

Architectural Review Board Staff Report

Project Type:	Site Development Section Plan
Meeting Date:	May 09, 2019
From:	Mike Knight, Planner
Location:	A 0.73 acre tract of land located west of the intersection of Clarkson Road and Lea Oak Drive.
Description:	<u>Clarkson Square, Lot A (McDonald's) SDSP:</u> A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 0.73 acre tract of land located west of the intersection of Clarkson Road and Lea Oak Drive (19S411406).

PROPOSAL SUMMARY

This request is to allow for an update to both the building appearance of an existing McDonald's and site design features including a double drive-thru lane in the Clarkson Square Development. The subject site is zoned "C8" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance 2999 and City of Chesterfield Ordinance 2020. The subject site is Lot A of Section A located within the Clarkson Square Subdivision. Below is an aerial of the subject site.



Figure 1: Aerial Site Photo

HISTORY OF SUBJECT SITE

The subject site was zoned “C-8” Planned Commercial by St. Louis County prior to the City’s incorporation.

In 1995, the City of Chesterfield approved Ordinance 1100 which made amendments to the original St. Louis County ordinance for additional uses for the school site, identified in the ordinance as Section C. Subsequently, Ordinance 2020 was approved in 1996 to change the allowable gross floor area in Section C.

In 2005, Ordinance 2169 was approved to remove the previously-approved theatre use in Section A as shown in Figure 2 below. The square footage of the theatre was then incorporated into the commercial/retail use within the Commercial/Retail area.

Finally in 2018, Ordinance 2999 repealed City of Chesterfield Ordinance 2169 and amended City of Chesterfield Ordinance 2020. This request was solely to remove the restriction on the number of restaurants permitted in Section A.

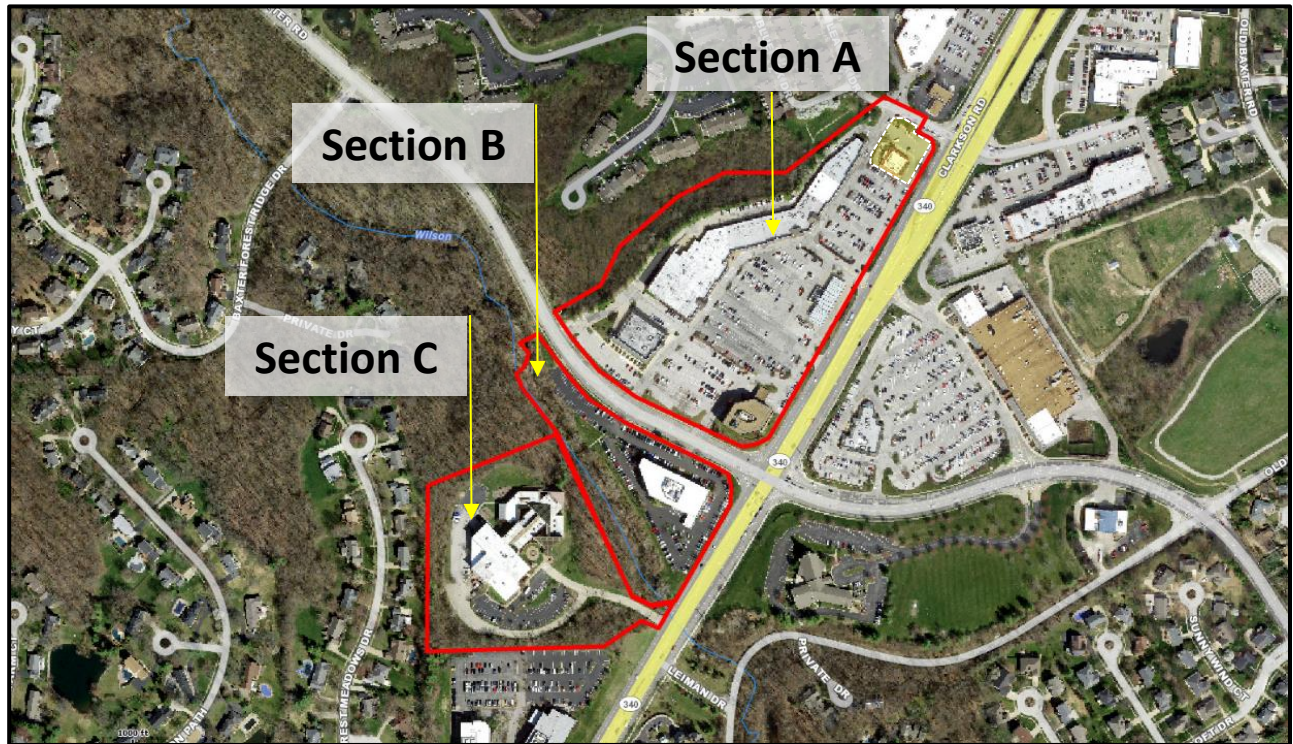


Figure 2: Clarkson Square Subdivision

STAFF ANALYSIS

The Subject Site is located in an area of the City’s Comprehensive Land Use Plan known as the Urban Core. **General Policy 1.8** of the Comprehensive Plan states that the Urban Core should be developed to contain the highest density of mixed-use development in Chesterfield. It should serve as the physical and visual focus for the City and include both residential and commercial developments with parks, municipal services, and preservation of historic structures and areas, with cultural, entertainment and pedestrian amenities for its residents.

The Comprehensive Plan also discusses specific Transportation Policies; some of which are applicable to this request. **Transportation Policy 7.2.4** states that sidewalks should be required of all new developments and encouraged along existing roads in the City of Chesterfield, allowing creative placement to protect the natural environment. **Transportation Policy 7.2.6** states that internal vehicular and pedestrian connections between commercial developments should be encouraged. These transportation policies point towards safe internal pedestrian and vehicular connections within commercial development along major arterial roadways. As renovations occur to the building and site design of the Clarkson Square development, plans will be reviewed to ensure this safe connection for both pedestrians and vehicles.

