

Planning Commission Staff Report

Meeting Date: July 12, 2021

From: Chris Dietz, Planner

Location: North side of Chesterfield Airport Road and east of Long Road

Description: **TSG Chesterfield Airport Road:** A Sign Package for a 13.02-acre tract of land zoned "PC" Planned Commercial District located north of Chesterfield Airport Road east of Long Road (17U510084).

PROPOSAL SUMMARY

Piros Signs, on behalf of TSG Chesterfield Airport Road LLC, has submitted a request for a Sign Package for the TSG Chesterfield Airport Road subdivision. This Sign Package would establish flexible criteria that deviates from what the UDC currently permits for both wall signage and freestanding signage.

HISTORY OF SUBJECT SITE

The subject site was originally zoned "NU" Non-Urban District by St. Louis County prior to the City's incorporation. On October 2, 1995, a record plat was approved by the City of Chesterfield establishing Lots 1 and 2 of the 84 Lumber Subdivision. In 2017, the site was rezoned "PC" Planned Commercial District as Lot 2 of the 84 Lumber Subdivision. A Site Development Concept Plan was later approved by Planning Commission in 2019.



Figure 1: Subject Site

City of Chesterfield Ordinance 3082 was approved by City Council in January 2020, establishing a new

permitted use of “automobile dealership” and revising development criteria for the subject site to increase the permitted building story height from one (1) to two (2) story construction. Later that same year, a Record Plat showing the property subdivided into five (5) lots—A, B, C, D and E—was approved for the subject site, as well as a Site Development Section Plan for an automobile dealership on Lot A.

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The zoning and land use for the properties surrounding this parcel are as follows:

Direction	Zoning	Land Use
North	“NU” Non-Urban District	I-64/US-40 & Vacant Land
East	“PC” Planned Commercial District	Commons Seven (Undeveloped Lot)
South	“PC” Planned Commercial District	AutoZone/St. Louis Family Church
West	“PC” Planned Commercial District	Car Craft Autobody/Lou Fusz Ford

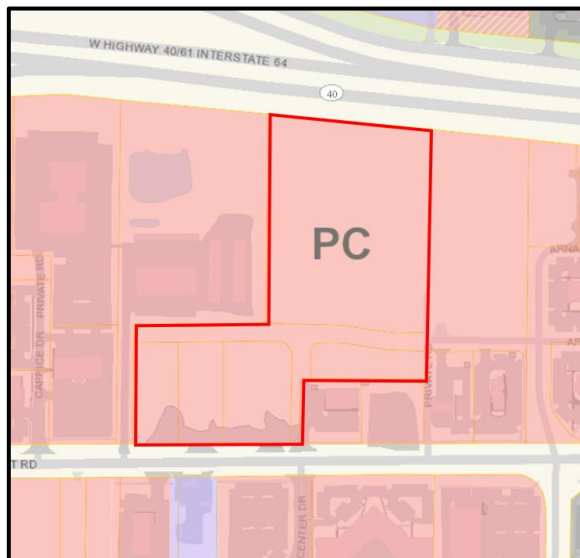


Figure 2: Zoning Map

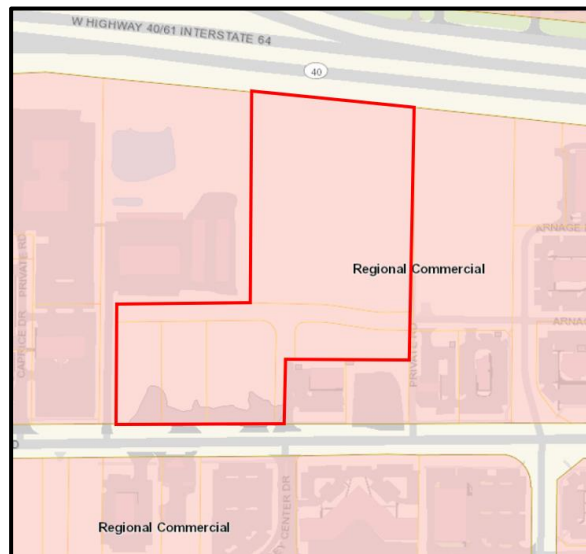


Figure 3: Comprehensive Land Use Map

COMPREHENSIVE PLAN

The City of Chesterfield Comprehensive Plan designates this subject site as within the Regional Commercial Character Area. This area is characterized by serving regional commercial needs (emphasizing retail, dining, entertainment, hotel, and leisure components), drawing visitors from both Chesterfield and the surrounding areas, and by multiple buildings planned and developed together using unified project development standards.

STAFF ANALYSIS

Sign Packages

The purpose of a Sign Package, which serves as the mechanism for allowing modifications to the UDC sign regulations, is to provide comprehensive, complementary, and unified signage throughout a development. The UDC states that “in order to encourage superior design, quality and character, comprehensive sign packages allow for specialized review of signs and flexibility from standard signage requirements.”

The UDC includes the following review factors that are to be considered by the Planning Commission when discussing the appropriateness of any requested sign package:

1. The physical impact of the proposed comprehensive sign package;
2. The quality of the proposed comprehensive sign package; and
3. Mitigation of unfavorable conditions such as excessive signs, light spillover from signs, height, and other related conditions and potentially negative impacts.

Request Overview

This Sign Package would establish flexible criteria that deviates from what the UDC currently permits for both wall signage and freestanding signage. The proposed sign package would be further divided into two (2) geographic categories: Lot A (north of Arnage Rd.), which is eight (8) acres in size and currently has an automobile dealership under construction, and Lots B through E (south of Arnage Rd.), each of which are 1.5 acres or less. Figure 4 shows the geographical area for each of these separate sets of criteria. Both wall signage and freestanding signage criteria will be specified for each area and discussed in further detail below. Exhibits showing the locations and design for each type of sign are provided in the Planning Commission packet to accommodate each of these sections.

