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### **Planning Commission Public Hearing and Vote Report**

**Project Type:** Ordinance Amendment

Meeting Date: August 9, 2021

From: Natalie Nye, Planner

**Location:** 13996 Olive Blvd.

Description: P.Z. 06-2021 O'Sullivan Mortuary (St. Andrew Kim Parish): An ordinance

amending City of Chesterfield Ordinance 1313 to incorporate an additional 0.17-acre tract of land and modify permitted uses for an existing "C8" Planned Commercial District located at 13996 Olive Boulevard (16Q130977, 16R340281).

#### **PROPOSAL SUMMARY**

Baalman Architects on behalf of the Archdiocese of St. Louis has submitted a request for an ordinance amendment to incorporate an additional 0.17-acre tract of land and modify the permitted uses for an existing "C8" Planned Commercial District located at 13996 Olive Boulevard. The governing ordinance is City of Chesterfield Ordinance 1313. The applicant would like to add "Churches and other places of worship" as a permitted use for the property. The applicant would also like to add a small piece of land to the overall parcel. The total acreage of the site would be 1.6 acres.



Fiaure 1: Aerial

#### **HISTORY OF SUBJECT SITE**

St. Louis County rezoned the property to "C8" Planned Commercial District through Ordinance 11,344. In 1995, the City of Chesterfield approved Ordinance 1091 to permit a mortuary use on the property for the use and operation of O'Sullivan-Muckle Funeral Home. The ordinance was later amended in 1997 and is the current governing ordinance for the site today (City of Chesterfield Ordinance 1313). This ordinance covers a 2.27-acre tract of land. This includes the subject parcel as well as the parcel directly to the east containing an office building. The 0.17-acre parcel of land that will be added to the subject site as part of this petition is not located within a specific subdivision or governed by a site-specific ordinance. It is located in Ward 1 and is currently zoned "C2" Shopping District. In 2021, an application for an ordinance amendment was submitted, as well as a Boundary Adjustment Plat, to allow for St. Andrew Kim Parish to occupy the existing building on the site.

### LAND USE AND ZONING

The land use and zoning for the properties surrounding the subject site are as follows:

| Direction | Zoning                                     | Land Use                  |
|-----------|--------------------------------------------|---------------------------|
| North     | "C2" Shopping District, "PUD" Planned Unit | Commercial, Vacant        |
|           | Development, "R3" Residence District       |                           |
| South     | "R2" Residence District                    | Single-Family Residential |
| East      | "C8" Planned Commercial District           | Office                    |
| West      | "C2" Shopping District                     | Commercial                |

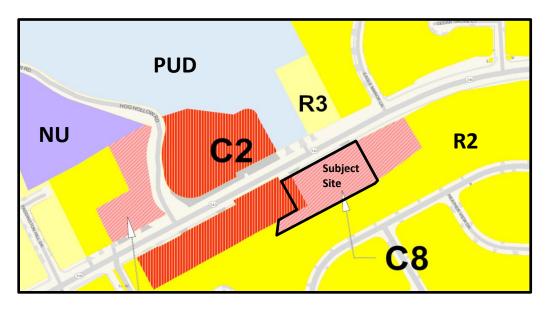


Figure 2: Zoning Map

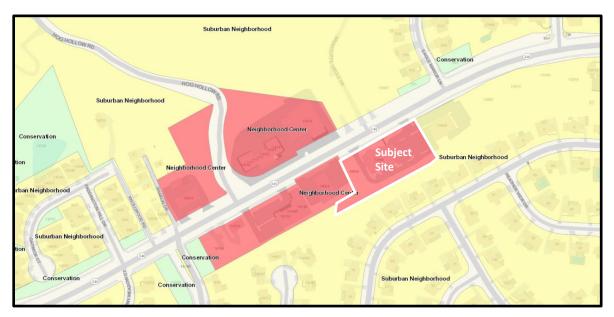


Figure 3: Land Use Map

#### **COMPREHENSIVE PLAN**

The City of Chesterfield Comprehensive Land Use Map designates the subject site as "Neighborhood Center." Much of the surrounding area is designated as "Neighborhood Center" and "Suburban Neighborhood." "Neighborhood Center" primarily supports retail, residential, office and institutional uses.

#### **STAFF ANALYSIS**

The applicant is requesting the addition of a 0.17-acre parcel of land to the subject site. The request also includes adding one additional permitted use to governing Ordinance 1313. The applicant has requested to add "Church and other places of worship" as a new permitted use, which would allow the St. Andrew Kim Parish to occupy the existing building on the site. No exterior site changes are proposed at this time.

The requested permitted uses can be found in the table below.

| Permitted Uses per Ordinance 1313:                                                                                   | Requested Permitted Uses:                                                                                                                                              |  |
|----------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| <ul> <li>One (1) office building</li> <li>One (1) building for a mortuary use with an accessory apartment</li> </ul> | <ul> <li>One (1) office building</li> <li>One (1) building for a mortuary use with an accessory apartment</li> <li>One (1) church or other place of worship</li> </ul> |  |

Planning Commission August 9, 2021

A Public Hearing addressing the request will be held at the August 9, 2021 City of Chesterfield Planning Commission meeting. After the completion of the Public Hearing portion of the meeting, Planning Commission may choose to vote on this item if it has no outstanding issues with the request. After the vote is taken by the Planning Commission, this project will be presented before the Planning and Public Works Committee for a recommendation to City Council.

