous Trees required/provided

Double Island end of Single Row of Parking - 2 Islands x 2 trees = (4) Deciduous Trees required/provided

EXISTING TREE CANOPY AREA TABULATION

Total Existing Tree Canopy Area = 62,497 S.F.

Total Tree Canopy Area Removed = 0.00 S.F.

AREA CALCULATIONS

Lot size = 3.18 acres

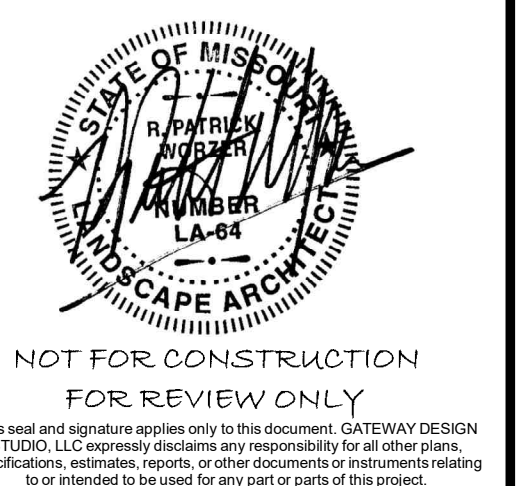
Open Space (green area) = Approx. 2.70 acres = 85%

PRELIMINARY LANDSCAPE PLAN

- PLAN NOTES:
- Contractor to review and field verify existing and proposed conditions prior to installation.
  - Contractor to notify GATEWAY DESIGN STUDIO of any discrepancies.
  - Contractor to coordinate with other trades.
  - Contractor to adjust plantings accordingly, notify GATEWAY DESIGN STUDIO of any major changes.
  - Proposed plant material is to be selected by the contractor and approved by GATEWAY DESIGN STUDIO or Owner prior to installation.
  - Tree locations and planting beds to be located by the contractor and approved by GATEWAY DESIGN STUDIO or Owner prior to installation.
  - MULCH: All planting beds to receive a 3 inch layer of shredded bark mulch in a continuous bed. Apply a granular pre-emergent weed control barrier prior to mulching.
  - Quantity of sod shown is for bidding purposes only. Submit unit cost for any additional cost or credit.
  - Contractor is responsible for installing all plant material shown on plan.
  - All landscape improvements and maintenance to be done according to City of Chesterfield requirements.
  - Plantings shall not prohibit site distance requirements.
  - Proposed conditions based on latest plans prepared by BFA, Inc. Refer to Civil Plans for proposed site development and grading requirements.

08/19/2021

NOT FOR CONSTRUCTION - FOR REVIEW ONLY



NOT FOR CONSTRUCTION FOR REVIEW ONLY  
 This seal and signature applies only to this document. GATEWAY DESIGN STUDIO, LLC expressly disclaims any responsibility for all other plans, specifications, estimates, reports or other documents or instruments existing or intended to be used for any part or parts of this project.

PREPARED BY:  
 gateway design studio  
 planning landscape architecture environmental design  
 Vision...Sustainability...Purpose!

Prepared For:  
 TOTAL ACCESS URGENT CARE  
 9556 Manchester Road  
 St. Louis, MO 63119

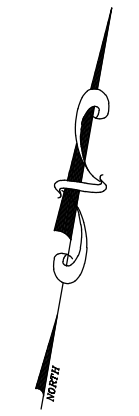
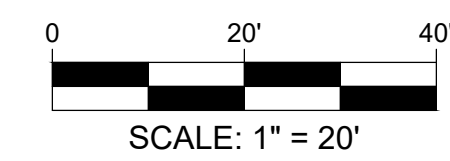
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 13426 Olive Blvd.  
 Chesterfield, MO