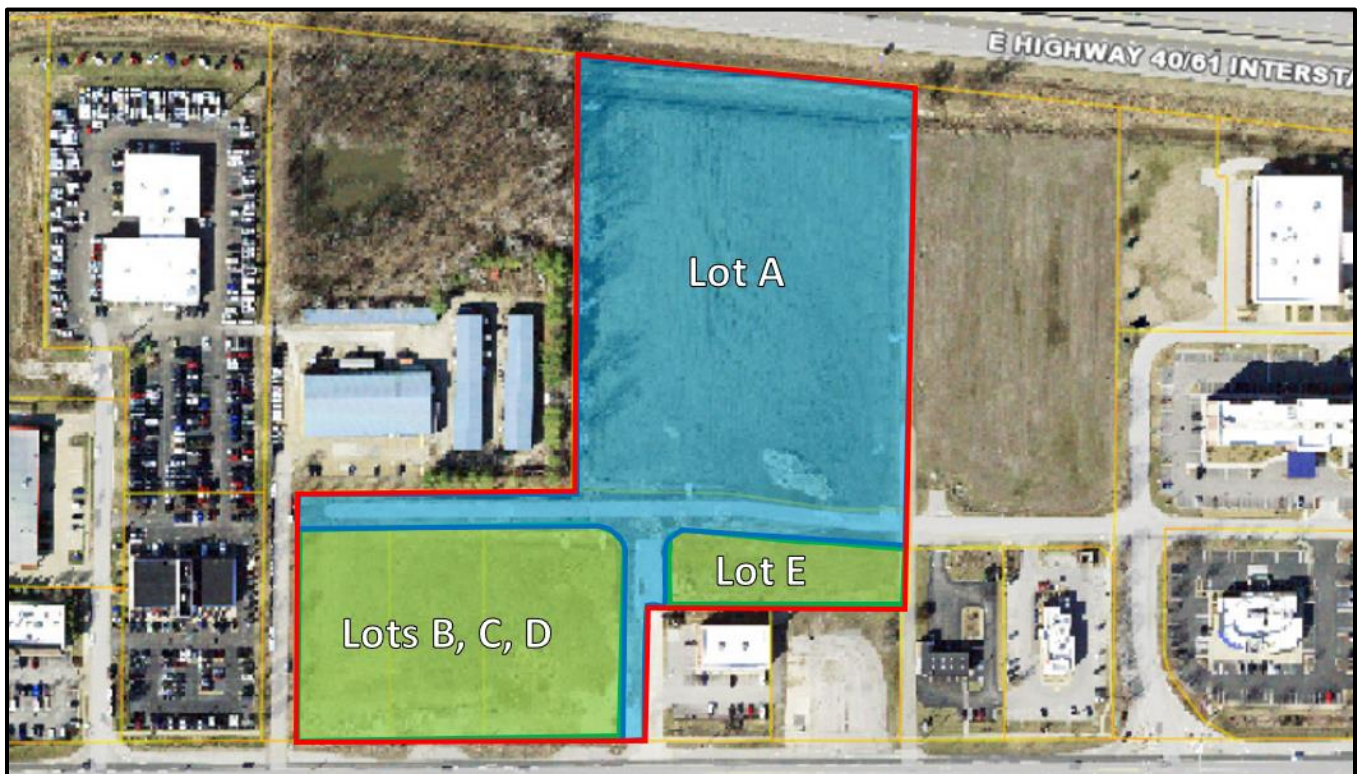


Figure 4: Signage Criteria Boundaries

Freestanding Signage

UDC Freestanding Sign Regulations

UDC regulations state that each developed lot may have no more than one (1) freestanding sign facing each roadway on which the lot has frontage. The height of these signs shall not exceed six (6) feet in height when located within the minimum front yard setback of a particular zoning district.

Lot A Freestanding Signage

Lot A is located north of Arnage Rd., and currently has an automobile dealership under construction. The applicant is requesting a total of four (4) freestanding signs due to the large area of the Lot:

Two (2) of the freestanding signs will be located as shown on Exhibit 2, provided in the Sign Package submittal packet, each with a maximum height of 4’6” and maximum area of 31 sq. ft., as shown in Exhibit 6. The other two (2) freestanding signs would be located as shown on Exhibit 3, and would have a maximum height of 7’3” and maximum area of 24 ft², as shown in Exhibit 8.

The table below demonstrates this request in comparison to UDC Freestanding Signage Requirements that would otherwise apply to Lot A:

Lot A Freestanding Signage	Criteria	Quantity	Height	Area
	UDC	3	6’0”	50 ft ² (2) 6.9 ft ²
	Request	4	4’6” (2); 7’3” (2)	31 ft ² ; (2) 24 ft ² (2)

Table 1: Lot A Freestanding Signage

In total, the applicant is requesting one (1) more sign and 3.1 ft² more in sign area than the UDC allows for Lot A Freestanding Signage. Though the UDC technically allows for freestanding signage along I-64, the applicant has stated that no freestanding signage will be permitted along this frontage.

Lots B-E Freestanding Signage

Lots B through E are located south of Arnage Rd., and are currently vacant. Since these parcels have not been developed yet, only approximate locations for each sign were provided, as shown in Exhibit 5. The applicant is requesting each parcel be allowed one (1) freestanding sign on any two (2) street frontages. The maximum height for each sign would not exceed 4’6”, similar in design to two (2) of the freestanding signs on Lot A, with a maximum area of 31 ft² as shown in Exhibit 6.

The tables below demonstrate this request in comparison to UDC Freestanding Signage Requirements that would otherwise apply to Lots B through E:

Lot B Freestanding Signage	Criteria	Quantity	Height	Area
	UDC	2	6’0”	28.67 ft ²
	Request	2	4’6”	31 ft ²

Table 2: Lot B Freestanding Signage

Lot C Freestanding Signage	Criteria	Quantity	Height	Area
	UDC	2	6'0"	29.02 ft ²
	Request	2	4'6"	31 ft ²

Table 3: Lot C Freestanding Signage

Lot D Freestanding Signage	Criteria	Quantity	Height	Area
	UDC	3	6'0"	34.89 ft ² 44.59 ft ² 34.78 ft ²
	Request	2	4'6"	31 ft ²

Table 4: Lot D Freestanding Signage

Lot E Freestanding Signage	Criteria	Quantity	Height	Area
	UDC	2	6'0"	48.37 ft ² 27.33 ft ²
	Request	2	4'6"	31 ft ²

Table 5: Lot E Freestanding Signage

In total, this request proposes less signs and less sign area than the UDC allows for Lots B - E:

Lots B- E (Total)	Criteria	Quantity	Area
	UDC	11	305.34 ft ²
	Request	10	248 ft ²

Table 6: Lots B - E Freestanding Signage Totals

UDC Wall Sign Regulations

The UDC states that each business occupying a tenant space or being the sole occupant of a freestanding building shall have no more than one (1) attached business sign on any two (2) walls of a building that are exterior walls of the particular building or tenant space. Each business being the sole occupant of a building located on a corner lot or a lot with double frontage may have one (1) attached business sign on any three (3) walls of a building that are exterior walls. In addition, each tenant of a multi-tenant building may have one (1) sign over the exterior main entrance to that particular tenant space. Each wall sign may have an area not to exceed five percent (5%) of the area of the exterior wall of the tenant space on which the sign is placed, up to 300 ft².

Lot A Wall Signage

The applicant is requesting two (2) signs on each of the north and south building elevations only, with a total area, when combined, not to exceed 5% of that elevation, or 200 ft², whichever is less. The applicant is requesting this in lieu of having freestanding signage allowed along I-64. Exhibit 4 demonstrates the placement of these signage areas on each of the North and South elevations. The table below describes the request in comparison to the UDC requirements for wall signage.

Criteria	Quantity Per Tenant (Building)	Quantity per Elevation	Area per Elevation
Lot A Wall Signage	UDC	3	198.71 ft ² 217.30 ft ² 233.01 ft ²
	Request	2	200 ft ²

Table 7: Lot A Wall Signage Totals

In total, the applicant is requesting one (1) more wall sign that would be allowed for Lot A. Specifically, signage would be limited to only the North and South building elevations, with each being allowed one (1) additional sign than what the UDC permits. The total sign area that this Sign Package would allow for the building on Lot A would be 249 ft² less than what the UDC permits.



Figure 5: Lot A Wall Signage

Lots B-E Wall Signage

The applicant is requesting that each tenant be allowed one (1) sign on any three (3) elevations with a total area not to exceed 5% of that elevation, or 300 ft², whichever is less. There are no elevations to provide as an exhibit, as these lots are currently undeveloped. The table below describes the request in comparison to the UDC requirements for wall signage for Lots B through E.

	Criteria	Quantity Per Tenant	Quantity per Elevation	Area per Elevation
Lots B-E Wall Signage	UDC	(1-3) Dependent on single or multiple tenant	1	5%, up to 300 ft ²
	Request	3	1	5%, up to 300 ft ²

Table 8: Lots B-E Wall Signage Totals

RECOMMENDATION

Staff has reviewed the proposed Sign Package for the TSG Chesterfield Airport Road subdivision and all required items have been submitted. All other signage not specifically listed in this sign package shall comply with the UDC. Staff recommends that the Planning Commission take action on this request. Please find the applicant’s Sign Package submittal packet attached.

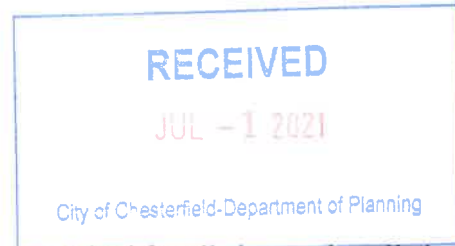
MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Sign Package for the TSG Chesterfield Airport Road subdivision.”
- 2) “I move to approve the Sign Package for the TSG Chesterfield Airport Road subdivision with the following conditions...” (Conditions may be added, eliminated, altered or modified)

Attachments: Sign Package

TSG Chesterfield Airport Road
Sign Package Submission
June 30, 2021



The enclosed package is under consideration to become the standard for all signage installed on TSG Chesterfield Airport Road (TSG) Record Plat Lots A thru E. The purpose of this narrative is to provide a summary to assist in the review and approval of the TSG sign criteria.

The primary objectives of the TSG signage program are to showcase the users located within the development and maximize customer flow by providing visual communications to inform and direct drivers and pedestrians. TSG will accomplish these objectives while maintaining the integrity, character, principles, and theme of the individual building designs to be approved. As with all the amenities, lighting, and landscape, the signage shall be complimentary to each individual use.