Staff has attached a copy of the Public Hearing Notice, Narrative Statement, and Survey for further consideration.

Attachments:

Public Hearing Notice Project Narrative

Survey

AN ORDINANCE AMENDING CITY OF CHESTERFIELD ORDINANCE 1313 TO INCORPORATE AN ADDITIONAL 0.17-ACRE TRACT OF LAND AND MODIFY PERMITTED USES FOR AN EXISTING "C8" PLANNED COMMERCIAL DISTRICT LOCATED AT 13996 OLIVE BOULEVARD (P.Z. 06-2021 O'SULLIVAN MORTUARY [ST. ANDREW KIM PARISH] 16Q130977, 16R340281).

**WHEREAS,** the petitioner, Baalman Architects, has submitted a request for an ordinance amendment to incorporate an additional 0.17-acre tract of land currently zoned "C-2" Planned Commercial District into an existing "C-8" Planned Commercial District; and,

**WHEREAS**, the petitioner has requested to modify the permitted uses of said "C-8" Planned Commercial District; and,

**WHEREAS,** a Public Hearing was held before the Planning Commission on August 9, 2021; and,

**WHEREAS,** the Planning Commission, having considered said request, recommended approval of the planned district; and,

**WHEREAS,** the Planning and Public Works Committee, having considered said request, recommended approval of the request; and,

**WHEREAS,** the City Council, having considered said request voted to approve the ordinance amendment request.

## NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

**Section 1.** City of Chesterfield Ordinance 1313 is hereby amended and the City of Chesterfield Unified Development Code and the Official Zoning District Map, which are part thereof, are hereby amended by establishing a "C-8" Planned Commercial District for a 1.60-acre tract of land located at 13996 Olive Boulevard and as described as follows:

A parcel of land being part of Lot B, of Hog Hollow Office Center, recorded in Plat Book 298 page 46, of the St. Louis County Recorder's Office and part of

the eastern 50.00 feet, of adjusted Lot A, of the Boundary Adjustment Plat, recorded in Plat Book 273 page 6, of the St. Louis County Recorder's Office, in the City of Chesterfield, St. Louis County, Missouri, more particularly described as follows;

Beginning at the southeastern corner of said LotB, also being the southwest corner of Lot A of said Hog Hollow Office Center and a point, in the northern line of Lot 9, of Westbury Plat Two, recorded in Plat Book 108 page 14, St. Louis County Recorder's Office; Thence south 50 degrees 55 minutes 09 seconds west 30.47 feet, to a found concrete monument; Thence south 61 degrees 04 minutes 58 seconds west 439.74 feet, along the southern line of said Lot B, also being the northern lines of Lots 9, 10 and 11 of said Westbury Plat Two and the northern lines of Lots 12 and 13, of Westbury Plat Four, recorded in Plat Book 111 page 20, St. Louis County Recorder's Office, to a found concrete monument located at the southwestern corner of said Lot B, said point being in the eastern line of Lot 21, of Greenfield Village Plat 1, recorded in Plat Book 173 page 54, St. Louis County Recorder's Office; Thence north 06 degrees 31 minutes 10 seconds east 50.44 feet, along the western line of said Lot B, also being the eastern line of said Lot 21, to a point in the southern line of said adjusted Lot A; Thence north 61 degrees 03 minutes 23 seconds east 95.03 feet, along the northern line of said Lot B, also being the southern line of said adjusted Lot B, to a point; Thence north 28 degrees 58 minutes 15 seconds west 148.37 feet, along a line parallel with the eastern line of said adjusted Lot A, to a point in the southern line of Olive Street Road, irregular width; Thence north 60 degrees 59 minutes 31 seconds east 337.10 feet, along the southern line of said Olive Street Road, to a point, in the eastern line of said Lot B; Thence along the eastern line of said Lot B, the following courses and distances, south 28 degrees 59 minutes 06 seconds east 19.00 feet to a point; thence north 61 degrees 04 minutes 58 seconds east 8.00 feet to a point; thence south 29 degrees 04 minutes 48 seconds east 165.67 feet, to the southeastern corner of said Lot B being the point of beginning and containing 69,802 square feet or 1.60 acres, more or less.

**Section 2.** Section 1 of Attachment 'A' of City of Chesterfield Ordinance 1313 is hereby repealed and in lieu thereof the following is adopted:

#### 1. PERMITTED USES

- A. The uses permitted in this "C-8" Planned Commercial District shall be:
  - i. One (1) office building; and

- ii. One (1) building for a mortuary use with an accessory apartment; or
- iii. One (1) church or other place of worship

**Section 3.** The preliminary approval, pursuant to the City of Chesterfield Unified Development Code is granted, subject to all of the ordinances, rules and regulations and the specific conditions as recommended by the Planning Commission in its recommendation to the City Council, which are set out in the Attachment 'A' and the preliminary plan indicated as Attachment 'B' which is attached hereto as and made part of.

