

## Planning Commission Staff Report

**Meeting Date:** May 24, 2021

**From:** Mike Knight, Assistant City Planner *mk*

**Location:** East of the future Burkhardt Place extension, south of Wild Horse Creek Road, and west of Chesterfield Parkway West.

**Description:** **Wildhorse Village, (Lot 1) SDSP:** A Site Development Section Plan, Landscape Plan, and Lighting Plan for the 8.6 acre tract of land located east of the future Burkhardt Place extension, south of Wild Horse Creek Road, and west of Chesterfield Parkway West.

### PROPOSAL SUMMARY

Stock and Associates Consulting Engineers, Inc. has submitted a Site Development Section Plan (SDSP) for Planning Commission review. **This request depicts 72 attached single family homes on an 8.6 acre tract of land.** The subject site is Lot 1 of the development known as Wildhorse Village. The subject site is zoned "PC&R" Planned Commercial and Residence District and governed under the terms and conditions of City of Chesterfield Ordinance 3114. An Amended Site Development Concept Plan, Landscape Concept Plan, Signage Concept Plan, and Lighting Fixture Concept Plan were approved for Wildhorse Village in February of 2021 depicting a phased development of 17 lots. The Lot 1 SDSP proposed for Planning Commission review substantially conforms to Lot 1 of the Amended Site Development Concept Plan approved by City Council.



Figure 1: Aerial Image

**HISTORY OF SUBJECT SITE**

Below in Figure 2 is a table that provides a high level historical summary of significant events for the subject site. The events detail the year they occurred, whether they were plan or zoning related, followed by a brief description of the request and the resulting action.

Year	Month	Approval	Description	Action
2008	March	ORD 2449	Consolidation of six zoning districts into one PC&R district creating Downtown Chesterfield	Subsequent site plans were never submitted under zoning regulations of Ordinance 2449
2018	Feb	ORD 2990	Amendment removing 2.9 acres and adding 3.4 acres	Provided necessary legal description change to facilitate the development for the Aventura development to the north
	Nov	ORD 3023	Incorporated (0.4) acres into PC&R district and amended development criteria	Allowed for separate concept plans north of Wild Horse Creek Road (Category C) and south of Wild Horse Creek Road (Categories A&B).
2019	Feb	SDCP	Concept Plan for Category C	A Site Development Concept Plan, Landscape Concept Plan, Signage Concept Plan, and Lighting Fixture Concept Plan for the 22 acre phased development north of WHCR in which future individual lots may develop
		SDSP	Lot A of Category C	Allowed for development of a mixed-use building containing residential units, retail, and restaurant on Lot A.
2020	Feb	SDSP	Lot B of Category C	Allowed for development of a hotel and conference center on Lot B
	Aug	ORD 3114	Incorporated (0.6) acres into PC&R district and amended development criteria	Ordinance to facilitate the development known as Wildhorse Village
	October	SDCP	Concept Plan for Infrastructure only of Categories A & B	Allowed for grading to be reviewed and approved to facilitate roadways, storm sewers, and sanitary sewers
2021	Feb	ASDCP	Amended Concept Plan for Categories A&B	Allowed for a phased mixed use development south of WHCR in which 17 future individual lots may develop
	May	SDSP	Lot 6 Site Development Section Plan	A 35 single family home development in Wildhorse Village

Figure 2: Historical Summary

## **STAFF ANALYSIS**

The governing ordinance is unique in the fact that there are four specific concept plans to be submitted and approved. These plans include the Amended Site Development Concept Plan, Landscape Concept Plan, Signage Concept Plan, and Lighting Fixture Concept Plan for Categories A&B, now known as Wildhorse Village. The applicant is required to submit a Site Development Section Plan, Landscape Plan, and Lighting Plan that substantially conforms to the approved Concept Plans for each individual lot to develop.

The following analysis will be provided for each of the three required plans of Lot 1.

### **Site Development Section Plan**

The approved Amended Site Development Concept Plan (ASDCP) depicts the general lot configuration, potential roadways, parking areas and access location for Lot 1. Also included within the ASDCP was a density allocation table. This table provided the amount of commercial gross floor area and residential units for each lot including Lot 1.

### **Lot Configuration:**

The 8.6 acre Lot 1 configuration is identical to the approved ASDCP. Located on Lot 1 are 72 attached single family lots proposed ranging from 1,487 – 2,120 square feet in size. There is common ground independent to Lot 1 which includes landscaping and the internal roadway system. Before a building permit may be approved to construct a house on an individual lot, both an approved Record Plat for the entire Wildhorse Village development and an approved Record Plat individual to Lot 1 creating the 72 lots and Common Ground is required.

### **Roadway and Parking:**

The internal roadway system is a private roadway system that has two access points into the Lot 1 development. One access location is on Burkhardt Place (future public road) and one access location is on Wildhorse Lake Blvd (future private road). The access locations are in the same location as the approved ASDCP and meet all of the City's access management standards. The internal roadway system for Lot 1 is 26' wide with a 4' sidewalk throughout the site. The primary parking will be secured by individual garages. There will be an additional 47 off street parking spaces located along the internal roadway.

### **Retaining Walls:**

Due to the topography, there are 2 retaining walls proposed within the site. The first retaining wall is in the southwestern portion of the site. The wall varies in height and at the tallest section is 11.5'. The elevation of Wildhorse Lake Blvd near this wall is at 508' and the elevation of the nearby internal roadway is 520'. The second retaining wall is located along the northern edge of the site. The internal roadway near the wall is around 522' in elevation and directly north at Wild Horse Creek Road is 512' in elevation. The wall is a long segment which varies in height. The wall at its tallest is 7' in height. The image on the following page (Figure 3) depicts the approximate location of the retaining walls and the location of the elevations referenced above.



Figure3: Retaining walls and grade change

An ornamental fence is required by building code to be placed along the top of the retaining walls due to their size. The applicant has provided a detail of the black aluminum fence, along with an image of the retaining walls chosen for the development and are provided within the Planning Commission packet. This is the same fence and retaining wall as Lot 6, which was approved by the Planning Commission on May 10<sup>th</sup>, 2021.

**Density Allocation:**

The approved ASDCP allocated 72 residential units to Lot 1. The proposed Site Development Section Plan depicts 72 attached single family units, conforming to the density allocation table.

**Landscape Plan**

The approved Landscape Concept Plan depicted street trees for the external roadways of Wildhorse Village and the common ground plantings that exist primarily around the internal lake of Wildhorse Village. Each individual Site Development Section Plan is required to submit a Landscape Plan independent to each lot. Included in the Lot 1 Landscape Plan are internal street trees and common ground plantings.



**Street Trees:**

There are roughly 90 street trees along the internal roadway that meet the spacing requirement within the City’s Unified Development Code. These are privately owned and maintained street trees. Street trees within the development consist of species such as Red Maple, Yellowwood, Swamp White Oak, London Planetree, Thornless Honey Locust and Little-leaf Linden. The mature height of all these trees is 45+ feet.

**Common Ground Plantings:**

There are over 500 plantings within the entire site including the common ground areas. Lot 1 utilizes trees with a mixture of growth rates (25% slow, 28% medium, and 47% fast). There is also a mixture of species (60% deciduous canopy, 20% evergreen, and 20% deciduous understory).

**Lighting Plan**

The internal roadway has a series of street lights. The fixture proposed matches the fixture approved within the Lighting Fixture Concept Plan for the development. The height of street lights is 16’8” and the maximum light level is 2.2 foot candles which conforms to the lighting standards of the City’s Unified Development Code.

**MODIFICATION**

Section I.O of the governing ordinance states that upon application from a petitioner, any performance standard provided in the Attachment "A" or required by any other district regulation or Ordinance of the City may be supplemented, modified, or altered provided such supplement, modification, or alteration will further the purpose and intent of the PC&R District.

Section I.P.9 states that one piece of public art shall be provided and installed by the developer for each development. The applicant has provided a modification request which is attached to this report. The request states that the developer of Lot 1, Wildhorse Village, LP has developed a holistic approach for the Wildhorse Village public art. The commission and placement of art is centered around maximizing the public experience by placing the art around the lake versus within Lot 1. The artwork is located within the Lunchbreak Courtyard amenity on the northeast side of the lake.

**DEPARTMENTAL INPUT**

Staff has reviewed the submittal and has found the application to be in conformance with the City of Chesterfield Unified Development Code and Ordinance 3114. Staff recommends approval of the Site Development Section Plan for Lot 1 of Wildhorse Village.

**MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Site Development Section Plan, Landscape Plan, and Lighting Plan for Lot 1 of the Wildhorse Village development.”

- 2) "I move to approve the Site Development Section Plan, Landscape Plan, and Lighting Plan for Lot 1 of the Wildhorse Village development with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Attachments:    Modification Request  
                      Site Development Section Plan  
                      Landscape Plan  
                      Lighting Plan

Joseph 'Mike' Knight  
Assistant Senior Planner  
City of Chesterfield

April 19, 2021

Re: Downtown Chesterfield, Categories A & B Lots 1 & 6 (SDSP) – Ord.3114  
The Townes at Wildhorse Village – Lot 1

Dear Mr. Knight,

Lamar Johnson Collaborative and Stock & Associates Consulting Engineers, Inc. have been engaged to prepare and process the Site Development Section Plan Package for proposed Lot 1 of Wildhorse Village Development within Category B of Downtown Chesterfield. Included in that engagement is the preparation and submission of this modification request to City of Chesterfield Ordinance No. 3114 Attachment A Section I.P.9. Under this governing ordinance, specifically **Section I.O. supplementation, modification, or alteration of a category standard**, we are permitted to modify the ordinance. **Section I.P.9.** reads as follows “*One (1) piece of public art work shall be provided and installed by the developer of each development*”.

The developer of Lot 1, Wildhorse Village, LP care of CRG, has developed a holistic approach for the Wildhorse Village Public Art. The commission and placement of art is centered around maximizing the public experience and value. This is achieved by placing the art around the lake verses within Lot 1. The developer has commissioned a monumental sculpture titled ‘Rising Horizons’ by world-renowned sculptor Rafael Barrios. His 3D geometric works, as if suspended in space, become 3D by an ingenious optical effect. His artworks can be found in permanent collections in the Ontario Art Gallery and the Carmen Lammana Foundation in Toronto, Canada; also in the National Art Gallery in Caracas; the Sofia Imber's Caracas Museum of Contemporary Art; as well as in the private collections of HRH Don Juan Carlos de Borbón, King of Spain (Levitating Simetry); and the collection of HRH Gloria, Princess of Germany.

‘Rising Horizons’ will be centrally along the water’s edge within the Lunchbreak Courtyard between Lot 2C and 3C. This position maximizes the art’s presence within the Public Realm and provides an opportunity for Lot 1 residents to view it as they enter the Lakefront trail at Trailhead Rest Station. The art piece will be integrated into the surrounding landscape and provide a memorable focal point for the entire development.

As always, we greatly appreciate your assistance and respectfully request your considering in the above mentioned modification request.

Sincerely,

A handwritten signature in blue ink that reads "J. A. K." with a horizontal line extending from the end of the "K".

J. Andrew Kilmer  
Principal



# THE TOWNES AT WILDHORSE VILLAGE

## PROPOSED LOT 1

### SITE DEVELOPMENT SECTION PLAN

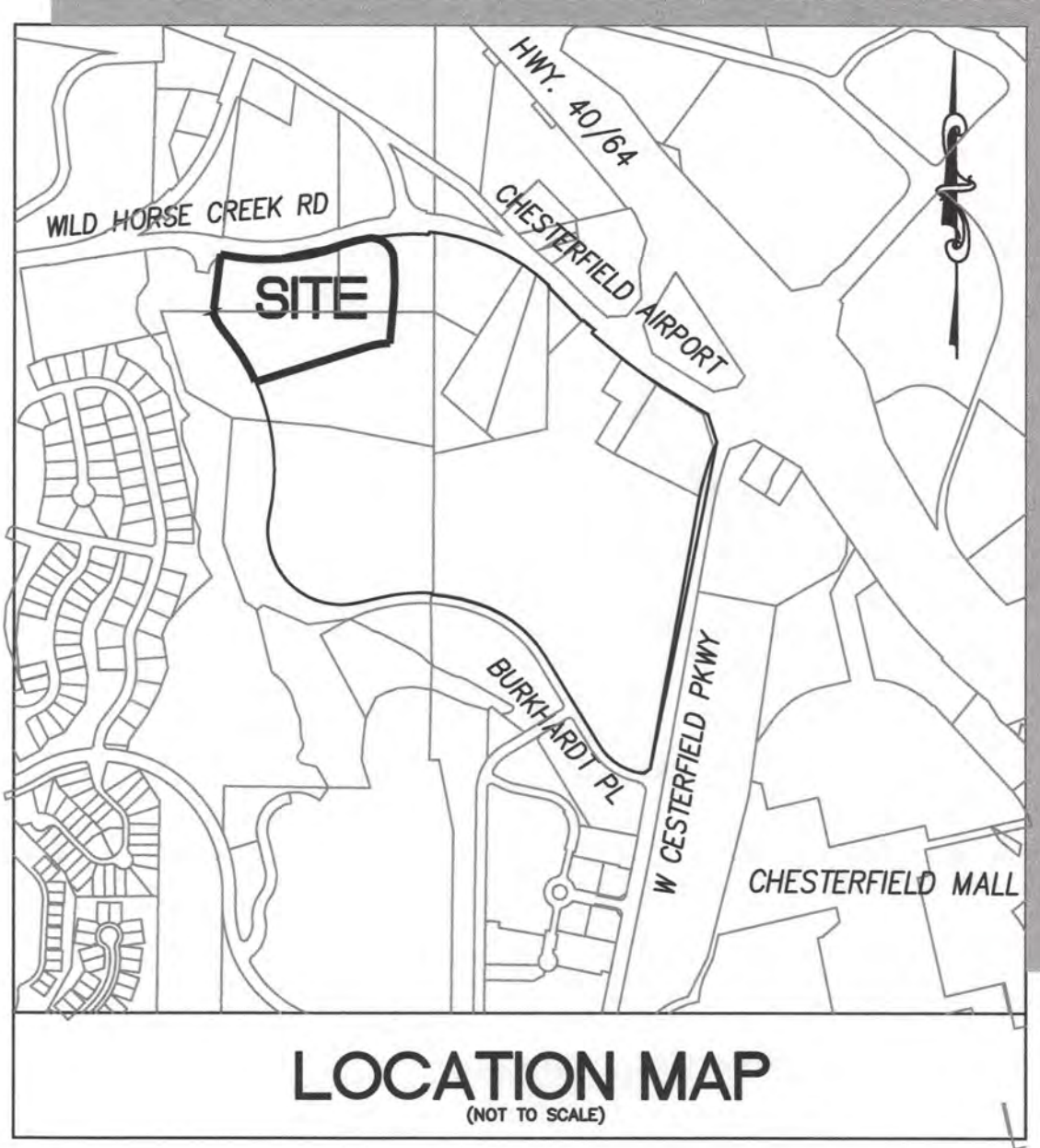
A TRACT OF LAND BEING LOCATED IN U.S. SURVEYS 415 AND 2031 IN TOWNSHIP 45 NORTH RANGE 4 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

#### ABBREVIATIONS

- ATG - ADJUST TO GRADE
- B.C. - BACK OF CURB
- C.H. - CEMENT HOUSING
- D.B. - DEED BOOK
- E. - ELECTRIC
- ELEV. - ELEVATION
- EX. - EXISTING
- F.C. - FACE OF CURB
- FL. - FLOWLINE
- FT. - FEET
- FND. - FOUND
- G. - GAS
- H.W. - HIGH WATER
- LFB. - LOW FLOW BLOCKED
- M.H. - MANHOLE
- N.O.F. - NOW OR FORMERLY
- P.B. - PLAT BOOK
- PG. - PAGE
- PR. - PROPOSED
- P.V.C. - POLYVINYL CHLORIDE PIPE
- R.C.P. - REINFORCED CONCRETE PIPE
- R/W. - RIGHT-OF-WAY
- SQ. - SQUARE
- T. - TELEPHONE CABLE
- T.B.A. - TO BE ABANDONED
- T.B.R. - TO BE REMOVED
- T.B.R.R. - TO BE REMOVED AND REPLACED
- TYP. - TYPICALLY
- U.I.P. - USE IN PLACE
- U.G.N. - UNLESS OTHERWISE NOTED
- V.C.P. - VITRIFIED CLAY PIPE
- W. - WATER
- (86°W) - RIGHT-OF-WAY WIDTH