General Requirements for Site Design:

All projects should address the following site requirements: Site Relationships, Circulation System and Access, Topography, and Retaining Walls.

A. Site Relationships

Developments should emphasize site relationships to provide a seamless transition between phases of a project, which are compatible with neighboring developments, and which also provide a transition from the street to the building.

Currently there are no pedestrian connections from this site to Clarkson Road and there are none proposed within the scope of this development. At the intersection of Lea Oak Drive and Clarkson Road there is pedestrian infrastructure located on every corner except for the corner adjacent to this development. Figure 3 identifies sidewalk (red) at three of the four corners and a bus stop (yellow) adjacent to the subject site.

The applicant is enhancing the pedestrian experience within the site by proposing striping from the building's southern entrance to the ADA accessible spaces to the south of the building. Figure 4 provides an image of the newly created ADA spaces and the associated striping. This parking area is not on Lot A, but will be utilized through a reciprocal parking easement established between the lots.

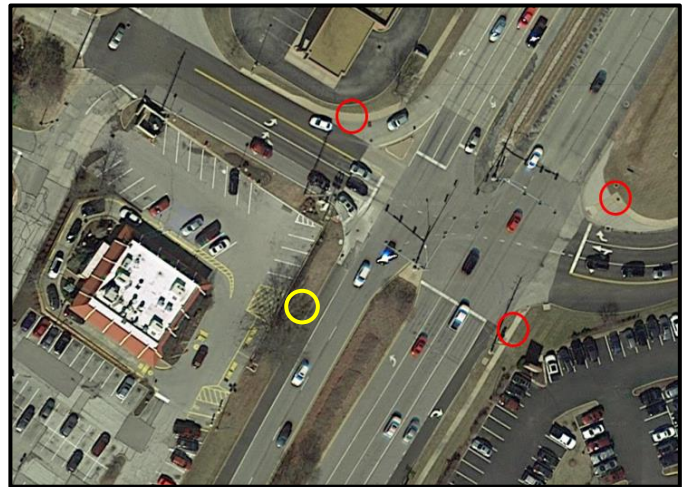


Figure 3: Pedestrian Intersection

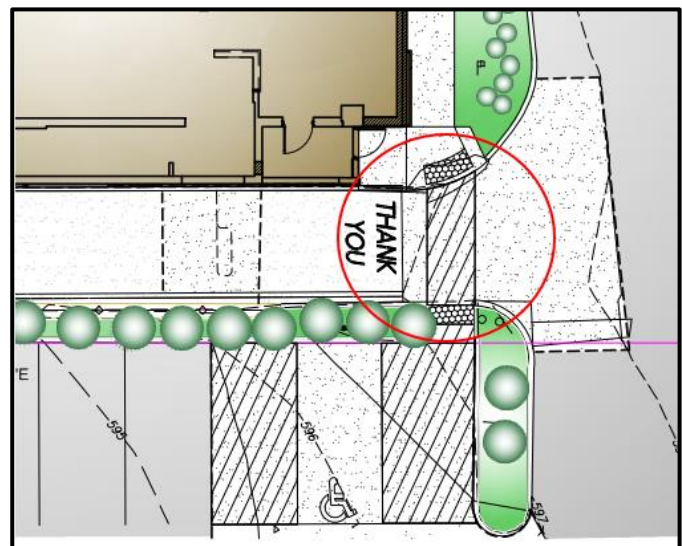


Figure 4: Pedestrian Striping

B. Circulation and Access

There are six access points into Section A of the Clarkson Square Development. The McDonald's site (Lot A) is the northernmost lot and also adjacent to the access off of Lea Oak Drive. Lea Oak Drive is a private road that connects to Clarkson Road. Clarkson Road is owned and operated by the Missouri Department of Transportation. According to the MoDOT's website, there are roughly 40,000 -50,000 average annual daily travelers on this section of roadway.

The applicant is largely leaving similar circulation patterns within the development. Site design of the existing site has been modified to provide a side-by-side drive thru to minimize congestion within the site. There is one entrance for vehicles located in the southeastern portion of Lot A and one exit in the northwestern portion of Lot A. There are two entrances into the building on the north elevation and one on the south elevation. Pedestrians must cross the drive-thru path to enter and exit the building. Figure 5 below is a Color Site Plan including the requested improvements.

The Amended Site Development Section Plan includes 28 parking spaces on site. Three spots were removed in the creation of the double drive-thru and four added on the eastern side. Parking for a 4,560 square foot fast food restaurant requires 68 parking spaces. All of the lots in Section A of the Clarkson Square Development have a reciprocal parking agreement. Parking for Section A is thus calculated as a whole and meet all minimum parking requirement standards set forth in the UDC. Restaurants with drive-thru facilities have specific stacking requirements identified within the UDC. It states a requirement of one space for each drive-up service lane, plus seven additional stacking spaces for each service lane. At a minimum, the stacking schedule shall also not interfere with vehicular or pedestrian circulation, or parking on the site. The applicant has supplied a stacking exhibit that depicts room for 17 vehicles and complies with this section of the UDC.