**Section 4.** The City Council, pursuant to the petition filed by Baalman Architects in P.Z. 06-2021, requesting the rezoning embodied in this ordinance, and pursuant to the recommendation of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing, held by the Planning Commission on the 9<sup>th</sup> Day of August 2021, does hereby adopt this ordinance pursuant to the power granted to the City of Chesterfield under Chapter 89 of the Revised Statutes of the State of Missouri authorizing the City Council to exercise legislative power pertaining to planning and zoning.

**Section 5.** This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Article 8 of the City of Chesterfield Unified Development Code.

**Section 6.** This ordinance shall be in full force and effect from and after its passage and approval.

| Passed and approved this       | day of   | , 2021            |
|--------------------------------|----------|-------------------|
|                                |          |                   |
|                                |          |                   |
| PRESIDING OFFICER              | _        | Bob Nation, MAYOR |
|                                |          |                   |
| ATTEST:                        |          |                   |
| <br>Vickie McGownd, CITY CLERK |          |                   |
|                                |          |                   |
|                                | FIRST RE | EADING HELD: / /  |



# NOTICE OF PUBLIC HEARING CITY OF CHESTERFIELD PLANNING COMMISSION

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Chesterfield will hold a Public Hearing on August 9, 2021 at 7:00 p.m. in the Council Chambers at Chesterfield City Hall, 690 Chesterfield Parkway West, Chesterfield, MO 63017.

Said Hearing will be as follows:

P.Z. 06-2021 O'Sullivan Mortuary (St. Andrew Kim Parish): An ordinance amending City of Chesterfield Ordinance 1313 to incorporate an additional 0.17 acre tract of land and modify permitted uses for an existing "C8" Commercial District located at 13996 Olive Boulevard (16Q130977, 16R340281).

#### PROPERTY DESCRIPTION

A PARCEL OF LAND BEING PART OF LOT B, OF HOG HOLLOW OFFICE CENTER, RECORDED IN PLAT BOOK 298 PAGE 46, OF THE ST. LOUIS COUNTY RECORDER'S OFFICE AND PART OF THE EASTERN 50.00 FEET, OF ADJUSTED LOT A, OF THE BOUNDARY ADJUSTMENT PLAT, RECORDED IN PLAT BOOK 273 PAGE 6, OF THE ST. LOUIS COUNTY RECORDERS OFFICE, IN THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI.

For a list of the requested uses, contact the Planner.



City of Chesterfield 690 Chesterfield Parkway West Chesterfield, MO 63017

Information on this Public Hearing may be found on the City's website at http://www.chesterfield.mo.us/public-notice.html or by contacting Planner Natalie Nye at 636-537-4738 or nnye@chesterfield.mo.us. All interested parties will be given an opportunity to be heard at the Public Hearing.





July 6, 2021 07/07/2021

Justin Wyse, AICP, PTP Director of Planning City of Chesterfield 690 Chesterfield Parkway West Chesterfield, MO 63017

RE: 13996 Olive Blvd.

Zoning Amendment Narrative

Dear Justin:

The owner of this property is seeking to add Churches and Other Places of Worship as a permitted use in the C-8 District for the referenced property.

Sincerely,

Michael J. Baalman, RA

Michael J. Colman

Architect / Owner

P:\Projects\2020\20-099 St. Andrew Kim Parish Chesterfield MO\Permits\Zoning\Zoning Amendment Narative 7-6-2021.doc

## **NEW LEGAL DESCRIPTION:**

LOUIS COUNTY RECORDER'S OFFICE AND PART OF THE EASTERN 50.00 FEET, OF ADJUSTED LOT A, OF THE BOUNDARY ADJUSTMENT PLAT. RECORDED IN PLAT BOOK 273 PAGE 6. OF THE ST. LOUIS COUNTY RECORDERS OFFICE, IN THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS; BEGINNING AT THE SOUTHEASTERN CORNER OF SAID LOT B, ALSO BEING THE SOUTHWEST CORNER OF LOT A OF SAID HOG HOLLOW OFFICE CENTER AND A POINT, IN THE NORTHERN LINE OF LOT 9, OF WESTBURY PLAT TWO, RECORDED IN PLAT BOOK 108 PAGE 14. ST. LOUIS COUNTY RECORDER'S OFFICE;

THENCE SOUTH 50 DEGREES 55 MINUTES 09 SECONDS WEST 30.47 FEET, TO A FOUND CONCRETE MONUMENT; THENCE SOUTH 61 DEGREES 04 MINUTES 58 SECONDS WEST 439.74 FEET, ALONG THE SOUTHERN LINE OF SAID LOT B, ALSO BEING THE NORTHERN LINES OF LOTS 9, 10 AND 11 OF SAID WESTBURY PLAT TWO AND THE NORTHERN LINES OF LOTS 12 AND 13, OF WESTBURY PLAT FOUR, RECORDED IN PLAT BOOK 111 PAGE 20, ST. LOUIS COUNTY RECORDER'S OFFICE, TO A FOUND CONCRETE MONUMENT LOCATED AT THE SOUTHWESTERN CORNER OF SAID LOT B, SAID POINT BEING IN THE EASTERN LINE OF LOT 21, OF GREENFIELD VILLAGE PLAT 1, RECORDED IN PLAT BOOK 173 PAGE 54, ST. LOUIS COUNTY RECORDER'S OFFICE; THENCE NORTH 06 DEGREES 31 MINUTES 10 SECONDS EAST 50.44 FEET, ALONG THE WESTERN LINE OF SAID LOT B, ALSO BEING THE EASTERN LINE OF SAID LOT 21, TO A POINT IN THE SOUTHERN LINE OF SAID ADJUSTED LOT A; THENCE NORTH 61 DEGREES 03 MINUTES 23 SECONDS EAST 95.03 FEET, ALONG THE NORTHERN LINE OF SAID B, ALSO BEING THE