The TSG site is unique in its irregular shape and multitude of intended uses from basic retail to auto sales and service (see Exhibit 1 attached). Lot A will have frontage along I-64, Arnage Road, and Chesterfield Airport Road. Lots B, C, and D will front Chesterfield Airport Road and Arnage Road. Lot E will front Arnage Road and Jaguar Land Rover Way. As a condition of this plan, no freestanding identification signs shall front on the I-64 ROW.

User signage will be either face/halo lit cabinet type or channel letter type. Non-illuminated channel letters will also be considered (attached as Exhibit 7). All signage will be made from non-combustible materials and shall be subjected to all U.L. standards. Individual user signs attached to the building will be permitted at the percentages outlined below. Specific attention will be made to the spacing and horizontal/vertical alignment when placing the signs.

TSG, at this time, does not have building plans on which sign bands could be placed to illustrate sign location, and there is currently no signage installed on any of the parcels. TSG anticipates five (5) individual parcel sales to a variety of users which are lettered. For parcels B thru E, exact locations cannot be determined at this time, but will be shown on future section plan submittals, as each parcel is developed. Approximate locations are shown as red dots on Exhibit 5. Lot A signage locations will be as listed below.

LOT A: NORTH OF ARNAGE BLVD.

I. FREESTANDING SIGNS;

- a. Four (4) freestanding monument signs will be allowed for this lot. The two (2) signs located along Arnage Blvd, and Chesterfield Airport Road shall not exceed thirty-one (31) square feet, nor four feet six inches (4'-6") in height above the grade. Sign locations shall be as shown on the attached Exhibit 2. Sign design shall be as shown on the attached Exhibit 6.

Two (2) freestanding signs which shall not exceed twenty-four (24) square feet, nor seven feet three inches (7'-3") in height above grade will be allowed within the interior of Lot A. Sign locations shall be as shown on the attached Exhibit 3. Sign designs shall be as shown on the attached Exhibit 8.

II. WALL SIGNS:

- a. Wall signs will be limited to the North and South building elevations. Multiple signs will be allowed on each elevation. The total of all wall signage combined on any one elevation cannot exceed five (5%) percent of their respective elevation, nor two hundred (200) square feet, whichever is less. Multiple wall signs on each of the North and South building elevations are allowed in lieu of a major freestanding sign along the Interstate 64 right of way. See Exhibit 4 for possible sign placement.

LOTS B – E: SOUTH OF ARNAGE BLVD.

III. FREESTANDING SIGNS:

- a. Each parcel shall be allowed one (1) freestanding monument sign on any two street frontages. No sign shall exceed thirty-one (31) square feet, nor four feet six inches (4'-6") in height above grade. Approximate locations of each sign will be as shown on the attached Exhibit 5. Sign design shall be as shown on the attached Exhibit 6.

If multiple parcels are combined, the newly combined parcels will be limited to one (1) major freestanding monument sign on any two frontages, as per the above criteria.

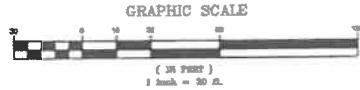
IV. WALL SIGNS:

- a. Each tenant within a building will be allowed one (1) wall sign on any three (3) building elevations, not to exceed five (5%) percent of their leased wall area, or three hundred (300) square feet, whichever is less.

All tenants, businesses, owners within the development shall receive a copy of the Comprehensive Sign Package form from the owner at the time of lease/sale. All signage within the development shall be in conformance with the Comprehensive Sign Package.

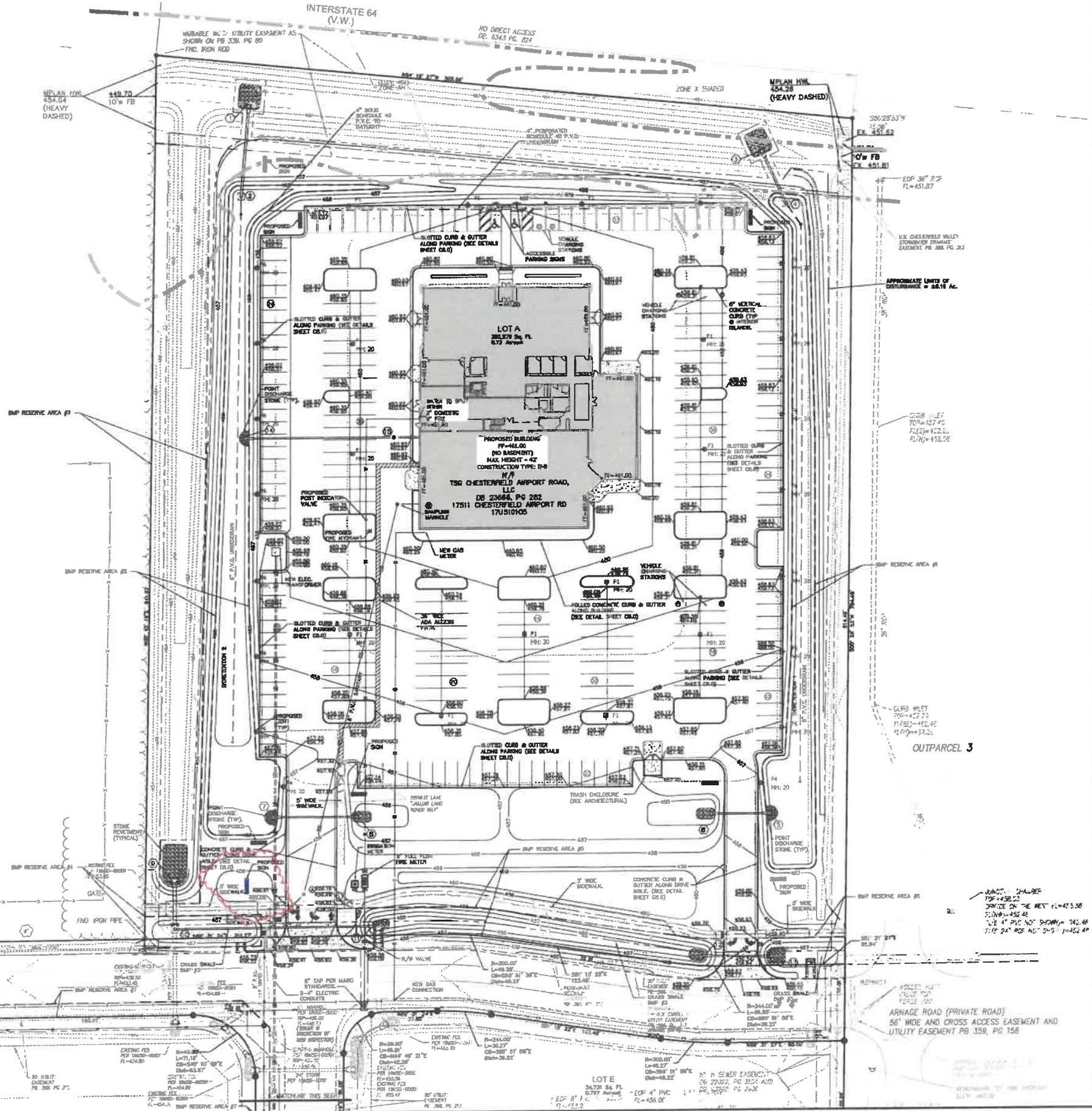
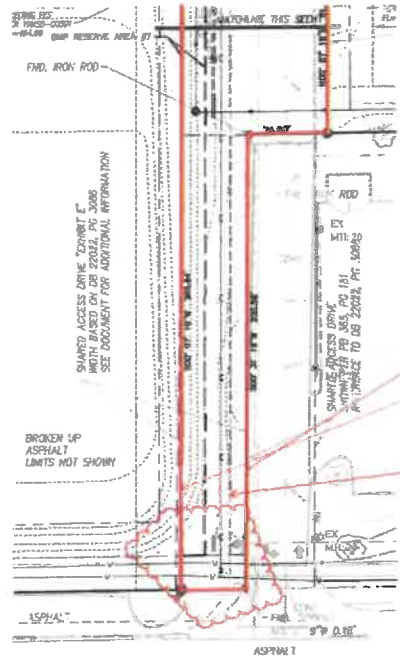
All major freestanding signs shall be subjected to the same base and landscaping requirements as detailed in the Unified Development Code.

