

## Planning Commission Staff Report

**Meeting Date:** August 23, 2021

**From:** Natalie Nye, Planner

**Location:** North side of Arnage Boulevard and south of Interstate 64

**Description:** **River Crossings (Holman Motorcars of St. Louis):** A Sign Package for a 15.841-acre tract of land zoned "PC" Planned Commercial District located north of Arnage Boulevard and south of Interstate 64. (17U240066, 17U240077, 17U240088, 17U520061, 17U520072, 17U520171, 17U520182, 17U520193)

### **PROPOSAL SUMMARY**

Warren Sign, on behalf of Holman Motorcars of St. Louis, has submitted a request for an Amended Sign Package for the River Crossings subdivision. The Sign Package covers the entire River Crossings subdivision, however, the changes requested in the amendment are centered around Lots 7 and 8 of the subdivision. This Sign Package would establish flexible criteria that deviates from what the Unified Development Code (UDC) currently permits for both wall signage and freestanding signage.



Figure 1: Subject Site



Figure 2: Lots 7 & 8 (Proposed Changes)

**HISTORY OF SUBJECT SITE**

The subject property was rezoned in 2001 from “C8” Planned Commercial District to “PC” Planned Commercial District through City Ordinance 1772 for the creation of the River Crossings development. After several amendments, the current governing ordinance for the subject property is City Ordinance 2469. A Sign Package for the development was also approved in 2001. This is the current Sign Package for the development today. In 2002, a Site Development Section Plan was approved for the development of a Bentley dealership on Lot 7 of the River Crossings subdivision. In 2007, an Amended Site Development Section Plan was approved for an additional automotive dealership. Today the two dealership buildings on Lots 7 and 8 are collectively known as Holman Motorcars of St. Louis, a luxury car dealership.

**LAND USE AND ZONING OF SURROUNDING PROPERTIES**

The zoning and land use for the properties surrounding this parcel are as follows:

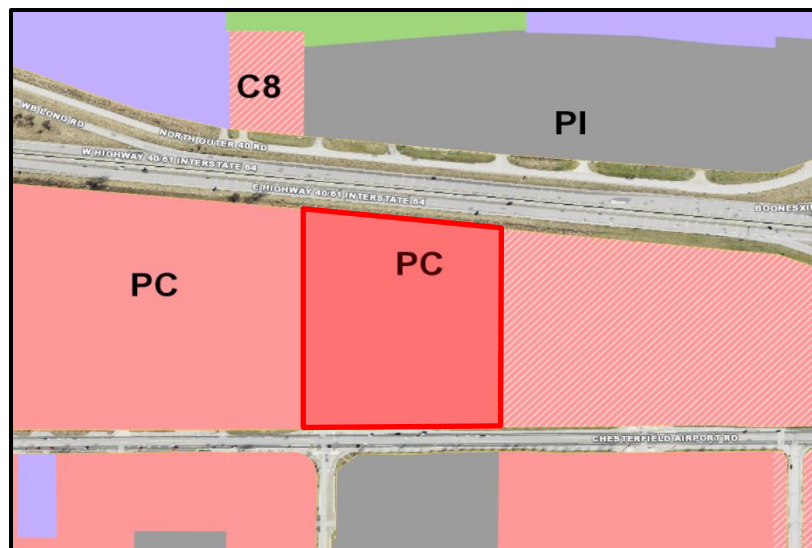


Figure 3: Zoning Map

Direction	Zoning	Land Use
North	“PI” Planned Industrial District	Commercial/Industrial
East	“C8” Planned Commercial District	Commercial/Restaurant
South	“PI” Planned Industrial District	Commercial/Restaurant
West	“PC” Planned Commercial District	Vacant/Restaurant

**COMPREHENSIVE PLAN**

The City of Chesterfield Comprehensive Plan designates this subject site, as well as much of the surrounding area, as Regional Commercial. This area is characterized by serving regional commercial needs (emphasizing retail, dining, entertainment, hotel, and leisure components), drawing visitors from

both Chesterfield and the surrounding areas, and by multiple buildings planned and developed together using unified project development standards.



Figure 4: Land Use Map

## **STAFF ANALYSIS**

### **Sign Packages**

The purpose of a Sign Package, which serves as the mechanism for allowing modifications to the UDC sign regulations, is to provide comprehensive, complementary, and unified signage throughout a development. The UDC states that “in order to encourage superior design, quality and character, comprehensive sign packages allow for specialized review of signs and flexibility from standard signage requirements.”

The UDC includes the following review factors that are to be considered by the Planning Commission when discussing the appropriateness of any requested sign package:

1. The physical impact of the proposed comprehensive sign package;
2. The quality of the proposed comprehensive sign package; and
3. Mitigation of unfavorable conditions such as excessive signs, light spillover from signs, height, and other related conditions and potentially negative impacts.

**Request Overview**

This Sign Package would establish flexible criteria that deviates from what the UDC currently permits for both wall signage and freestanding signage. The existing Sign Package for River Crossings establishes specific regulations for six (6) monument signs throughout the development. The proposed amendment:

1. Alters the maximum size and height of two (2) of the monument signs.
2. The existing Sign Package requires that all wall signage be a maximum of 5% of the wall area and is permitted on any two (2) walls of a building or tenant space. The proposed amendment requests an increase in permissible wall signage for the buildings located on Lots 7 and 8. The request includes allowing signage on all elevations of the buildings. All elevations will be capped at 5% except for the east elevation of the building located on Lot 7 (9 Arnage Boulevard) which would allow a total of 7.99% of the wall area for two (2) separate signs and for the west elevation of the building located on Lot 8 (1 Arnage Boulevard) which would allow a total of 7.99% of the wall area for a six (6) separate signs. Exhibits showing the locations and design for the proposed wall signage are provided in the Planning Commission packet.

**Freestanding Signage**

UDC Freestanding Sign Regulations

UDC regulations state that each developed lot may have no more than one (1) freestanding sign facing each roadway on which the lot has frontage. The height of these signs shall not exceed six (6) feet in height when located within the minimum front yard setback of a particular zoning district.

2001 Approved Sign Package

A total of six (6) monument signs and two (2) directional signs are approved as part of the 2001 Sign Package for River Crossings. One of the proposed monument signs is located along Interstate 64/Highway 40. This monument sign is permitted to be 10 feet in height and 75 square feet in area. This sign is to be located 60 feet from the property line. The Sign Package also permits a monument sign along Chesterfield Airport Road. This sign was approved to act as a directory sign and is allowed to be 20 feet in height and 100 square feet in area. This monument sign is required to be set back 15’ from the property line. A map of the monument sign locations in the River Crossing development is included in the Planning Commission packet.

