



VILA

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Planning Commission Staff Report

Meeting Date: July 26, 2021

From: Mike Knight, Assistant City Planner *mk*

Location: A 3.5 acre tract of land located northeast of the intersection of Wild Horse Creek Road and Old Chesterfield Road.

Description: **Downtown Chesterfield Category C, Lot B (AC Hotel) Sign Package:** A request for a Sign Package to establish sign criteria for a 3.5 acre tract of land located northeast of the intersection of Wild Horse Creek Road and Old Chesterfield Road.

PROPOSAL SUMMARY

This request is to establish site specific sign regulations through a mechanism known as a Comprehensive Sign Package for a 128 room hotel including a 6,720 square foot conference center. The building is 5 stories with a maximum height of about 71'. The building is currently under construction in what is known as Lot B of "Category C" in Downtown Chesterfield. The subject site is zoned "PC&R" Planned Commercial and Residence District and governed under the terms and conditions of City of Chesterfield Ordinance 3114. This project shares a primary access point with Lot A of Category C which is also currently under construction for a 326,000 square foot mixed use building containing residential, commercial, and a restaurant. The materials of the proposed hotel are similar to the mixed use building of Lot A ranging from thin brick, EIFS, cultured stone, architectural metal panels, and aluminum storefront and glass.

The Unified Development Code in Section 405.04.050 defines a series of permitted signs in which city staff can approve for a development within the City. In the event a development would like to seek flexibility from the standard signage requirements as stated above, they may submit a request for a sign package in accordance to Section 405.04.050. The following report discusses the history of the subject site requesting the sign package and an overview of the applicant's request. Staff analysis is provided to understand how this submission relates to what the Unified Development Code (UDC) permits without a sign package in comparison to what the applicant is requesting through the sign package mechanism.

HISTORY OF SUBJECT SITE

On March 19th, 2008 the City of Chesterfield City Council approved Ordinance 2449. This ordinance amended the previous governing zoning ordinance of the City of Chesterfield by changing the boundaries of 99 acres of multiple zoning districts into one 99 acre "PC & R" Planned Commercial & Residence District known as Downtown Chesterfield.

The PC&R district defined specific development criteria into three specific categories. The three categories were labeled in Ordinance 2449 as Category A, Category B, and Category C. They were also defined by location, having specific category standards, and with a specific streetscape. **The subject site is 3.5 acres of the 22 acres that make up Category C, which is one of three categories that make up the 99 acres known as Downtown Chesterfield.** Below is an aerial of the subject site depicting Lot B.