#### LEGEND

- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING TREE
- EXISTING BUILDING
- EXISTING CONTOUR
- SPOT ELEVATION
- EXISTING UTILITIES
- FOUND 1/2" IRON PIPE
- SET IRON PIPE
- FOUND CROSSES
- FOUND STONE
- FIRE HYDRANT
- LIGHT STANDARD
- BUSH
- SIGN
- NOTES PARKING SPACES
- GUY WIRE
- POWER POLE
- WATER VALVE
- DEMOTES RECORD INFORMATION
- ACCESSIBLE PARKING
- PROPOSED CONTOUR
- PROPOSED SPOT
- PROPOSED STORM
- PROPOSED SANITARY



#### PERTINENT DATA

OWNER: WILDHORSE VILLAGE, LP A MISSOURI LIMITED PARTNERSHIP  
OVERALL AREA: 8.630 Acres ±  
EXISTING ZONING: PC & R PER ORDINANCE #3114  
LOCATOR NO: 187630195  
WUNNERBERG'S: PG. 21, GRID 18FF & 19EE  
FIRE DISTRICT: MONARCH FIRE PROTECTION DISTRICT  
SCHOOL DISTRICT: PARKWAY  
SEWER DISTRICT: METROPOLITAN ST. LOUIS SEWER DIST.  
WATER SHED: MISSOURI RIVER  
FEMA MAP: 25189C0165K, FEB 4, 2015  
ELECTRIC COMPANY: AMEREN UE - RIC BEHNEN & LES NOLAN (314) 713-4904 / RBEHNEN@AMEREN.COM (314) 992-8903 / LNOLAN@AMEREN.COM  
GAS COMPANY: SPIRE INC - RAMONA STEVENS & BRIAN LANGENBACHER (314) 575-4843 / RAMONA.STEVENS@SPIREENERGY.COM (314) 713-6572 / BRIAN.LANGENBACHER@SPIREENERGY.COM  
PHONE COMPANY: AT&T - KATHY SMITH (636) 949-1312 / K93340@ATT.COM  
WATER COMPANY: MISSOURI AMERICAN WATER COMPANY - MATT JASPERING (314) 606-2815 / MATT.JASPERING@AMWATER.COM  
USACE PERMIT: MVS-2020-554

SITE DEVELOPMENT CONCEPT PLAN RECORDED ON 10/16/2020, P.B. 368 PGS. 450-462.  
AMENDED SITE DEVELOPMENT CONCEPT PLAN RECORDED ON 3/1/2021, P.B. 369 PGS. 61-73

#### PROPERTY DESCRIPTION

A TRACT OF LAND BEING LOCATED IN U.S. SURVEYS 415 AND 2031 IN TOWNSHIP 45 NORTH, RANGE 4 EAST, OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF U.S. SURVEY 2031 AND THE EAST RIGHT OF WAY LINE OF BURKHARDT PLACE, VARIABLE WIDTH, AS RECORDED IN DEED BOOK 23588 PAGE 3666 OF THE ST. LOUIS COUNTY RECORDS, BEING ON A CURVE TO THE RIGHT HAVING A RADIUS OF 345.00 FEET; THENCE ALONG SAID EAST RIGHT OF WAY LINE, WITH SAID CURVE AN ARC DISTANCE OF 180.86 FEET, AND A CHORD WHICH BEARS NORTH 06 DEGREES 08 MINUTES 29 SECONDS WEST, 178.79 FEET TO THE SOUTH RIGHT OF WAY LINE OF WILD HORSE CREEK ROAD, VARIABLE WIDTH; THENCE NORTH 07 DEGREES 22 MINUTES 28 SECONDS EAST, 9.88 FEET TO A CURVE TO THE RIGHT HAVING A RADIUS OF 84.61 FEET; AND ALONG SAID CURVE AN ARC DISTANCE OF 89.68 FEET, AND A CHORD WHICH BEARS NORTH 38 DEGREES 52 MINUTES 37 SECONDS EAST, 85.54 FEET ALONG SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 67 DEGREES 50 MINUTES 19 SECONDS EAST, 2.34 FEET TO A CURVE TO THE RIGHT HAVING A RADIUS OF 95.00 FEET; AND ALONG SAID CURVE AN ARC DISTANCE OF 24.21 FEET AND A CHORD WHICH BEARS NORTH 75 DEGREES 09 MINUTES 22 SECONDS EAST, 24.14 FEET; TO THE ABOVE SAID SOUTH RIGHT OF WAY LINE, BEING ON A POINT OF CURVE TO THE LEFT HAVING A RADIUS OF 986.00 FEET; THENCE ALONG SAID SOUTH RIGHT OF WAY LINE, WITH SAID CURVE AN ARC DISTANCE OF 493.99 FEET AND A CHORD WHICH BEARS NORTH 86 DEGREES 48 MINUTES 46 SECONDS EAST, 488.94 FEET; THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, NORTH 78 DEGREES 50 MINUTES 50 SECONDS EAST, 52.73 FEET, TO A CURVE TO THE RIGHT HAVING A RADIUS OF 907.00 FEET; AND ALONG SAID CURVE AN ARC DISTANCE OF 93.30 FEET AND A CHORD WHICH BEARS NORTH 71 DEGREES 21 MINUTES 25 SECONDS EAST, 93.28 FEET; TO THE ABOVE SAID SOUTH RIGHT OF WAY LINE, BEING ON A CURVE TO THE RIGHT HAVING A RADIUS OF 907.00 FEET; THENCE ALONG SAID SOUTH RIGHT OF WAY LINE, WITH SAID CURVE AN ARC DISTANCE OF 80.72 FEET, TO A CURVE TO THE RIGHT HAVING A RADIUS OF 80.00 FEET; THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, THE FOLLOWING COURSES AND DISTANCE: ALONG SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 97.12 FEET AND A CHORD WHICH BEARS SOUTH 89 MINUTES 57 SECONDS EAST, 91.27 FEET TO A COMPOUND CURVATURE TO THE RIGHT HAVING A RADIUS OF 113.00 FEET; ALONG SAID CURVE AN ARC LENGTH OF 34.20 FEET AND A CHORD WHICH BEARS SOUTH 18 DEGREES 32 MINUTES 55 SECONDS EAST, 34.07 FEET; SOUTH 09 DEGREES 52 MINUTES 41 SECONDS EAST, 20.50 FEET; SOUTH 02 DEGREES 47 MINUTES 57 SECONDS EAST, 73.24 FEET TO A CURVE TO THE RIGHT HAVING A RADIUS OF 473.50 FEET; ALONG SAID CURVE AN ARC DISTANCE OF 61.12 FEET AND A CHORD WHICH BEARS SOUTH 09 DEGREES 55 SECONDS WEST, 61.07 FEET; SOUTH 04 DEGREES 35 MINUTES 47 SECONDS WEST, 177.33 FEET TO A CURVE TO THE LEFT HAVING A RADIUS OF 281.00 FEET; ALONG SAID CURVE AN ARC DISTANCE OF 85.90 FEET AND A CHORD WHICH BEARS SOUTH 80 DEGREES 25 MINUTES 38 SECONDS WEST, 85.57 FEET; THENCE SOUTH 71 DEGREES 40 MINUTES 10 SECONDS WEST, 512.81 FEET TO A CURVE TO THE LEFT HAVING A RADIUS OF 531.00 FEET; ALONG SAID CURVE AN ARC DISTANCE OF 67.23 FEET AND A CHORD WHICH BEARS SOUTH 86 DEGREES 03 MINUTES 33 SECONDS WEST, 67.18 FEET; AND SOUTH 84 DEGREES 24 MINUTES 55 SECONDS WEST, 43.79 FEET, TO THE EAST RIGHT OF WAY LINE OF SAID BURKHARDT PLACE, BEING ON A CURVE TO THE LEFT HAVING A RADIUS OF 985.00 FEET; THENCE ALONG SAID EAST RIGHT OF WAY LINE, WITH SAID CURVE AN ARC DISTANCE OF 218.39 FEET AND A CHORD WHICH BEARS NORTH 33 DEGREES 44 MINUTES 24 SECONDS WEST, 217.95 FEET TO A CURVE TO THE RIGHT HAVING A RADIUS OF 345.00 FEET; AND ALONG SAID CURVE AN ARC DISTANCE OF 114.10 FEET AND A CHORD WHICH BEARS NORTH 30 DEGREES 36 MINUTES 03 SECONDS WEST, 113.58 FEET TO THE POINT OF BEGINNING, CONTAINING 375,830 SQUARE FEET OR 8.630 ACRES, MORE OR LESS. ACCORDING TO CALCULATIONS PERFORMED BY STOCK AND ASSOCIATES IN FEBRUARY 2021.

This Site Development Section Plan was approved by the City of Chesterfield Planning Commission and duly verified on the day of \_\_\_\_\_, 2021, by the Chairperson of said Commission, authorizing the recording of this Site Development Section Plan pursuant to the recording of this Site Development Section Plan as required by the City of Chesterfield Ordinance 200, as amended, and as attested to by the Director of Planning and Development Services and the City Clerk.

Wildhorse Village, LP, a Missouri Limited Partnership, the owner of the property shown on this plan for and in consideration of being granted a permit to develop property under the provisions of Chapter \_\_\_\_\_ (Ordinance 200) of the City of Chesterfield.

By: Justin Wynn, ACP  
Director of Planning  
City of Chesterfield, Missouri

By: Vickie McDonald, City Clerk  
City of Chesterfield, Missouri

On this day of \_\_\_\_\_, 2021, before me personally appeared \_\_\_\_\_, who being by me duly sworn, did say he is the \_\_\_\_\_ of \_\_\_\_\_, and that said \_\_\_\_\_ is duly qualified to execute this instrument to be the free act and deed of said limited liability company.

In WITNESS WHEREOF, I have signed and sealed the foregoing day and year first above written.

Notary Public

PREPARED FOR:  
WILDHORSE VILLAGE, LP  
A MISSOURI LIMITED PARTNERSHIP  
CARE OF CRO  
2199 INNERbelt BUSINESS CENTER DR.  
ST. LOUIS, MO 63114  
PHONE 314-429-5100  
ATTN: JEFF TEICHMANN - 314.492.2572  
OPERATING PARTNER

My commission expires: \_\_\_\_\_  
Print Name: \_\_\_\_\_

#### ST. LOUIS COUNTY STANDARD NOTES

- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
- NO SLOPES WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3% (HORIZONTAL) TO 1% (VERTICAL).
- STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS SHALL MEET MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.
- ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY STANDARDS.
- ALL HYDRANTS, POWER POLES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY ROAD RIGHT-OF-WAY SHALL HAVE A MINIMUM TWO (2) FOOT SETBACK FROM FACE OF CURB OR EDGE OF PAVEMENT, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
- UTILITY WORK WITHIN COUNTY RIGHT-OF-WAY OR EASEMENT REQUIRES A SEPARATE SPECIAL USE PERMIT.
- ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE ST. LOUIS COUNTY AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
- PRIOR TO SPECIAL USE PERMIT ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MAY BE REQUIRED TO BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.
- COORDINATE WITH COUNTY AR-1817 PRIOR TO THE START OF ANY WORK ON WILD HORSE CREEK ROAD.
- THE PROJECT'S REQUIRED TRAFFIC GENERATION ASSESSMENT SHALL BE DEPOSITED WITH ST. LOUIS COUNTY PRIOR TO ISSUANCE OF SPECIAL USE PERMITS BY THE ST. LOUIS COUNTY DEPARTMENT OF TRANSPORTATION, OR PRIOR TO THE ISSUANCE OF BUILDING PERMITS BY THE ST. LOUIS COUNTY DEPARTMENT OF PUBLIC WORKS IN THE CASE WHERE NO SPECIAL USE PERMIT IS REQUIRED.

#### GENERAL NOTES

- BOUNDARY AND TOPOGRAPHICAL SURVEY BY STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC.
- ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE ST. LOUIS COUNTY, M&D AND CITY OF CHESTERFIELD STANDARDS.
- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. SHOULD ANY CONFLICTS BE EVIDENT, THE CONTRACTOR SHALL NOTIFY THE OFFICE OF THE ENGINEER IMMEDIATELY.
- ON-SITE STORM WATER DRAINAGE REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION 31-04-12, STORMWATER STANDARDS, IN THE UNIFIED DEVELOPMENT CODE.
- OFF-SITE GRADING EASEMENTS, IF REQUIRED, SHALL BE EXECUTED AND RECORDED PRIOR TO THE COMMENCEMENT OF ANY OFF-SITE GRADING.
- CROSS-ACCESS EASEMENTS WHERE REQUIRED, SHALL BE EXECUTED AND RECORDED AS INDIVIDUAL LOTS ARE DEVELOPED.
- ALL PROPOSED IMPROVEMENTS WITHIN THE ST. LOUIS COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
- TREE PRESERVATION AND LANDSCAPING SHALL BE IN ACCORDANCE WITH SECTION 31-04-02, TREE PRESERVATION AND LANDSCAPING REQUIREMENTS, IN THE UNIFIED DEVELOPMENT CODE.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY AND THE CITY OF CHESTERFIELD STANDARDS.
- SIGN APPROVAL IS A SEPARATE PROCESS.
- NO GRADE SHALL EXCEED 3 TO 1.
- STORM WATER SHALL BE DISCHARGED AS DIRECTED BY THE CITY OF CHESTERFIELD. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- INSTALLATION OF LANDSCAPING AND ORNAMENTAL ENTRANCE MONUMENT OR IDENTIFICATION SIGNAGE CONSTRUCTION SHALL BE REVIEWED BY THE CITY OF CHESTERFIELD AND ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC FOR SIGN DISTANCE CONSIDERATION AND APPROVED PRIOR TO INSTALLATION OR CONSTRUCTION.
- THE DEVELOPER IS ADVISED THAT UTILITY COMPANIES WILL REQUIRE COMPENSATION FOR RELOCATION OF THEIR FACILITIES WITHIN PUBLIC RIGHT-OF-WAY. UTILITY RELOCATION COST SHALL NOT BE CONSIDERED AS AN ALLOWABLE CREDIT AGAINST THE PETITIONER'S TRAFFIC GENERATION ASSESSMENT CONTRIBUTIONS. THE DEVELOPER SHOULD ALSO BE AWARE OF EXTENSIVE DELAYS IN UTILITY COMPANY RELOCATION AND ADJUSTMENTS. SUCH DELAYS WILL NOT CONSTITUTE A CAUSE TO ALLOW OCCUPANCY PRIOR TO COMPLETION OF ROAD IMPROVEMENTS.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- SITE DEVELOPMENT SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS AS OUTLINED IN THE "REVISED PRELIMINARY GEOTECHNICAL EXPLORATION" PREPARED BY MIDWEST TESTING (MT JOB NO. 14938), DATED APRIL 7, 2020.
- ALL ABOVE GROUND UTILITY FACILITIES TALLER THAN TWO (2) FEET IN HEIGHT OR COVERING IN EXCESS OF FOUR (4) SQUARE FEET IN SIZE SHALL BE SCREENED FROM PUBLIC VIEW. IF SCREENING IS COMPLETED BY LANDSCAPE MATERIAL, A LANDSCAPE PLAN IDENTIFYING THE SIZE, LOCATION AND SPECIES SHALL BE SUBMITTED AND APPROVED BY THE CITY PRIOR TO INSTALLATION OF ANY FACILITY.