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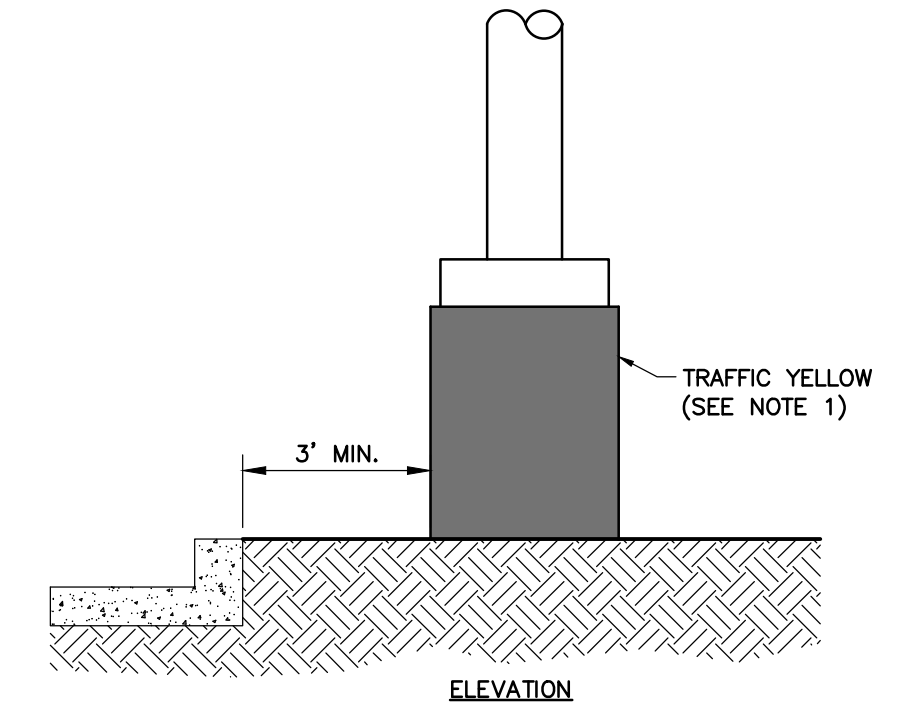