All other signage, not specifically detailed in the above-mentioned sign plan, shall be governed in accordance with the City of Chesterfield Unified Development Code.



- NOTE:
- CONSTRUCTION SITE RUNOFF SHALL NOT FLOW INTO BMP AREAS. ALL STORMWATER FLOW TO BMP AREAS SHALL BE DIVERTED, PLUGGED OR DISCONNECTED UNTIL THE CONSTRUCTION SITE IS STABLE AND MSD INSPECTOR PROVIDES APPROVAL TO PLACE THE BMP ON-LINE.
 - TO PREVENT CONSTRUCTION SEDIMENT FROM CLOGGING INFILTRATION BED, AT NO TIME MAY CONSTRUCTION SEDIMENT ENTER THESE FACILITIES. ADDITIONALLY, THESE FACILITIES MAY NOT BE CONSTRUCTED UNTIL ALL SURROUNDING AREA THAT DRAINS TO THEM IS FULLY STABLE/ESTABLISHED.
 - THE CONTRACTOR SHALL STAY WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS AND MINIMIZE DISTURBANCE WITHIN THE WORK AREA WHEREVER POSSIBLE.
 - DURING CONSTRUCTION IF SITE RUNOFF FLOW INTO A TEMPORARY SEDIMENT BASIN THAT WILL BE CONVERTED TO A PERMANENT BMP AREA, THEN AFTER THE TRIBUTARY AREA IS COMPLETELY STABLE THE SEDIMENT BASIN WILL NEED TO BE CLEANED OF ALL SILT, SEDIMENT, AND TRASH THAT HAS ACCUMULATED WITHIN IT. OVER EXCAVATE AS NEEDED TO ALLOW FULL DEPTH OF THE BMP SECTION. BMP PLANTINGS IF APPLICABLE, CAN BE INSTALLED ONLY AFTER THIS HAS BEEN DONE AND THE MSD INSPECTOR PROVIDES APPROVAL TO PLACE THE PLANTINGS.

Exhibit #2
Lot A



SITE IMPROVEMENT PLAN FOR:
JAGUAR LAND ROVER CHESTERFIELD
1 JAGUAR LAND ROVER WAY
CITY OF CHESTERFIELD, MO 63005

PREPARED BY:
STUCK & ASSOCIATES
Consulting Engineers, Inc.
237 Chesterfield Business Parkway
St. Louis, MO 63114
TEL: (314) 352-8000
FAX: (314) 352-9000
E-MAIL: jstuck@stuck.com
WWW: www.stuck.com



- REVISIONS:
- REVISED PER MSD COMMENTS 04/10/20
 - REVISED PER MSD COMMENTS 05/20/20
 - REVISED PER CITY COMMENTS 06/08/20
 - REVISED PER MSD COMMENTS 06/10/20
 - MSD APPROVAL SET 06/25/20
 - MSD APPROVAL SET 09/08/20

DATE	BY	DESCRIPTION
09/08/20	J.S.	ISSUED FOR PERMITS
08/20/20	J.S.	REVISED PER MSD COMMENTS
06/10/20	J.S.	REVISED PER CITY COMMENTS
06/08/20	J.S.	REVISED PER MSD COMMENTS
05/20/20	J.S.	REVISED PER MSD COMMENTS
04/10/20	J.S.	REVISED PER MSD COMMENTS

PROJECT NO: 20-0407.4
SHEET NO: 17/20
DATE: 09/08/20

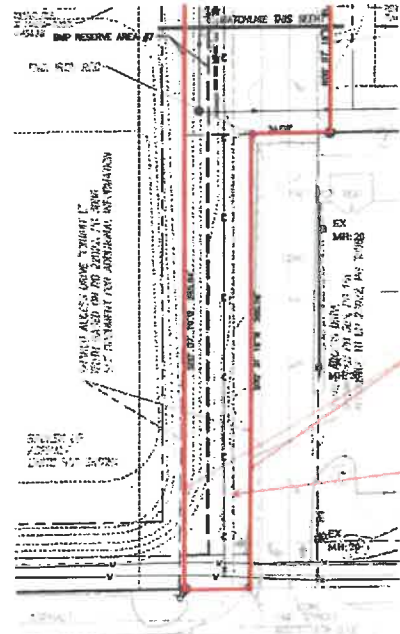
SITE & GRADING PLAN
C5.0



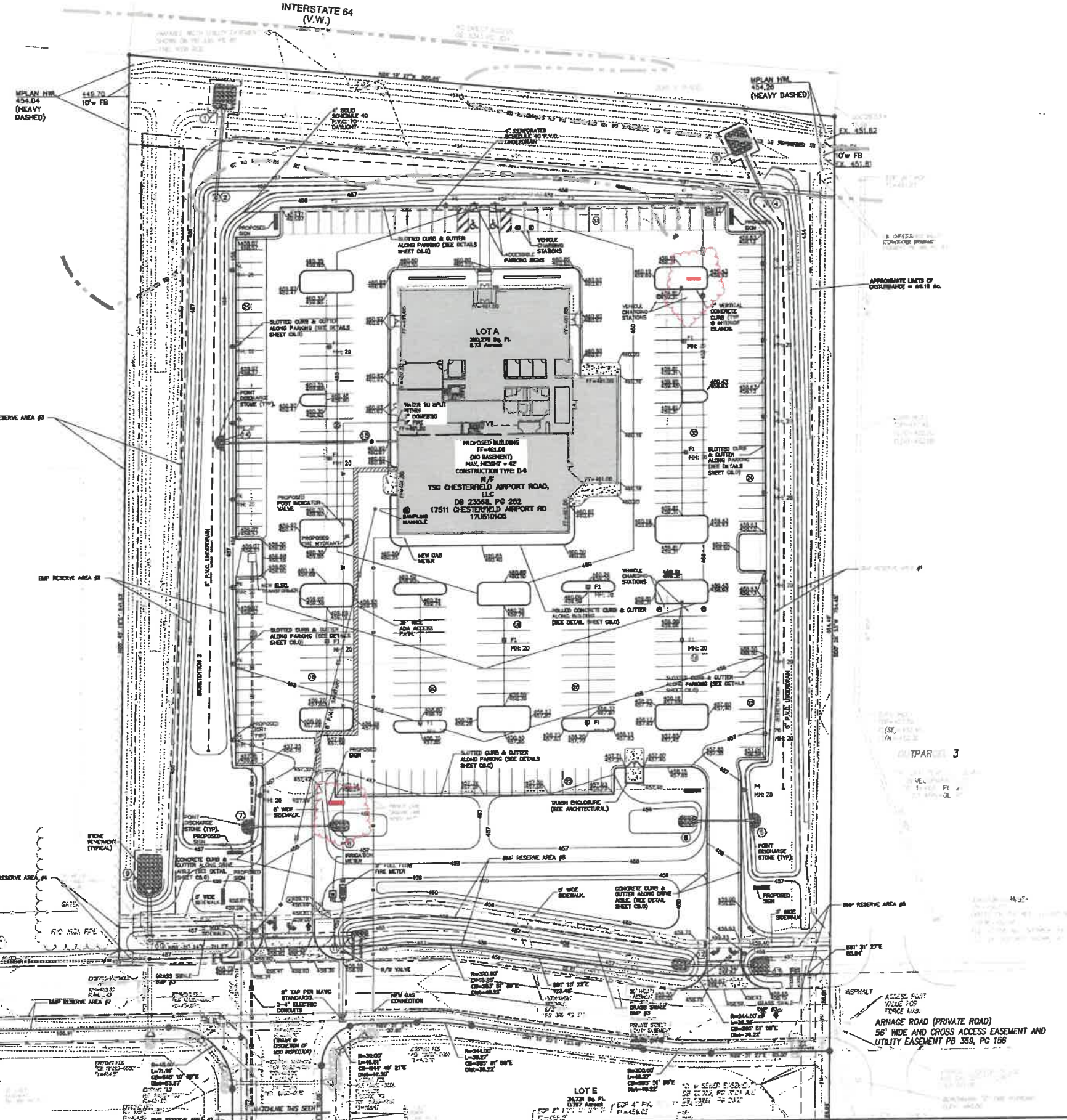
NOTE:

1. CONSTRUCTION SITE RUNOFF SHALL NOT FLOW INTO BMP AREAS. ALL STORMWATER FLOW TO BMP AREAS SHALL BE DIVERTED, PLUGGED OR DISCONNECTED UNTIL THE CONSTRUCTION SITE IS STABLE AND MSD INSPECTOR PROVIDES APPROVAL TO PLACE THE BMP ON-LINE.
2. TO PREVENT CONSTRUCTION SEDIMENT FROM CLOGGING INFILTRATION BED, AT NO TIME MAY CONSTRUCTION SEDIMENT ENTER THESE FACILITIES. ADDITIONALLY, THESE FACILITIES MAY NOT BE CONSTRUCTED UNTIL ALL SURROUNDING AREA THAT DRAINS TO THEM IS FULLY STABLE/ESTABLISHED.
3. THE CONTRACTOR SHALL STAY WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS AND MINIMIZE DISTURBANCE WITHIN THE WORK AREA WHEREVER POSSIBLE.
4. DURING CONSTRUCTION IF SITE RUNOFF FLOW INTO A TEMPORARY SEDIMENT BASIN THAT WILL BE CONVERTED TO A PERMANENT BMP AREA, THEN AFTER THE TREATMENT AREA IS COMPLETELY STABLE THE SEDIMENT BASIN WILL NEED TO BE CLEANED OF ALL SILT, SEDIMENT, AND TRASH THAT HAS ACCUMULATED WITHIN IT. OVER EXCAVATE AS NEEDED TO ALLOW FULL DEPTH OF THE BMP SECTION. BMP PLANTINGS IF APPLICABLE, CAN BE INSTALLED ONLY AFTER THIS HAS BEEN DONE AND THE MSD INSPECTOR PROVIDES APPROVAL TO PLACE THE PLANTINGS.

Exhibit #3
Lot A



Lot A Boundary Limits.
Edge of pavement @
Chesterfield Airport
Road.



SITE IMPROVEMENT PLAN FOR:
JAGUAR LAND ROVER CHESTERFIELD
1 JAGUAR LAND ROVER WAY
CITY OF CHESTERFIELD, MO 63005

PREPARED BY:
STUCK & ASSOCIATES
Consulting Engineers, Inc.
270 Chesterfield Business Parkway
Chesterfield, MO 63005
TEL: (636) 526-1000
FAX: (636) 526-1000
e-mail: general@stuck.com
www.stuck.com



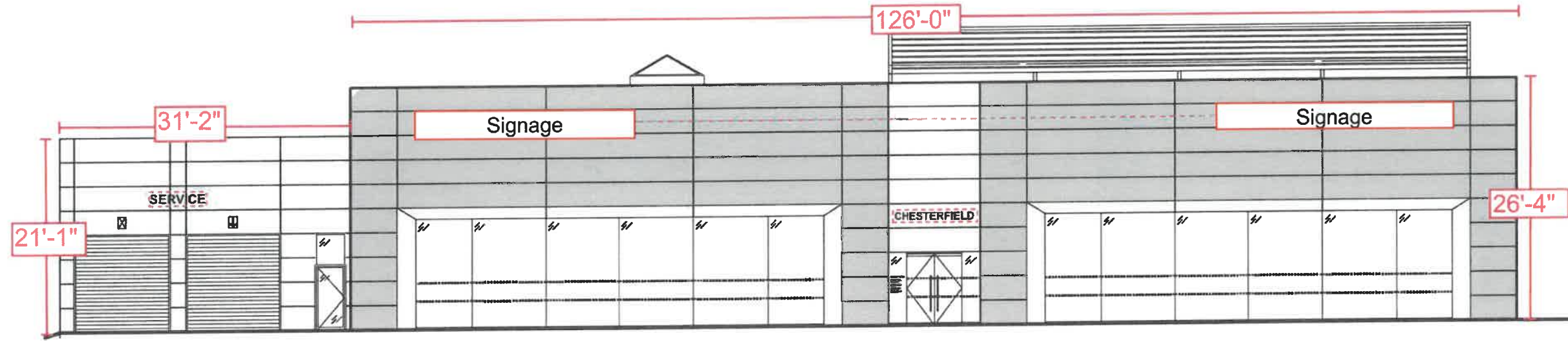
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 4. REVISED PER MSD COMMENTS 06/15/20
 5. 3RD SET 06/23/20
 6. MSD APPROVAL SET 08/25/20
 7. MSD APPROVAL SET 09/08/20

DATE	BY	DESCRIPTION
08/25/20	GEORGE AL. EDDICK	3RD SET
09/08/20	GEORGE AL. EDDICK	MSD APPROVAL SET

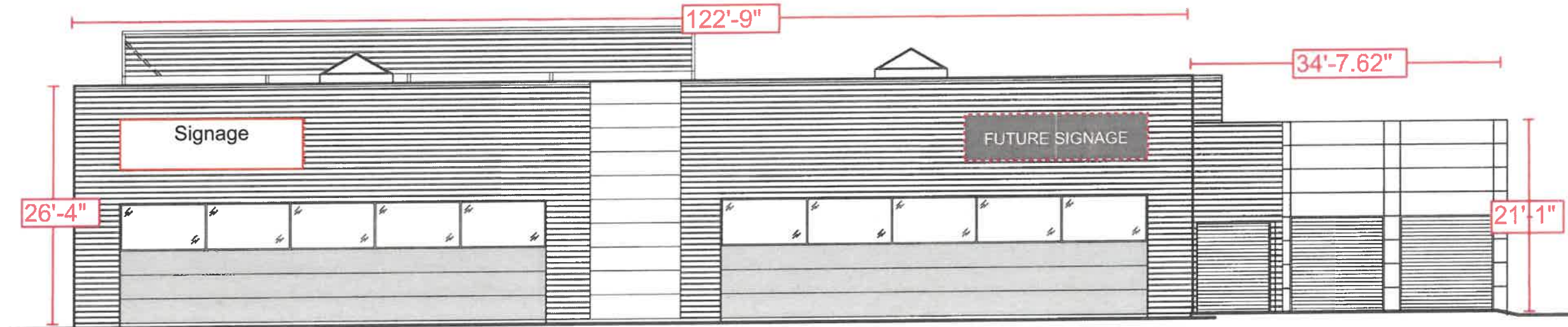
SHEET NO. C5.0

Exhibit #4

Multiple Signs Allowed On North & South Elevations Only.
No Single Elevation Can Exceed 5% or 200 Square Feet.