SOUTHERN LINE OF SAID ADJUSTED LOT A, TO A POINT; THENCE NORTH 28 DEGREES 58 MINUTES 15 SECONDS WEST 148.37 FEET, ALONG A LINE PARALLEL WITH THE EASTERN LINE OF SAID ADJUSTED LOT A, TO A POINT IN THE SOUTHERN LINE OF OLIVE STREET ROAD, IRREGULAR WIDTH; THENCE NORTH 60 DEGREES 59 MINUTES 31 SECONDS EAST 337.10 FEET, ALONG THE SOUTHERN LINE OF SAID OLIVE STREET ROAD,

TO A POINT, IN THE EASTERN LINE OF SAID LOT B; THENCE ALONG THE EASTERN LINE OF SAID LOT B, THE FOLLOWING COURSES AND DISTANCES, SOUTH 28 DEGREES 59 MINUTES 06 SECONDS EAST 19.00 FEET TO A POINT; THENCE NORTH 61 DEGREES 04 MINUTES 58 SECONDS EAST 8.00 FEET TO A POINT; THENCE SOUTH 29 DEGREES 04 MINUTES 48 SECONDS EAST 165.67 FEET, TO THE SOUTHEASTERN CORNER OF SAID LOT B BEING THE POINT OF BEGINNING AND CONTAINING 69.802 SQUARE FEET OR 1.60 ACRES AS PREPARED BY PITZMAN'S COMPANY.

LOT B OF HOG HOLLOW OFFICE CENTER, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 298 PAGE 46 OF THE ST. LOUIS COUNTY RECORDS; EXCEPTING THEREFROM, THE FOLLOWING: PART OF LOT B OF HOG HOLLOW OFFICE CENTER, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 298 PAGE 46 OF THE ST. LOUIS COUNTY RECORDS AS SET OUT BY DEEDS RECORDED IN BOOK 7622 PAGE 635 AND BOOK 7622 PAGE 636, DESCRIBED AS BOUNDED ON THE WEST, NORTH AND EAST BY GRANTOR'S WEST, NORTH AND EAST PROPERLY LINES SAID NORTH PROPERTY LINE BEING ALSO THE EXISTING SOUTH RIGHT OF WAY LINE OF ROUTE 340; AND ON THE SOUTH BY A LINE BEGINNING AT A POINT IN GRANTOR'S WEST PROPERTY LINE, SAID POINT BEING 46 FEET PERPENDICULAR DISTANCE SOUTH OF STATION 161+35 ON THE HEREINAFTER DESCRIBED CENTERLINE OF RELOCATED ROUTE 340; THENCE EASTERLY AND PARALLEL WITH SAID CENTERLINE TO GRANTOR'S EAST PROPERTY LINE.

A TRACT OF LAND LOCATED IN PART OF THE EAST 50 FEET OF THE WEST HALF OF LOT 4 IN SHARE 5 OF THE PARTITION OF MISSOURI STEVENS ESTATE IN SURVEY 206, TOWNSHIP 46 NORTH, RANGE 4 EAST, AS PER PLAT THEREOF RECORDED IN SURVEY RECORD 6 PAGE 82 OF THE SURVEYORS RECORD IN ST. LOUIS COUNTY, MISSOURI AND DESCRIBED AS FOLLOWS: A TRACT OF LAND BOUNDED ON THE WEST, EAST, AND SOUTH BY THE WEST, EAST AND SOUTH PROPERTY LINES OF A TRACT OF LAND AS CONVEYED TO THE STATE OF MISSOURI, ACTING BY AND THROUGH THE MISSOURI HIGHWAY AND TRANSPORTATION COMMISSION BY DEED DATED JULY 1. 1991. AND RECORDED IN BOOK 9080 PAGE 1788, (FORMERLY OWNED BY ALAN & LANA BEIRNE, HIS WIFE); ON THE NORTH BY A LINE BEGINNING AT A POINT 50 FEET PERPENDICULAR DISTANCE SOUTH OF STATION 157+30 ON THE HEREINAFTER DESCRIBED CENTERLINE OF RELOCATED ROUTE 340; THENCE NORTHEASTERLY, PARALLEL TO SAID CENTERLINE, AND