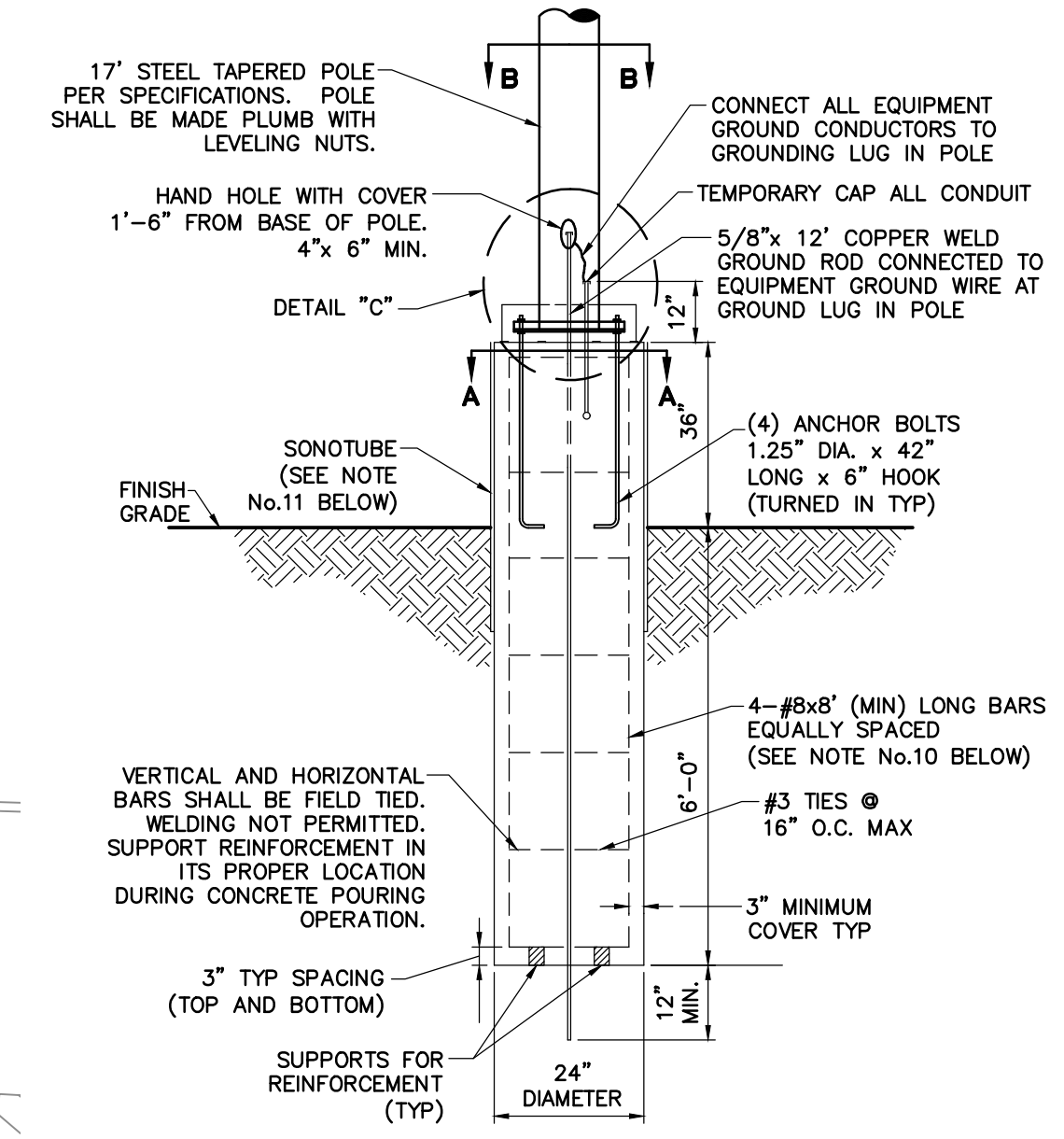
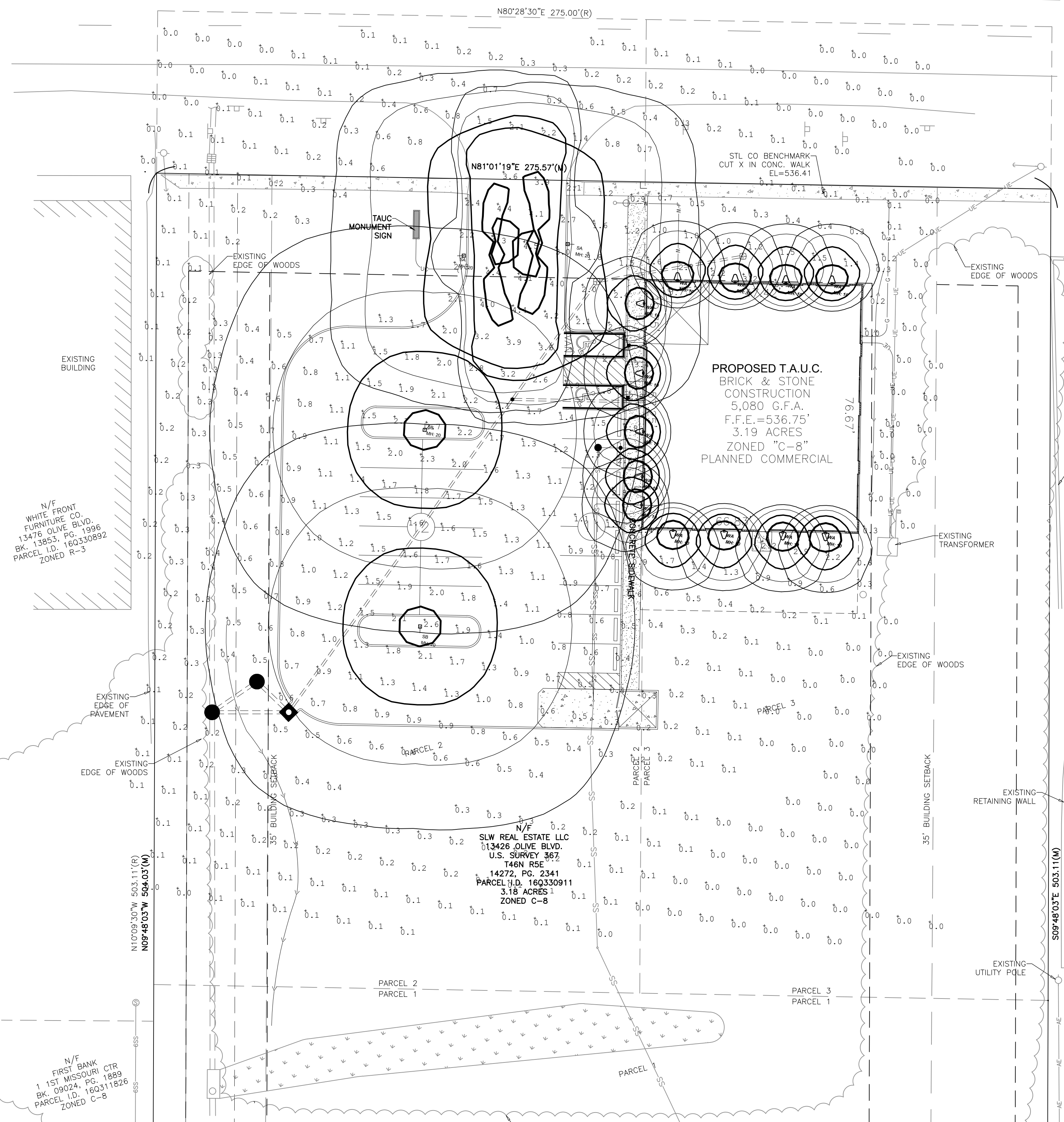
Sheet No.  
 PL-1