#### BUILDING PLACEMENT

PER STREETScape EXHIBIT 1 OF ORD. 3114  
NORTH (WILDHORSE CREEK ROAD): 15' LANDSCAPE BUFFER AND 0'-30' BUILT TO LINE  
EAST (CONNECTOR STREET): 10' SIDEWALK & 0'-200' BUILT TO LINE  
SOUTH (WILDHORSE LAKE BLVD.): 10' SIDEWALK & 0'-15' BUILT TO LINE  
WEST (BURKHARDT PLACE): 15' LANDSCAPE BUFFER & NO BUILT TO LINE FOR RESIDENTIAL  
SPACE BETWEEN BUILDINGS ATTACHED OR 6'-20' IF DETACHED  
NOTE: STRUCTURES MAY BE CONSTRUCTED UP TO THE LOT LINES

#### BUILDING VOLUME

PER ORD. 3114  
MAXIMUM HEIGHT: 3 STORIES  
PR. TOWNHOMES MAX HEIGHT OF 42'0"

#### PARKING

PER CITY OF CHESTERFIELD UDC SEC.405.04.040(D)(1) RESIDENTIAL USES - DWELLING, SINGLE FAMILY ATTACHED & DETACHED  
MINIMUM REQUIRED: 2 SPACES FOR EVERY DWELLING - (72 DWELLINGS)X(2 SPACES/DWELLINGS) = 144 SPACES  
MAXIMUM REQUIRED: NONE  
PROVIDED: [72 DWELLINGS X (2 SPACES/PARKING + 2 SPACES/DRIVEWAY)] + 47 OFF-STREET = 335 SPACES  
PROVIDED PARKING DIMENSIONS: 90' GARAGE X 19', PARALLEL PARKING 9'X22'



#### LOT TABLE

Lot #	Lot Size (S.F.)	Lot #	Lot Size (S.F.)
1	1,782	37	1,837
2	1,423	38	1,488
3	2,026	39	2,053
4	2,026	40	2,053
5	1,423	41	1,488
6	1,782	42	1,862
7	1,782	43	1,862
8	1,423	44	1,488
9	2,026	45	2,115
10	2,026	46	2,120
11	1,423	47	1,488
12	2,026	48	1,862
13	2,026	49	1,835
14	1,423	50	1,487
15	1,782	51	2,053
16	1,716	52	2,053
17	1,394	53	1,488
18	1,742	54	2,053
19	1,689	55	2,053
20	1,349	56	1,488
21	1,689	57	1,862
22	1,862	58	1,851
23	1,488	59	1,488
24	2,117	60	2,053
25	2,117	61	2,053
26	1,488	62	1,488
27	2,117	63	2,059
28	2,117	64	2,102
29	1,488	65	1,488
30	1,862	66	2,076
31	1,862	67	2,075
32	1,488	68	1,488
33	2,067	69	2,053
34	2,067	70	2,053
35	1,488	71	1,488
36	1,862	72	1,862

#### GEOTECHNICAL ENGINEER'S STATEMENT

Midwest Testing, at the request of Wildhorse Village LP, has provided geotechnical services for the project proposed herein. Geotechnical explorations were conducted for the grading infrastructure, and slopes of the development. Our findings indicate that the earth-related aspects are suitable for the grading and infrastructure construction proposed herein pursuant to the recommendations set forth in our April 7, 2020 report titled "Revised Preliminary Geotechnical Exploration" (MT Job No. 14938) - Pearl/RGA - Downtown Chesterfield - Chesterfield, Missouri." A cursory assessment of the existing dam followed, as set forth in our December 31, 2020 report titled "Assessment of Dam Conditions" (MT Job No. 14938) - Wildhorse Village - Chesterfield, Missouri."

Richard D. Laughlin, P.E.  
PE-20132



March 26, 2021  
Date

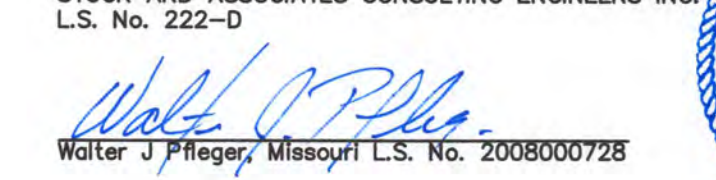
#### UTILITY NOTES

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION AND, THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES. OTHER SHOWN ON THIS PLAN OR NOT SHOWN ON THESE PLANS SHOULD BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROFESSIONS SHALL IN NO WAY ABANDON ANY PARTY FROM CONSULTING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 318 RSMo.

#### SURVEYOR'S CERTIFICATION

This is to certify that Stock and Associates Consulting Engineers, Inc. has prepared this Site Development Section Plan from a field survey and does not represent a property boundary survey. The information shown is a correct representation of all existing and proposed divisions.

STOCK AND ASSOCIATES CONSULTING ENGINEERS INC.  
L.S. No. 222-D



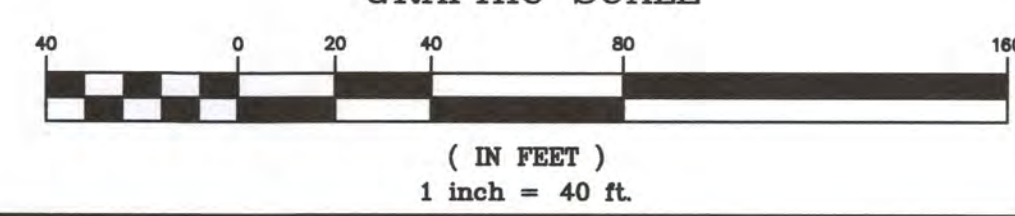
#### CONTRACTOR'S INSURANCE REQUIREMENTS

PRIOR TO OBTAINING A CONSTRUCTION PERMIT FROM THE METROPOLITAN ST. LOUIS SEWER DISTRICT, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE THE DISTRICT WITH A COPY OF THE CONTRACTOR'S POLICY OF INSURANCE INDICATING THAT THE POLICY HAS BEEN OBTAINED AND WILL CONTINUE TO CARRY COMMERCIAL GENERAL LIABILITY AND CONTRACTORS PROFESSIONAL LIABILITY INSURANCE. THE REQUIREMENTS AND LIMITS SHALL BE AS STATED IN THE RULES AND REGULATIONS AND ENGINEERING DESIGN REQUIREMENTS FOR SANITARY AND STORMWATER DRAINAGE FACILITY, SECTION 15.09 (LOCAL/DMU).

#### ST. LOUIS COUNTY BENCHMARK

BENCHMARK # 12048  
NVD28 Elev = 557.81  
Set on top of curb at end of rounding along the north curb line of the easterly extension of Burkhardt Place on the east side of Chesterfield Village Parkway, 0.2 mile north of Lydia Hills Drive.

#### GRAPHIC SCALE



PREPARED BY:  
**STOCK & ASSOCIATES**  
Consulting Engineers, Inc.  
257 Chesterfield Business Parkway  
St. Louis, MO 63005  
PH: (636) 500-9000  
FAX: (636) 500-9000  
WWW: www.stockandassociates.com

SITE DEVELOPMENT SECTION PLAN FOR:  
**THE TOWNES AT WILDHORSE VILLAGE - PROPOSED LOT 1**  
CITY OF CHESTERFIELD  
ST. LOUIS COUNTY, MISSOURI

DATE: 05/27/2021  
GEORGE M. STOK  
CIVIL ENGINEER  
NUMBER: PB-25116  
CERTIFICATE OF AUTHORITY NUMBER: 00068

REVISIONS:  
1. 03-30-2021 CITY COMMENTS  
2. 04-19-2021 CITY COMMENTS  
3. 04-29-2021 CITY COMMENTS  
4. 05-07-2021 PC PACKETS

DRAWN BY: K.S.G.  
CHECKED BY: G.M.S.  
DATE: 03/07/2021  
JOB NO: 222-0774-1  
M.S.D. P.#: BASE MAP # 18T  
S.L.C. HAT # : HAT EXP. #  
M.D.N.A. # :  
SHEET TITLE:  
SITE DEVELOPMENT SECTION PLAN

SHEET NO.:  
SDSP-1.0



**Residential Sanitary Flow Estimate - Lot 1**

Wildhorse Village (Stock IN 220-6774) - Payne Family Homes

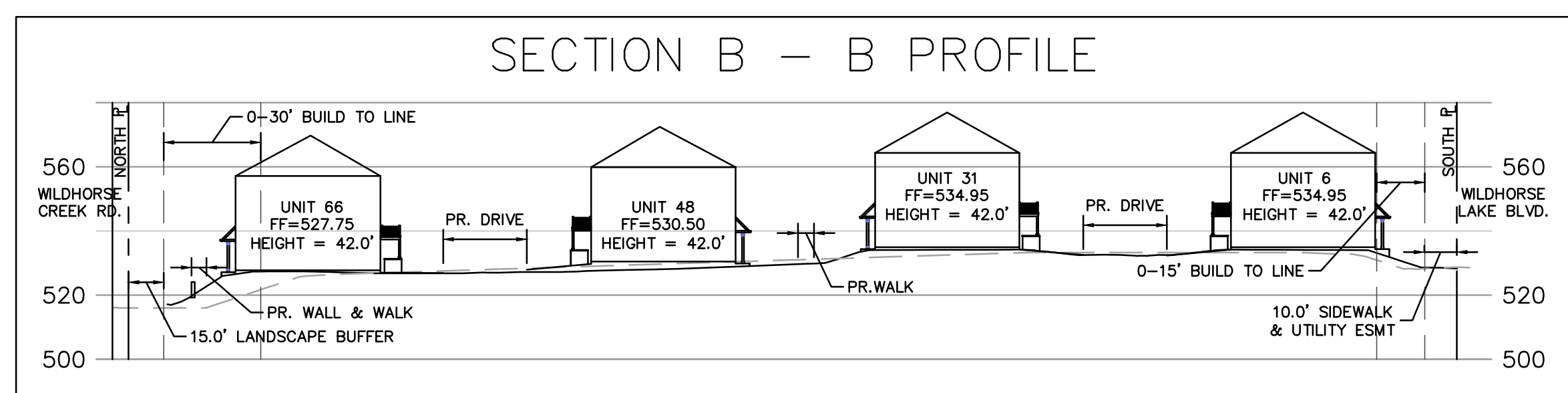
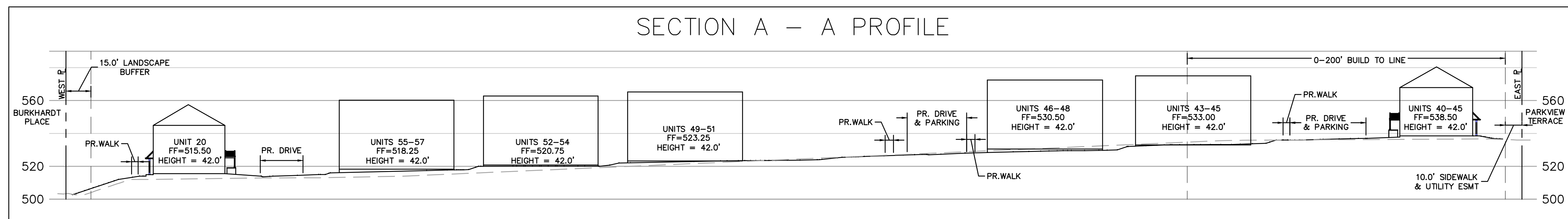
Sanitary Flow Rates (Average Daily Flow - ADF)	Use	Flow Rate
Residential	370 GPD	(100 GPD/Person x 3.7 Persons/Residence)

**Sanitary Flows - MSD Standard**

Lot 1 (Attached Townhomes)	72 Units	x	370 GPD/Unit	=	26,640 GPD
<b>Average Daily Flow (ADF)</b>	<b>TOTAL</b>				<b>26,640 GPD</b>
					<b>0.04 CFS</b>
<b>Peak Daily Flow = 4.0 x ADF</b>	<b>PDF</b>				<b>106,560 GPD</b>
					<b>0.16 CFS</b>

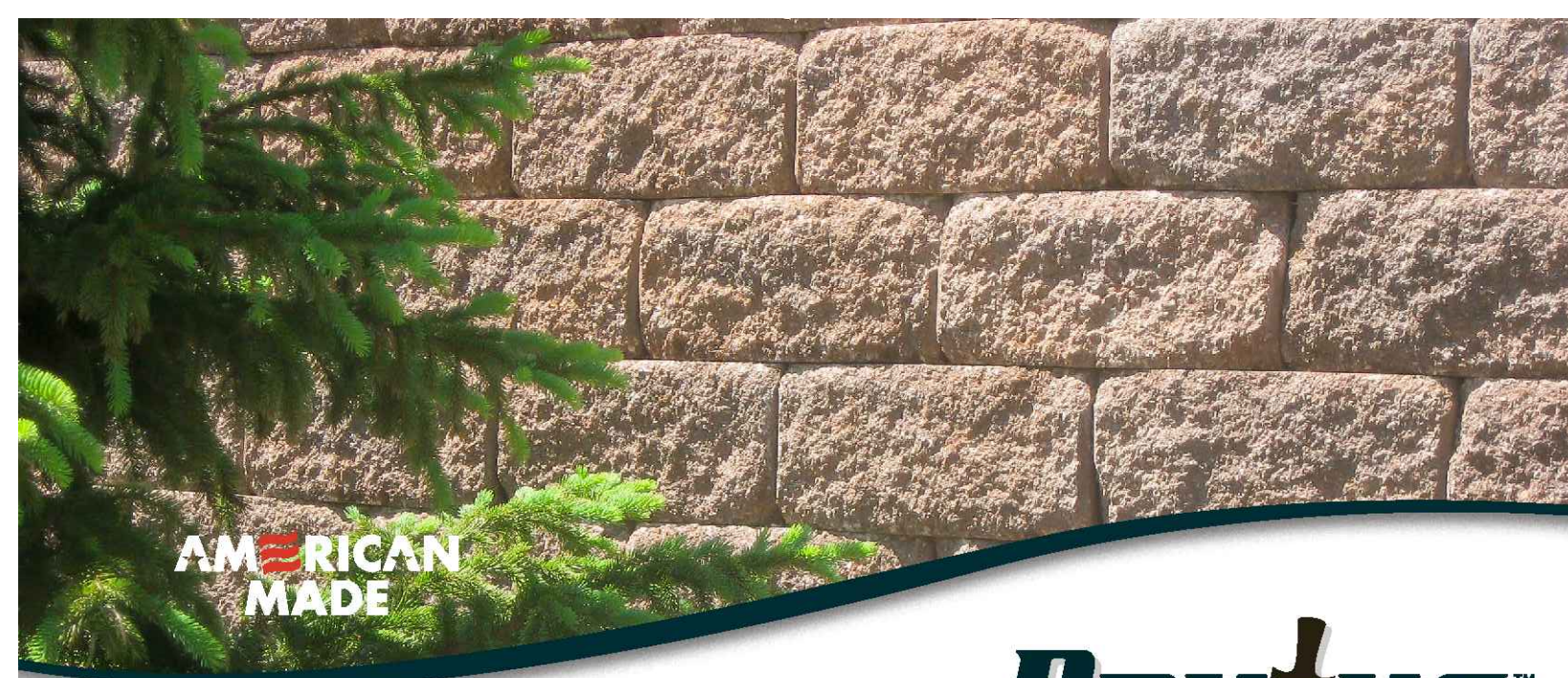
**Required Storage 12-Hr ADF**

MSD Standard Flow	13,320 Gal
	<b>1,781 Cu. Ft.</b>



**SECTIONS**  
SCALE: HORZ: 1"=40'  
VERT: 1"=40'

STORAGE PIPE SIZE PROPOSED: 7"ø x 47.0' LONG =  $\pi((7/2)^2) \times 47.0' = 1,809 \text{ C.F.} > 1,781 \text{ C.F.}$



**Steps to Installing Romanstone Brutus™**

**Step 1 - Foundation**

Lay out your wall project with string line or spray paint. Dig a trench at least 12" deep by 24" wide and compact the soil. Add and compact a 6" layer of crushed stone to create a level footing. Do this in two 3" lifts. If the grade changes, step the leveling pad as required with the top of the pad always at least 6" below finish grade.

**Step 2 - Base Course**

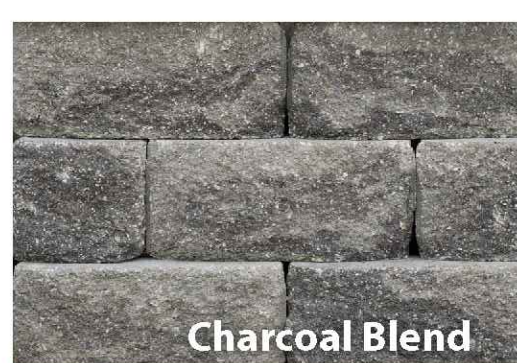
Place and level the first course of Brutus™ wall units on the leveling pad. The rear lips on the first course of block can be removed to allow the units to lay flat on the crushed stone. Use a string line to align straight sections. Start from any corner and work out from there. Add soil in front and back of the base course and compact to finish grade. Complete the first course of wall units before installing additional courses.

**Step 3 - Backfill and Additional Courses**

Install additional Brutus™ units over the vertical joint of the blocks in the course below it to maintain a running bond. Pull the units forward to engage the rear lips and maintain a setback from the course below. Backfill and compact clean crushed stone behind each wall course before installing the next course. Complete your wall with a cap unit secured to the wall with concrete adhesive. Cut any caps as needed to fit radius walls.

**AMERICAN MADE**

**Brutus™ Brutus™**



Charcoal Blend



Sandstone Blend



Bethany Ledge Blend

Romanstone Brutus™ now comes standard with a rustic split finish. This feature adds a more natural stone appearance than traditional split units at the same cost. Brutus™ also features our improved lip design resulting in less breakage, easier installation and reduced waste. The core-fill design results in lighter weights, more square feet per truck load, and easier installation.

- Unit dimensions: 8"H x 18"W x 12"D
- Units per square foot: 1.0 block
- Unit weight: 72 lbs
- Cube Count: 36 block
- Cube Weight (w/pallet): 2675 lbs

**Notes:**

Curves as small as 10" inside radius can be constructed in addition to building straight walls. Brutus units have a setback of 1 3/16" per course. This creates an 8 3/4" wall gutter. This setback will shift the bond lines of your wall when curves are built. If the vertical joints become stacked, part of the rear lip can be removed or units can be cut to get back to a running bond.