EXTENDING THROUGH THE WEST AND EAST PROPERTY LINE OF SAID BEIRNE TRACT TO A POINT OPPOSITE CENTERLINE STATION

THE CENTERLINE OF RELOCATED STATE ROUTE 340 IS DESCRIBED AS COMMENCING AT A LAND SURVEY MONUMENT (TACKED HUB) MARKING THE SOUTHEAST CORNER OF LOT 409 OF RESUBDIVISION OF LOTS 194 THROUGH 202 OF WESTBURY PLAT SIXA" IN U.S. SURVEY 207. TOWNSHIP 46 NORTH, RANGE S EAST IN ST. LOUIS COUNTY, MISSOURI ESTABLISHED SEPTEMBER, 1972 BY THE ELBRING COMPANY, R. L. S. RECORDED IN BOOK 6628 PAGE 937: THENCE NORTH 6 DEGREES 55 MINUTES 33 SECONDS EAST FOR A DISTANCE OF 444.43 FEET TO STATION 195+80.31 ON THE CENTERLINE OF RELOCATED STATE ROUTE 340; THENCE NORTH 79 DEGREES 32 MINUTES 47 SECONDS WEST FOR A DISTANCE OF 510.54 FEET TO P. T. AND EQUATION STATION 190+69.77 AHEAD EQUALS STATION 190+48.45 BACK: THENCE NORTHWESTERLY ALONG SAID CENTERLINE AND ON THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 5,729.58 FEET A DISTANCE OF 411.67 FEET TO P. C. STATION 186+36.78; THENCE NORTH 83 DEGREES 39 MINUTES 51 SECONDS WEST FOR A DISTANCE OF 469.85 FEET TO P. I. STATION 181+66.93; THENCE NORTH 83 DEGREES 56 MINUTES 36 SECONDS WEST FOR A DISTANCE OF 561.79 FEET TO S. T. STATION 176+05.14; THENCE TO THE LEFT ON A SPIRAL CURVE FOR DISTANCE OF 250 FEET TO C. S. STATION 173+55.14; (SAID SPIRAL CURVE HAVING A X DISTANCE OF 249.81 FEET ALONG THE MAIN TANGENT AND Y DISTANCE OF 7.27 FEET OFFSET FROM THE MAIN TANGENT); THENCE TO THE LEFT ON A 4 DEGREE OO MINUTE CURVE HAVING AN INTERIOR ANGLE OF 35 DEGREES 05 MINUTES 03.13 SECONDS RIGHT FOR A DISTANCE OF 627.11 FEET TO S. C. STATION 167+28.03; THENCE TO THE LEFT ON A SPIRAL CURVE FOR A DISTANCE OF 250 FEET TO T. S. STATION 164+78.03 (SAID SPIRAL CURVE ALSO HAVING AN X DISTANCE OF 249.81 FEET AND A Y DISTANCE OF 7.27 FEET); THENCE SOUTH 60 DEGREES 58 MINUTES 21 SECONDS WEST FOR A DISTANCE OF 1440.59 FEET TO P. T. AND EQUATION STATION 150+37.44 AHEAD EQUALS STATION 150+38.83 BACK; THENCE SOUTHWESTERLY ALONG SAID CENTERLINE AND ON THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2864.79 FEET A DISTANCE OF 555.58 FEET TO P. C. STATION 144+83.25, BEING THE POINT OF ENDING.

1. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF THE MAKING OF THIS SURVEY, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

2. SOURCE OF TITLE: ST. LOUIS TITLE, LLC AS AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY IN THEIR COMMITMENT NO. 14731STL, DATED MAY 12, 2020. EASEMENTS ARE SHOWN AS REPORTED, NO FURTHER INVESTIGATION HAS BEEN MADE BY PITZMAN'S CO, AS TO THE PRESENT STATUS OF OTHER EASEMENTS, RESTRICTIONS, BUILDING OR ZONING SETBACK LINES, AFFECTING THE PARCEL SURVEYED PITZMAN'S CO. HAS ONLY REVIEWED ITEMS 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15 & 16 AS RECITED IN SCHEDULE B. SECTION 2 OF SAID TITLE.