2021 Amended Sign Package Request

The Sign Package Amendment is requesting changes to two (2) of the monument signs. The requested changes are reflected in the table below:

Freestanding Signage – Interstate 64/Highway 40 Monument	Criteria	Location	Height	Area
	2001 Approved Sign Package	60’ setback	10’	75 ft <sup>2</sup>
	2021 Request	20’ setback	20’	100 ft <sup>2</sup>

Table 1: Freestanding Signage 1

Freestanding Signage – Chesterfield Airport Road Monument	Criteria	Location	Height	Area
	2001 Approved Sign Package	15' setback	20'	100 ft <sup>2</sup>
	2021 Request	15' setback	10'	100 ft <sup>2</sup>

Table 2: Freestanding Signage 2

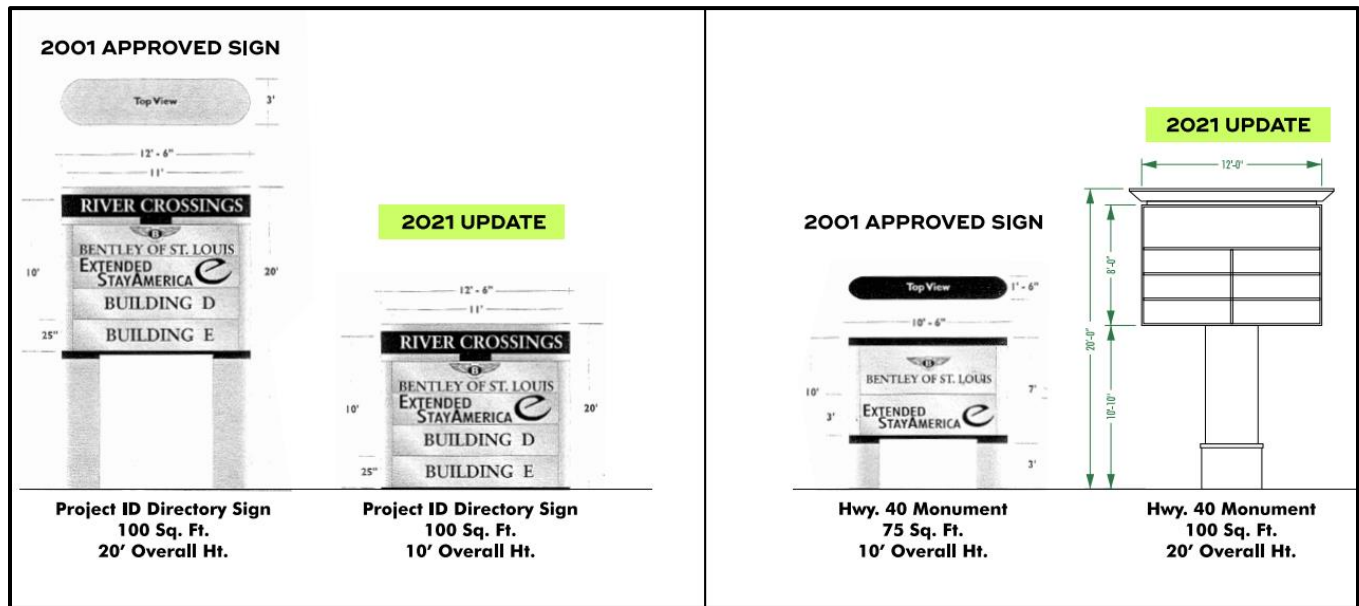


Figure 5: Freestanding Signage Changes

### UDC Wall Sign Regulations

The UDC states that each business occupying a tenant space or being the sole occupant of a freestanding building shall have no more than one (1) attached business sign on any two (2) walls of a building that are exterior walls of the particular building or tenant space. Each business being the sole occupant of a building located on a corner lot or a lot with double frontage may have one (1) attached business sign on any three (3) walls of a building that are exterior walls. In addition, each tenant of a multi-tenant building may have one (1) sign over the exterior main entrance to that particular tenant space. Each wall sign may have an area not to exceed five percent (5%) of the area of the exterior wall of the tenant space on which the sign is placed, up to 300 ft<sup>2</sup>.

### 2001 Approved Sign Package

The 2001 Sign Package that covers River Crossings does not have any exceptions for wall signage. The Sign Package simply states that “Any tenant or sole building occupant shall be permitted one (1) wall sign on any two (2) exterior walls. The wall sign shall not exceed 5% of the wall area on which it is attached. No business sign shall exceed 300 square feet.” This is consistent with City Code.

### 2021 Amended Sign Package Request

The Sign Package Amendment is requesting wall signage on each elevation of the buildings located on Lots 7 and 8 of River Crossings. All wall signage will adhere to the 5% maximum size apart from the east

elevation of the building on Lot 7 (9 Arnage Boulevard) and the west elevation of the building located on Lot 8 (1 Arnage Boulevard). The applicant is requesting two (2) wall signs permitted on the east elevation of the building on Lot 7 and six (6) signs on the west elevation of the building on Lot 8. While the request states that 5% of wall signage is permitted on each of the other elevations, less than 5% is being requested at this time. Below is the summary of the proposed wall signs for Holman Motorcars of St. Louis.

Wall Signage – Lot 7	Elevation	Proposed Quantity	Proposed Area	Proposed Area (%)	Request
Wall Signage – Lot 7	North	1	10 ft <sup>2</sup>	.028%	5%
	East	2	343.73 ft <sup>2</sup>	7.95%	7.99%
	South	1	34.29 ft <sup>2</sup>	1.185%	5%
	West	0	0 ft <sup>2</sup>	0%	5%

Table 3: Lot 7 Wall Signage

Wall Signage – Lot 8	Elevation	Proposed Quantity	Proposed Area	Proposed Area (%)	Request
Wall Signage – Lot 8	North	0	0 ft <sup>2</sup>	0%	5%
	East	1	39.9 ft <sup>2</sup>	.28%	5%
	South	2	44.59 ft <sup>2</sup>	1.16%	5%
	West	6	68.32 ft <sup>2</sup>	7.68%	7.99%

Table 4: Lot 8 Wall Signage

In total, the applicant is requesting one (1) additional wall sign that would be allowed for Lot 7 for a total of 7.99% of the wall area on the eastern elevation. Five (5) additional signs would be allowed for Lot 8 for a total of 7.99% of the wall area on the western elevation. Finally, the applicant is requesting wall signage be permitted on all elevations, but limited to 5% other than the exceptions listed above.