**Estimating Chart**

Wall Height	Wall Length						
	12'	18'	24'	36'	48'	72'	75'
8" (1 course)	8	12	18	24	36	48	50
16" (2 courses)	16	24	36	48	72	100	
24" (3 courses)	24	36	54	72	108	150	
32" (4 courses)	32	48	72	96	144	200	
40" (5 courses)	40	60	90	120	180	250	
48" (6 courses)	48	72	108	144	216	300	
56" (7 courses)	56	84	126	168	252	350	

**Please Note:**

Maximum wall height not to exceed 48". This chart is based on site conditions which include a level grade, granular soil, and no surcharge. Ask your Romanstone Hardscapes dealer for patented soil reinforcement guidelines on walls exceeding 48" with surcharge, or clay soils.

Available at:

www.romanstone.com

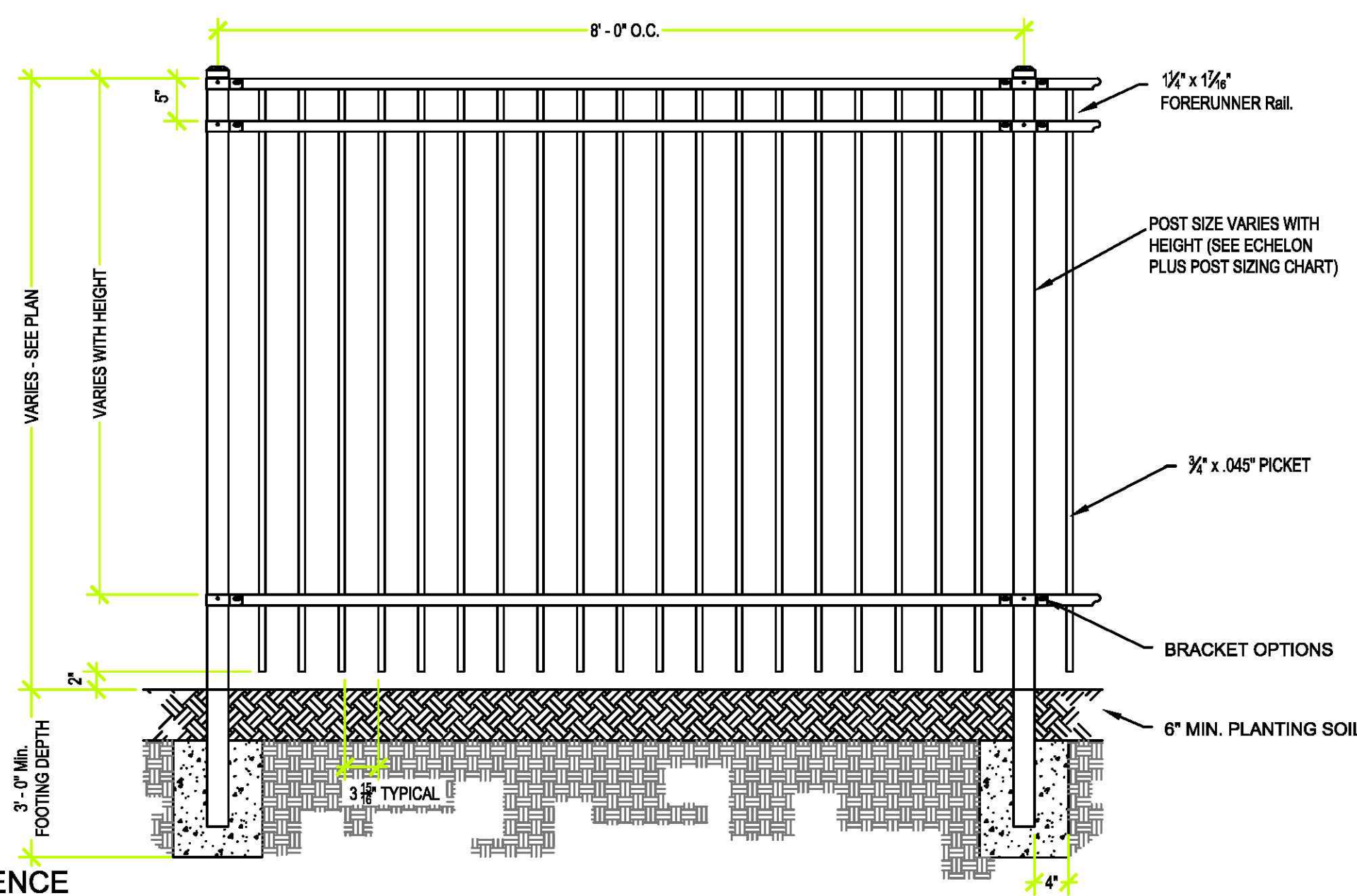
WALL DETAIL

**PRODUCT INFORMATION:**

1. AMERISTAR ECHELON PLUS ORNAMENTAL ALUMINUM FENCE, MAJESTIC STYLE
2. ECHELON PLUS MAJESTIC RAIL PANEL
3. STANDARD BOTTOM
4. BLACK IN COLOR
5. 3'-0" HEIGHT

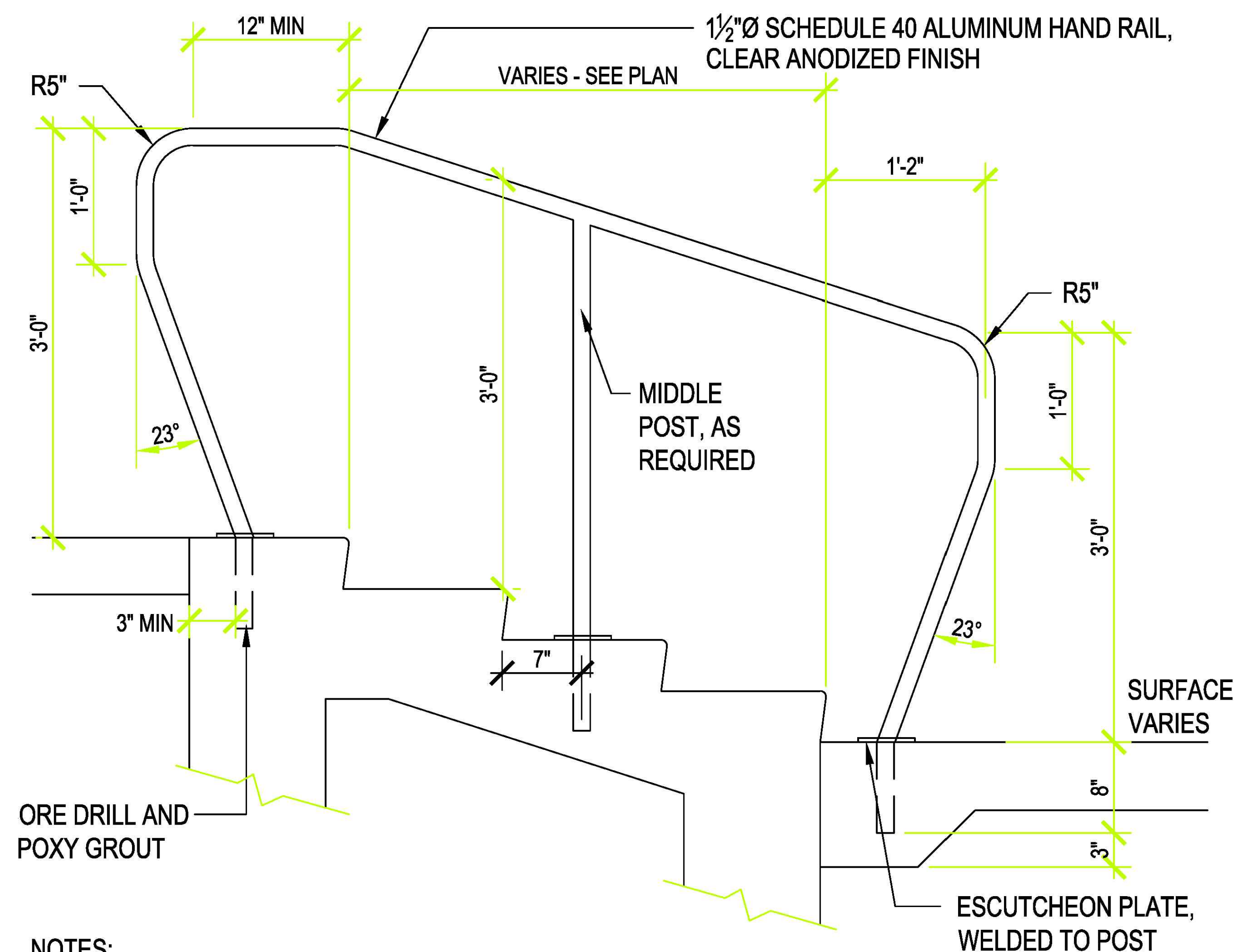
NOTES:  
1. SEE ECHELON PLUS POST SIZING CHART.

MANUFACTURER:  
Ameristar Fence Products  
879 Portwest Drive, Suite 101  
St. Charles, MO 63303  
regis@ameristarfence.com  
888-333-3422



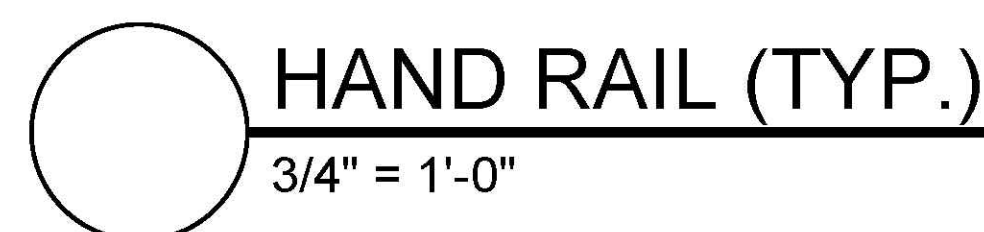
ORNAMENTAL ALUMINUM FENCE  
3/4" = 1'-0"

FENCE DETAIL



**NOTES:**

1. HAND RAIL DRAWINGS DEPICT DESIGN INTENT ONLY. CONTRACTOR SHALL SUBMIT ENGINEERED SHOP DRAWINGS THAT ENSURE SAFE AND SECURE INSTALLATION.
2. ALL HAND RAILS SHALL MEET ADA ACCESSIBILITY GUIDELINES, CURRENT EDITION.

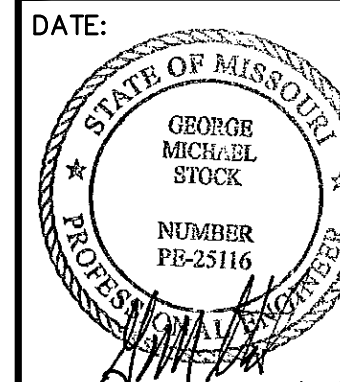


HAND RAIL DETAIL

PREPARED BY:  
**STOCK & ASSOCIATES**  
Consulting Engineers, Inc.  
257 Chesterfield Business Parkway  
St. Louis, MO 63015  
PH: (636) 558-9100  
FAX: (636) 558-9100  
e-mail: gerner@stockassoc.com  
Web: www.stockassoc.com

SITE DEVELOPMENT SECTION PLAN FOR:  
**THE TOWNES AT WILDHORSE VILLAGE - PROPOSED LOT 1**

CITY OF CHESTERFIELD  
ST. LOUIS COUNTY, MISSOURI



DATE: 05/07/2021  
GEORGE M. STOCK E-25116  
CIVIL ENGINEER  
CERTIFICATE OF AUTHORITY  
NUMBER: 000996

REVISIONS:

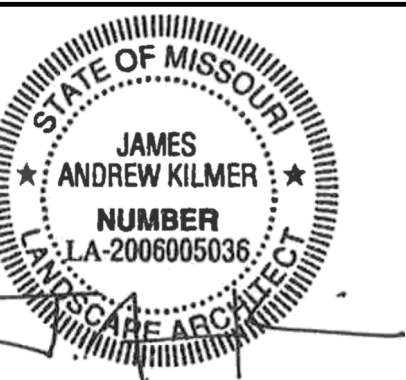
1.	03-30-2021	CITY COMMENTS
2.	04-19-2021	CITY COMMENTS
3.	04-28-2021	COUNTY
4.	05-07-2021	PG. PACKETS

DRAWN BY: K.S.G.	CHECKED BY: G.M.S.
DATE: 03/01/2021	JOB NO. 220-6774.1
RES. P. #	BASE MAP P. #
S.L.C. MAT. #	MAT. SUP. #
M.D.N.R. #	

SHEET TITLE:  
**SITE SECTIONS & CALCULATIONS**

SHEET NO.:  
**SDSP-2.0**





**CLAYCO**  
THE ART & SCIENCE OF BUILDING  
2109 INNERBELT BUSINESS CENTER DRIVE  
ST. LOUIS, MISSOURI 63114  
PH 314.263.1100 FX 314.263.3157

**Lamar Johnson Collaborative**  
2159 INNERBELT BUSINESS CENTER DRIVE  
ST. LOUIS, MISSOURI 63114  
PH 314.429.1010

**Stock & Associates**  
Consulting Engineers, Inc.  
CONSULTING ENGINEER



# Townes at Wildhorse Village - Lot 1

Payne Family Homes

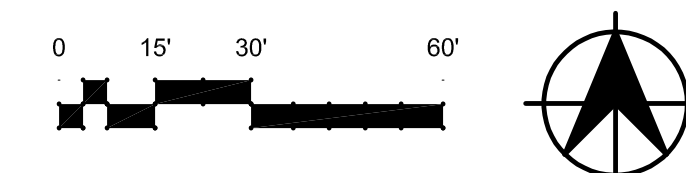
Wildhorse Creek Road, W. Chesterfield Parkway  
Burkhardt Place - Chesterfield, Missouri

STREET TREES		
QTY.	SYM.	% OF TOTAL STREET TREE
20	AC RU	19%
5	AC SA	4%
1	CE OC	1%
20	CL KE	19%
8	CR LA	8%
19	GL TR	18%
6	PL AC	6%
11	QU BI	10%
10	TI CO	9%
6	ZE SE	6%

NOTE: SEE L3.100 FOR FULL PLANT SCHEDULE



1 PLANTING PLAN  
1" = 30'-0"



DRAWING ISSUE	
DESCRIPTION	DATE
SDSP	03/01/2021
CITY COMMENTS	03/30/2021
CITY COMMENTS	04/19/2021

BUILDING MAP

DRAWING TITLE  
Planting Plan

DRAWING NO.  
**L1.100**

Job # 20.0213



**DECIDUOUS CANOPY TREES (60%)**

QTY	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	MATURE HEIGHT	GROWTH RATE	SPECIES %	COMMENTS
20	AC RU	Acer rubrum	'Red Point'	Red Maple	2.5' Cal.	B & B	45' +	Fast	11%	
5	AC SA	Acer saccharum	'Green Mountain'	Sugar Maple	2.5' Cal.	B & B	45' +	Slow	3%	
4	CE OC	Celtis occidentalis	'Chicagoland'	Hackberry	2.5' Cal.	B & B	45' +	Fast	2%	
21	CL KE	Cladrasis kentuckea	'Shademaster'	Yellowwood	2.5' Cal.	B & B	45' +	Slow	11%	
19	GL TR	Gleditsia triacanthos var. inermis	'Shademaster'	Thornless Honey Locust	2.5' Cal.	B & B	45' +	Fast	10%	
5	NY SY	Nyssa sylvatica	'Wildfire'	Blackgum	2.5' Cal.	B & B	30'-50'	Slow	3%	
6	PL AC	Platanus x acerifolia	'Morton's Circle'	Exclamation! London Planetree	2.5' Cal.	B & B	45' +	Fast	3%	
4	QU AL	Quercus alba		White Oak	2.5' Cal.	B & B	45' +	Medium	2%	
11	QU BI	Quercus bicolor		Swamp White Oak	2.5' Cal.	B & B	45' +	Medium	6%	
2	TI AM	Tilia americana		American Linden	2.5' Cal.	B & B	45' +	Medium	1%	
10	TI CO	Tilia cordata		Little Leaf Linden	2.5' Cal.	B & B	45' +	Slow	5%	
6	ZE SE	Zelkova serrata	'Green Vase'	Japanese Zelkova	2.5' Cal.	B & B	45' +	Fast	3%	