- 4 = BUILDING LINES, EASEMENTS & SET BACKS LINES, IN PLAT BOOK 298 PAGE 46, AS SHOWN ON PARCEL SURVEYED.
- 5a = PARCEL SURVEYED IS SUBJECT TO THE FINAL DEVELOPMENT CONCEPT PLAN OF HOG HOLLOW OFFICE CENTER, IN PLAT BOOK 231 PAGE 28.
- 5b = PARCEL SURVEYED IS SUBJECT TO THE ADMENDED SITE DEVELOPMENT PLAN OF HOG HOLLOW OFFICE CENTER, IN PLAT BOOK 237 PAGE 17.
- 5c = THE BUILDING LINES AND DRIVE SET BACK LINES, TO THE O'SULLIVAN MORTUARY, IN PLAT BOOK 344 PAGE 272, AS SHOWN ON PARCEL SURVEYED.
- 6a = 10'w LACLEDE GAS EASEMENT, IN BOOK 4554 PAGE 254, IS IN OLIVE STREET ROAD.
- 6b = 10'w LACLEDE GAS EASEMENT, IN BOOK 4554 PAGE 256, IS IN OLIVE STREET ROAD.
- 6c = 10'w LACLEDE GAS EASEMENT, IN BOOK 4560 PAGE 252, IS IN OLIVE STREET ROAD.
- 7 = NO EASEMENTS WHERE CREATED IN THE CONTRACT FOR SANITARY SEWER MAINTENANCE, IN BOOK 5065 PAGE 160. 8 = 10'w FEE FEE TRUNK SEWER EASEMENT, IN BOOK 6449 PAGE 980, AS SHOWN ON PARCEL SURVEYED.
- 9a = NO EASEMENTS WHERE CREATED IN THE SANITARY SEWER MAINTENANCE AGREEMENT, IN BOOK 6451 PAGE 1870.
- 9b = NO EASEMENTS WHERE CREATED IN THE SANITARY SEWER MAINTENANCE AGREEMENT, IN BOOK 6451 PAGE 1882.
- 10 = 31'w ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS & M.S.D. SEWER EASEMENT IN BOOK 7717 PAGE 1269, AS SHOWN ON PARCEL SURVEYED
- 11a = CROSS ACCESS EASEMENT AGREEMENT, IN BOOK 8742 PAGE 1597, AS SHOWN ON PARCEL SURVEYED. 11b = CROSS ACCESS EASEMENT AGREEMENT IN BOOK 8742 PAGE 1607, ADJOINS THE EASTERN LINE OF PARCEL SURVEYED.
- 12 = UNION ELECTRIC COMPANY EASEMENT IN BOOK 10138 PAGE 1523, IS NON-DEFINABLE/PLOTTABLE.
- 13 = APPROXIMATE LOCATION OF THE STATE OF MISSOURI MAINTENANCE AND UTILITY EASEMENT, IN BOOK 10957 PAGE 2125, AS SHOWN ON PARCEL SURVEYED.
- 14 = PARCEL SURVEYED IS SUBJECT TO THE MAINTENANCE AGREEMENT WITH M.S.D. SEWER, IN BOOK 11497 PAGE 325.
- 15 = 10'w M.S.D. SEWER EASEMENT, IN BOOK 11652 PAGE 142, AS SHOWN ON PARCEL SURVEYED.
- 16 = SIDEWALK, MAINTENANCE AND UTILITY EASEMENT FOR THE CITY OF CHESTERFIELD, IN BOOK 11655 PAGE 237, AS SHOWN ON PARCEL SURVEYED.
- 3. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PARCEL DESCRIBED IN ST. LOUIS TITLE, LLC AS AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY IN THEIR COMMITMENT NO. 14731STL, DATED MAY 12, 2020. ALL THE EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN, HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.
- 4. SURVEYOR RECOMMENDS CONSULTING AN ATTORNEY TO EXPLAIN ALL DOCUMENTS LISTED IN THE TITLE COMMITMENT, ESPECIALLY SCHEDULE B DOCUMENTS.

### **SURVEYORS NOTES:**

1. BEARING BASIS: STATE PLANE GRID NORTH

STATION/PID: SL-31/AA8672 DATE: NOVEMBER 2020 NORTH: 1025671.750 (GRID US FT) EAST: 802884.764 (GRID US FT) FIELD MEASURED DATA

2. STATE PLANE NOTE: THE HORIZONTAL STATE PLANE GRID COORDINATES SHOWN HEREON WERE REESTABLISHED AND VERIFIED BY GPS OBSERVATIONS. THESE OBSERVATIONS WERE CONDUCTED USING OF CELLULAR EQUIPPED TRIMBLE R12 GNSS ROVER AND A TRIMBLE TSC7 DATA COLLECTOR. THE DATA WAS OBTAINED UTILIZING THE MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION GLOBAL NAVIGATION SATELLITE REAL TINE NETWORK FOR CONTINUOUS OPERATING STATIONS. THIS INFORMATION WAS ADOPTED AND CHECKED BY FIELD GPS OBSERVATION USING ONE (1) NAD83 (2011) ADJUSTED POINT AS REFERENCED ABOVE.

3. PROPERTY ZONING: "C-8" - PLANNED COMMERCIAL DISTRICT, PER CITY OF CHESTERFIELD WEB-SITE ON DECEMBER 10, 2020.

4. SETBACK REQUIREMENTS: NO ZONING REPORT WAS PROVIDED AT THE TIME OF THIS SURVEY. THE ZONING REGULATIONS FOR THE CURRENT ZONING ARE SITE SPECIFIC. INFORMATION IS PROVIDED BY THE CITY OF CHESTERFIELD, IN PLANNING AND ZONING DEPARTMENT AT (636) 537-4733.