1 NORTH ELEVATION
A-5 1/8" = 1'-0"

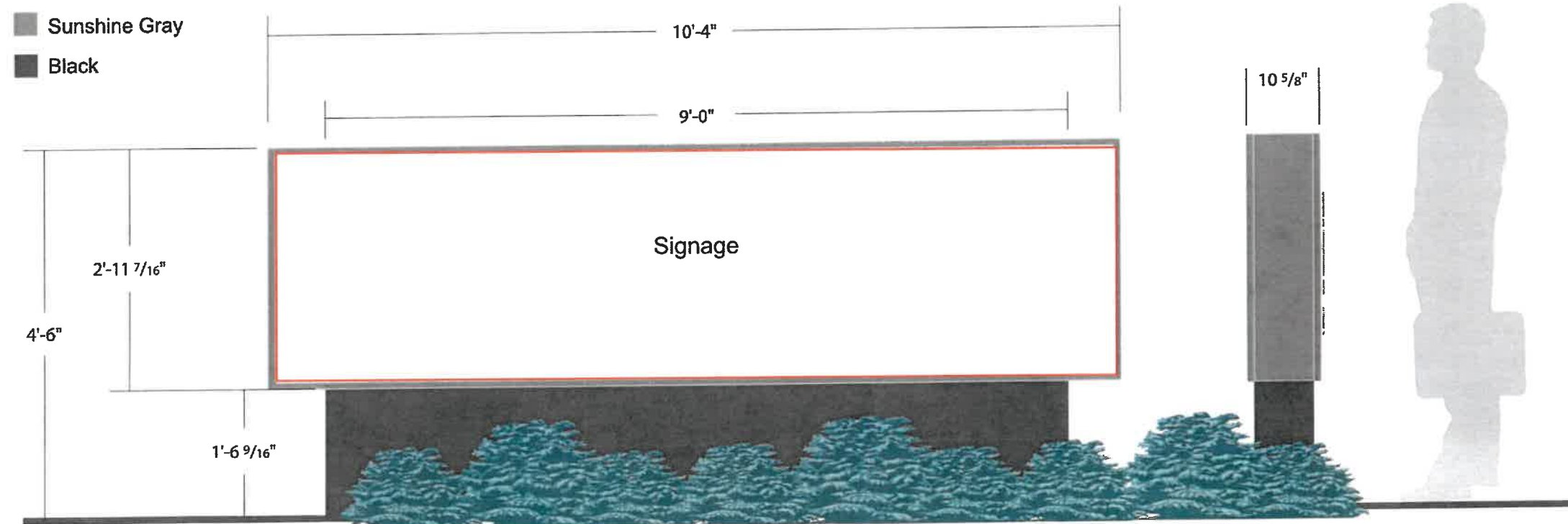


3 SOUTH ELEVATION
A-5 1/8" = 1'-0"

Exhibit #6

Freestanding Sign

Sign Size & Cabinet Colors To Be
Uniform Development Wide



Sign Cabinet Constructed of
Aluminum Painted To Match
"Sunshine Gray"

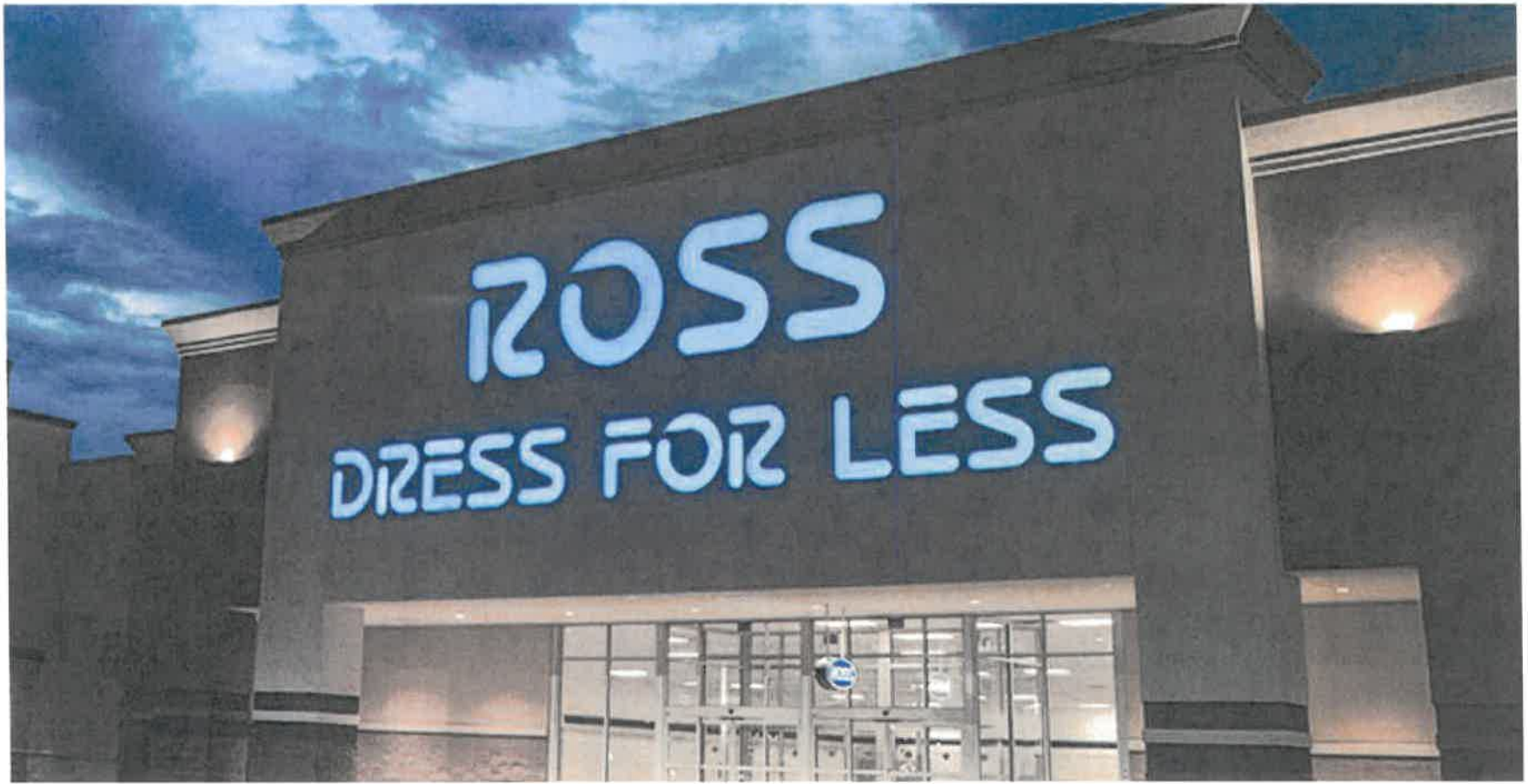
Aluminum Pole Cover
Painted "Black"

Sign Illuminated Using
Internal L.E.D.