**EVERGREEN TREES (20%)**

QTY	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	MATURE HEIGHT	GROWTH RATE	SPECIES %	COMMENTS
12	JU VI	Juniperus virginiana	'Moonglow'	Eastern Red Cedar	8-10' Ht.	B & B	30' - 65'	Medium	6%	
14	PI AB	Picea abies		Norway Spruce	8-10' Ht.	B & B	30' - 40'	Fast	8%	
11	TH OC	Thuja occidentalis	'Green Giant'	Green Giant Arborvitae	8-10' Ht.	B & B	30' - 40'	Fast	6%	

**DECIDUOUS UNDERSTORY TREES (20%)**

QTY	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	MATURE HEIGHT	GROWTH RATE	SPECIES %	COMMENTS
2	AE PA	Aesculus parva	Autumn Brilliance	Red Buckeye	6-8' Ht.	B & B	25'-30'	Slow	1%	Multi-stemmed
4	AM AR	Amelanchier arborea	Autumn Brilliance	Common Serviceberry	6-8' Ht.	B & B	25'-30'	Slow	2%	Multi-stemmed
8	CE CA	Cercis canadensis		Eastern Redbud	6-8' Ht.	B & B	25'-30'	Fast	4%	
8	CR LA	Crataegus laevigata	'Superta'	Crimson Cloud Hawthorn	2.5' Cal.	B & B	15'-20'	Medium	4%	
15	CR VI	Crataegus viridis	'Winter King'	Winter King Hawthorn	2.5' Cal.	B & B	25'-30'	Medium	9%	

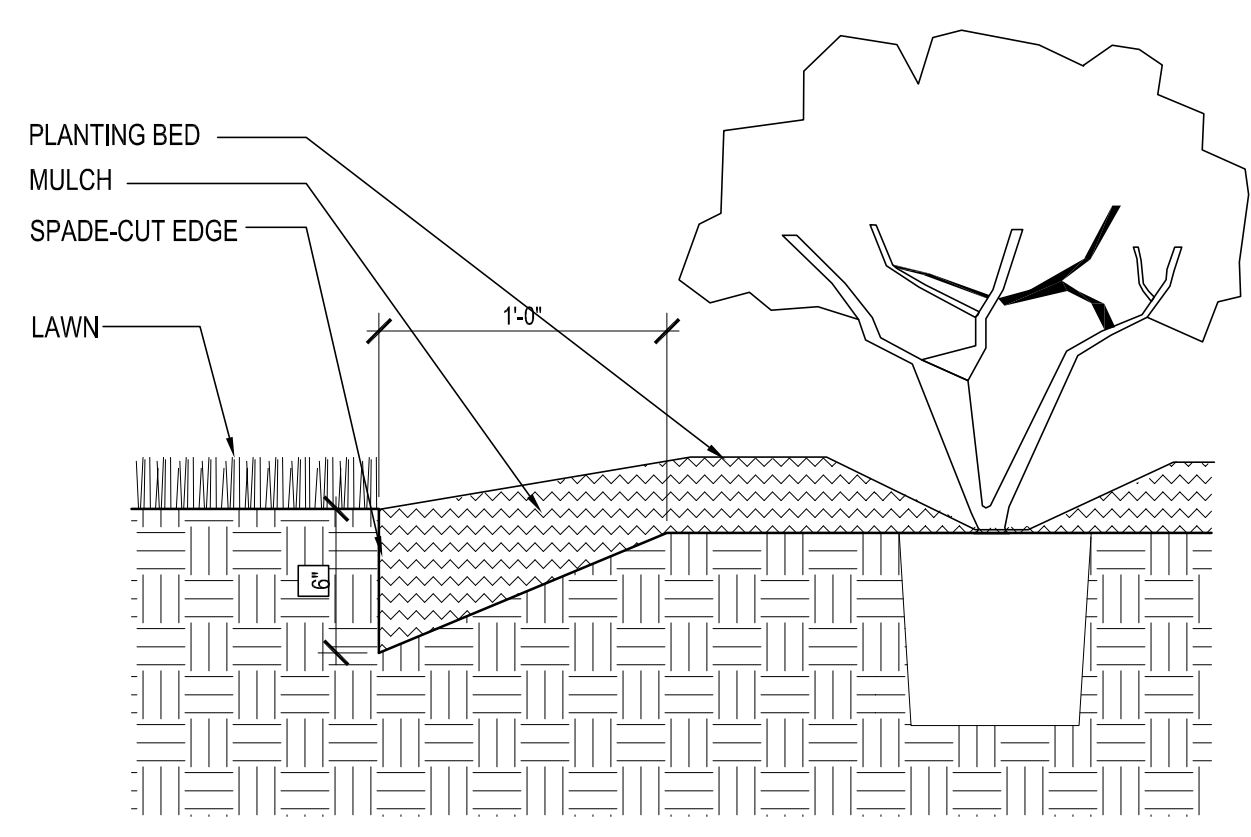
**DECIDUOUS SHRUBS**

QTY	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	COMMENTS
15	ar me	Aronia melanocarpa	'Low Scape Mound'	Black Chokeberry	3 GAL.	Container	18" O.C.	
83	co se	Cornus sericea	'Arctic Fire'	Red Twig Dogwood	5 GAL.	Container	36" O.C.	
26	fo ga	Fothergilla gardenii		Dwarf Fothergilla	5 GAL.	Container	36" O.C.	
13	hy pa	Hydrangea paniculata	'Little Lime'	Panicle Hydrangea	5 GAL.	Container	48" O.C.	
73	il va	Ilex verticillata	'Red Sprite Nana'	Winterberry Holly	5 GAL.	Container	48" O.C.	Provide (1) male sp. for every (9) female
12	rh co	Rhus copallina var. latifolia	'Morton'	Prairie Flame Shining Sumac	5 GAL.	Container	96" O.C.	
6	vi de	Viburnum dentatum	'Christom Blue Muffin'	Arrowwood Viburnum	5 GAL.	Container	96" O.C.	

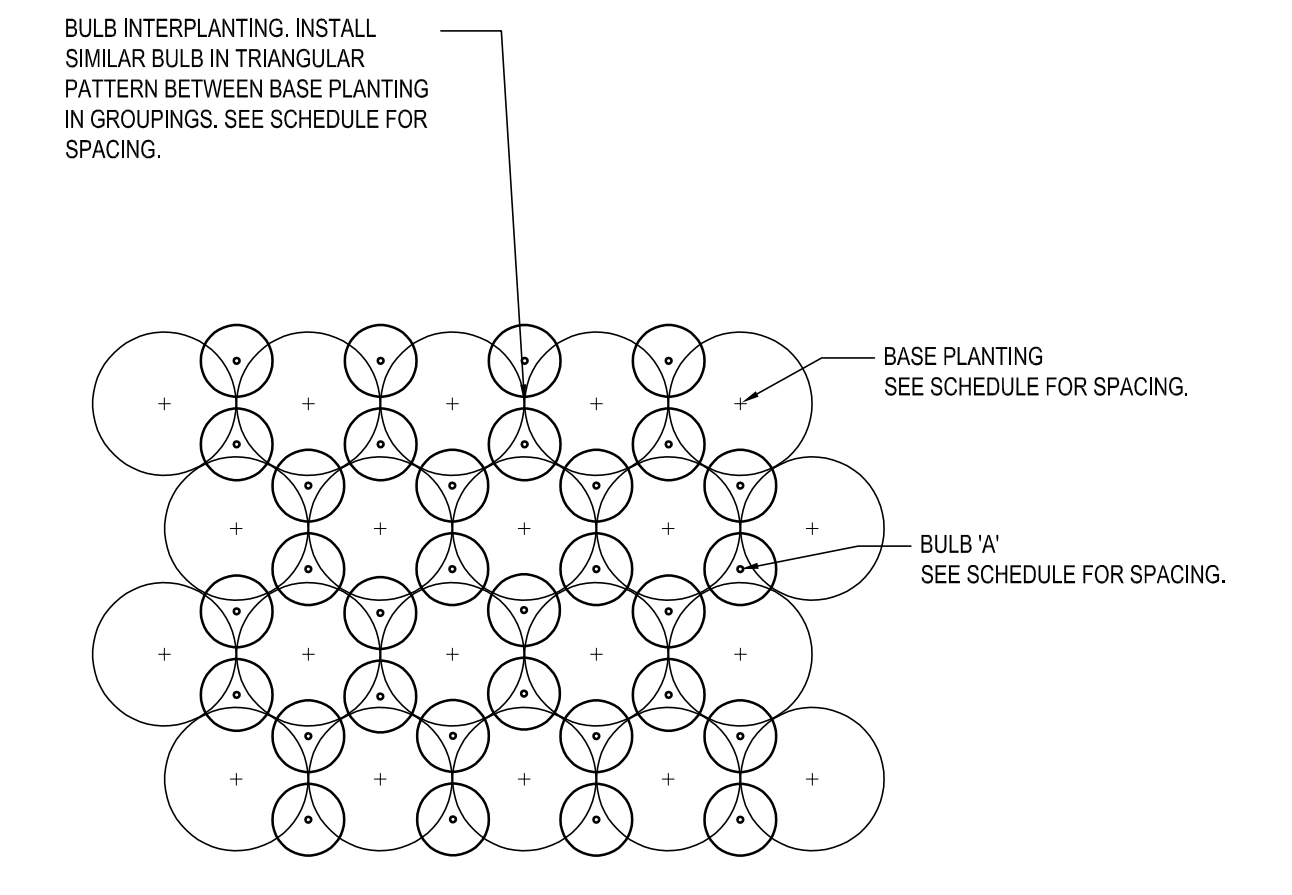
**ORNAMENTAL GRASSES & SEDGES**

QTY	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	COMMENTS
232	sp	Sporobolus heterolepis	'Tara'	Prairie dropseed	1 GAL.	Container	24" O.C.	

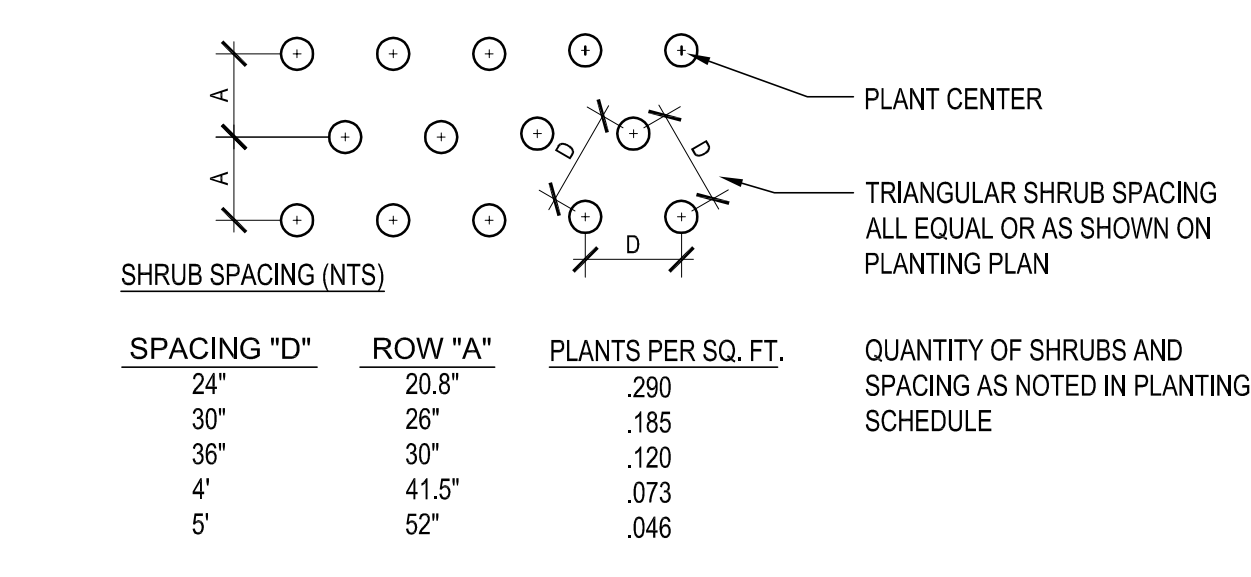
**GROWTH RATE PERCENTAGES (%):**  
Slow: 47/187 = 25%  
Medium: 52/187 = 28%  
Fast: 88/187 = 47%



**SPADE CUT EDGE AT PLANTING BED**  
1-1/2" = 1'-0"

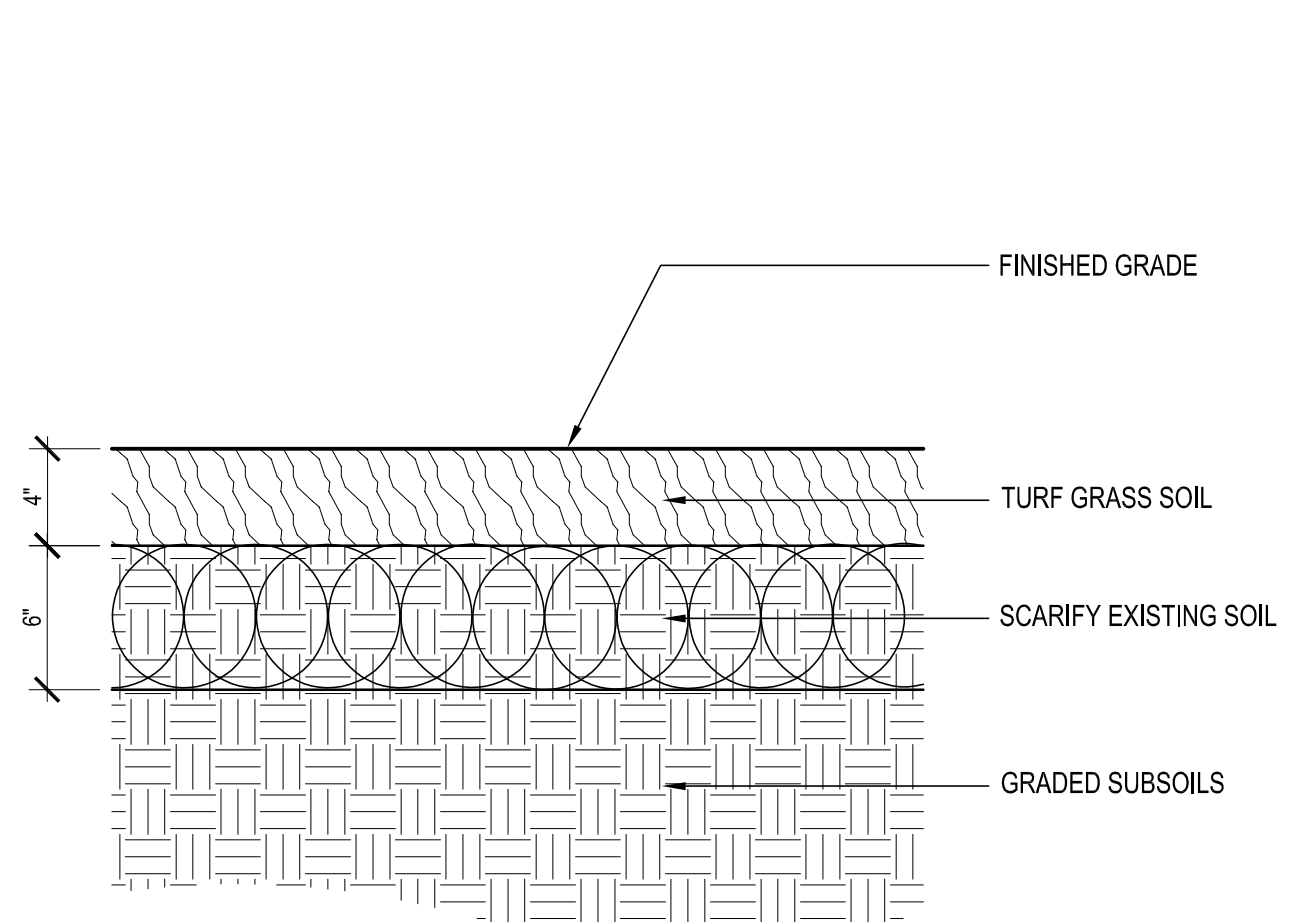


**INTERMINGLED PERENNIAL/GRASS & BULB PLANTING**  
1/2" = 1'-0"



SPACING "D"	ROW "A"	PLANTS PER SQ. FT.	QUANTITY OF SHRUBS AND SPACING AS NOTED IN PLANTING SCHEDULE
24"	20.8"	.290	
30"	26"	.185	
36"	30"	.120	
4"	41.5"	.073	
5"	52"	.046	