Cl'd. By: RPW Dwn. By: ELB/RPW  
 Org Date: 10/21/20 Project No: 020-08

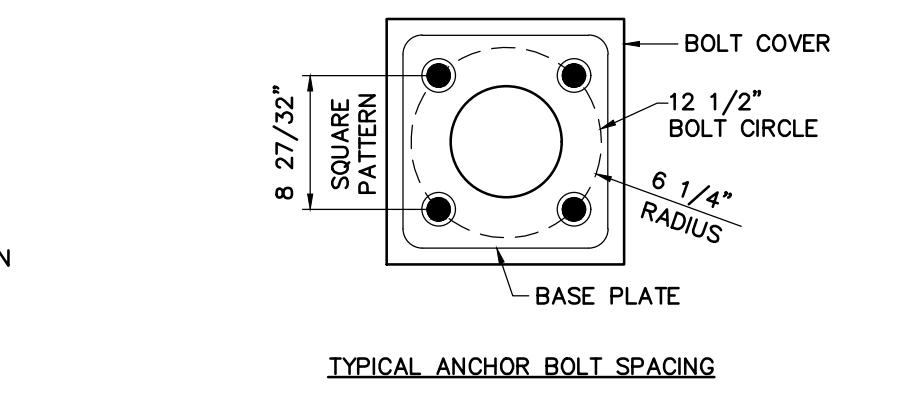
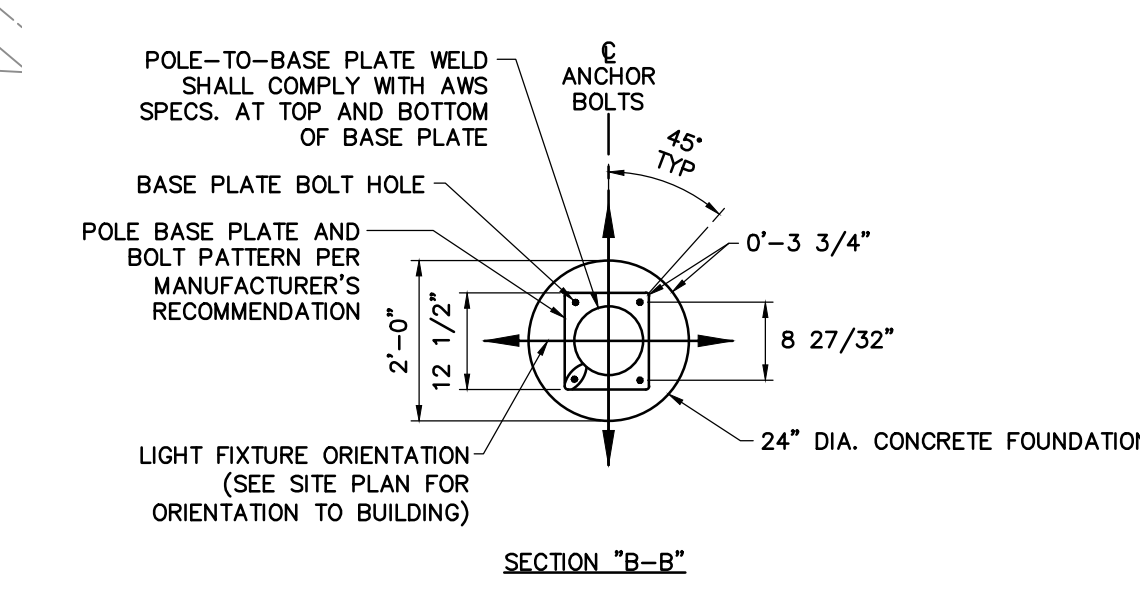
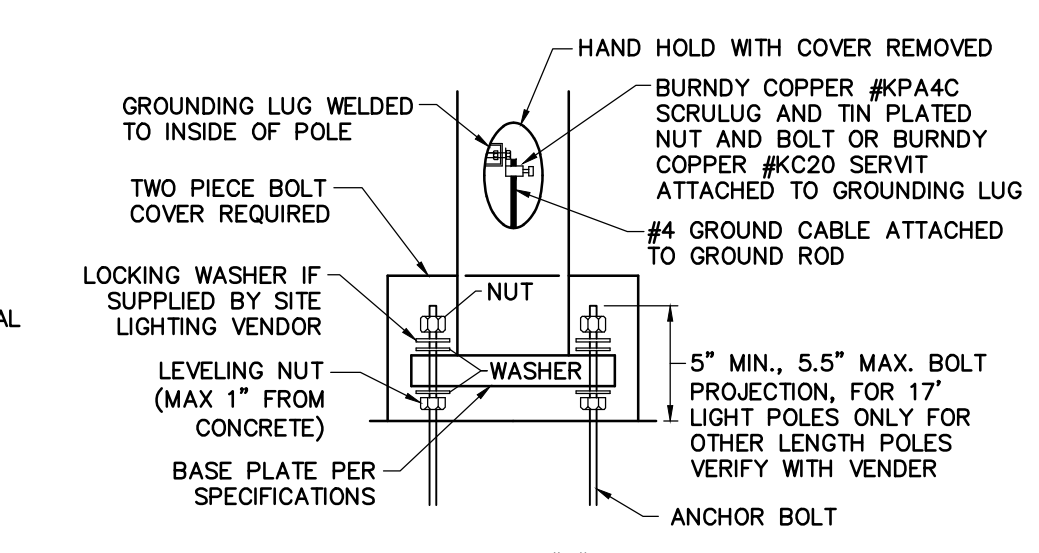
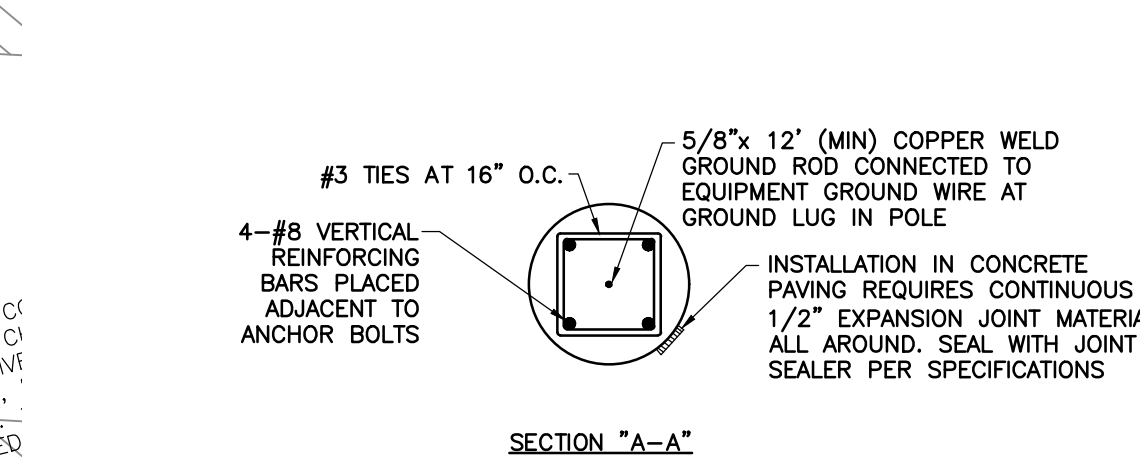
# PHOTOMETRIC PLAN



OLIVE BOULEVARD



- NOTES:
- EXPOSED CONCRETE SHALL BE PAINTED TRAFFIC YELLOW.
  - LIGHT POLE BASE SHALL BE OFFSET A MINIMUM OF 3 FEET FROM THE BACK OF CURB OR CONCRETE BUFFER.
  - IF LIGHT POLE BASE IS WITHIN A RAISED CURB AND OFFSET FROM BACK OF CURB (OR CONCRETE BUFFER) BY 3 FEET OR MORE, THE BASE SHALL NOT BE PAINTED.