C. Topography and Retaining Wall

There is roughly 12 feet of grade change with the eastern side of the site adjacent to Clarkson being at the highest and the western edge of the site being the lowest. This grade change results in a retaining wall

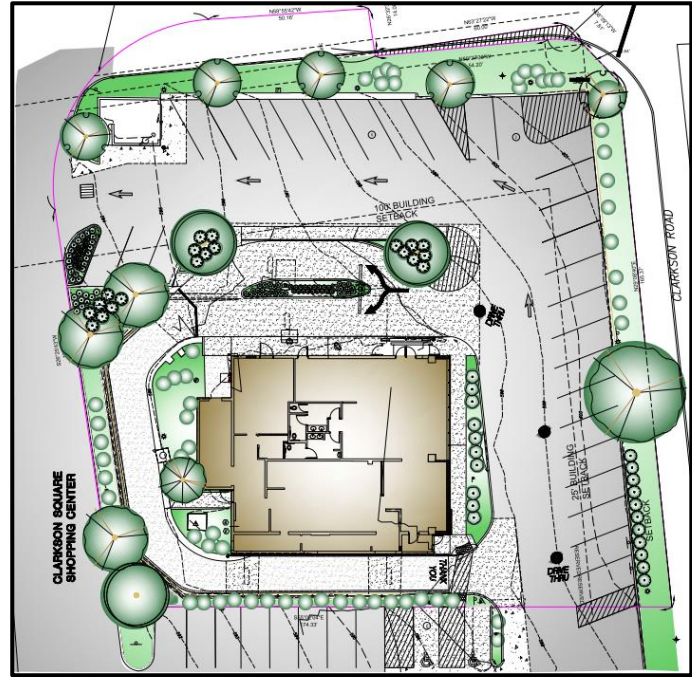


Figure 5: Color Site Plan



Figure 6: Existing Retaining Wall to Remain

to remain along the western edge of the drive-thru. There is currently a black metal fence on top of the retaining wall that is also scheduled to be replaced to match the existing style. An image of the retaining wall and associated fencing may be seen in Figure 6.

General Requirements for Building Design:

All projects should address the following building requirements: Scale, Design, Materials, Colors, Landscape, Screening, and Lighting.

A. Scale

The building remains roughly the same height after the adjustments submitted in this proposal. The maximum building height is 19'4" with the drive-thru canopy height at 10' 8". The building is in similar scale to the neighboring buildings in Clarkson Square and the nearby bank building.

B. Design

The intent of this project is to update the aesthetic fit of the current building to a more modern design seen through a national branding campaign by McDonald's. The building will change dramatically in color and form, but not in square footage. The building is proposed to be primarily gray with accents of white, yellow, and brown from the current color scheme of red, white and yellow. The roof will transition from a mansard roof to a parapet design screening all mechanical units. The site design primarily changes through the addition of a double drive-thru, the associated removal of 3 parking spaces, and the addition of 4 spaces on the eastern property line.

C. Materials and Colors

The building will consist of painted brick, painted EIFS, corrugated metal panel, and E-wood Tile. All of the materials mentioned will be some shade of gray, except for the E-wood tile which will be black/brown in color. A white aluminum canopy wraps along the front of the building facing Clarkson Road and continues around partially to the north elevation. The inverse occurs with the corrugated metal panel as it wraps around every elevation except for most of the front elevation facing Clarkson Road. Small yellow accents appear above the drive-thru windows. The following images depict all four updated elevations. The most prominent view is the East Elevation seen by vehicles traveling both north and south on Clarkson Road.