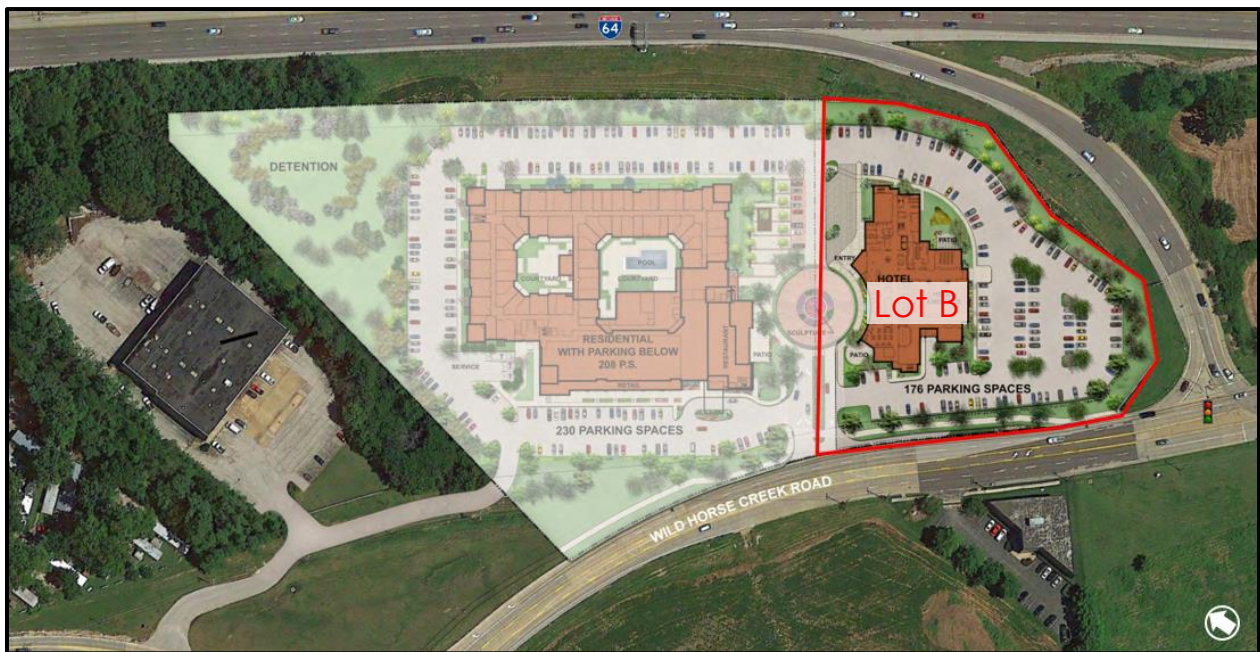


Figure 1: Aerial Site Photo

The Site Development Section Plan for Lot B was approved by the City of Chesterfield Planning Commission in January 2020. The construction of the building itself began in the winter of 2020. In its current state the building is fully vertical and the exterior building materials are being applied.

Purpose and Review Factors of a Sign Package

The UDC defines the purpose of a sign package as a mechanism to provide comprehensive, complementary and unified signage throughout a single development or contiguous lots under common ownership. In addition, developments of a certain size, quality, or mix of uses may require special signage consideration. Therefore, in order to encourage superior design, quality and character, comprehensive sign packages allow for specialized review of signs and flexibility from standard signage requirements.

Consideration of flexibility in sign criteria is based on a number of review factors, including, but not limited to, the physical impact of the proposed comprehensive sign package, the quality of the proposed comprehensive sign package, and mitigation of unfavorable conditions such as excessive signs, light spillover from signs, height, and other related conditions and potentially negative impacts.

SUBMITTAL OVERVIEW

The sign package submittal contains sign criteria for one building occupied by a 128 room hotel and 6,720 square foot conference center. The building has frontage on both Wild Horse Creek Road and I-64 (Figure 1). The sign package has two elements (building/wall signs and a freestanding/monument sign). The applicant is requesting 4 wall signs and 1 monument sign.

Wall Signs:

The applicant is requesting 4 wall signs. The applicant is requesting 2 on the east elevation, 1 on the north elevation, 1 on the west elevation. The image below (Figure 2) depicts the location of the wall sign on their respective elevations accompanied by the approximate height at which they will be applied to the building. The exact placement of the sign location and the exterior material they would be applied to may be seen on the color elevations included in the sign package packet.