**SHRUB PLANTING**  
1/4" = 1'-0"

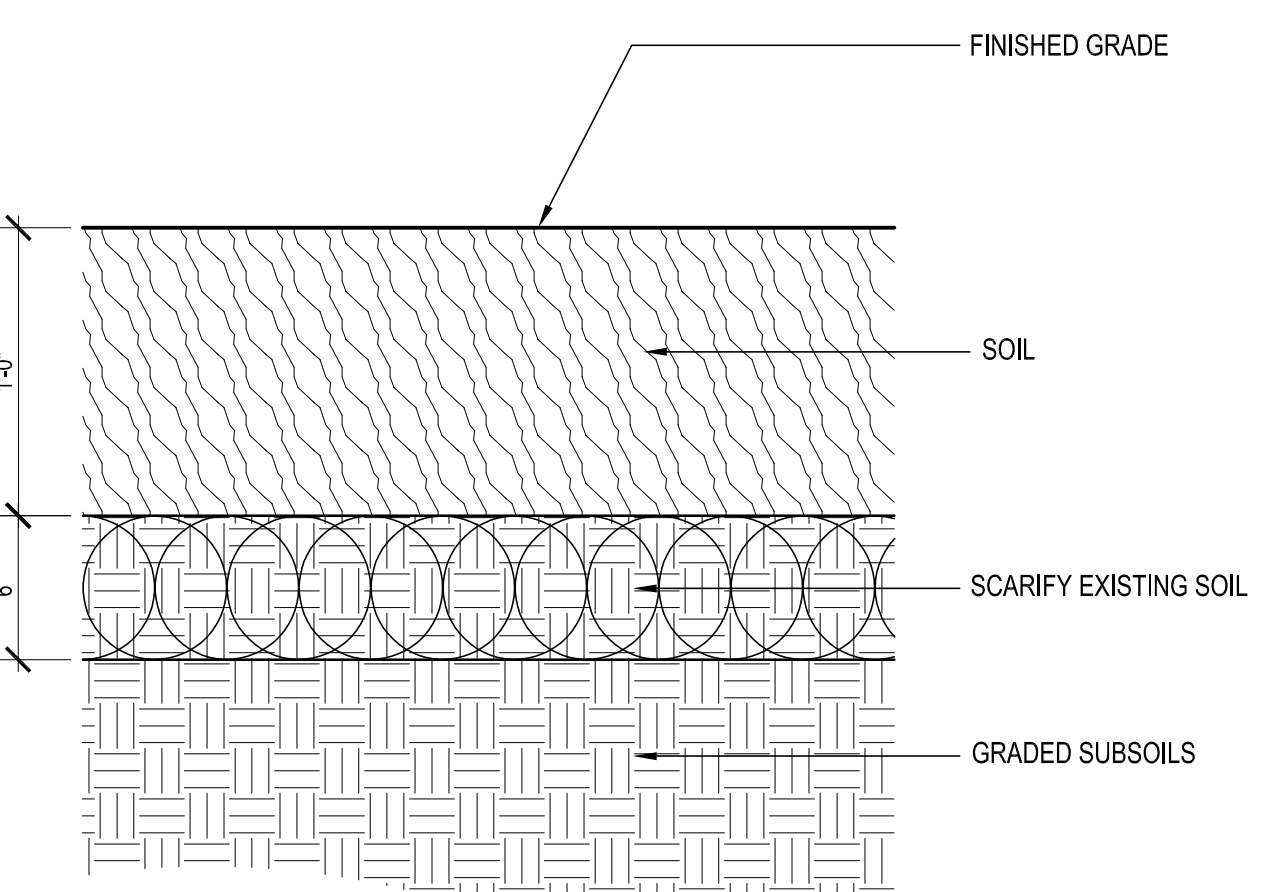


- NOTES:**  
1. SCARIFY SURFACE OF EACH SOIL LAYER AND BETWEEN EACH LIFT OF SOIL PLACED.  
2. SCARIFICATION SHALL BE 2" IN DEPTH BETWEEN LIFTS OF SOIL PLACED.  
3. SCARIFICATION SHALL BE 2" IN DEPTH WHERE SOIL MEETS TRANSITION LAYER.

**SOIL PROFILE 1 - TURFGRASS**  
1-1/2" = 1'-0"

**PLANTING PLAN NOTES**

- VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION AND IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY THE LOCATION OF ALL UTILITIES INCLUDING SANITARY AND STORM SEWER + ROOF DRAINS PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK PERFORMED SHALL BE IN COMPLIANCE WITH THE CONTRACT DOCUMENTS AND WITH ALL APPLICABLE CODES, STANDARDS AND ORDINANCES.
- ALL PLANTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM THE SUBSTANTIAL COMPLETION OF THE LANDSCAPE CONTRACT AT FULL REPLACEMENT VALUE INCLUDING LABOR TO REPLACE PLANT MATERIALS.
- ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY AND OF THE SIZE AND TYPE SPECIFIED IN THE PLANT SCHEDULE.
- THE SITE SHALL BE FINISH GRADED BY THE GRADING CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN FINISHED GRADES AND RE-GRADE ANY AREAS DISTURBED BY LANDSCAPE OPERATIONS.
- ANY CLEAN EXCESS SOIL FROM LANDSCAPE OPERATIONS SHALL BE WASTED ON SITE AT THE DISCRETION OF THE CONTRACTOR OR DISPOSED OF OFF SITE. ALL CONSTRUCTION DEBRIS FROM LANDSCAPE OPERATIONS SHALL BE DISPOSED OF OFF SITE.
- REFER TO SPECIFICATIONS FOR SOIL TYPE. ALL AREAS INDICATED IN THE PLANS TO BE SODDED SHALL BE MOWED JUST PRIOR TO INSTALLATION AND SHALL BE GUARANTEED FOR A PERIOD OF ONE MONTH. ALL SOD AREAS ARE TO BE WATERED DAILY FOR ONE WEEK AND EVERY OTHER DAY FOR THE NEXT TWO WEEKS.
- ALL PLANTING AREAS MUST BE FREE OF ALL WEEDS AND DEBRIS BEFORE PLANTING, SODDING, AND/OR SEEDING.
- REFER TO SPECIFICATIONS FOR MULCH TYPE, DEPTH AND LOCATION.
- REFER TO PLANTING SPECIFICATIONS FOR MORE DETAILS.



- NOTES:**  
1. SCARIFY SURFACE OF EACH SOIL LAYER AND BETWEEN EACH LIFT OF SOIL PLACED.  
2. SCARIFICATION SHALL BE 2" IN DEPTH BETWEEN LIFTS OF SOIL PLACED.  
3. SCARIFICATION SHALL BE 2" IN DEPTH WHERE SOIL MEETS TRANSITION LAYER.

**SOIL PROFILE 2 - MIXED PLANTING**  
1-1/2" = 1'-0"

**BIORETENTION PLUG MIX**

**WET-MESIC PLUG MIX**  
7,857 S.F.

**SIZE AND SPACING:**  
ALL SPECIES TO BE 1 QUART AT 18" O.C.

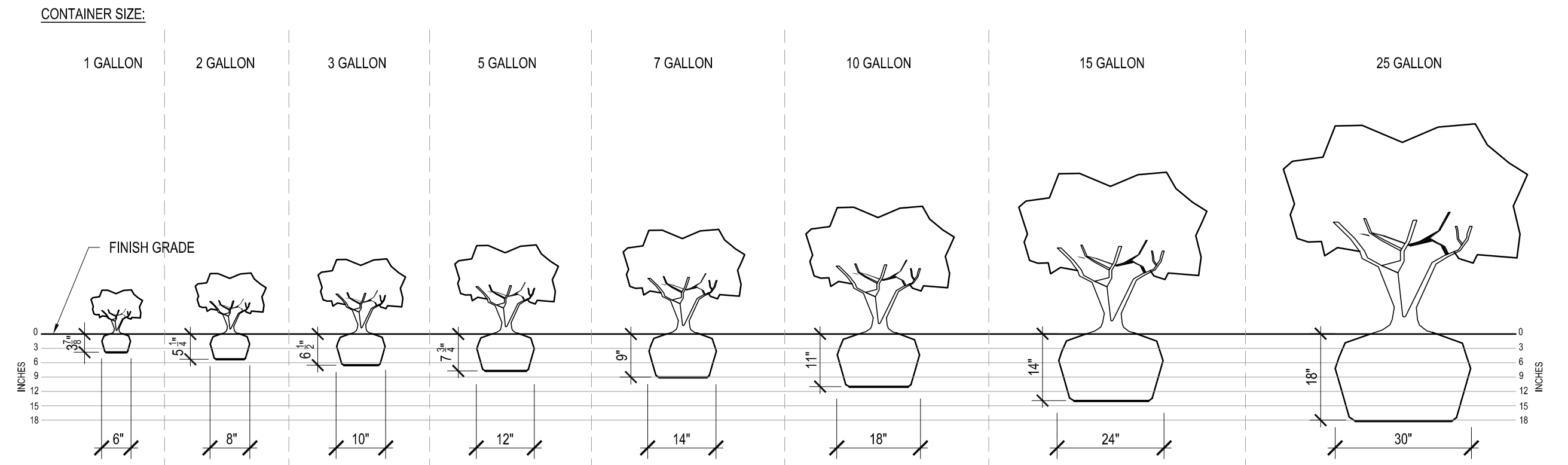
**PLUG MIX:**

GRASSES/ SEDGES 40% (1,612 PLUGS):

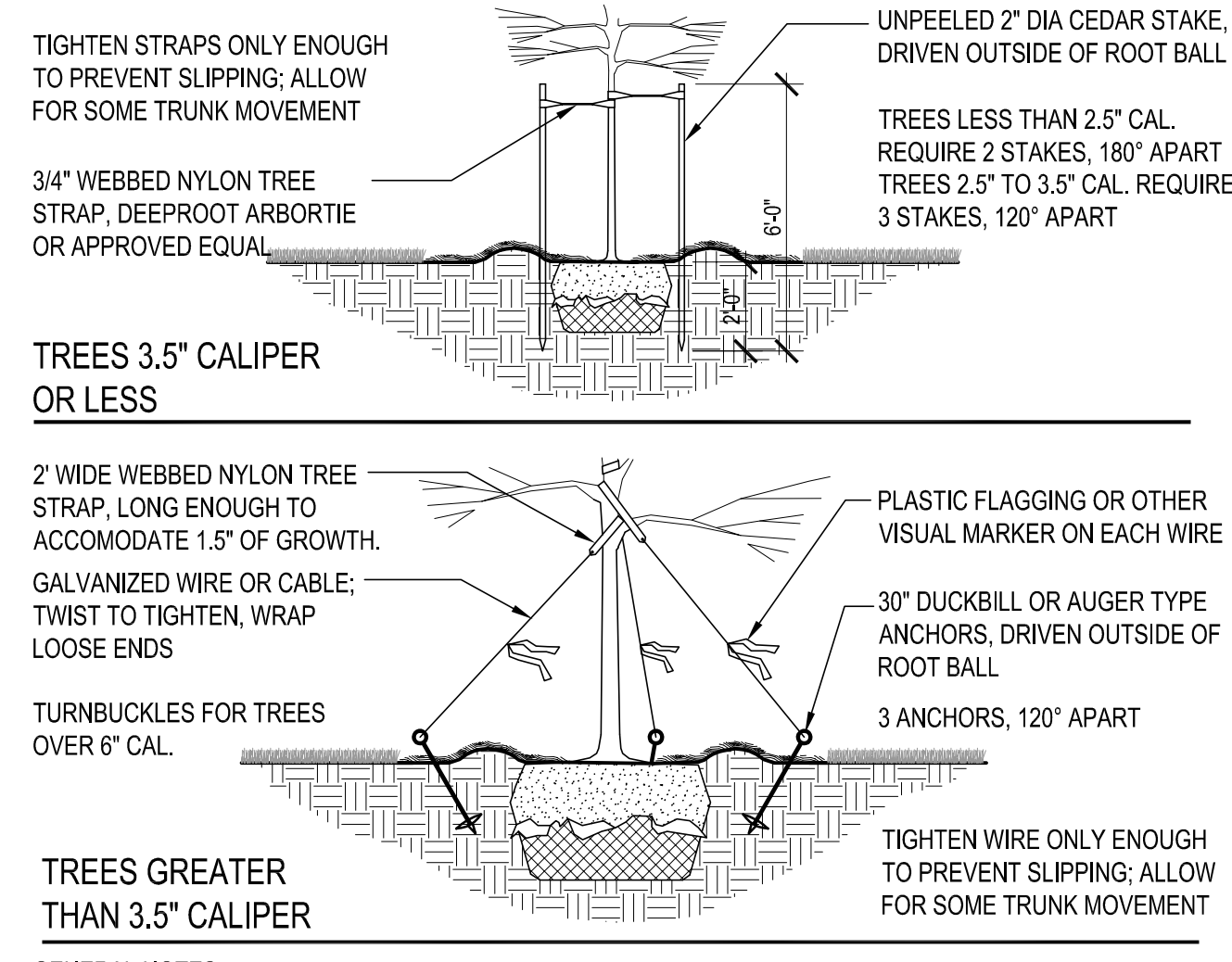
<i>Carex grayii</i>	Bur Sedge
<i>Carex muskinumensis</i>	Palm Sedge
<i>Carex praegracilis</i>	Towhee Sedge
<i>Carex vulpinoidea</i>	Fox Sedge
<i>Panicum virgatum 'Shenandoah'</i>	Switchgrass

HERBACEOUS PERENNIALS ( FORBS) 60% (2,419 PLUGS):

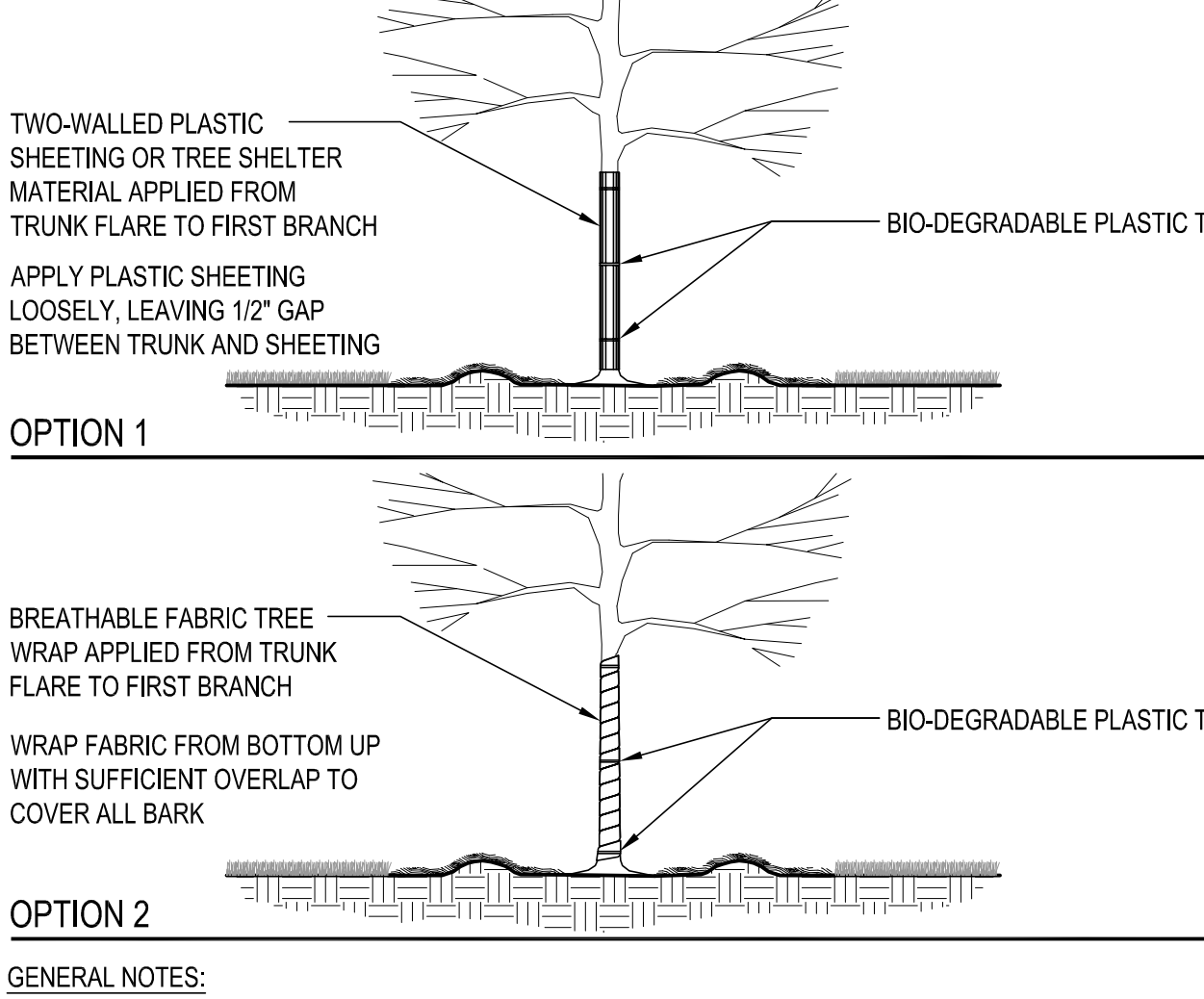
<i>Asclepias incarnata</i>	Swamp milkweed
<i>Baptisia australis</i>	Blue Wild Indigo
<i>Eupatorium coelestinum</i>	Mistflower
<i>Hemerocallis 'Red Hot Returns'</i>	Daylily
<i>Hibiscus moscheutos</i>	Swamp Mallow
<i>Iris virginica</i>	Southern Blueflag Iris
<i>Liatris aspera</i>	Rough Blazing Star
<i>Monarda fistulosa</i>	Wild Bergamot
<i>Ratibida pinnata</i>	Grey Coneflower
<i>Rudbeckia x 'American Gold Rush'</i>	Black Eyed Susan
<i>Solidago speciosa</i>	Showy Goldenrod