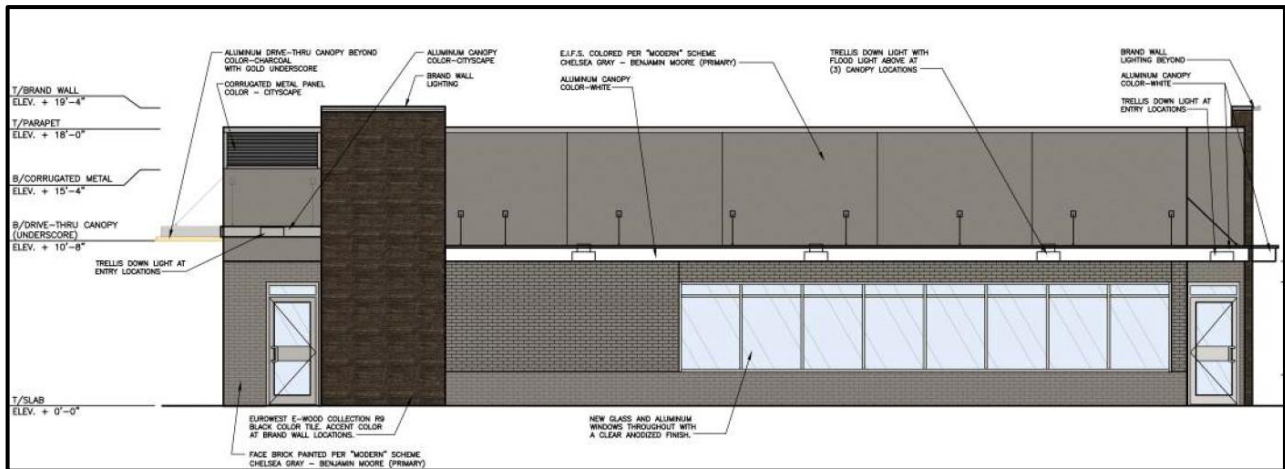


Figure 7: East Elevation facing Clarkson Road

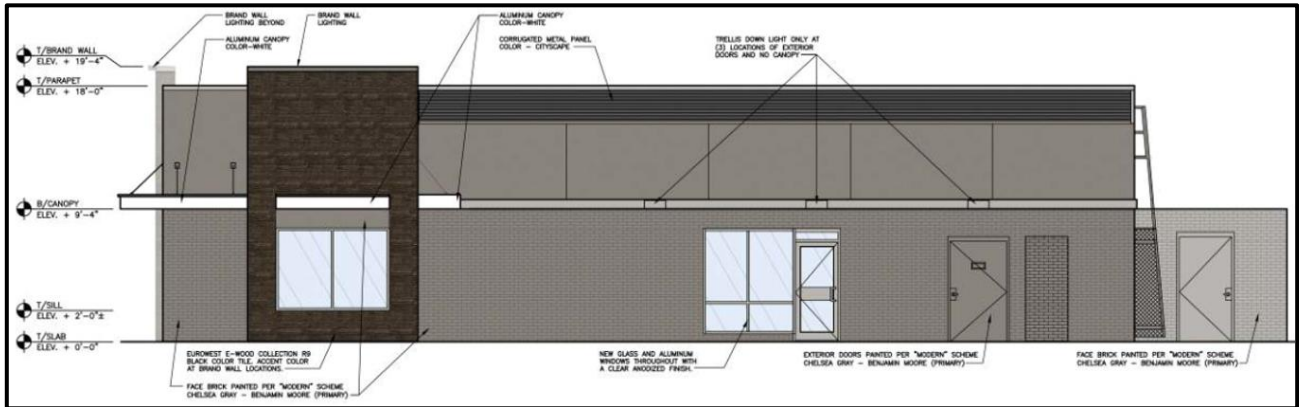


Figure 8: North Elevation facing Lea Oak Drive

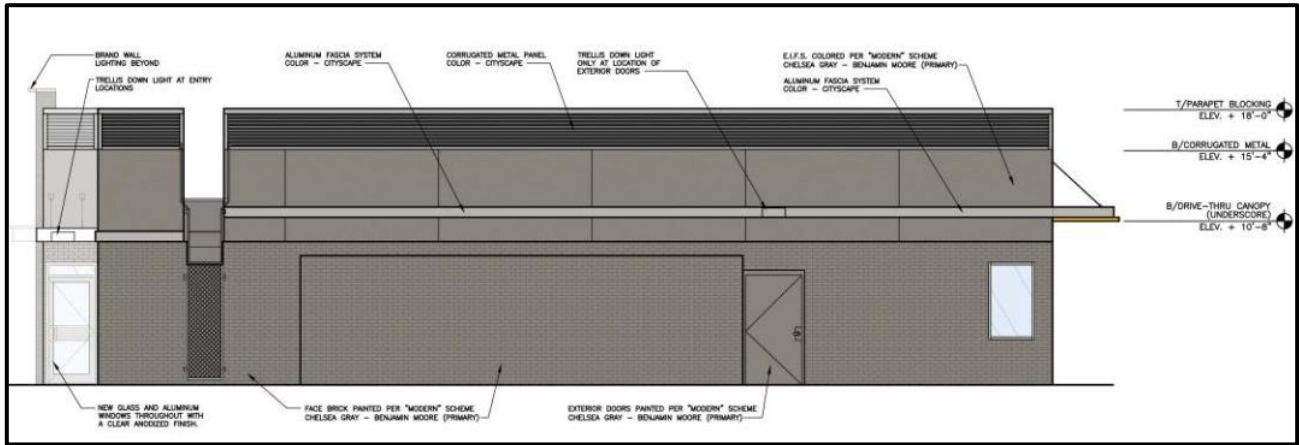


Figure 9: West Elevation facing the Clarkson Square Strip Center

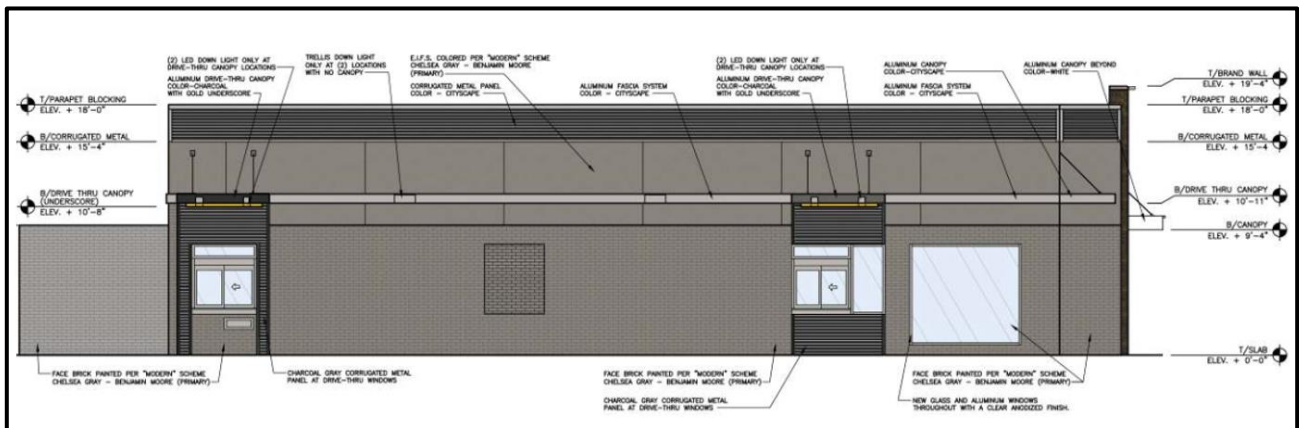


Figure 10: South Elevation seen by vehicles traveling north on Clarkson Road.

D. Landscape Design and Screening

The required Landscape Plan has been submitted. Most of the existing landscaping is scheduled to remain. Additional burning bushes will be added to the site along the Clarkson Road frontage on the southern edge of the site to match the existing to the north. This addition brings the required landscape buffer along arterial roadways more into compliance. Additional maple, hornbeam, red bud and ginkgo trees have been added to the site to enhance the existing landscaping.

The existing trash enclosure is to be removed and replaced. The base of the screening will consist of brick to match the building. The enclosure is 6 ft tall and has a swinging gate. The gate itself is made of 1" x 6" vinyl boards bolted to a frame.