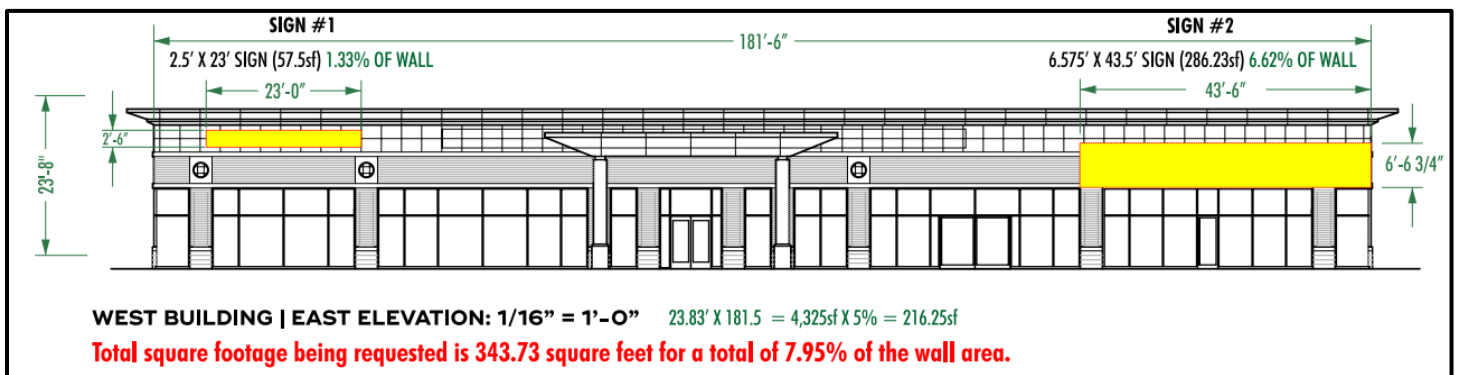


Figure 6: Lot 7 Wall Sign Exception

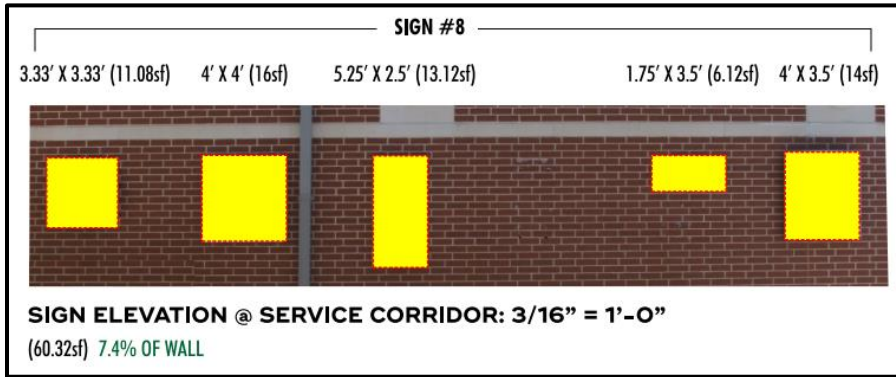


Figure 7: Lot 8 Wall Sign Exception



Figure 8: Lot 8 Wall Signs

### **RECOMMENDATION**

Staff has reviewed the proposed Amended Sign Package for the River Crossings subdivision and all required items have been submitted. All other signage not specifically listed in this sign package shall comply with the UDC. Staff recommends that the Planning Commission take action on this request. Please find the applicant's Sign Package submittal packet attached.

### **MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Amended Sign Package for the River Crossings subdivision."
- 2) "I move to approve the Amended Sign Package for the River Crossings subdivision with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Attachments: Sign Package

## Sign Plan Narrative:

Holman Automotive offers premium automobile brands including Lamborghini, Bentley, Bugatti, Aston Martin, Rolls Royce, and Lotus. On occasion other luxury brands are added or deleted from the offerings. Since all luxury brands require the dealers to meet branding standards a comprehensive sign plan for this unique business is necessary.

Our application shows the complete inventory of all the existing and proposed signs on the Holman Automotive property. We are requesting these changes as an amendment to the 2001 comprehensive development plan which is attached.

### Wall Sign changes

1. Lamborghini wishes to replace the current (logo and letters) with a logo only. They require a proportionately sized black background area which glows across the top and bottom at night. This panel meets Lamborghini brand standards required for all Lamborghini dealers. *If the entire black background area of the logo is considered square footage this exceeds the 5% maximum wall area allowed in the 2001 sign plan.*
2. Bugatti is adding a single-face wall sign above the entrance to their sales area. This sign was provided by Bugatti to meet current branding standards established for all Bugatti dealers. Bugatti has delivered the sign and it is on site awaiting installation.
3. Lotus is adding a single set of lighted letters reading, "LOTUS" above the entrance to their sales area on the South elevation.

### Proposed Verbiage for wall signs:

1. East Building: 1 Arnage Blvd.
  - a. North, South, and East elevations are limited to a total sign area of 5% of the wall area.
  - b. The West elevation which faces the interior of the property across a courtyard will be allowed 7.99% of the wall area,
2. West Building: 9 Arnage Blvd.
  - a. North, South, and West elevations are limited to total sign area of 5% of the wall area.
  - b. The East elevation which faces the interior of the property across a courtyard will be allowed 7.99% of the wall area.

*Summary list of existing and proposed wall signs on page 3.*



**Free Standing Sign changes**

1. The 2001 plan allows for a 20' tall sign on the Airport Road frontage and a 10' tall sign on the I-64 frontage. We seek to reverse this and allow a 20' sign along the I-64 frontage and a 10' tall sign on Airport Road. We request the I-64 sign to be 100sf in area with a setback of 20' so the sign is visible without removing trees which obscure the facility. This is the only branding that faces I-64 other than a small 10sf Aston Martin wall sign which is obscured by trees. *The current CSP from 2001 has the interstate sign approved at 75sf and 10' tall. This is a variance of 25sf additional area and an additional 10' in height for readability to I-64's 2021 conditions.*

Approval of this plan will help facilitate future branding changes limited to the sizes of this standard.

All tenants, businesses, owners within the development shall receive a copy of the Comprehensive Sign Package from the owner at the time of lease/sale.”

All signage within the development shall be in conformance with the comprehensive sign package.

Any signage not specifically identified in the Comprehensive Sign Package shall conform to Section 04-05 of the Unified Development Code.

The new proposed signs are all consistent in design, color, and materials with existing signs on the property as illustrated on our color renderings.