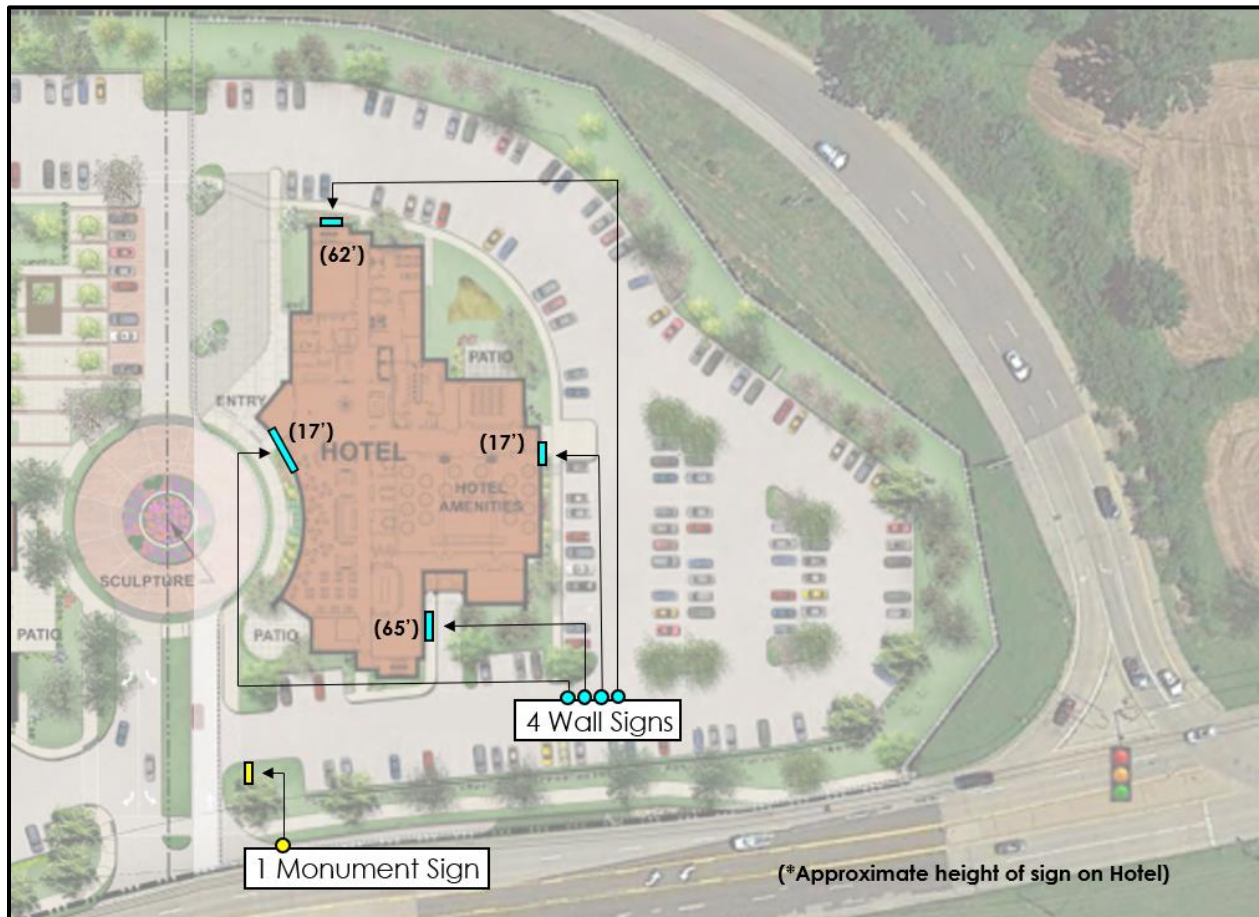


Figure 2: Building Sign Location

Section 405.04.050 of the City’s Unified Development Code (UDC) states that a business being the sole occupant of a building located on a corner lot or a lot with double frontage, said business may have one (1) attached business sign on any three (3) walls of a building that are exterior walls. The code also states that the outline area of each sign shall not exceed five percent (5%) of the wall area of the business on which said sign is attached with a maximum of 300 square feet for any individual sign. Due to the size of the hotel, the 300 square foot maximum would apply to all three facades.

If the sign package is approved it would permit 2 signs on the east elevation where the City’s UDC only allows staff to approve 1. Although there would be 2 signs, the total outline area of both signs would be under the maximum (300 SF). Below is a table outline what the UDC permits without a sign package in comparison to what the applicant is requesting through the sign package mechanism.

Façade	UDC permits without Sign Package		Request via Sign Package	
	Sign Quantity	Sign (SF)	Sign Quantity	Sign (Total SF)
East	1	300	2	260
North	1	300	1	120
West	1	300	1	156
Total	3	900	4	536

Table 1: Building Sign Quantity and Square Footage

Two of the wall signs are defined as rooftop signs in accordance to the Unified Development Codes’ signage terms. These signs are affixed to the top of a canopy and located above the canopy vs affixed to the side of the canopy similar to a traditional wall sign. Rooftop signs are considered a prohibited sign and only allowed through the sign package process. The UDC definition of a rooftop sign is: “A sign erected on, over or above the roofline of a building”. The proposed signs are situated on the canopy over the first floor of the five story building. Below is an example image of the placement of the sign affixed to the top of the canopy.



Figure 3: Example Rooftop/ Canopy Sign

Freestanding sign:

The applicant is requesting a monument sign near the entrance to the site. The sign is in the same location as depicted on the approved Site Development Section plan. The sign is to be 6’0 in height and has an outline area of 18 square feet. The height and outline area are both at or under the maximum permitted by the UDC.

A Concept Sign Package was approved for all of Category C within Downtown Chesterfield. The applicant is providing the same base that was approved in the Concept Sign Package. An example of the base may be found in the applicant’s sign package attached to this report. A planting schedule has also been provided for the base of the monument sign. The full planting schedule and location of the plantings have been included in the sign package and also attached to the report.