E. Lighting

Lighting consists of utilitarian and decorative lighting that is still under review within the Site Development Section Plan review process. The development will utilize several different lighting strategies. For the site lighting, a common flat lensed fully shielded fixture will be utilized throughout the site. This is for general light levels in the parking and other site spaces. There are three fixtures attached to the building. One fixture "Trellis Lighting" is decorative and not fully shielded and flat lensed, which will require separate Planning Commission approval. Lighting placement throughout the site can be seen in Figure 11 below.

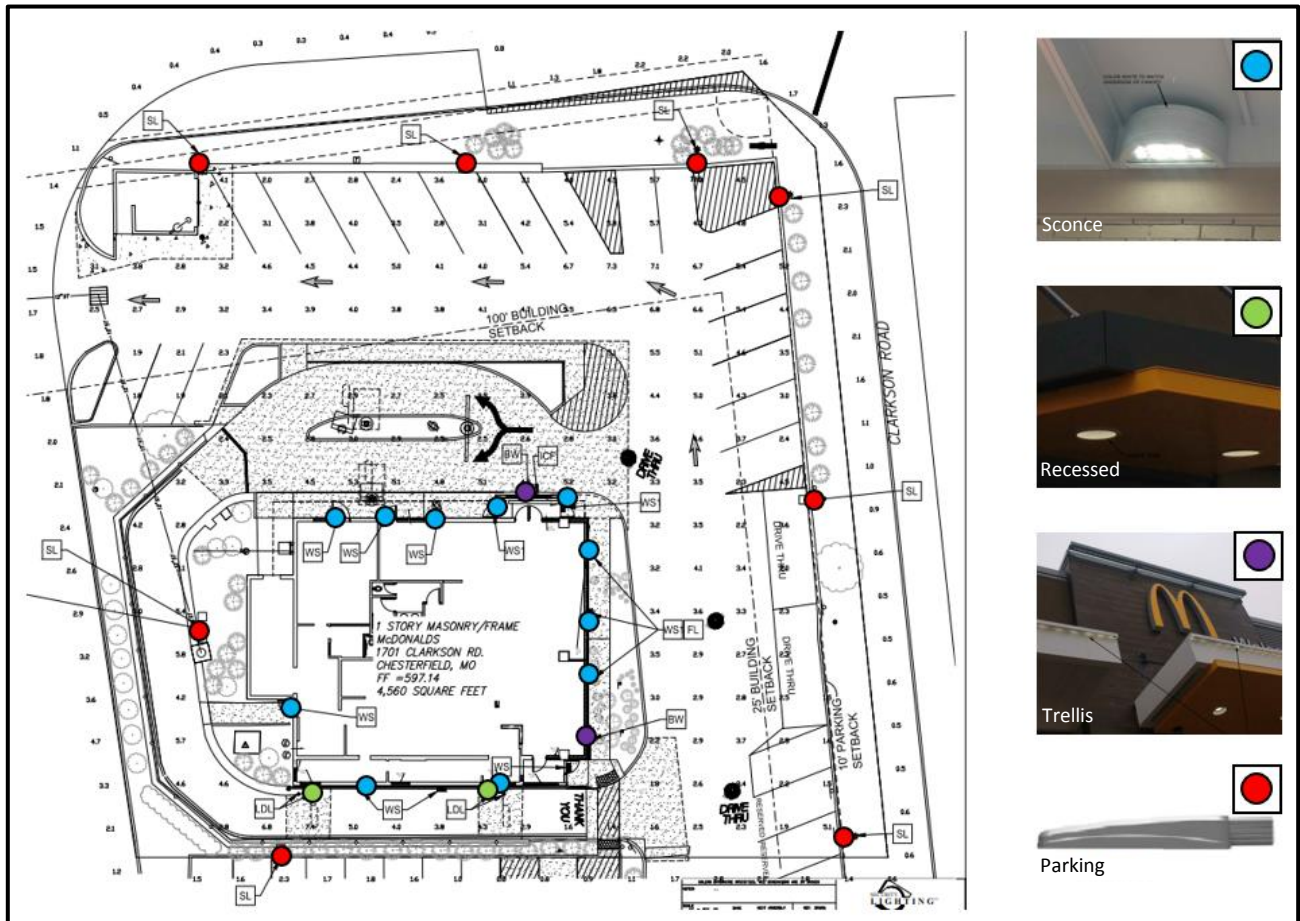


Figure 11: Lighting Plan

F. Exterior Rendering

The applicant has supplied the required three dimensional exterior rendering and can be seen (Figure 12) below. This is the view point of one traveling south on Clarkson Road.



Figure 12: Exterior Rendering

DEPARTMENT INPUT

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff's report to the Planning Commission.

Staff requests review and recommendation on this submittal for Clarkson Square, Lot A (McDonald's) SDSP.

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Clarkson Square, Lot A (McDonald's), as presented, with a recommendation for approval (or denial) to the Planning Commission."

- 2) "I move to forward the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Clarkson Square, Lot A (McDonald's) SDSP to the Planning Commission with the following recommendations..."

Attachments

1. Architectural Review Packet Submittal

The intent of this project is to provide an updated aesthetic to fit in with modern design to the existing McDonald's store located at 1701 Clarkson Road, within the Clarkson Square shopping mall.

Chapter 31 Unified Development Code; Article 04; Sec. 31-04-01 Architectural review design standards.