Sincerely,

Bill Behrens  
Warren Sign

*Summary list of existing and proposed wall signs*

	Permitted sign area (5% of the wall)	Area Requested
<u>1 Arnage Blvd.</u>		
North Elevation	186sf	0
East Elevation	146sf	40sf = 1.35%
South elevation	186sf	44sf = 1.16%
West Elevation	140sf	08sf = .28%
West Service wall	40.5sf	60.3sf = 7.4%
TOTAL Building	698.5sf allowed	152.3sf = 1.1% proposed
<u>9 Arnage Blvd.</u>		
North Elevation	145sf	10sf = .28%
South Elevation	145sf	35sf = 1.18%
West Elevation	216sf	0
East Elevation	216sf	344sf = 7.95%
TOTAL Building	722sf allowed	389sf = 2.68% proposed

# **2021 DRAFT**

## **River Crossing Sign Criteria PROPOSED**

### **Project ID – Directory Sign**

*There shall be two (2) Project ID – Directory Signs. The sign fronting Airport Road shall not exceed 10' in height, 12'-6" in width and 100 sq. ft of graphic area per face. The sign fronting I-64 shall not exceed 20' in height and 100sf of graphic area per face. These internally illuminated signs shall be designed to the development standard and consistent in materials, construction and design.*

### **Chesterfield Airport Road Monument**

There shall be one (1) monument permitted along Chesterfield Airport Road.

### **Tenant Monuments**

There shall be one (1) monument for each building. One sign is permitted on Chesterfield Airport Road as expressed above. All other building monuments shall be located on the interior drive.

### **Building Signage**

Any tenant or sole building occupant shall be permitted one (1) wall sign on any two (2) exterior walls. The wall sign shall not exceed 5% of the wall area on which it is attached. No business sign shall exceed 300 sq. ft. The exception is 7.99% of the wall area permitted on the interior facing walls between the courtyard at 1 Arnage and 9 Arnage.

### **Directional Signs**

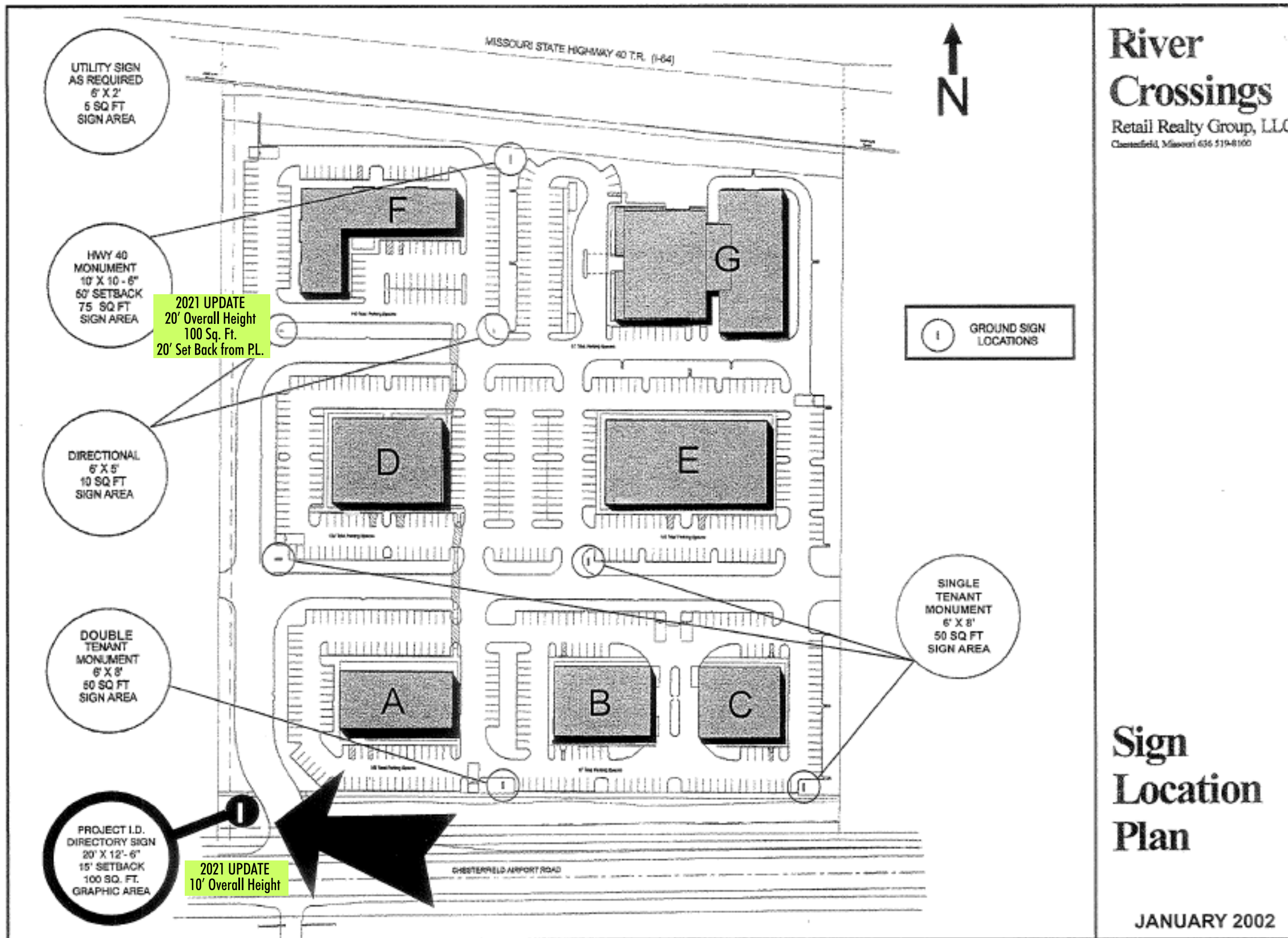
Shall not exceed ten (10) sq. ft. per face and not more than six (6) feet above grade. They shall be designed to the development standard and consistent materials, construction and design.

### **Utility Signs**

Pole mounted signs shall be used to identify restricted / handicapped parking, traffic flow, etc. These shall be designed to the development standard and consistent in materials, construction and design.

### **Special Note**

The developer prior to fabrication shall review the signs. The developer shall have absolute discretion with regard to sign design and construction.