NARRATIVE STATEMENT

The applicant provided the required narrative statement in conjunction with the sign package. Within the narrative, the applicant states that all signage within the development shall be in conformance with the comprehensive sign package. It states that all tenants, businesses, and owners within the development shall receive a copy of the Comprehensive Sign Package from the owner at the time of lease/sale, and any signage not specifically identified within the Comprehensive Sign Package is prohibited.

STAFF RECOMMENDATION

Staff has reviewed the Sign Package request and found that it meets the requirements to be presented to the Planning Commission for review, and staff recommends action. Please note, any amendments to the provisions of the approved Sign Package would require review and approval by the Planning Commission.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Sign Package for Downtown Chesterfield Category C, Lot B (AC Hotel).

- 2) “I move to approve the Sign Package for Downtown Chesterfield Category C, Lot B (AC Hotel) with the following conditions ...” (Conditions may be added, eliminated, altered or modified).

Wild Horse AC Hotel Signage Narrative

To Whom It May Concern:

The purpose of the sign program is to give a consistent and uniformed feel for the building and tenants. The feel of the property is one of class. All signage will fall into the guidelines laid out here in the sign program. All non-conforming signage will be removed and tenant's expense.

General Notes - General Notes:

1. This Master Sign Criteria shall be strictly enforced, and any non-conforming signs installed by Owner shall be removed by the Owner or its contractor at Owner's sole cost and expense within ten (10) days of Owner's receipt of written notice from the Board of Directors or the City of Chesterfield.
2. All signage within the development shall be in conformance with the Comprehensive Sign Package
3. All tenants, businesses, owners within the development shall receive a copy of the Comprehensive Sign Package from the owner at the time of lease/sale
4. Each Owner shall submit to the Board of Directors and the City of Chesterfield, for approval, two (2) copies of the detailed shop drawing of Owner's proposed sign, in conformance with this Master Sign Criteria. Such submittals shall include, but not be limited to, pertinent dimensions, details and color callouts.
5. The tenant shall submit to owner for review and approval all drawings and descriptions relating to tenant signs. Tenant at tenant's sole cost and expense, shall submit all plans to all governmental authorities for approval and permitting.
6. Tenant's sign contractor must: (1) must have a current, in-force license from the State of Missouri to fabricate signs, (2) must carry current, in-force general liability insurance of not less than \$1 million and (3) must carry current, in-force workman's compensation insurance. Tenant is to be named as additional insured for both general liability and workman's compensation insurance. All work shall be of excellent quality. The City of Chesterfield and/or the ownership reserves the right to reject any work determined to be of inferior quality by the City of Chesterfield and/or the ownership or the project architect, in their sole and absolute determination.
7. Any signage not specifically identified in the Comprehensive Sign Package is prohibited
8. Ownership in its sole and absolute discretion, reserves the right to disapprove any sign that may conflict with the overall appearance of the building.
9. We are requesting two signs; C and E on the East elevation of the building. With both proposed signs on the East elevation we are under the City required 300SF (259.41SF).
10. We are requesting two signs; B and C such that they will be mounted to the top of the 1st floor roof. These signs are meant for viewing while in the development. Sign B faces the neighboring apartments and C faces the parking lot. Both signs will be installed at the edge of the roof overhangs to provide visibility of the signs.
11. Sign materials and lighting will meet Unified Development Code requirements.

Sign	Deviate	Location	Type	Size	Area	%
A		North Elevation, 5th Floor	Wall	10'-7 3/4" x 11'-2 1/2"	120 SF	1.71%
B	X	West Elevation, 1st Floor Roof, Rear Entry Canopy	Projecting	51'-9 1/4" x 3'-0"	156 SF	0.93%
C	X	East Elevation, 1st Floor Roof, Rear Entry Canopy	Projecting	34'-7 3/4" x 3'-0"	104 SF	0.62%
D		Parking Lot Entrance	Wall	3'-0" x 6'-0"	18 SF	
E	X	East Elevation, 5th Floor, Parapet	Wall	51'-9 7/8" x 3'-0"	156 SF	0.93%

*North Elevation Area = 6,974.9SF

*East Elevation Area = 16,713.9SF

*West Elevation Area = 16,669.2SF

Sign A

- North Elevation, 5th Floor
- 10'-7 3/4" W X 11' – 2 1/2" H
- 119.32SF or 1.71% of elevation face
- Sets of Illuminated Channel Letters on Backer Panel
- Within requirements set forth by City Ordinance

Sign B

- West Elevation, 1st Floor Roof, Radiused Canopy
- 51'-9 1/4" W X 3'-0" H
- 155.31SF or 0.93% of elevation face
- Internally Illuminated Channel Letters
- Requesting a deviation from County ordinance to install this sign mounted to the 1st floor roof. Mounting will be such that the sign will sit at the edge of the roof and be viewed within the development. The sign faces the neighboring apartments.