- 5. FLOOD RISK ZONING: SUBJECT PROPERTY IS LOCATED ON THE LATEST FLOOD INSURANCE RATE MAP OF ST. LOUIS COUNTY, CITY OF CHESTERFIELD, MISSOURI; MAP NUMBER 29189C0170K, DATED FEBRUARY 4, 2015 AS FURNISHED BY THE UNITED STATES DEPARTMENT OF HOMELAND SECURITY - FEDERAL EMERGENCY MANAGEMENT AGENCY. THE SURVEYOR IS ONLY REFLECTING THE INFORMATION PROVIDED ON THE MAPS AND MAKES NO REPRESENTATIONS FOR THE ACTUAL FLOOD RISK ON THE PROPERTY. THE SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD AREAS AS SCALED FROM THE FEMA MAP.
- X OTHER AREAS ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- OTHER FLOOD AREAS ZONE X (SHADED): AREAS OF 0.2% ANNUAL CHANCE FLOOD: AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. FLOODWAY AREAS IN ZONE AE: THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS.
- . SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD: THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. THE BASE FLOOD ELEVATION IS THE WATER-SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD.
- \_\_ ZONE A NO BASE FLOOD ELEVATIONS DETERMINED.
- ZONE AE BASE FLOOD ELEVATIONS DETERMINED. BASE FLOOD ELEVATIONS BETWEEN \_\_\_\_\_ AND \_\_\_\_\_ AS SCALED FROM THE MAP.
- 6. ON-SITE PARKING: 44 TOTAL PARKING SPACES, WITH 2 SPACES DESIGNATED AS ADA ACCESSIBLE.
- 7. UTILITY INFORMATION: NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO FIND AND/OR VERIFY BURIED UTILITY LOCATIONS. THE LOCATIONS OF ANY UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND/OR AS MAPPED BY UTILITIES PERSONNEL. THE LOCATIONS AND SIZES OF ANY UNDERGROUND UTILITIES / STRUCTURES MAY VARY FROM LOCATIONS SHOWN, ADDITIONAL BURIED UTILITIES / STRUCTURES MAY BE ENCOUNTERED AND ANY BURIED UTILITIES / STRUCTURES SHOWN HEREON MAY NOT EXIST.
- 8. EXISTING SEWERS AND UTILITIES ARE SHOWN BASED UPON OBSERVABLE FIELD EVIDENCE, ALONG WITH SEWER AND UTILITY PLATS PROVIDED BY SEWER DISTRICT AND UTILITY COMPANIES. THERE MAY BE SOME SEWERS AND UTILITIES LOCATED ON THIS SITE WHICH ARE NOT SHOWN ON THIS PLAT.
- 9. THE SUBJECT PROPERTY HAS DIRECT ACCESS TO OLIVE STREET ROAD, ALL RIGHT OF WAYS STATED ARE PUBLICLY DEDICATED TO THE STATE HIGHWAY DEPARTMENT.
- 10. THERE IS NOT ANY OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- 11. THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, ACCORDING TO THE STATE HIGHWAY DEPARTMENT, THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- 12. THERE IS NOT ANY OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

13. THERE ARE EASEMENTS WHICH BENEFIT THE SURVEYED PROPERTY. REVIEW THE TITLE NOTES FOR REFERENCES.

14. THERE ARE NO MAJOR ENCROACHMENTS AFFECTING THE SUBJECT PROPERTY.

### DEED DESCRIPTION BOOK 10997 PAGE 1627:

LOT B OF HOG HOLLOW OFFICE CENTER, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 298 PAGE 46 OF THE ST. LOUIS COUNTY RECORDS; EXCEPTING THEREFROM, THE FOLLOWING: PART OF LOT B OF HOG HOLLOW OFFICE CENTER, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 298 PAGE 46 OF THE ST. LOUIS COUNTY RECORDS AS SET OUT BY DEEDS RECORDED IN BOOK 7622 PAGE 635 AND BOOK 7622 PAGE 636, DESCRIBED AS BOUNDED ON THE WEST, NORTH AND EAST BY GRANTOR'S WEST, NORTH AND EAST PROPERLY LINES SAID NORTH PROPERTY LINE BEING ALSO THE EXISTING SOUTH RIGHT OF WAY LINE OF ROUTE 340; AND ON THE SOUTH BY A LINE BEGINNING AT A POINT IN GRANTOR'S WEST PROPERTY LINE, SAID POINT BEING 46 FEET PERPENDICULAR DISTANCE SOUTH OF STATION 161+35 ON THE HEREINAFTER DESCRIBED CENTERLINE OF RELOCATED ROUTE 340; THENCE EASTERLY AND PARALLEL WITH SAID CENTERLINE TO GRANTOR'S EAST PROPERTY LINE. DEED DESCRIPTION BOOK 17159 PAGE 4938:

A TRACT OF LAND LOCATED IN PART OF THE EAST 50 FEET OF THE WEST HALF OF LOT 4 IN SHARE 5 OF THE PARTITION OF MISSOURI STEVENS ESTATE IN SURVEY 206, TOWNSHIP 46 NORTH, RANGE 4 EAST, AS PER PLAT THEREOF RECORDED IN SURVEY RECORD 6 PAGE 82 OF THE SURVEYORS RECORD IN ST. LOUIS COUNTY, MISSOURI AND DESCRIBED AS FOLLOWS:

A TRACT OF LAND BOUNDED ON THE WEST, EAST, AND SOUTH BY THE WEST, EAST AND SOUTH PROPERTY LINES OF A TRACT OF LAND AS CONVEYED TO THE STATE OF MISSOURI, ACTING BY AND THROUGH THE MISSOURI HIGHWAY AND TRANSPORTATION COMMISSION BY DEED DATED JULY 1, 1991, AND RECORDED IN BOOK 9080 PAGE 1788, (FORMERLY OWNED BY ALAN & LANA BEIRNE, HIS WIFE); ON THE NORTH BY A LINE BEGINNING AT A POINT 50 FEET PERPENDICULAR DISTANCE SOUTH OF STATION 157+30 ON THE HEREINAFTER DESCRIBED CENTERLINE OF RELOCATED ROUTE 340; THENCE NORTHEASTERLY, PARALLEL TO SAID CENTERLINE, AND EXTENDING THROUGH THE WEST AND EAST PROPERTY LINE OF SAID BEIRNE TRACT TO A POINT OPPOSITE CENTERLINE STATION 164+78.03.