**River  
Crossings**  
Retail Realty Group, LLC  
Chesterfield, Missouri 636 519-8100

# Sign Location Plan

JANUARY 2002

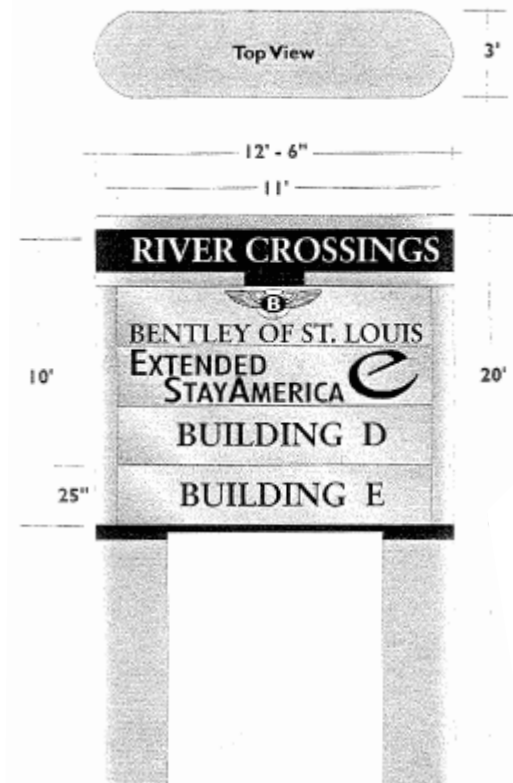


HOLMAN MOTORCARS | CHESTERFIELD, MO  
LAMBORGHINI SIGN PLAN  
PRESENTED BY: BILL BEHRENS  
JULY 20, 2021



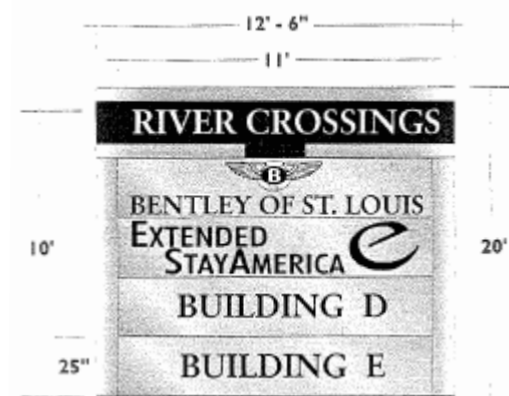
**WARRENSIGN**  
2955 Arnold Tenbrook Rd., Arnold, MO 63010  
Ph: 636-282-1300, www.warrensing.com

**2001 APPROVED SIGN**



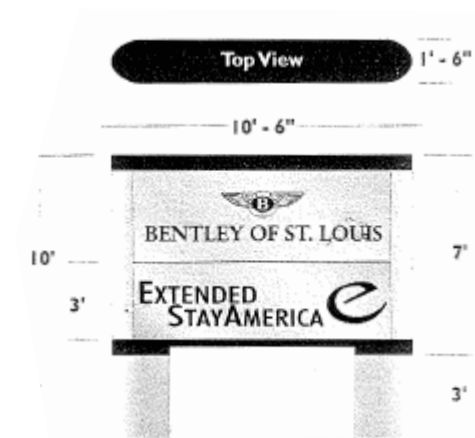
**Project ID Directory Sign**  
 100 Sq. Ft.  
 20' Overall Ht.

**2021 UPDATE**



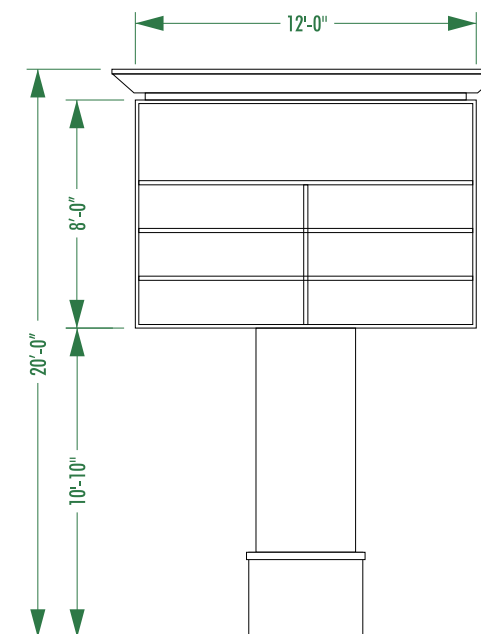
**Project ID Directory Sign**  
 100 Sq. Ft.  
 10' Overall Ht.