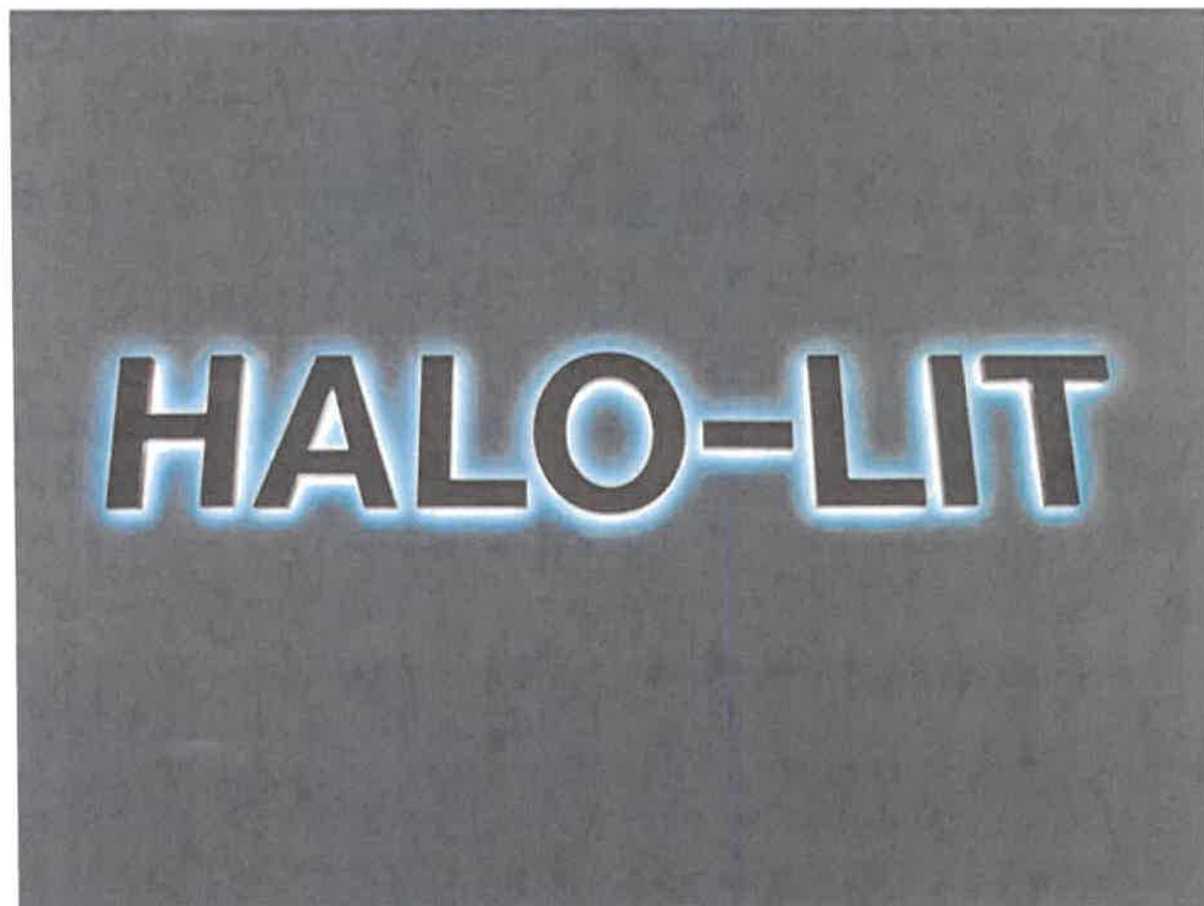
Sign To Be U.L. Listed

Exhibit #7

Face Lit Channel Letters



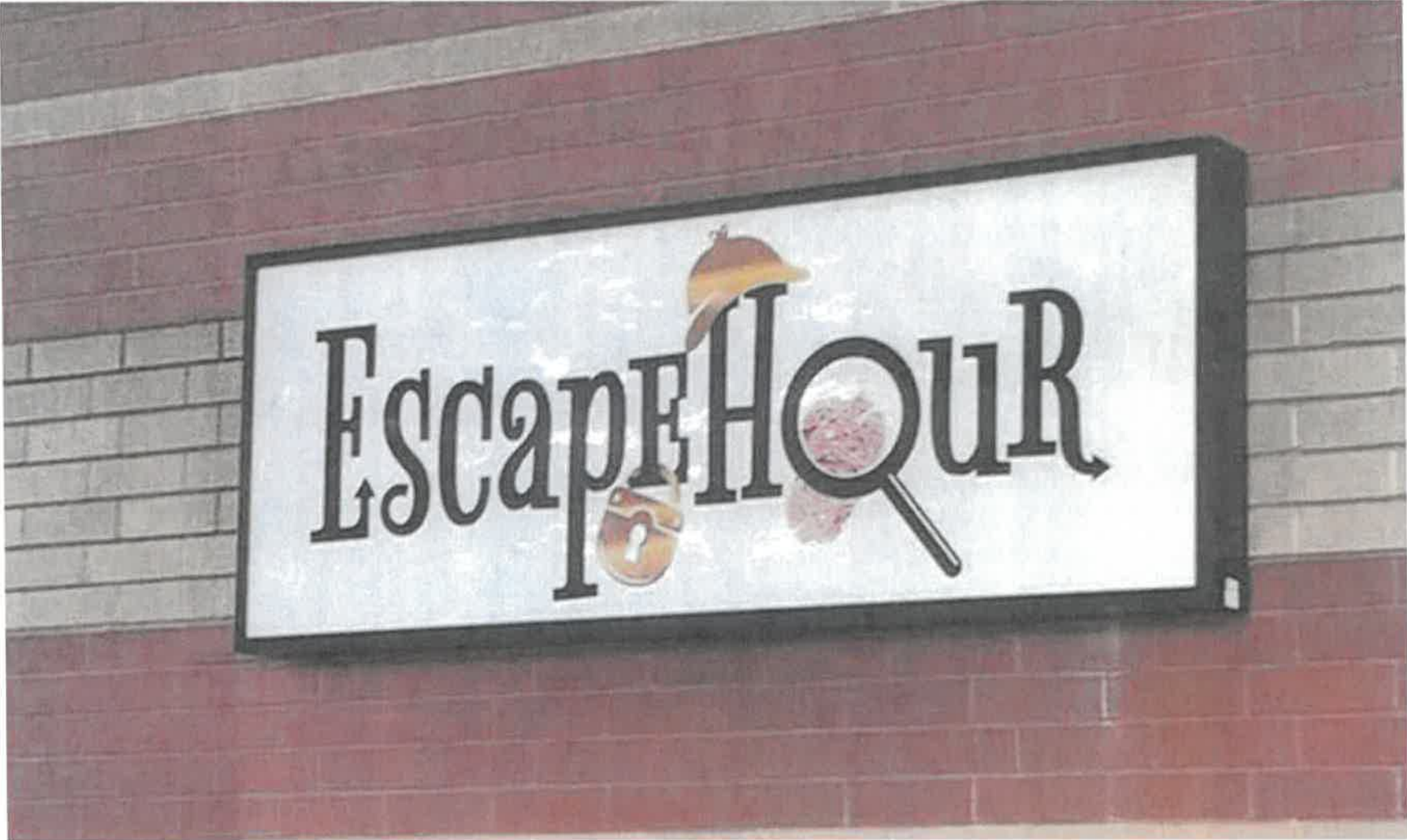
Halo Lit Channel Letters



Pin Mounted Letters
(Non Illuminated)



Face Lit Cabinet Sign



Halo Lit Cabinet Sign

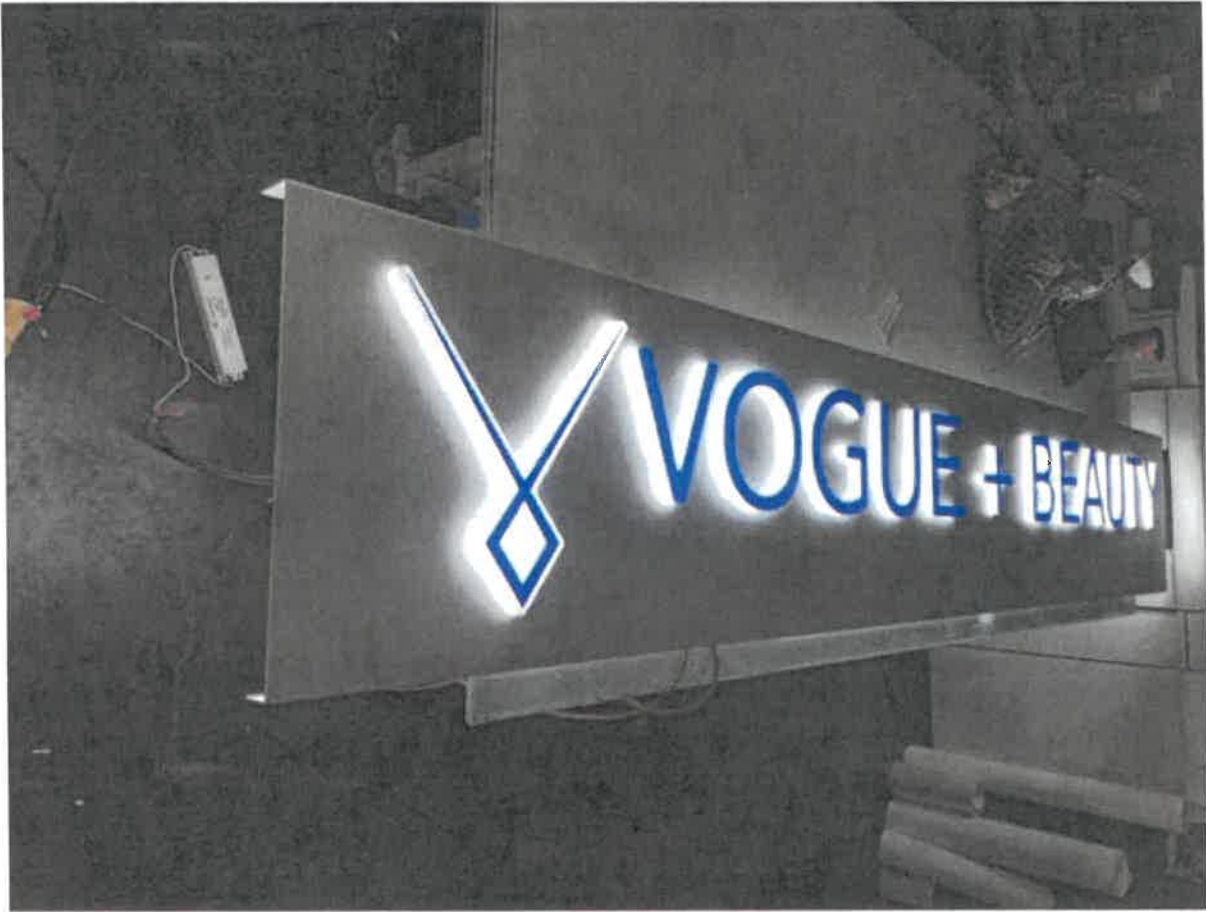
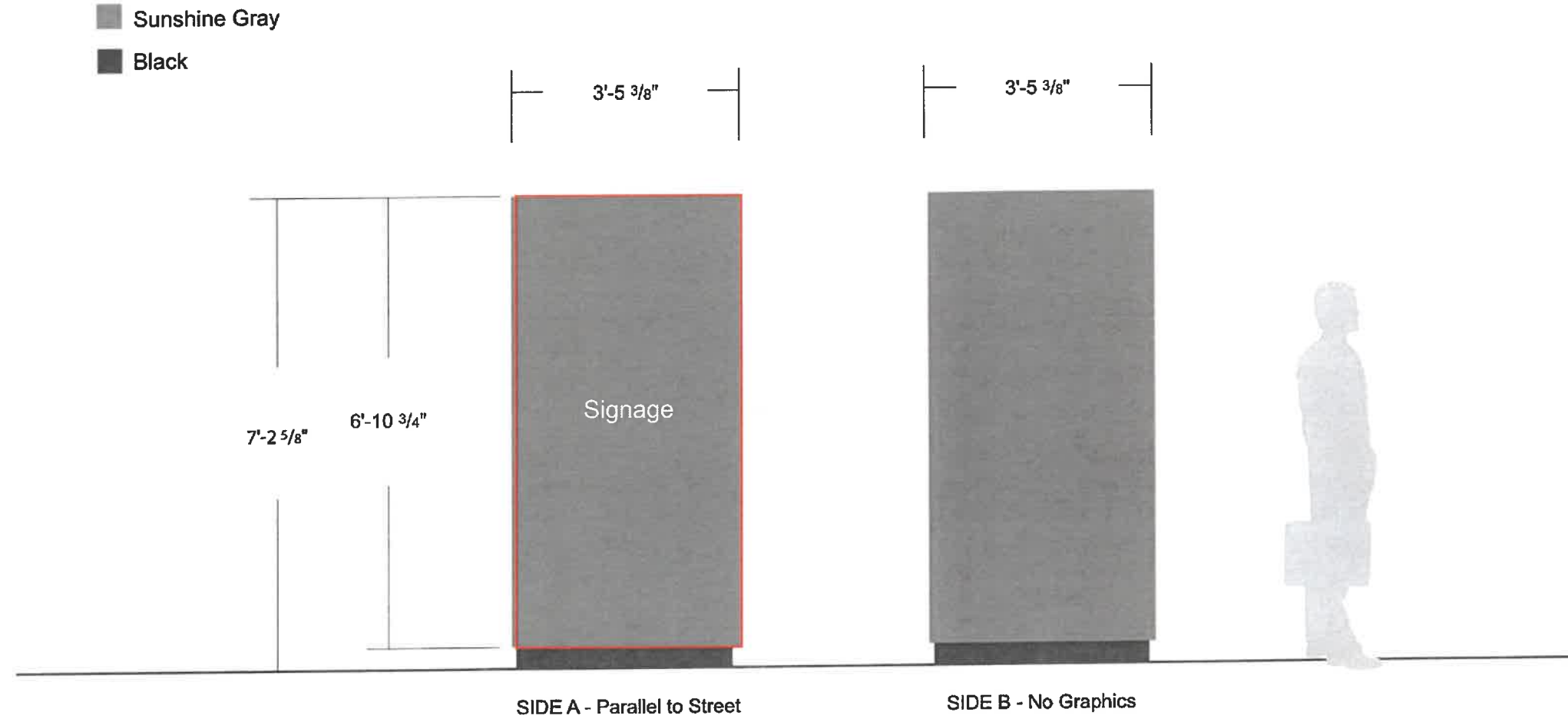