Sign C

- East Elevation, 1st Floor Roof, Rear Entry Canopy
- 34'-7 3/4" W X 3'-0" H
- 103.94SF or 0.62% of elevation face
- Non-Illuminated Channel Letters
- Requesting a deviation from County Ordinance to install two signs (C and E) on the East elevation. The total area of the two signs (259.41SF) are under the City requirements.
- Requesting will be such that the sign will sit at the edge of the roof and be viewed within the development. The sign faces the hotel parking lot.

Sign D

- "AC Hotel" Monument Sign
- Southwest Corner of Hotel Property

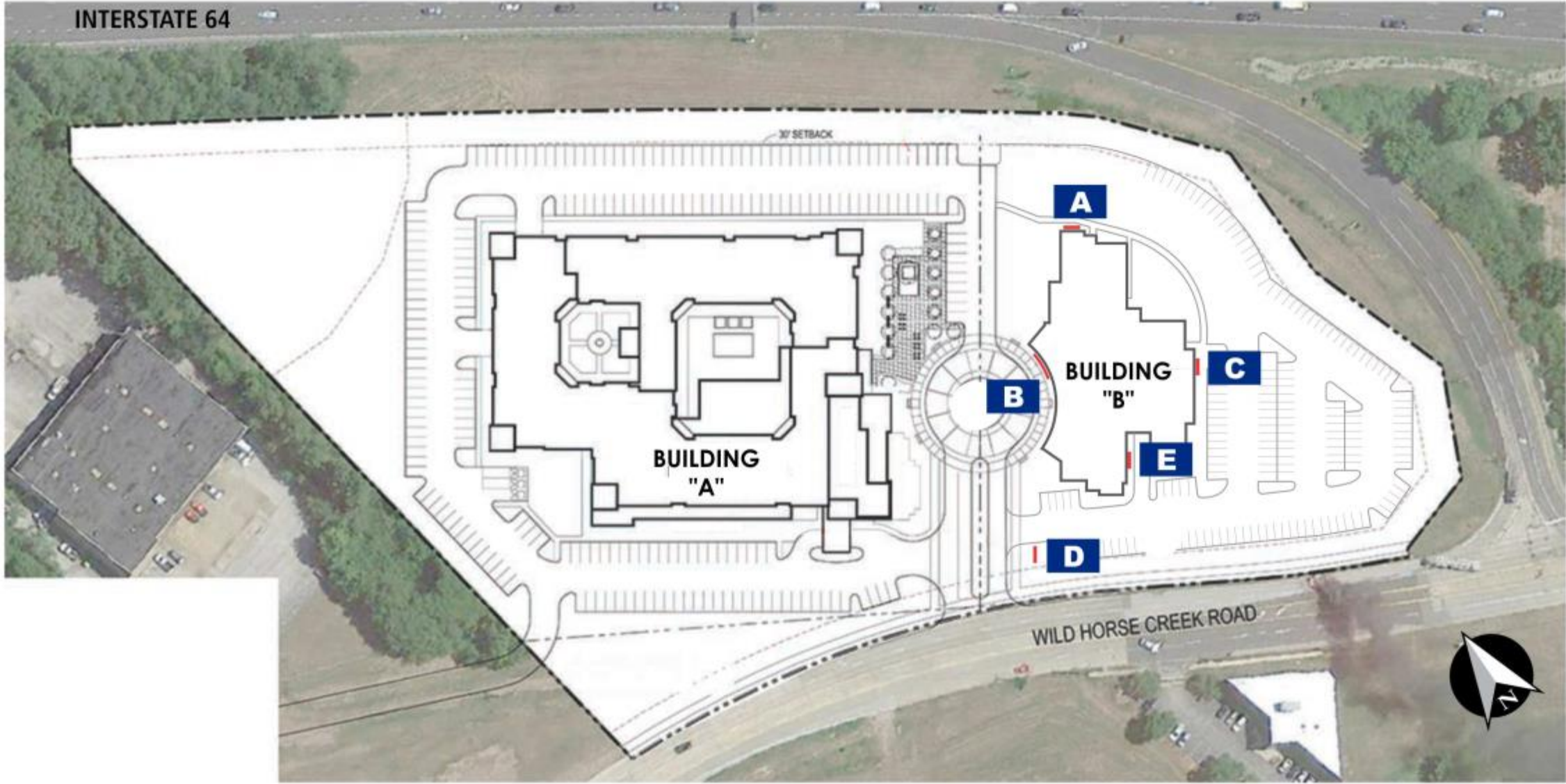
- 3'-0" W X 6'-0" H
- 18SF
- Internally Illuminated Monument
- Signage meets size requirements of the City Ordinance. The top of the signage base will be around 537' elevation which would match the elevation of the neighboring entry drive lane.