**2001 APPROVED SIGN**



**Hwy. 40 Monument**  
 75 Sq. Ft.  
 10' Overall Ht.

**2021 UPDATE**



**Hwy. 40 Monument**  
 100 Sq. Ft.  
 20' Overall Ht.



HOLMAN MOTORCARS | CHESTERFIELD, MO  
 LAMBORGHINI SIGN PLAN  
 PRESENTED BY: BILL BEHRENS  
 JULY 20, 2021



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# Holman

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### WARREN SIGN

**Project:**

HOLMAN MOTORCARS  
LAMBORGHINI SIGN PLAN  
1 & 9 ARNAGE BLVD.  
CHESTERFIELD, MO

**Account Rep.**  
BILL BEHRENS

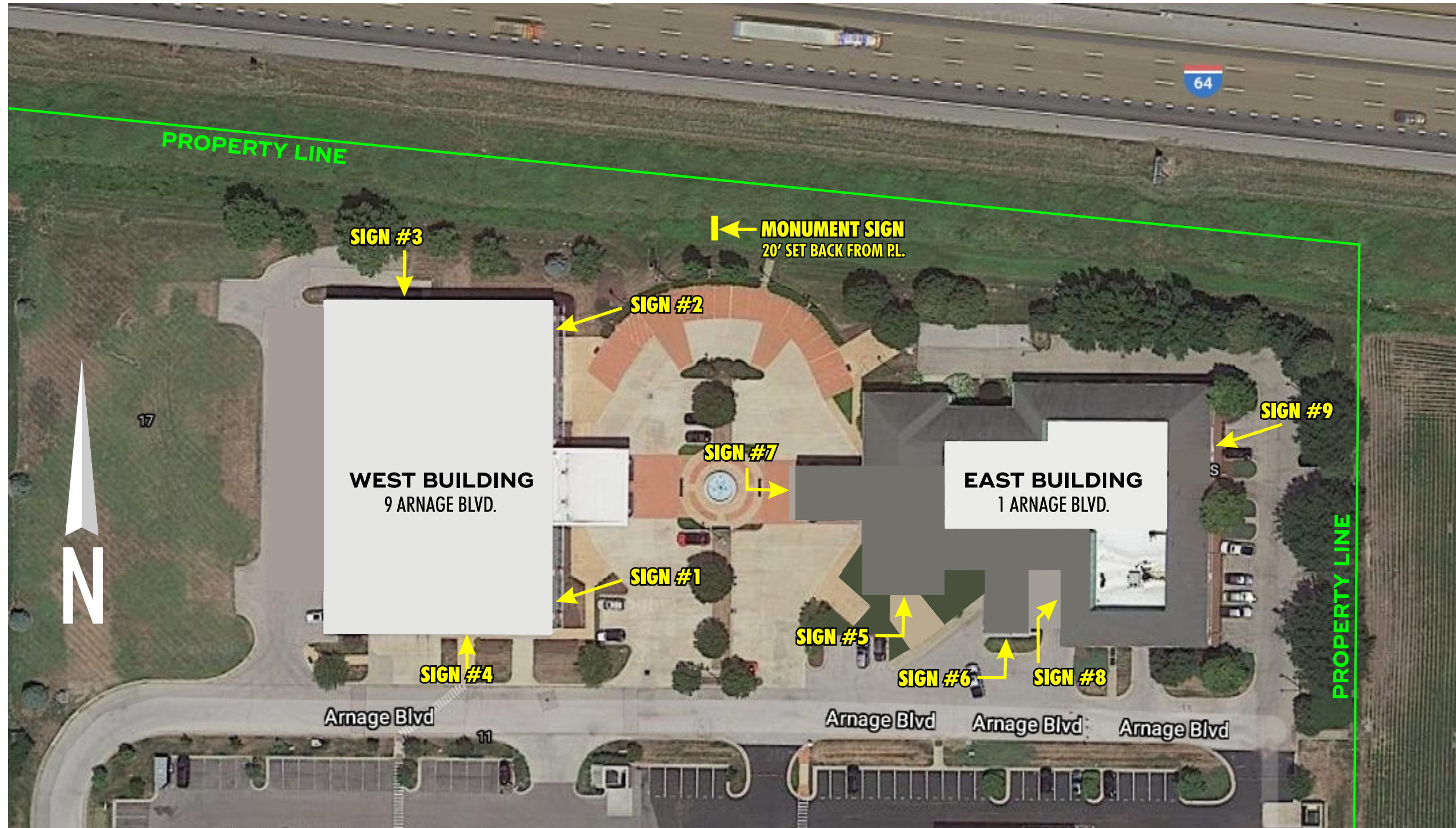
**Prepared By:**  
KEITH HEMPEN

**Date:**  
7/23/21

PROUDLY CELEBRATING



Take a virtual tour of our facility at [www.warrensign.com](http://www.warrensign.com)



OVERHEAD VIEW OF ENTIRE COMPLEX

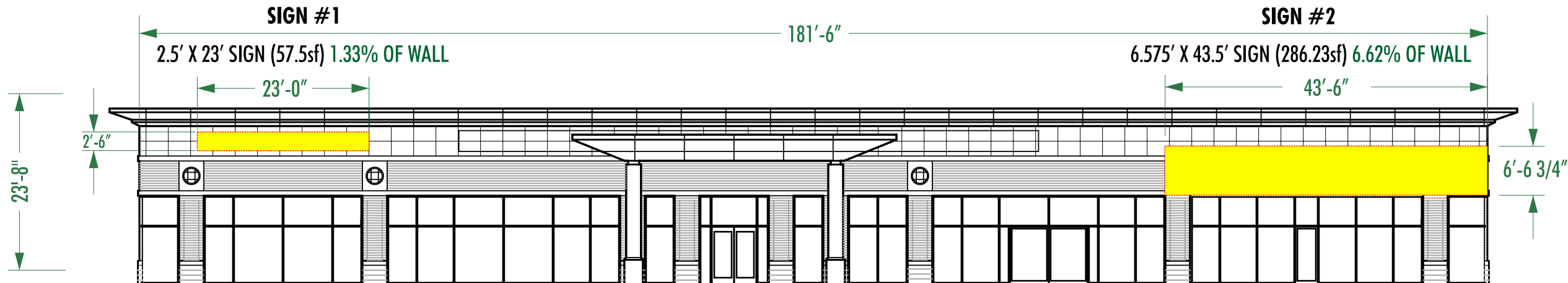


HOLMAN MOTORCARS | CHESTERFIELD, MO  
 LAMBORGHINI SIGN PLAN  
 PRESENTED BY: BILL BEHRENS  
 JULY 23, 2021



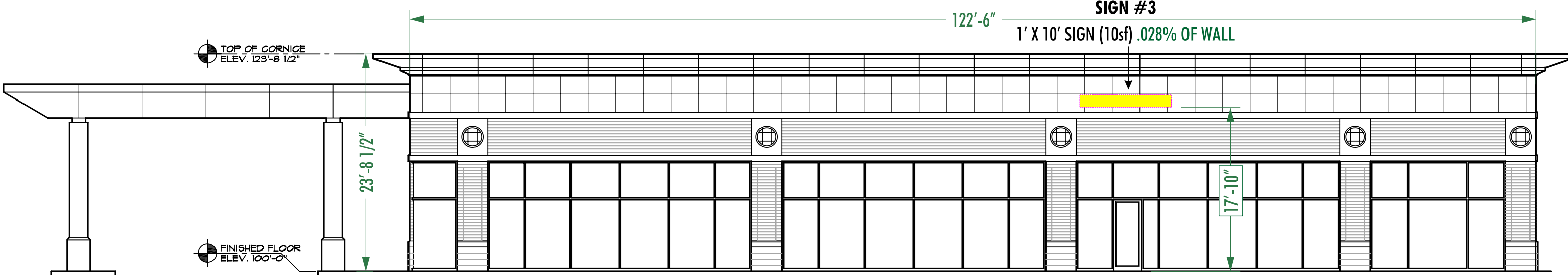
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# WEST BUILDING | EAST ELEVATION | 9 ARNAGE BLVD.



WEST BUILDING | EAST ELEVATION:  $1/16'' = 1'-0''$   $23.83' \times 181.5 = 4,325sf \times 5\% = 216.25sf$   
**Total square footage being requested is 343.73 square feet for a total of 7.95% of the wall area.**