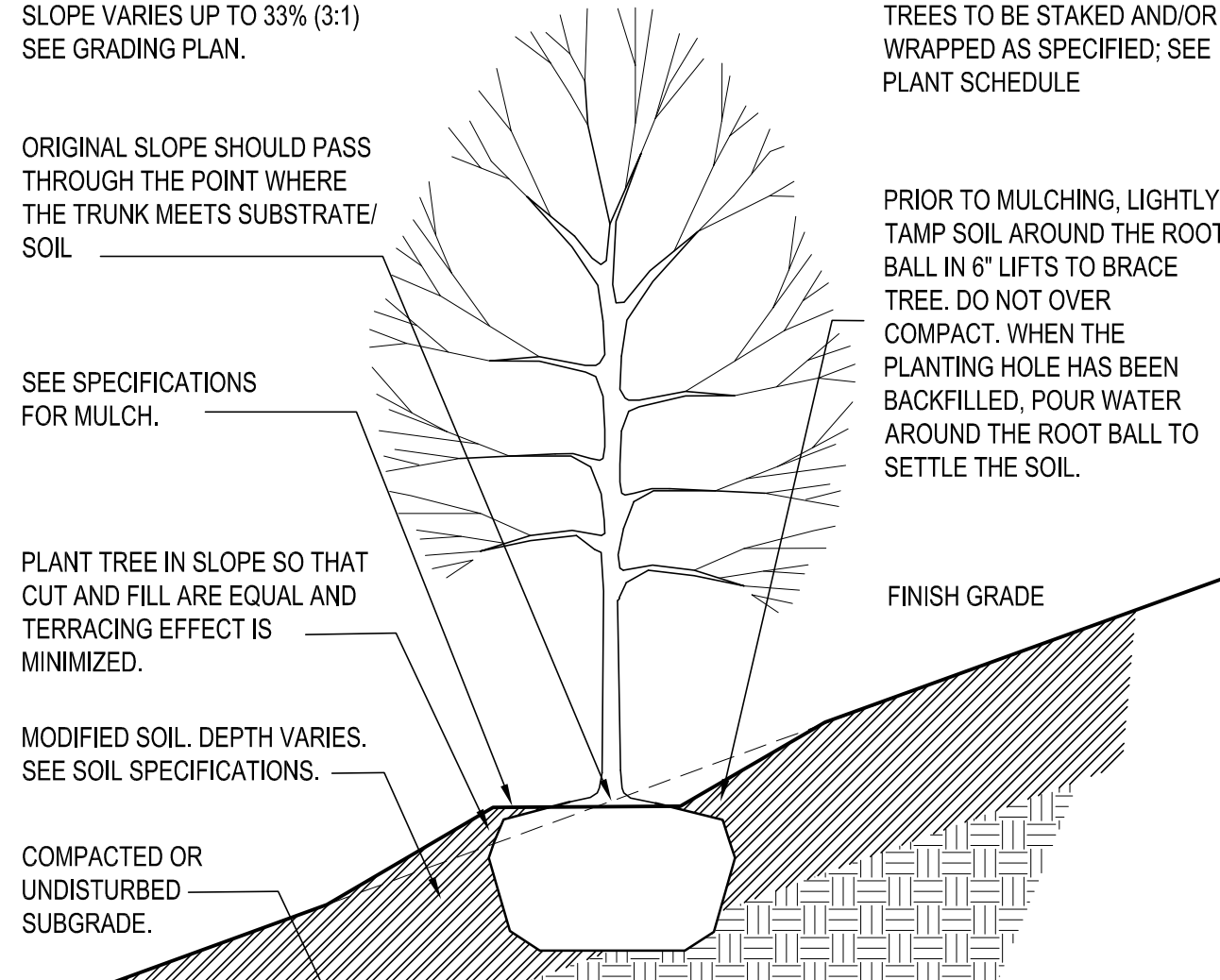
**SHRUB ROOT BALL SIZE**  
1/2" = 1'-0"



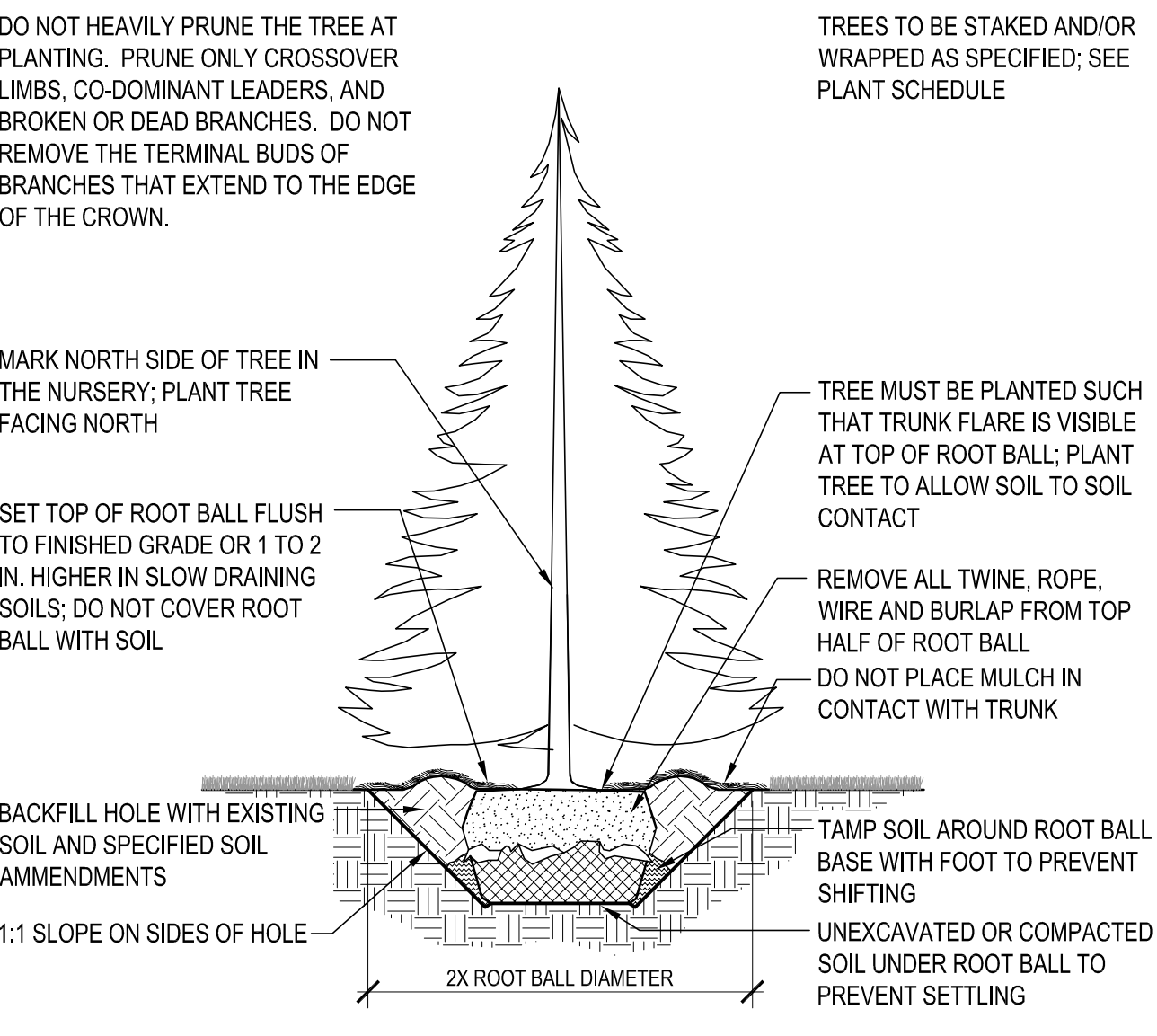
**TREE STAKING**  
1/4" = 1'-0"



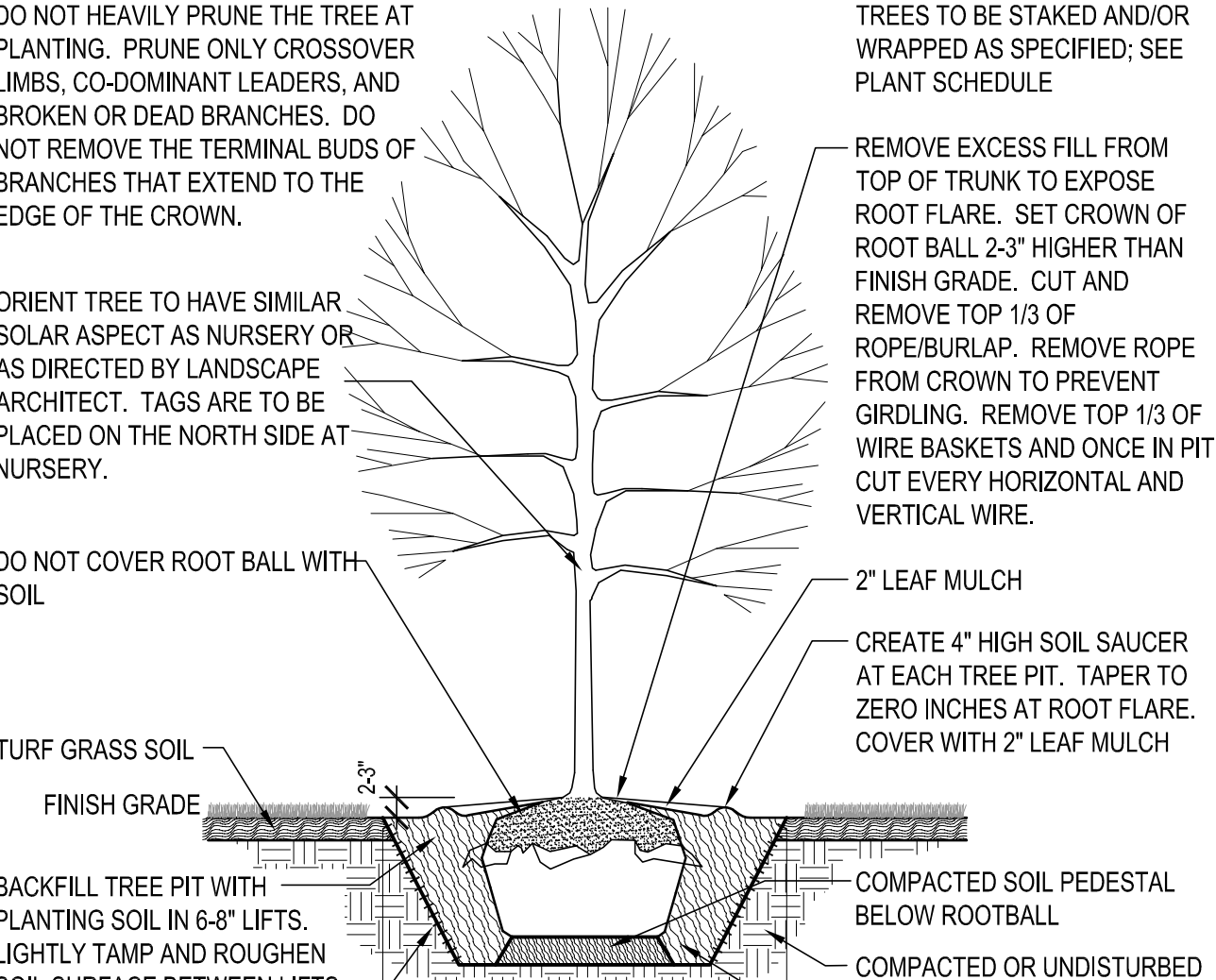
**TREE WRAPPING**  
1/4" = 1'-0"



**DECIDUOUS TREE PLANTING ON SLOPE**  
1/4" = 1'-0"



**EVERGREEN TREE PLANTING**  
1/4" = 1'-0"



**DECIDUOUS TREE PLANTING IN LAWN**  
1/4" = 1'-0"

**DRAWING ISSUE**

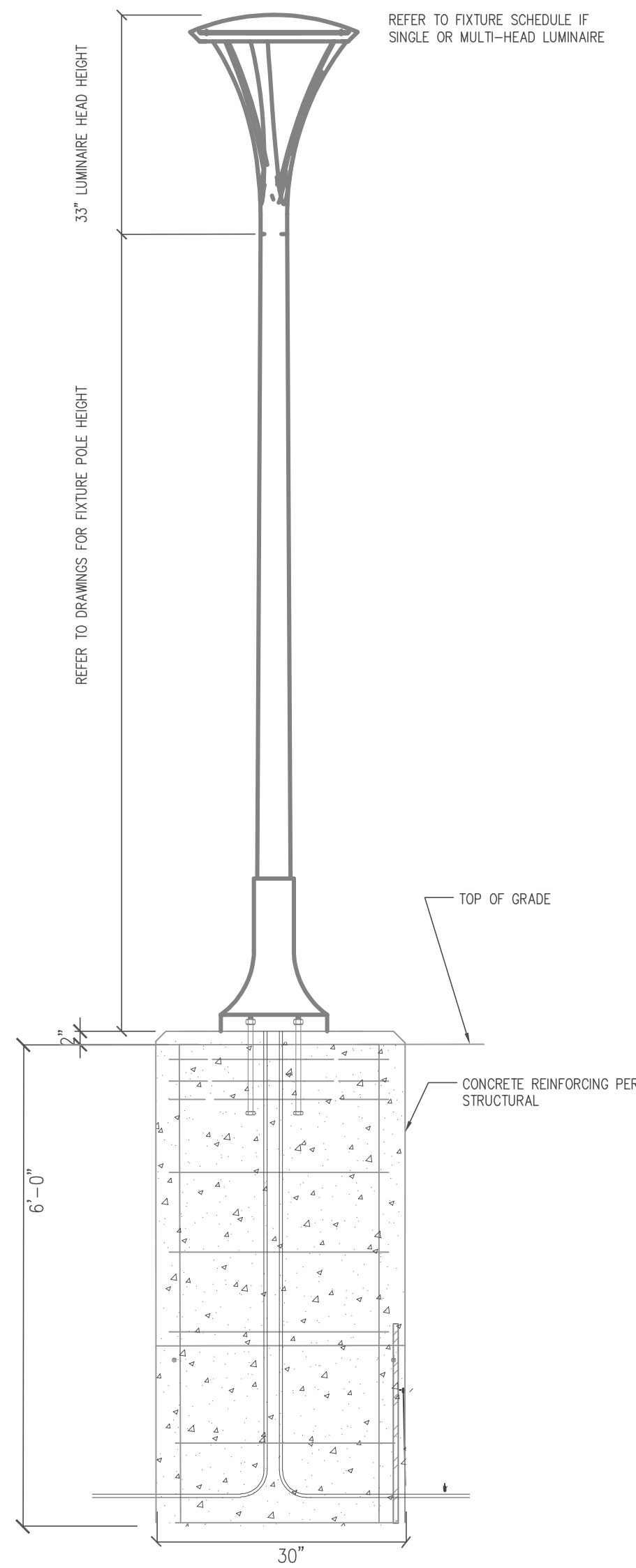
DESCRIPTION	DATE
SDSP	03/01/2021
CITY COMMENTS	03/30/2021
CITY COMMENTS	04/19/2021