- NOTES:
- 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
  - IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
  - FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
  - FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
  - FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
  - FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF, UTILIZING AASHTO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".
  - EXPOSED CONCRETE SHALL BE PAINTED TRAFFIC YELLOW IF WITHIN 3' OF CURB.
  - DETAIL FOR 17" POLE AND 3' BASE. FIXTURE EPA 4.6 SQ.FT.
  - ALL LIGHT POLE BASE FOUNDATIONS SHALL BE CAST-IN-PLACE. PRE-CAST LIGHT POLE BASE FOUNDATIONS ARE NOT ACCEPTABLE.
  - VERTICAL RE-BARS SHALL BE WITHIN 3" FROM THE TOP OF THE CONCRETE BASE. THE ON SITE TESTING FIRM TO VERIFY PRIOR TO POURING CONCRETE BASE.
  - SONOTUBE FORM TO TERMINATE 18" BELOW GRADE, UNLESS NEEDED TO KEEP EXCAVATED AREA FROM COLLAPSING.

TYPICAL LIGHTING POLE BASE DETAIL  
NO SCALE

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
[Symbol]	13	WA	SINGLE	N.A.	0.950	LUMARK XTOR1A	7
[Symbol]	2	SA	SINGLE	N.A.	0.950	US ARCH VLL-PLD-IV-FT-40LED-700mA-NW-HS	86.8
[Symbol]	2	SB	SINGLE	N.A.	0.950	US ARCH VLL-PLD-VSQ-W-40LED-700mA-NW	86.8

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AREA	Illuminance	Fc	1.46	4.5	0.2	7.30	22.50
SPILL LIGHT	Illuminance	Fc	0.16	2.2	0.0	N.A.	N.A.
YARD AREA	Illuminance	Fc	0.63	3.2	0.0	N.A.	N.A.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

M.S.D. #20MSD-xxxxx  
BASE MAP #16Q

REVISIONS	
1	
2	
3	
4	

08/19/2021

08/19/2021

PRELIMINARY DRAWING

TAUC PROPERTIES LLC  
13426 Olive Boulevard  
City of Chesterfield,  
St. Louis County, MO 63017

DRAWN  
E.J.H.  
CHECKED  
J.B.S.  
DATE  
06/01/21  
SCALE  
1"=20'  
JOB No.  
6354  
SHEET NAME  
PHOTOMETRIC PLAN

PM-1

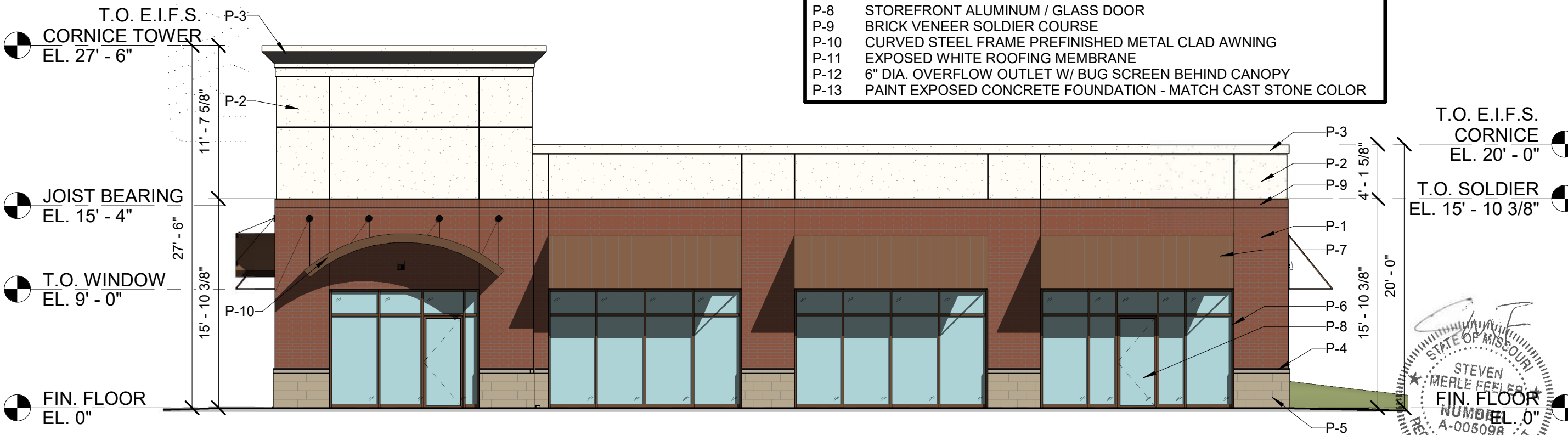
Paul M Kuhlmann  
Lighting Associates, Inc.  
3216 S Brentwood Blvd., Webster Groves  
C: 314.606.6412 (preferred)  
D: 314.446.0200  
F: 314.531.3737  
www.laiweb.net

FOR REVIEW PURPOSES ONLY  
NOT TO BE USED FOR CONSTRUCTION



**2** ELEVATION NORTH  
1/8" = 1'-0"

EXTERIOR FINISHES	
P-1	BRICK VENEER - COLUMBUS "OLD COLONY"
P-2	EIFS
P-3	EIFS FORMED CORNICE PAINTED
P-4	CAST STONE SILL
P-5	STONE VENEER - NSVI "SHADY CANYON"
P-6	PREFINISHED ALUMINUM STOREFRONT SYSTEM
P-7	STEEL FRAME PREFINISHED METAL CLAD AWNING
P-8	STOREFRONT ALUMINUM / GLASS DOOR
P-9	BRICK VENEER SOLDIER COURSE
P-10	CURVED STEEL FRAME PREFINISHED METAL CLAD AWNING
P-11	EXPOSED WHITE ROOFING MEMBRANE
P-12	6" DIA. OVERFLOW OUTLET W/ BUG SCREEN BEHIND CANOPY
P-13	PAINT EXPOSED CONCRETE FOUNDATION - MATCH CAST STONE COLOR