Exhibit #8

Lot A Interior Lot Freestanding Signs

Sign Sizes & Colors To Be As Noted

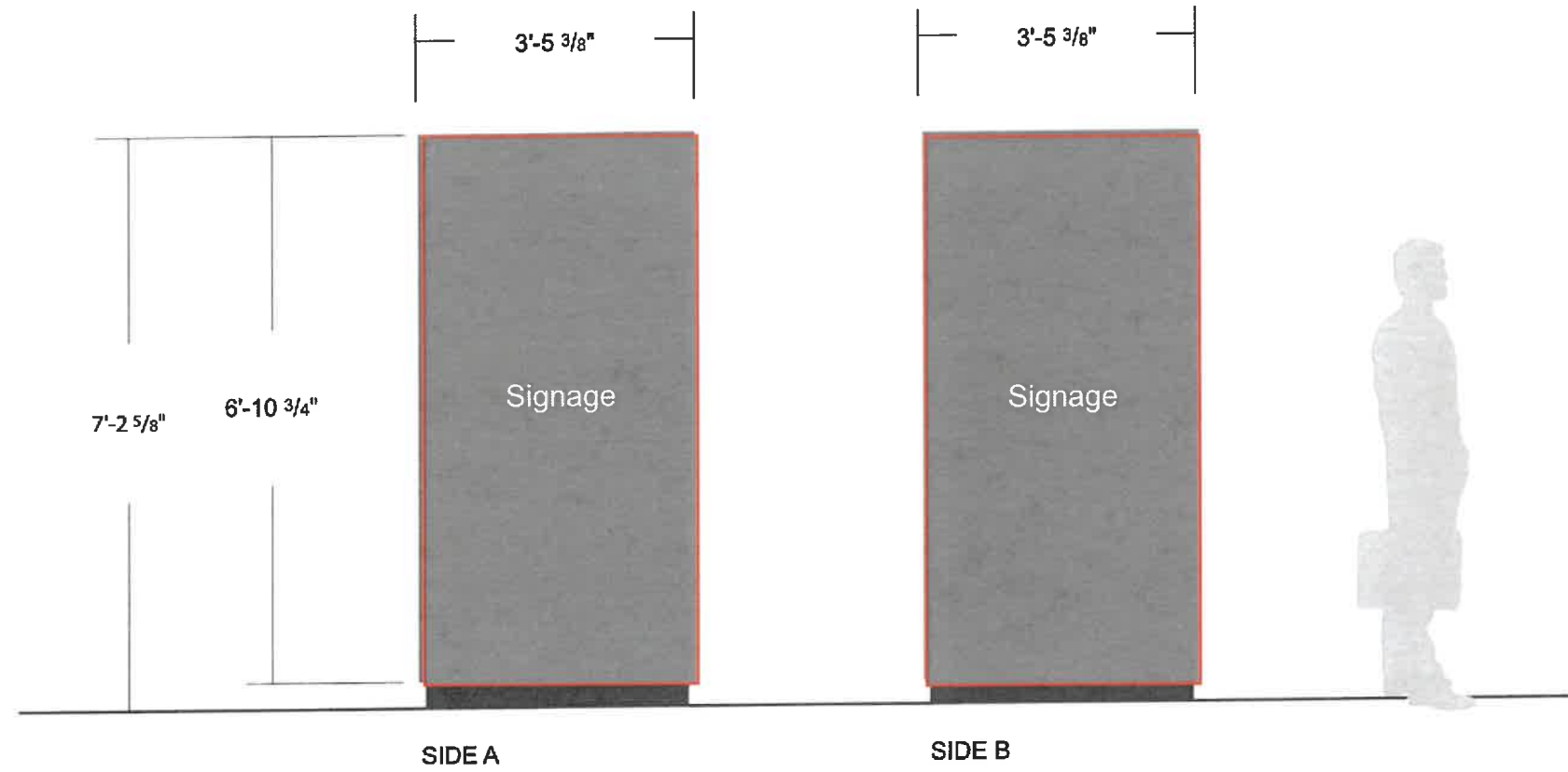


Sign Cabinet Constructed of Aluminum Painted To Match "Sunshine Gray"

Aluminum Pole Cover Painted "Black"

Sign Non-Illuminated.

- S/F Non-Illuminated
- 3mm Thick Aluminum Composite Panels
- Finished Sunshine Gray
- Silver Graphics



Sign Cabinet Constructed of Aluminum Painted To Match "Sunshine Gray"

Aluminum Pole Cover Painted "Black"

Sign Non-Illuminated.

- D/F Non- Illuminated
- 3mm Thick Aluminum Composite Panels
- Finished Sunshine Gray
- Silver Graphics (3M 3630-121 Silver)