# WEST BUILDING | NORTH ELEVATION | 9 ARNAGE BLVD.

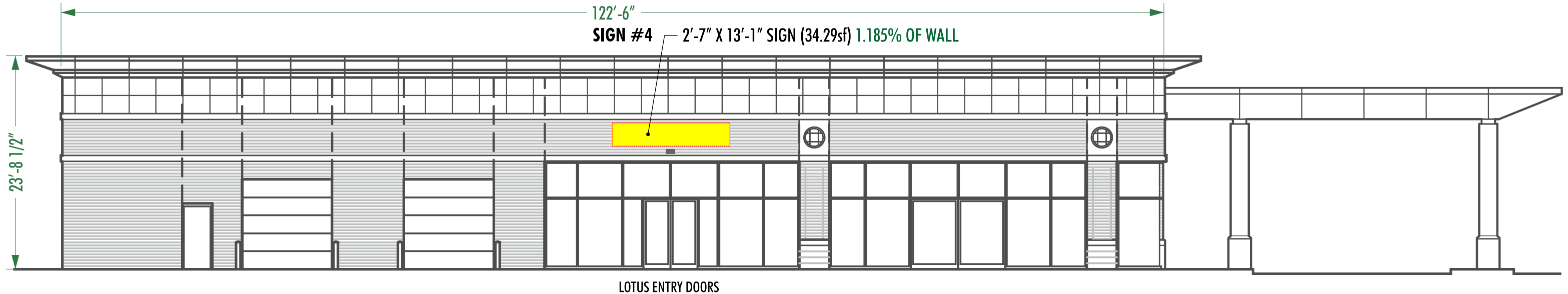


WEST BUILDING | NORTH ELEVATION:  $3/32'' = 1'-0''$   $23.67' \times 122.5 = 2,899.57sf \times 5\% = 144.97sf$   
**Total square footage being requested is 10 square feet for a total of .028% of the wall area.**

		<p>HOLMAN MOTORCARS   CHESTERFIELD, MO          LAMBORGHINI SIGN PLAN          PRESENTED BY: BILL BEHRENS          JULY 23, 2021</p>	<p><b>WARRENSIGN</b>          2955 Arnold Tenbrook Rd., Arnold, MO 63010          Ph: 636-282-1300, www.warrensing.com</p>
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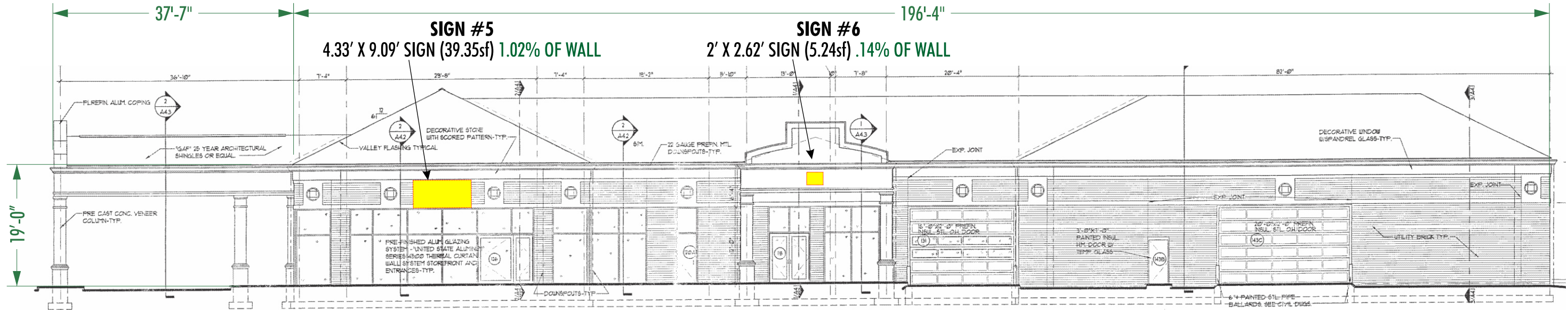
# WEST BUILDING | SOUTH ELEVATION | 9 ARNAGE BLVD.



WEST BUILDING | SOUTH ELEVATION:  $3/32'' = 1'-0''$   $23.67' \times 122.5' = 2,899.57sf \times 5\% = 144.97sf$

**Total square footage being requested is 34.29 square feet for a total of 1.185% of the wall area.**

# EAST BUILDING | SOUTH ELEVATION | 1 ARNAGE BLVD.



EAST BUILDING | SOUTH ELEVATION:  $1/16'' = 1'-0''$   $19' \times 196.33' = 3,730.27sf \times 5\% = 186.51sf$

**Total square footage being requested is 44.59 square feet, which is 1.16% of the wall area.**

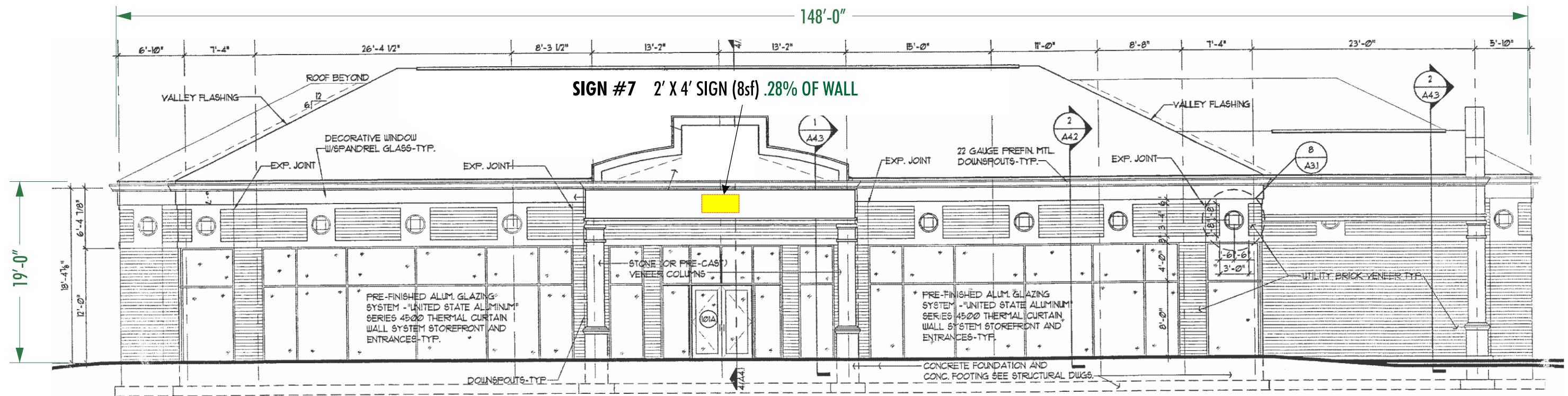


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JULY 23, 2021



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# EAST BUILDING | WEST ELEVATION | 1 ARNAGE BLVD.



EAST BUILDING | WEST ELEVATION: 3/32" = 1'-0" 19' X 148' = 2,812sf X 5% = 140.6sf

Total square footage being requested is 8 square feet for a total of .28% of the wall area.