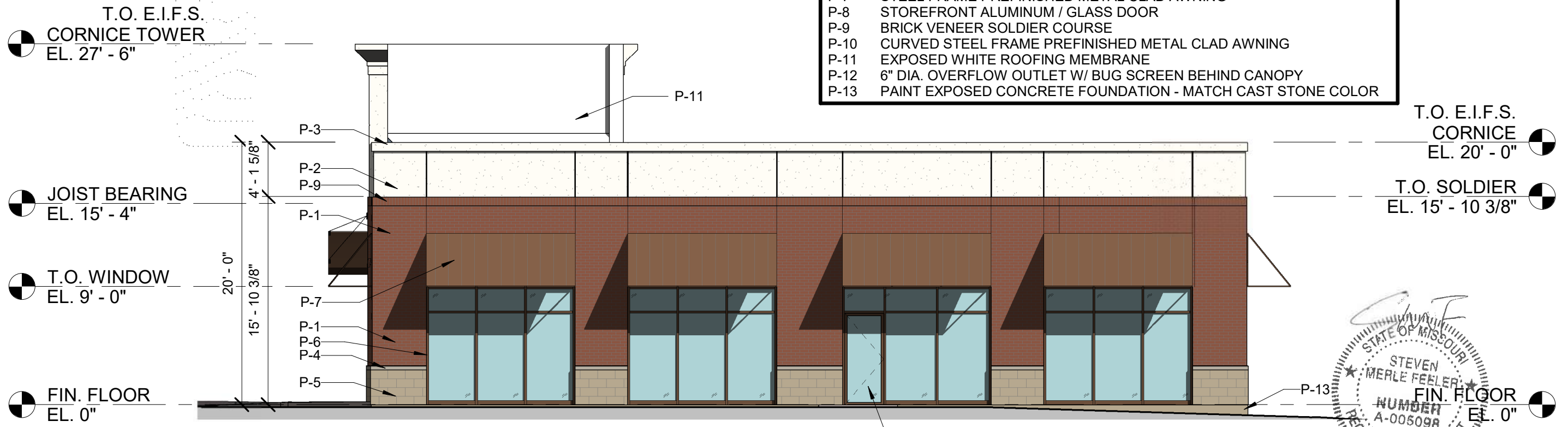
**1** ELEVATION WEST  
1/8" = 1'-0"

STATE OF MISSOURI  
STEVEN MERLE FEELER  
REGISTERED ARCHITECT  
NUMBER A-005098  
08/29/2021



**2 ELEVATION EAST**  
1/8" = 1'-0"

EXTERIOR FINISHES	
P-1	BRICK VENEER - COLUMBUS "OLD COLONY"
P-2	EIFS
P-3	EIFS FORMED CORNICE PAINTED
P-4	CAST STONE SILL
P-5	STONE VENEER - NSVI "SHADY CANYON"
P-6	PREFINISHED ALUMINUM STOREFRONT SYSTEM
P-7	STEEL FRAME PREFINISHED METAL CLAD AWNING
P-8	STOREFRONT ALUMINUM / GLASS DOOR
P-9	BRICK VENEER SOLDIER COURSE
P-10	CURVED STEEL FRAME PREFINISHED METAL CLAD AWNING
P-11	EXPOSED WHITE ROOFING MEMBRANE
P-12	6" DIA. OVERFLOW OUTLET W/ BUG SCREEN BEHIND CANOPY
P-13	PAINT EXPOSED CONCRETE FOUNDATION - MATCH CAST STONE COLOR