Sign E

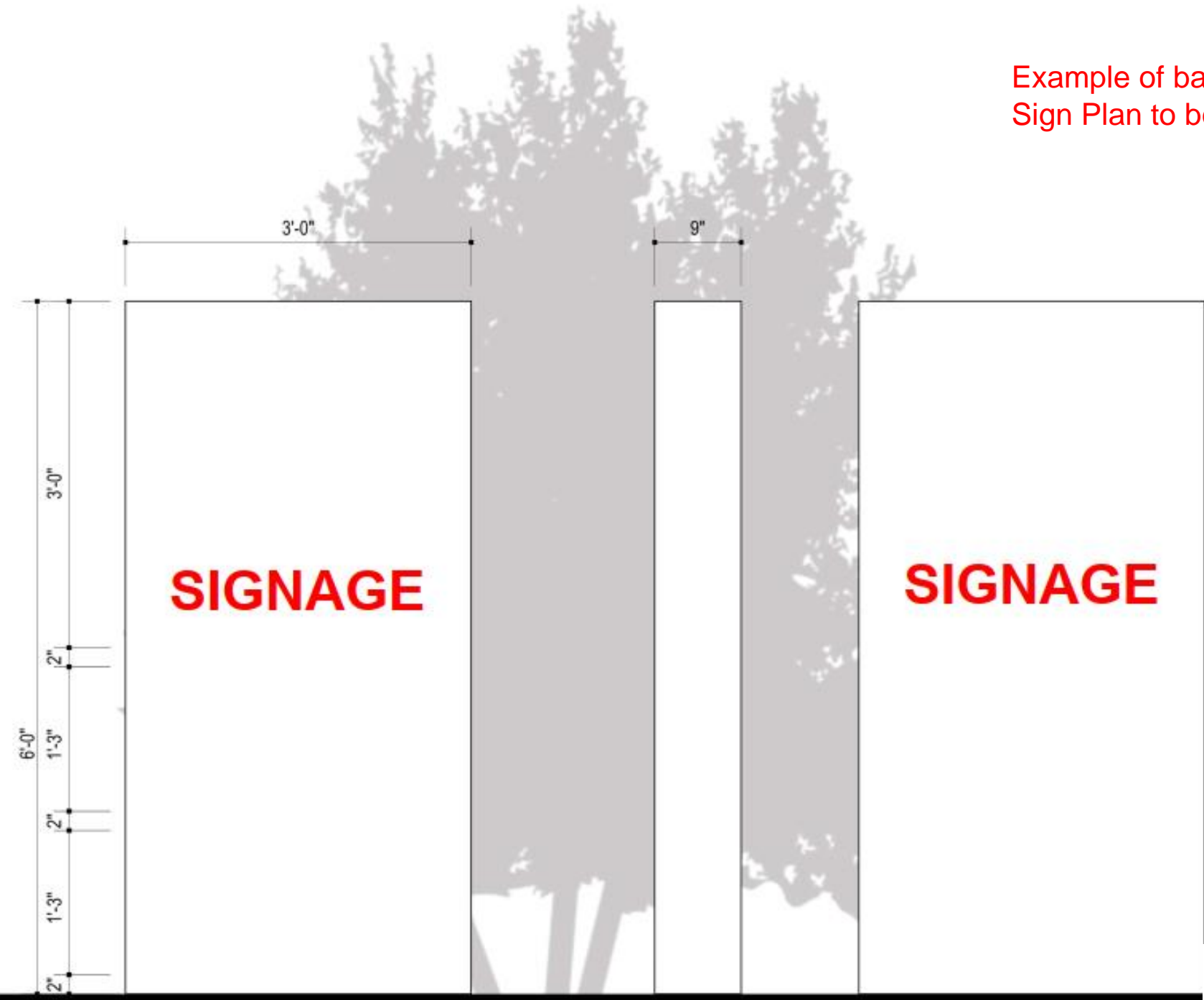
- East Elevation, 5th Floor, Parapet
- 51'-9 7/8" W X 3'-0" H
- 155.47SF or 0.93% of elevation face
- Illuminated Channel Letters
- Requesting a deviation to install two signs (C and E) on the East elevation. The total area of the two signs (259.41SF) are under the City requirements.