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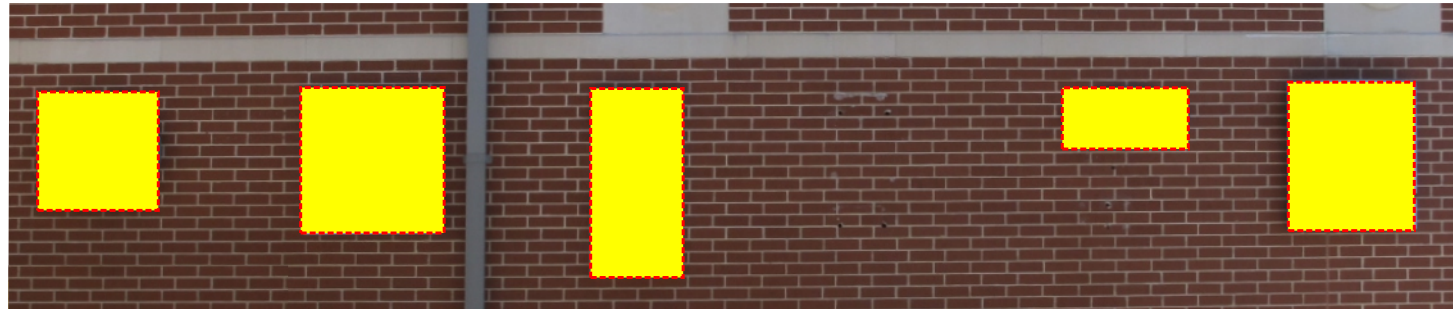


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# EAST BUILDING | WEST ELEVATION | 1 ARNAGE BLVD.

**SIGN #8**

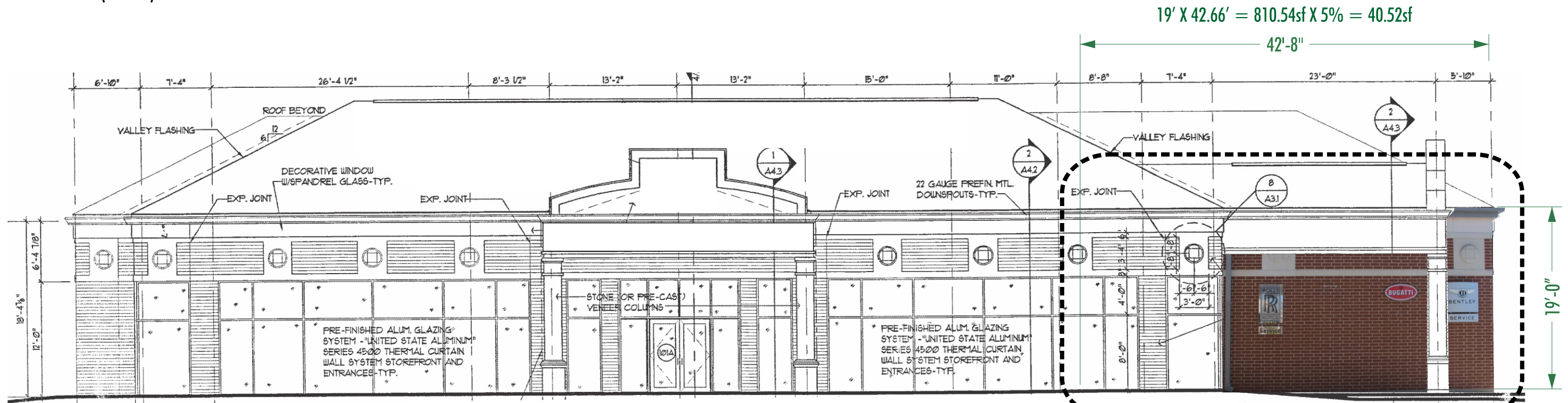
3.33' X 3.33' (11.08sf)    4' X 4' (16sf)    5.25' X 2.5' (13.12sf)    1.75' X 3.5' (6.12sf)    4' X 3.5' (14sf)



**SIGN ELEVATION @ SERVICE CORRIDOR: 3/16" = 1'-0"**  
 (60.32sf) 7.4% OF WALL



**PHOTO @ SERVICE CORRIDOR**



**EAST BUILDING | WEST ELEVATION: 3/32" = 1'-0"**

**SERVICE CORRIDOR BEYOND**

**There is a total of 60.32 square feet of signage, totaling approximately 7.4% of the wall area.**

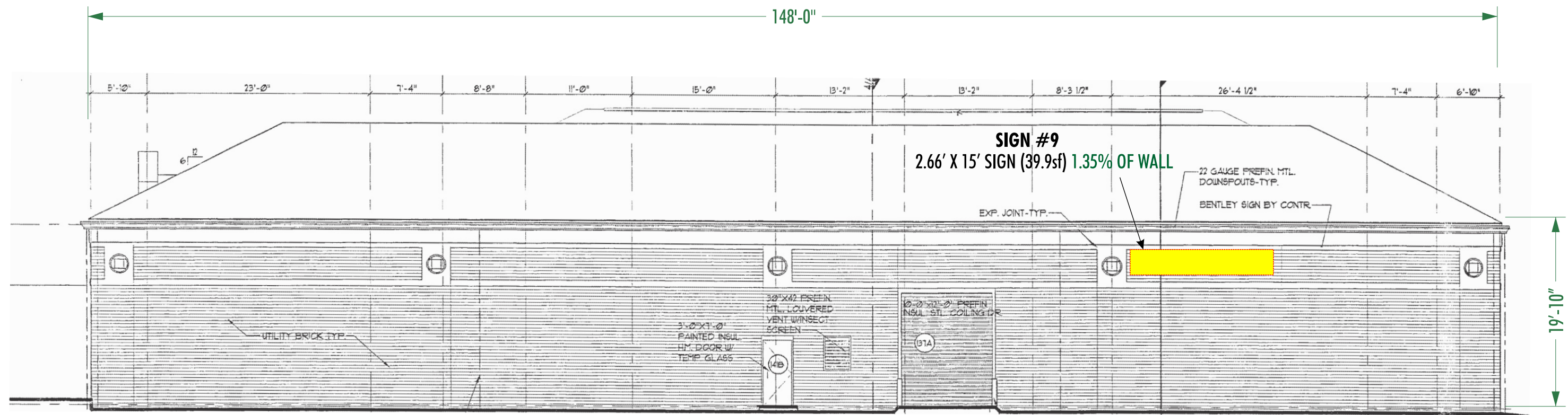


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# EAST BUILDING | EAST ELEVATION | 1 ARNAGE BLVD.



EAST BUILDING | EAST ELEVATION: 3/32" = 1'-0"    19.83' X 148' = 2,934.84sf X 5% = 146.74sf

**Total square footage being requested is 39.9 square feet, which is 1.35% of the wall area.**



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