- A. To conform to the standards of applicability and compliance, we will submit to the City of Chesterfield the list of documents to accompany this statement to adhere to guidelines set by the City for the proposed project's compliance with the adopted code.
- B. We have referenced the section above and followed the set list of requested submittal requirements in conjunction with inquiries to the City of Chesterfield's planning representatives to provide acceptable materials for the City's review for the proposed project.
- C.
 1. Site relationships – Pedestrian movement has been considered and accessible pathing is to be provided at the site to allow safe movement. Existing conditions remain with no site exclusive public plaza or courtyard with the shopping center but at locations not required for proposed parking area such as at the retaining wall and at the front façade of the building, landscaping is incorporated to enhance views.
 2. Pedestrian Circulation – A designated striped area will be provided highlighting accessible route to access the site.
Vehicular Circulation - Site design of the existing site has been modified to provide a side-by-side drive through design to minimize site vehicular congestion within the paved area.
Parking – Limited front parking is provided, and the greater portion of parking is provided on either side of the building. Landscaped areas are provided in front of the building and between the street and parking area.
Pedestrian Orientation – An intermediate trellis and canopy system is implemented in the design to bring focus toward the front façade at and between the two main entry locations through the use of a taller brand wall design which extends beyond the main building wall to create a hierarchy at the entry process
 3. Topography – Existing conditions are being improved upon to provide a more accessible site. The screening and transitions will remain similar the existing site design.
 4. Retaining Walls – Existing retaining wall to be repaired/replaced with a textured concrete or masonry design. Similar landscaping elements will be implemented screening a portion of the retaining wall and creating a similar experience to the front of the building.
- D.
 1. Scale
Building scale – compatibility is shown through elevation/rendering to show similar scale at adjacent buildings in the Clarkson Square shopping mall and nearby bank building.
Human scale – demonstrated through the use of brand wall features to provide a sense of entry and a trellis/canopy design at consistent levels to lead into the brand wall
Generic scale – With the topographic difference between the McDonald's site and the rest of the constructed site, the level at which the elements change is similar where the original height the existing mansard roof element aligned closely with the roof element of the

shopping center. With the proposed design the same level similarity will exist but will be a material change from brick to EIFS.

2. Design

- a. Proposed façade color is consistent throughout with an accent color located at brand walls and minor elements
- b. Varying landscape and change in architectural features around the building will keep similar elements from appearing repetitive.
- c. The architectural features will help in bringing your attention to attached signage but the building itself will not serve as an advertisement to the McDonald's franchise.
- d. Most of the building will be existing to remain at street level with repair of face brick and replacing glazing at street level. At brand walls, the walls will be detailed with the wall construction including finish.
- e. Interior finishes are to remain including art elements in the dining area.
- f. The proposed design will improve upon the energy efficiency by providing more efficient glass covering less of the building envelope.
- g. The building will retain existing materials that are in good condition and the new materials used will be higher quality and installed per manufacturer's recommendation.
- h. The design introduces canopies and a brand wall design at the building's entry point.
- i. Any temporary barrier/wall will complement the building's design.
- j. Rooftop equipment will be screened by parapet walls.

3. Materials and colors used for the building design will be per McDonald's MRP prototype with existing face brick, EIFS, and tile with the colors being grays and charcoal in color with white canopies and some gold underscoring specific to drive thru canopies.

4. Landscape design and screening

Development landscaping – existing landscaped areas to remain. Grouping of any new trees and shrubs should be consistent with existing landscaping.

Building landscaping – Landscaping exists at both streets separating from the building. There is an additional landscaped setback separating the front of the building from the parking area.

Parking area landscaping – Any landscaped areas adjacent to parking is separated through use of a curb or retaining wall.

Walls and fences – Masonry walls used as a dumpster enclosure. Proposed fencing above retaining wall at the drive thru and side elevations to be of picket style to match the existing style and will not be chain link.

5. Signage will be provided by a separate permit set. Proposed sign locations attached to the building are indicated in the proposed plans graphically.
6. Lighting will adhere to the UDC and cut sheets will be provided.

E. This project is not located within Chesterfield Valley

"AMENDED SITE DEVELOPMENT SECTION PLAN" LOT A OF THE CLARKSON SQUARE SUBDIVISION

OWNER/DEVELOPER

McDONALD'S USA LLC
10801 MASTIN BLVD
OVERLAND PARK KANSAS 66210

SITE INFORMATION

LOCATOR NUMBER 19S-41-1406
ZONING DISTRICT C-8 PLANNED COMMERCIAL DISTRICT
SITE ADDRESS 1701 CLARKSON SQUARE

EXISTING AREA BREAKDOWN

RESTAURANT BUILDING AREA 4,560 SQUARE FEET (14.50%)
EXISTING PAVED AREA 18,770 SQUARE FEET (59.64%)
EXISTING LANDSCAPE AREA 8,138 SQUARE FEET (25.86%)
TOTAL LOT AREA 31,468 SQUARE FEET OR 0.72 ACRES

PROPOSED AREA BREAKDOWN

RESTAURANT BUILDING AREA 4,560 SQUARE FEET (14.50%)
PROPOSED PAVED AREA 18,911 SQUARE FEET (60.09%)
PROPOSED LANDSCAPE AREA 7,997 SQUARE FEET (25.41%)
TOTAL LOT AREA 31,468 SQUARE FEET OR 0.72 ACRES

PARKING CALCULATIONS

REQUIRED

FAST FOOD RESTAURANT = 15 SPACES PER EVERY 1,000 GFA

FAST FOOD RESTAURANT = $4,560 / 1,000 = 4.56 \times 15 = 68.4$
 $68.4 \times 0.15 = 10.26$
TOTAL PARKING REQUIRED = 58 SPACES

PROVIDED

28 SPACES (ON SITE)
30 TOTAL (INCLUDES 2 HANDICAP SPACES)

PER THE PARKING STUDY EXHIBIT A TOTAL OF 430 STALLS ARE REQUIRED, A TOTAL OF 452 STALLS ARE PROVIDED

FLOOD PLAIN NOTE

WE HAVE EXAMINED COMMUNITY PANEL NUMBER 290896-0165-K (MAP NUMBER 29189C0165K, DATED FEBRUARY 4TH, 2015) OF THE FLOOD INSURANCE RATE MAPS, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FOR THE AREA CONTAINING THE SUBJECT PROPERTY. SAID PROPERTY APPEARS TO BE LOCATED IN ZONE "X", AREA OF 0.2% ANNUAL CHANCE FLOOD OR AREAS PROTECTED BY LEVEES. THIS AREA IS SHOWN AS BEING PROTECTED BY A LEVEE SYSTEM FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD.