CORNER OF LOT 409 OF RESUBDIVISION OF LOTS 194 THROUGH 202 OF WESTBURY PLAT SIXA" IN U.S. SURVEY 207, TOWNSHIP 46 NORTH, RANGE S EAST IN ST. LOUIS COUNTY, MISSOURI ESTABLISHED SEPTEMBER, 1972 BY THE ELBRING COMPANY, R. L. S. RECORDED IN BOOK 6628 PAGE 937; THENCE NORTH 6 DEGREES 55 MINUTES 33 SECONDS EAST FOR A DISTANCE OF 444.43 FEET TO STATION 195+80.31 ON THE CENTERLINE OF RELOCATED STATE ROUTE 340: THENCE NORTH 79 DEGREES 32 MINUTES 47 SECONDS WEST FOR A DISTANCE OF 510.54 FEET TO P. T. AND EQUATION STATION 190+69.77 AHEAD EQUALS STATION 190+48.45 BACK; THENCE NORTHWESTERLY ALONG SAID CENTERLINE AND ON THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 5,729.58 FEET A DISTANCE OF 411.67 FEET TO P. C. STATION 186+36.78; THENCE NORTH 83 DEGREES 39 MINUTES 51 SECONDS WEST FOR A DISTANCE OF 469.85 FEET TO P. I. STATION 181+66.93; THENCE NORTH 83 DEGREES 56 MINUTES 36 SECONDS WEST FOR A DISTANCE OF 561.79 FEET TO S. T. STATION 176+05.14; THENCE TO THE LEFT ON A SPIRAL CURVE FOR DISTANCE OF 250 FEET TO C. S. STATION 173+55.14; (SAID SPIRAL CURVE HAVING A X DISTANCE OF 249.81 FEET ALONG THE MAIN TANGENT AND Y DISTANCE OF 7.27 FEET OFFSET FROM THE MAIN TANGENT): THENCE TO THE LEFT ON A 4 DEGREE OO MINUTE CURVE HAVING AN INTERIOR ANGLE OF 35 DEGREES 05 MINUTES 03.13 SECONDS RIGHT FOR A DISTANCE OF 627.11 FEET TO S. C. STATION 167+28.03; THENCE TO THE LEFT ON A SPIRAL CURVE FOR A DISTANCE OF 250 FEET TO T. S. STATION 164+78.03 (SAID SPIRAL CURVE ALSO HAVING AN X DISTANCE OF 249.81 FEET AND A Y DISTANCE OF 7.27 FEET); THENCE SOUTH 60 DEGREES 58 MINUTES 21 SECONDS WEST FOR A DISTANCE OF 1440.59 FEET TO P. T. AND EQUATION STATION 150+37.44 AHEAD EQUALS STATION 150+38.83 BACK; THENCE SOUTHWESTERLY ALONG SAID CENTERLINE AND ON THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2864.79 FEET A DISTANCE OF 555.58 FEET TO P. C. STATION 144+83.25, BEING THE POINT OF ENDING.

TO: OMP INC., ST. LOUIS TITLE, LLC AS AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE

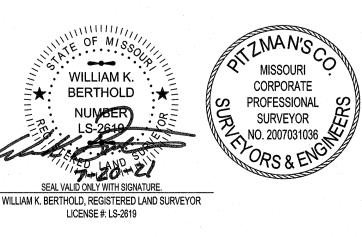
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM" STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 6a, 7a, 7b, 8, 9, 11, 13, 14, 16, 17, 19 AND 20 (\$2,000,000) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF MISSOURI, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

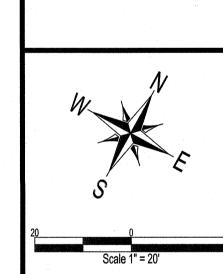
## THE FIELD WORK WAS COMPLETED ON NOVEMBER 20, 2020.

### DATE OF PLAT OR MAP: DECEMBER 14, 2020

WILLIAM K. BERTHOLD, MOPLS 2619 PITZMAN'S CO. OF SURVEYORS & ENGINEERS CORPORATE LICENSE NO. 2007031036

> #2725-R SUTTON BOULEVARD SAINT LOUIS, MISSOURI 63143 T: 314-781-5665 E: BILLB@PITZMANS.COM REVISED: JULY 20, 2021 ADDED NEW LEGAL DESCRIPTION.

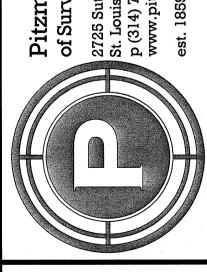




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ART OF A

PAGE 46 AND BOOK 273 PAG



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20-132 sv C.B. OR F.P.#: DRAWN BY: A K B DEPUTY: SLD REVIEWED BY: WKB

LOCATOR#

DEC 14, 202

SHEET