**1 ELEVATION SOUTH**  
1/8" = 1'-0"

STATE OF MISSOURI  
STEVEN MERLE FEELER  
REGISTERED ARCHITECT  
NUMBER A-005098  
08/29/2021

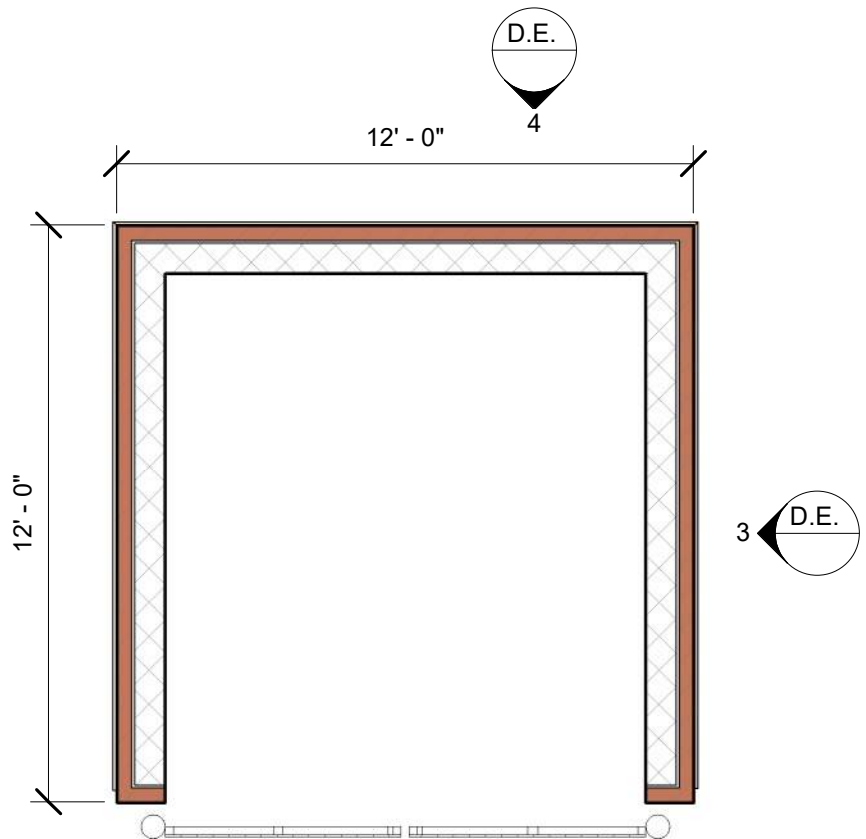
Dumpster Enclosure

TAUC - Chesterfield\_13426 Olive

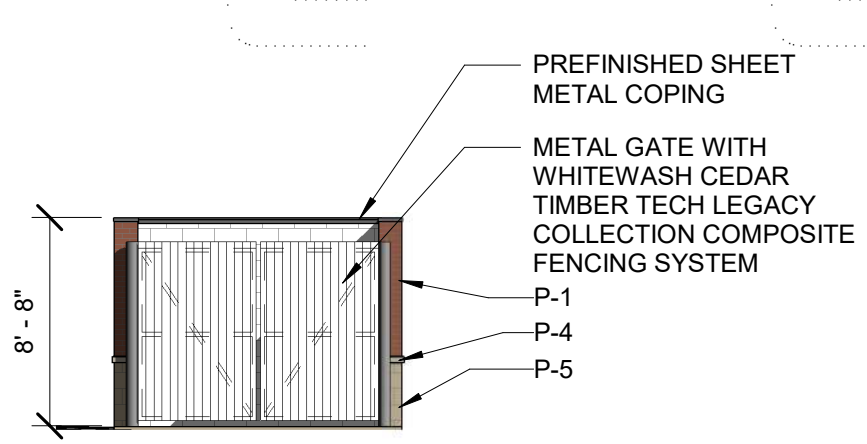
Bldv  
13426 Olive Blvd  
Chesterfield, MO 63017

**FSA**  
FEELER, S. ARCHITECTS  
12209 BIG BEND RD.  
ST. LOUIS, MO 63122  
636-530-7362

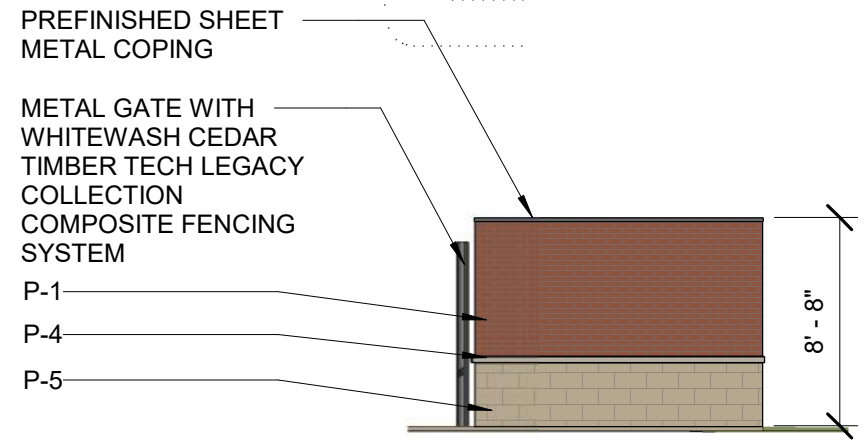
EXTERIOR FINISHES	
P-1	BRICK VENEER - COLUMBUS "OLD COLONY"
P-2	EIFS
P-3	EIFS FORMED CORNICE PAINTED
P-4	CAST STONE SILL
P-5	STONE VENEER - NSVI "SHADY CANYON"
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P-7	STEEL FRAME PREFINISHED METAL CLAD AWNING
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P-9	BRICK VENEER SOLDIER COURSE
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P-11	EXPOSED WHITE ROOFING MEMBRANE
P-12	6" DIA. OVERFLOW OUTLET W/ BUG SCREEN BEHIND CANOPY
P-13	PAINT EXPOSED CONCRETE FOUNDATION - MATCH CAST STONE COLOR



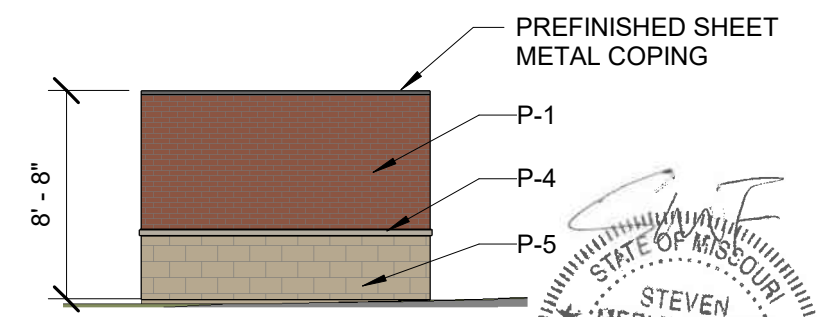
**1 DUMPSTER ENCLOSURE PLAN**  
1/4" = 1'-0"