SITE PLAN



D 1X D/F ILLUMINATED MONUMENT

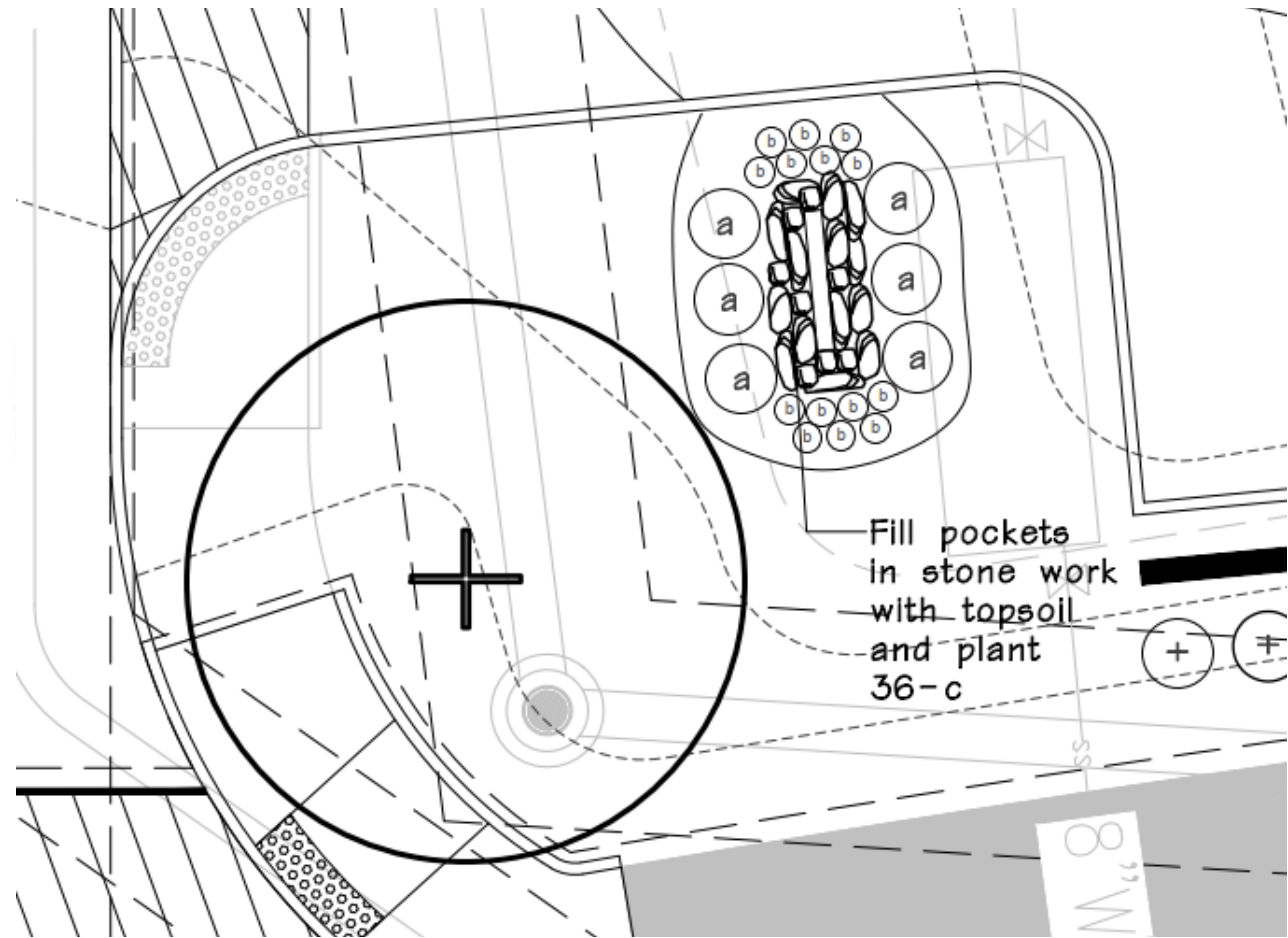
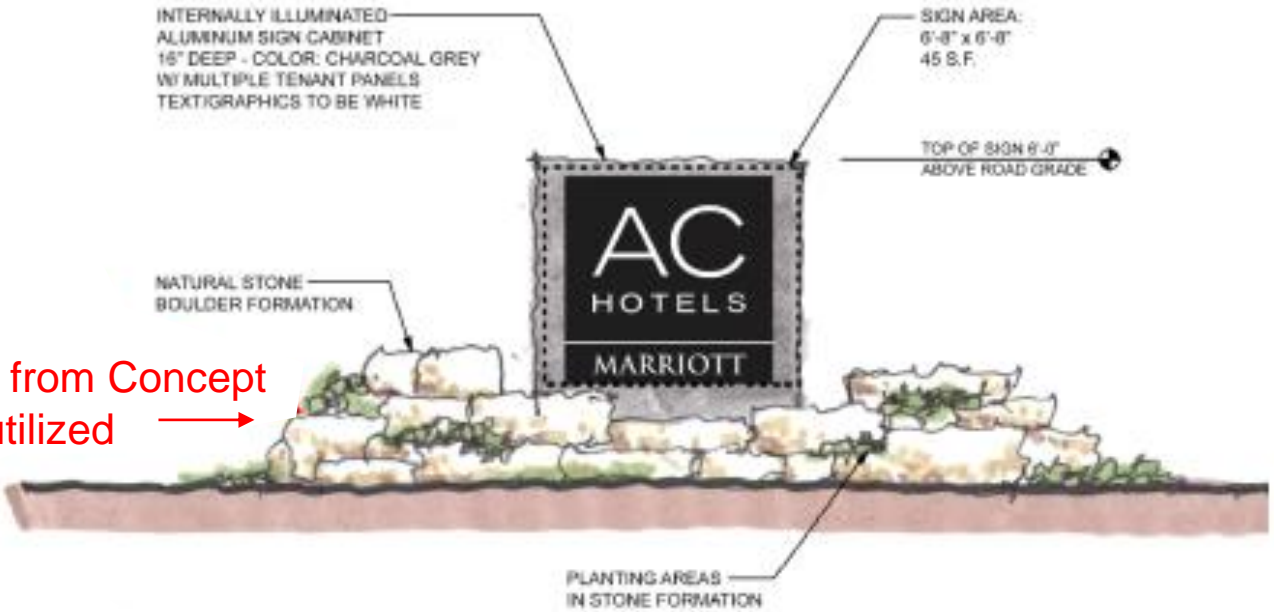


Graphic Elevation

Side View

Reverse Side

Example of base from Concept Sign Plan to be utilized →



PLANTING SCHEDULE					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
a	6	Juniperus procumbens 'Nana'	Japanese Garden Juniper	18-24"	48" O.C.
b	14	Calamagrostis a. 'Karl Foerster'	Karl Foerster Grass	1 gal	18" O.C.
c	36	Sedum kamtschaticum Ellacombeanum	Pachy Sedum	2" cp	9" oc

ELEVATIONS

SCALE / ÉCH. 1/32" = 1'-0"



North Elevation

A Sign Area = 119.32SF
Elevation Area = 6974.9SF
% = 1.71%



East Elevation

E Sign Area = 155.47SF
Elevation Area = 16713.9SF
% = 0.93%

C Sign Area = 103.94SF
Elevation Area = 16713.9SF
% = 0.62%



South Elevation



West Elevation

B Sign Area = 155.31SF
Elevation Area = 16669.2SF
% = 0.93%