**DRAWING TITLE**  
Planting Schedule and Details

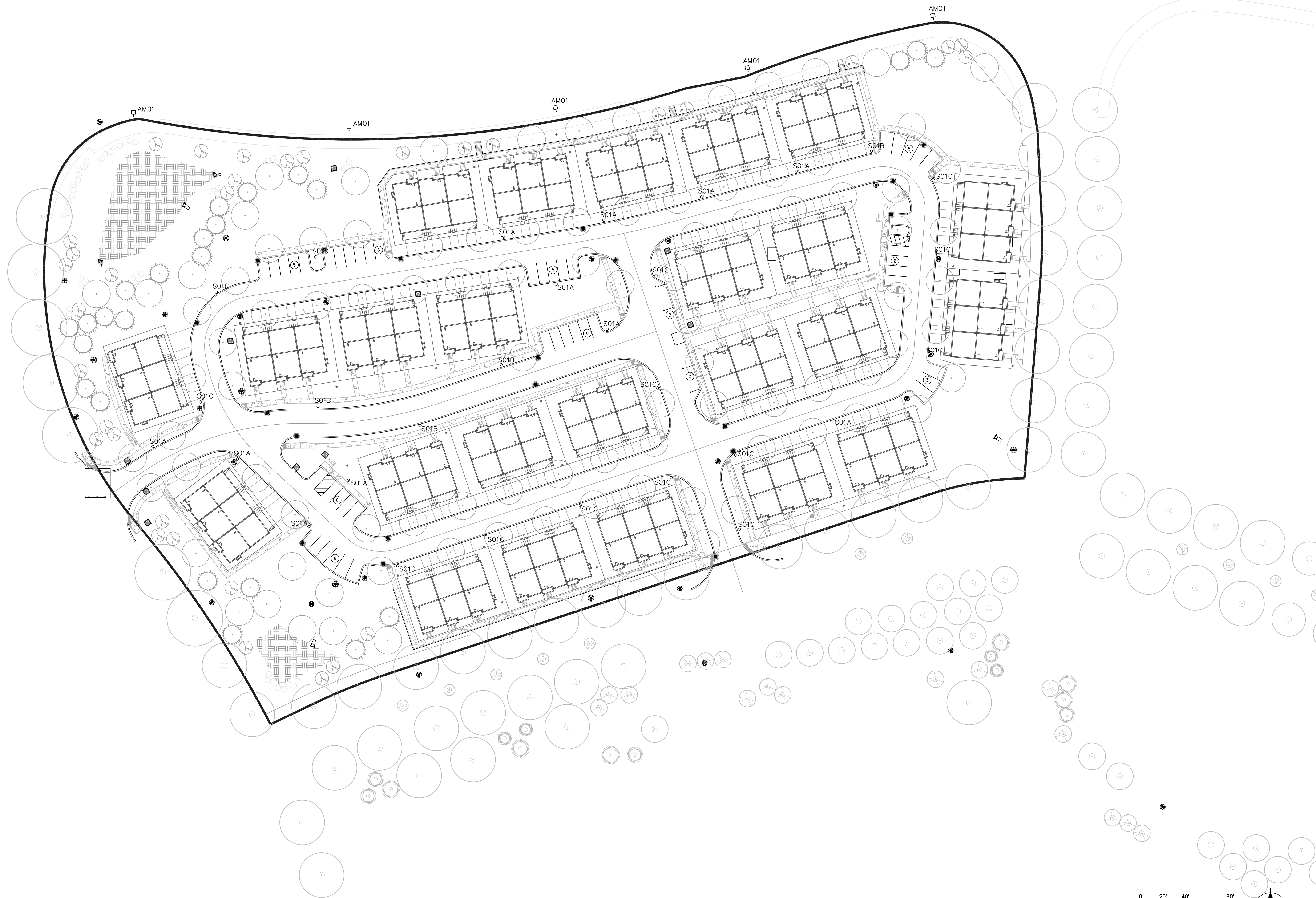
**DRAWING NO.**  
L2.100

**Job #**  
20.0213





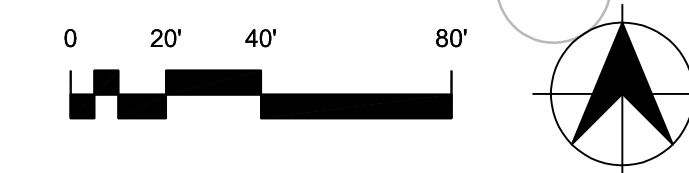
2 S01 SERIES POLE-MOUNT FIXTURE  
NOT TO SCALE



1 SITE LIGHTING PLAN  
1" = 40'-0"

WILDHORSE VILLAGE LUMINAIRE SCHEDULE										
TYPE	DESCRIPTION	MANUFACTURER	WATTAGE	VOLTAGE	SOURCE	CCT	CRI	DIMMING TYPE	MOUNTING	NOTES
AM01	SINGLE HEAD ROADWAY LUMINAIRE AND POLE, TYPE IV DISTRIBUTION	LUMARK PRV-C25-D-UNV-T4-SA-BK-OA-RA1016	96	UNV	LED	4000K	70+		POLE	PHOTOCELL ON/OFF
S01A	SINGLE HEAD LUMINAIRE AND DECORATIVE POLE, TYPE II DISTRIBUTION	INVUE LXS-B2-LED-D1-T2-GM-S-PC ARPS-L3-14A-XX-PC	48	UNV	LED	4000K	70+		POLE	PHOTOCELL ON/OFF
S01B	SINGLE HEAD LUMINAIRE AND DECORATIVE POLE, TYPE III DISTRIBUTION	INVUE LXS-B2-LED-D1-T3-GM-S-PC ARPS-L3-14A-XX-PC	48	UNV	LED	4000K	70+		POLE	PHOTOCELL ON/OFF
S01C	SINGLE HEAD LUMINAIRE AND DECORATIVE POLE, TYPE IV DISTRIBUTION	INVUE LXS-B2-LED-D1-T4-GM-S-PC ARPS-L3-14A-XX-PC	48	UNV	LED	4000K	70+		POLE	PHOTOCELL ON/OFF
S01D	SINGLE HEAD LUMINAIRE AND DECORATIVE POLE, TYPE V DISTRIBUTION	INVUE LXS-B2-LED-D1-T5-GM-S-PC ARPS-L3-14A-XX-PC	48	UNV	LED	4000K	70+		POLE	PHOTOCELL ON/OFF

LUMINAIRE IMAGE CHART				
IMAGE	FIXTURE DESIGNATION	LOCATION	FINISH	POLE HEIGHT
	AM01	WILDHORSE CREEK ROAD	BLACK	20' POLE
	S01A S01B S01C	ROADWAYS	GRAPHIC METALLIC	14' POLE 33" LUMINAIRE 16'-8" OVERALL HEIGHT



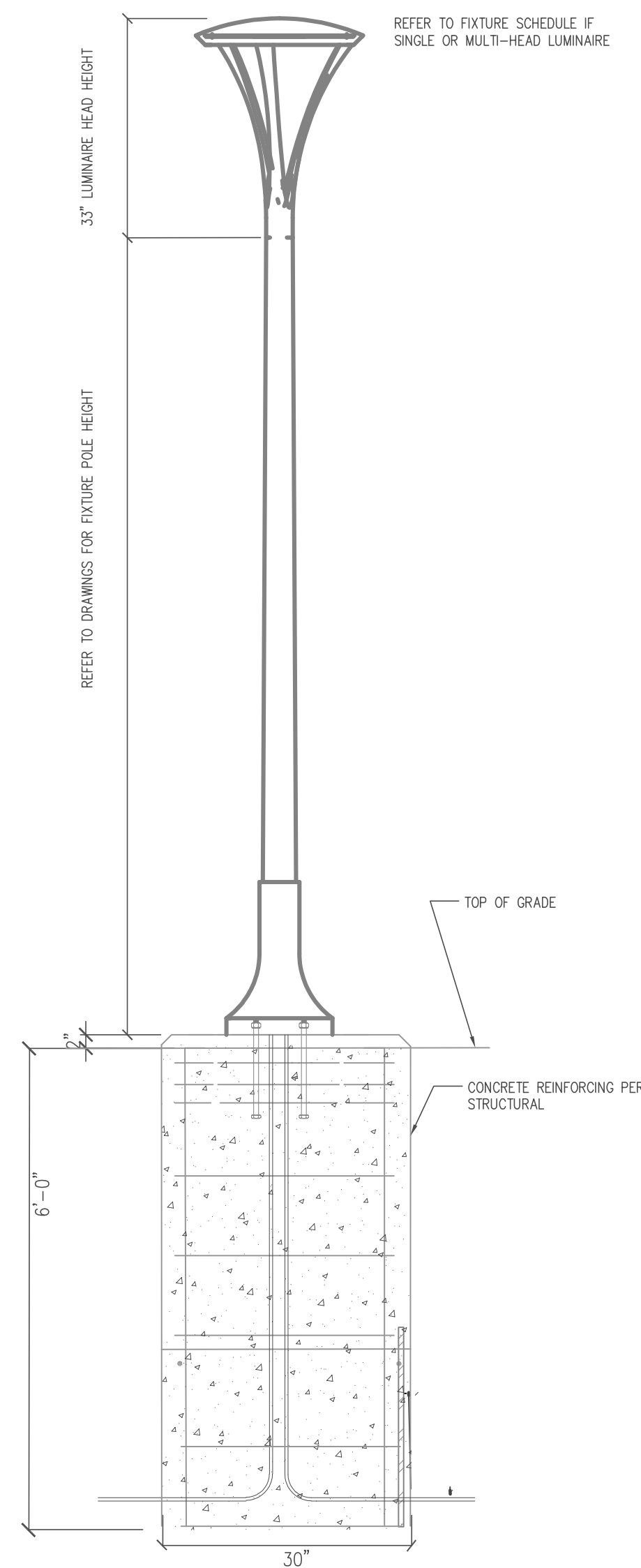
DRAWING ISSUE	
DESCRIPTION	DATE
SOSP	03.01.2021
CITY COMMENTS	03.30.2021
CITY COMMENTS	04.19.2021

BUILDING MAP

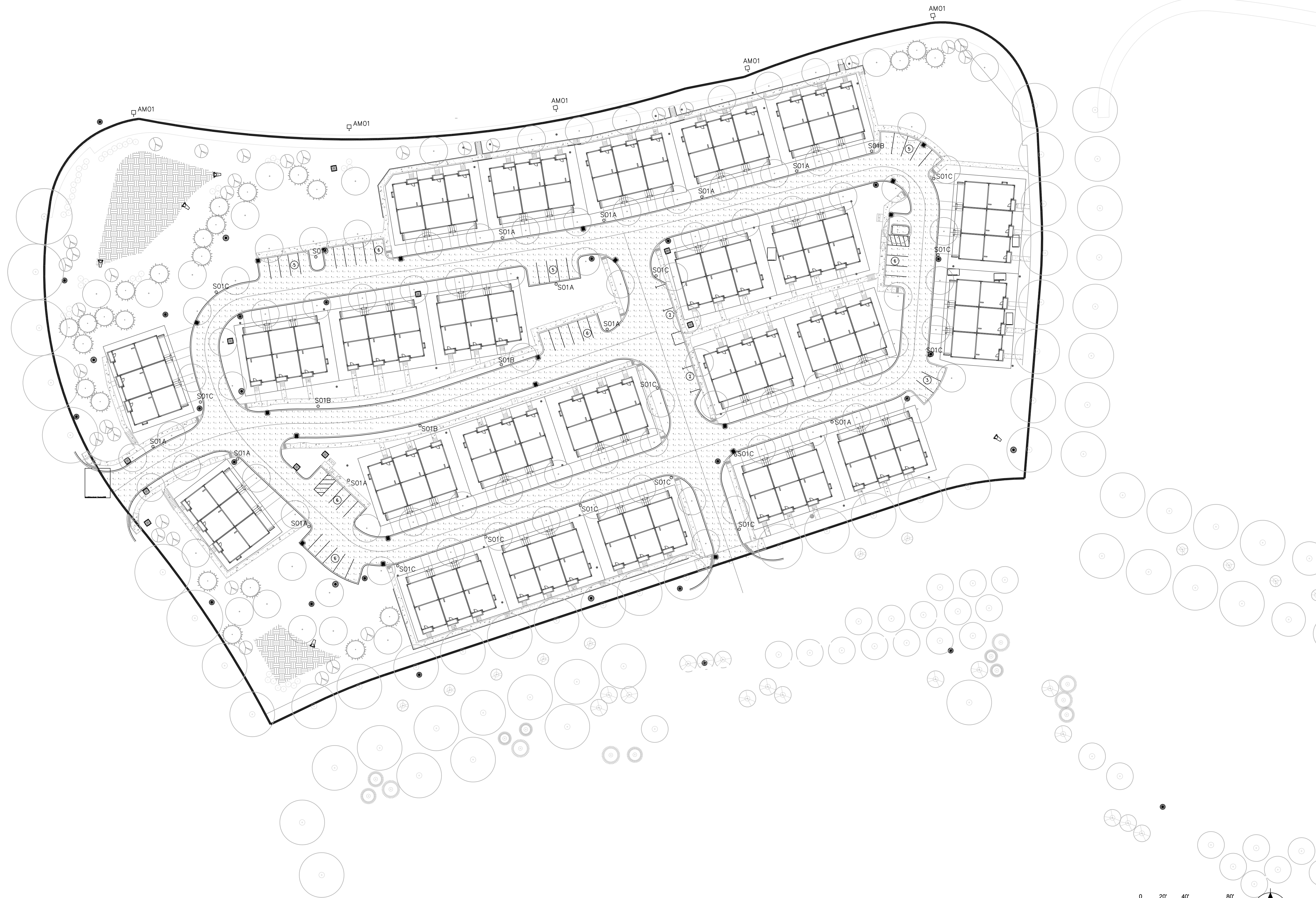
DRAWING TITLE  
SITE LIGHTING PLAN

DRAWING NO.  
**E1.100**





2 S01 SERIES POLE-MOUNT FIXTURE  
NOT TO SCALE

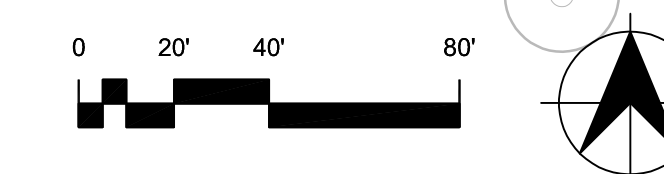


1 SITE LIGHTING CALCULATION PLAN  
1" = 40'-0"

WILDHORSE VILLAGE LUMINAIRE SCHEDULE										
TYPE	DESCRIPTION	MANUFACTURER	WATTAGE	VOLTAGE	SOURCE	CCT	CRI	DIMMING TYPE	MOUNTING	NOTES
AM01	SINGLE HEAD ROADWAY LUMINAIRE AND POLE, TYPE IV DISTRIBUTION	LUMARK PRV-C25-D-UNV-T4-SA-BK-OA-RA1016	96	UNV	LED	4000K	70+		POLE	PHOTOCELL ON/OFF
S01A	SINGLE HEAD LUMINAIRE AND DECORATIVE POLE, TYPE II DISTRIBUTION	INVUE LXS-B2-LED-D1-T2-GM-S-PC ARPS-L3-14A-XX-PC	48	UNV	LED	4000K	70+		POLE	PHOTOCELL ON/OFF
S01B	SINGLE HEAD LUMINAIRE AND DECORATIVE POLE, TYPE III DISTRIBUTION	INVUE LXS-B2-LED-D1-T3-GM-S-PC ARPS-L3-14A-XX-PC	48	UNV	LED	4000K	70+		POLE	PHOTOCELL ON/OFF
S01C	SINGLE HEAD LUMINAIRE AND DECORATIVE POLE, TYPE IV DISTRIBUTION	INVUE LXS-B2-LED-D1-T4-GM-S-PC ARPS-L3-14A-XX-PC	48	UNV	LED	4000K	70+		POLE	PHOTOCELL ON/OFF
S01D	SINGLE HEAD LUMINAIRE AND DECORATIVE POLE, TYPE V DISTRIBUTION	INVUE LXS-B2-LED-D1-T5-GM-S-PC ARPS-L3-14A-XX-PC	48	UNV	LED	4000K	70+		POLE	PHOTOCELL ON/OFF

LUMINAIRE IMAGE CHART				
IMAGE	FIXTURE DESIGNATION	LOCATION	FINISH	POLE HEIGHT
	AM01	WILDHORSE CREEK ROAD	BLACK	20' POLE
	S01A S01B S01C	ROADWAYS	GRAPHIC METALLIC	14' POLE 33' LUMINAIRE 16'-8" OVERALL HEIGHT

CALCULATION SUMMARY			
LABEL	AVG	MAX	MIN
LOT 1 DRIVE	0.79fc	2.2fc	0.2fc



**Townes at Wildhorse Village - Lot 1**  
Payne Family Homes  
Wildhorse Creek Road, W. Chesterfield Parkway  
Burkhardt Place - Chesterfield, Missouri

DRAWING ISSUE	
DESCRIPTION	DATE
SOSP	03.01.2021
CITY COMMENTS	03.30.2021
CITY COMMENTS	04.19.2021

BUILDING MAP

DRAWING TITLE  
SITE LIGHTING  
CALCULATION PLAN  
DRAWING NO.  
**E2.100**