LEGAL DESCRIPTION

A TRACT OF LAND BEING PART OF LOT A OF CLARKSON SQUARE PLAT FOUR, U.S. SURVEY 2002, TOWNSHIP 45 NORTH, RANGE 4 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

BENCHMARK INFORMATION

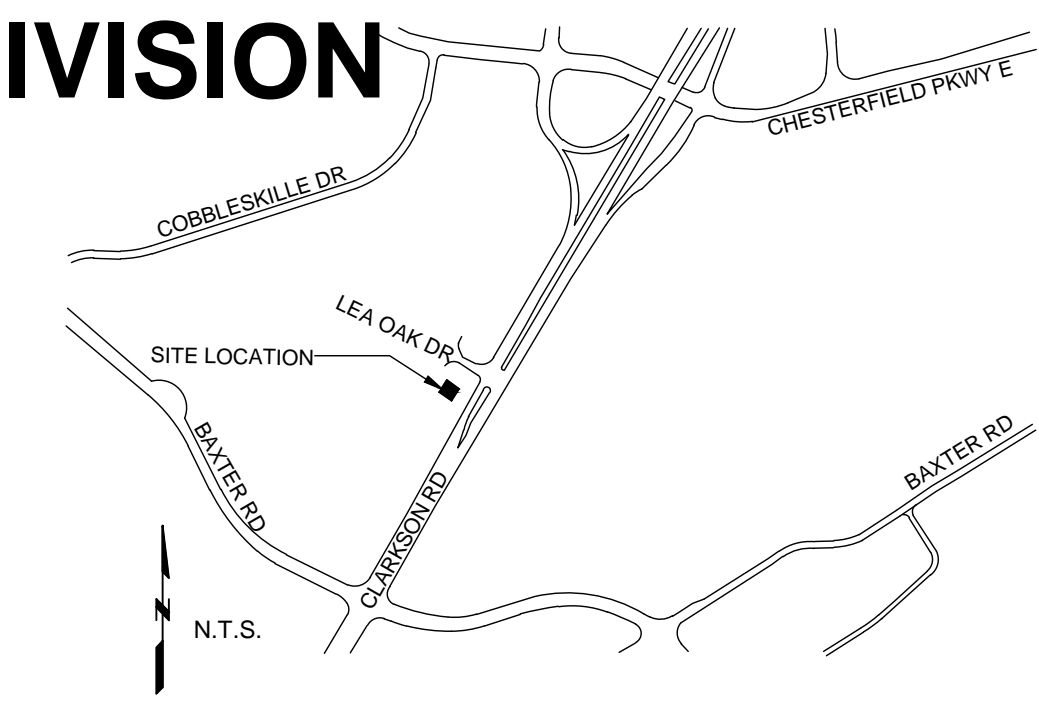
1. SITE BENCHMARK: TOP OF CONCRETE MONUMENT LOCATED AT THE SOUTHWEST CORNER OF CLARKSON ROAD AND LEA OAK DRIVE. ELEV= 592.25