**2 DUMPSTER ENCLOSURE FRONT**  
1/8" = 1'-0"



**3 DUMPSTER ENCLOSURE SIDE**  
1/8" = 1'-0"



**4 DUMPSTER ENCLOSURE BACK**  
1/8" = 1'-0"

STATE OF MISSOURI  
REGISTERED ARCHITECT  
STEVEN MERLE FEELER  
NUMBER A-005098  
04/29/2021

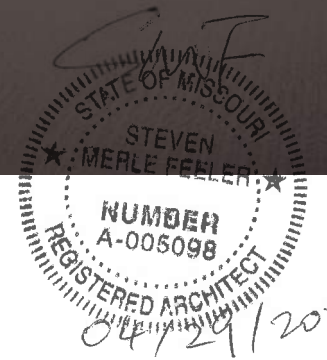


08/19/2021

Perspective  
Rendering

TAUC - Chesterfield\_13426 Olive  
Blvd

13426 Olive Blvd  
Chesterfield, MO 63017



**F S A**  
[FEELER, S. ARCHITECTS]  
12209 BIG BEND RD.  
ST. LOUIS, MO 63122  
636-530-7362



Mike Lehr  
 12209 Big Bend Road  
 Kirkwood, MO 63122  
 636.530.7362

April 29, 2021

City of Chesterfield  
 690 Chesterfield Pkwy. W  
 Chesterfield, MO 63017-0760



To whom it may concern:

This letter is written to address ways in which Feeler S. Architects agrees to comply with the Architectural Design Standards per the City of Chesterfield regarding the following requirements which include site and building design.

FSA will provide safe pedestrian movement between elements with visible sidewalks and signage. We will provide outdoor design elements with landscaping near the pedestrian walkways and surrounding the building. The landscape design will include mulch beds with various types of trees and shrubs. FSA agrees to design the outdoor space for pedestrians with consideration to climate, solar angles, and outdoor activities.

Circulation and accessibility is designed with caution by avoiding conflicts between vehicular, bicycle, and pedestrian traffic moving from the site to the building. Our designed circulation patterns are safe with large visible signage and graphics. We have placed priority to pedestrian circulation over vehicular circulation. Pedestrian access from large parking areas will be provided for safety with obvious road symbols. We will design attractive circulation systems between buildings and adjacent developments by incorporating landscape design amongst the buildings and blocks. Striped pavement will be utilized to improve visibility and safety between pedestrians and vehicles. Aggregate sidewalk will be used along the building and pedestrian crossings. FSA will provide accommodations for public transportation as required by the City of Chesterfield and transportation agencies. As shown in our site plan, we have included side parking in our design. Landscaped separation of parking areas and the building is utilized throughout our site design with a variety of trees and shrubs as well as a landscaped foreground for our building with trees. FSA provides covered sidewalks with canopies for the

pedestrians. There will be connection to the public sidewalk and street as demonstrated in our site plan.

Our building design complies with the requirements for topography and retaining walls. For example, the building is positioned to utilize the existing topography, and massive grading is avoided at the building's location. Also there are no retaining walls used in this project.

FSA follows all general requirements for building design in regards to our designed structure. Our elevations and renderings display how the Total Access Urgent Care structure is one story and is the same or near the scale of its surrounding buildings. Our design incorporates exterior building elements such as large storefront windows with paved pedestrian walkways outside. Our building achieves a sense of human scale where the design is broken up with wall insets at the accent tower, which includes a storefront window system on all sides of the building to maximize sunlight into the building. Respect is shown for the established rhythm from adjacent buildings by complying with similar materials and scale for our building design. FSA has designed the structure to utilize a soldier brick course pattern on its exterior, which is a similar style to the surrounding buildings.

All facades coordinate in regard to color, materials, and form with usage of glass, stone, brick, and EIFS on all four sides of the building. Variations of building heights are used, and we avoid stylized corporate designs which use the building as advertising. Large storefront windows are placed on the building at all street views. Our design uses enhanced energy efficiency per the new energy codes, and we comply with the use of environmentally conscious building techniques and materials during demolition and construction of our project. Arched canopies hang over the front entry to provide coverage upon entrance. We agree to paint and trim temporary barriers and walls to compliment the permanent construction. The building's parapet will completely cover all rooftop equipment.

The materials and colors of the building are to match the surroundings with similar brick, glass, stone, and EIFS. The selected materials are durable, and different paving material is used at the front entry for a contrasting appearance. A consistent theme is used throughout all sides of the development. Our building design keeps an internally consistent theme by using the same materials to wrap the building sides. Landscape design will be used to emphasize views at the entrance and pedestrian walkways as displayed through the landscape design drawings. Various trees and shrubs will be grouped together throughout the site, and we agree to incorporate the existing landscape elements into our design. Any and all unfavorable views will be screened with the same materials used on the building. Landscaped setbacks will be used within the overall site plan. Landscape designs will be protected with curbs. The parking lot will have mulch beds with trees and plants. Masonry walls and sound walls are designed with variation in height to minimize visual monotony, and there is no fencing used on this project. A dumpster enclosure screen will be provided with the same materials as the building exterior as displayed



in our colored elevations. The building's signage is incorporated into the design theme with similar materials used, and the site lighting adheres to the UDC.

Sincerely,

A handwritten signature in black ink, appearing to read "ML", written in a cursive style.

Mike Lehr, Director of Architecture

FSA (Feeler, S. Architects)