GENERAL NOTES

- ALL DIMENSIONS ARE TO FRONT FACE OF CURB UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND DIMENSIONS OF NEW EXIT PORCHES, RAMPS, PATIOS, PRECISE BUILDING DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
- THE CONTRACTOR SHALL KEEP ALL ACCESS ROADS FREE FROM MUD AND DEBRIS AT ALL TIMES.
- THE CONTRACTOR SHALL SAWCUT ALL EDGES OF EXISTING PAVEMENT THAT IS TO BE REMOVED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CREATE A SMOOTH WORKING EDGE AND TO PLACE BACKFILL AND PAVEMENT SUCH THAT SETTLEMENT DOES NOT OCCUR.
- REFER TO SITE LAYOUT PLAN FOR DIMENSIONAL CONTROL OF NEW IMPROVEMENTS.
- ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE SITE IMPROVEMENTS SHALL COMPLY WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF CHESTERFIELD.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL AND PRACTICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT CONNECTION POINTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES AND CONSTRUCTION COSTS RELATED TO INSTALLATION AND CONNECTION OF ALL UTILITIES FROM LOCAL UTILITY COMPANY SOURCE TO THE NEW FACILITY.
- EXISTING UTILITIES SHOWN HEREON ARE FROM INFORMATION PROVIDED BY UTILITY COMPANIES AND MUST BE CONSIDERED AS APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION PRIOR TO COMMENCING WORK.
- ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE ELECTRIC SERVICE CONSTRUCTION SHALL COMPLY WITH THE LATEST STANDARDS AND SPECIFICATIONS OF LOCAL GOVERNING AUTHORITY.
- BACKFILL ALL UTILITY TRENCHES UNDER PAVEMENT WITH GRANULAR MATERIAL. REFER TO DETAIL ON SD SHEETS.
- REFER TO SHEET C1.2 FOR DIMENSIONS AND SHEET C1.2 FOR IDENTIFICATION OF EXISTING AND PROPOSED IMPROVEMENTS.
- REFER TO SHEET C2.1 FOR GRADING AND C3.1 FOR ABOVE AND BELOW GROUND SEWERS AND UTILITIES.
- REFER TO SHEET C4.1 FOR LANDSCAPE MATERIALS.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS, AFTER INITIAL GRADING TO SIX INCHES (6") BELOW SUBGRADE. TOP SOIL TO BE ADDED TO THE LEVEL OF THE WALKS OR CURBS.
- FINISH SPOT ELEVATIONS AND CONTOURS ARE SHOWN TO TOP OF NEW PAVEMENT, WALKS, SOD, ETC. (AND NOT FINISH ROUGH GRADE)
- FINISH SPOT ELEVATIONS AT THE FACE OF CURBS ARE SHOWN TO TOP OF NEW PAVEMENT AT THE CUTTER LINE UNLESS OTHERWISE NOTED.
- ALL GRADING AND DRAINAGE SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF CHESTERFIELD.
- NO SLOPE SHALL EXCEED 3:1 MAXIMUM.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL SIGNS ARE BY THE GENERAL CONTRACTOR.
- WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, VEGETATION SHALL BE REESTABLISHED IN SUCH A DENSITY AS TO PREVENT EROSION.
- WHEN CLEARING AND/OR GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN 30 DAYS, ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO RETAIN SOIL MATERIALS ON SITE. PROTECTIVE MEASURES MAY BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS SUCH AS PERMANENT SEEDING, PERIODIC WETTING, MULCHING, OR OTHER SUITABLE MEANS.
- PROVIDE WESEPHOLES ON CURBS AT ALL LANDSCAPE AREAS LOCATIONS.
- STORM WATER PIPES, OUTLETS AND CHANNELS SHALL BE PROTECTED BY SILT BARRIERS AND KEPT FREE OF WASTE AND SILT AT ALL TIMES PRIOR TO FINAL SURFACE STABILIZATION AND/OR PAVING.
- SILTATION FENCES SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND FOR THE AMOUNT OF SEDIMENT WHICH HAS ACCUMULATED. REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES 1/2 THE HEIGHT OF THE SILTATION FENCE.
- NOTIFY CITY OF CHESTERFIELD 48 HOURS PRIOR TO THE COMMENCEMENT OF GRADING AND/OR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- PARKING ON NON-SURFACED AREAS IS PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS. CONTRACTOR SHALL KEEP ROAD CLEAR OF MUD AND DEBRIS.
- ALL FILLS PLACED UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, INCLUDING TRENCH BACKFILLS WITHIN AND OFF THE ROAD RIGHT-OF-WAY, SHALL BE COMPACTED TO 90 % OF MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (ASTM D-1557) FOR THE ENTIRE DEPTH OF THE FILL.
- COMPACTED GRANULAR BACKFILL IS REQUIRED IN ALL TRENCH EXCAVATION WITHIN THE STREET RIGHT-OF-WAY AND UNDER ALL PAVED AREAS PER CITY OF CHESTERFIELD SPECIFICATIONS. ALL TESTS SHALL BE PERFORMED UNDER THE DIRECTION OF AND VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
- NO EXCAVATION SHALL BE MADE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PROPERTY OF ANY PUBLIC OR PRIVATE STREET WITHOUT SUPPORTING AND PROTECTING SUCH PUBLIC OR PRIVATE STREET OR PROPERTY FROM SETTLING, CRACKING OR OTHER DAMAGE.
- CONCRETE AND ASPHALTIC CONCRETE SURFACES SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE PROJECT SPECIFICATIONS.
- THICKEN EDGE OF ASPHALT PER SITE DETAILS WHEREVER ASPHALT PAVEMENT ADJOINS CONCRETE PAVEMENT.
- THE CONTRACTOR SHALL FURNISH, MAINTAIN AND REMOVE TRAFFIC CONTROL DEVICES FOR THE PURPOSE OF REGULATING, WARNING AND DIRECTING TRAFFIC DURING ALL PHASES OF CONSTRUCTION IN/ADJACENT TO ROADWAYS. USE OF ALL FLAGMEN, BARRICADES, WARNING SIGNS, ETC. SHALL CONFORM TO GUIDELINES ESTABLISHED IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- APPROVAL OF THIS PLAN BY THE CITY OF CHESTERFIELD DOES NOT CONSTITUTE AUTHORITY TO CONDUCT CONSTRUCTION OPERATIONS OR ENCRROACH ON ADJACENT PROPERTY FOR ANY REASON. IT IS THE OWNER'S RESPONSIBILITY TO SECURE PERMISSION AND/OR OBTAIN ALL NECESSARY EASEMENTS FROM AFFECTED PROPERTY OWNERS FOR ANY OFF-SITE WORK.
- ALL HANDICAPPED APPURTENANCES, INCLUDING STRIPING, SIGNING, RAMPS, RAILS, DETECTORS ECT. MUST COMPLY WITH IBC 2003 CHAPTER 11 AND ICC/ANSI 1117.1-1998.

SHEET INDEX

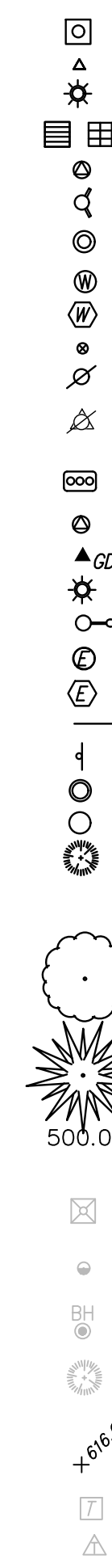
ASDP-0 COVER SHEET
ASDP-1 AMENDED SITE DEVELOPMENT SECTION PLAN
ALAP-1 AMENDED LANDSCAPE PLAN
ALP-1 AMENDED LIGHTING PLAN
ALP-2 BLDG MOUNTED LIGHTS
ALP-3 LIGHTS
AAE-1 AMENDED ARCHITECTURAL ELEVATIONS



LOCATION MAP

LEGEND

SYMBOLS

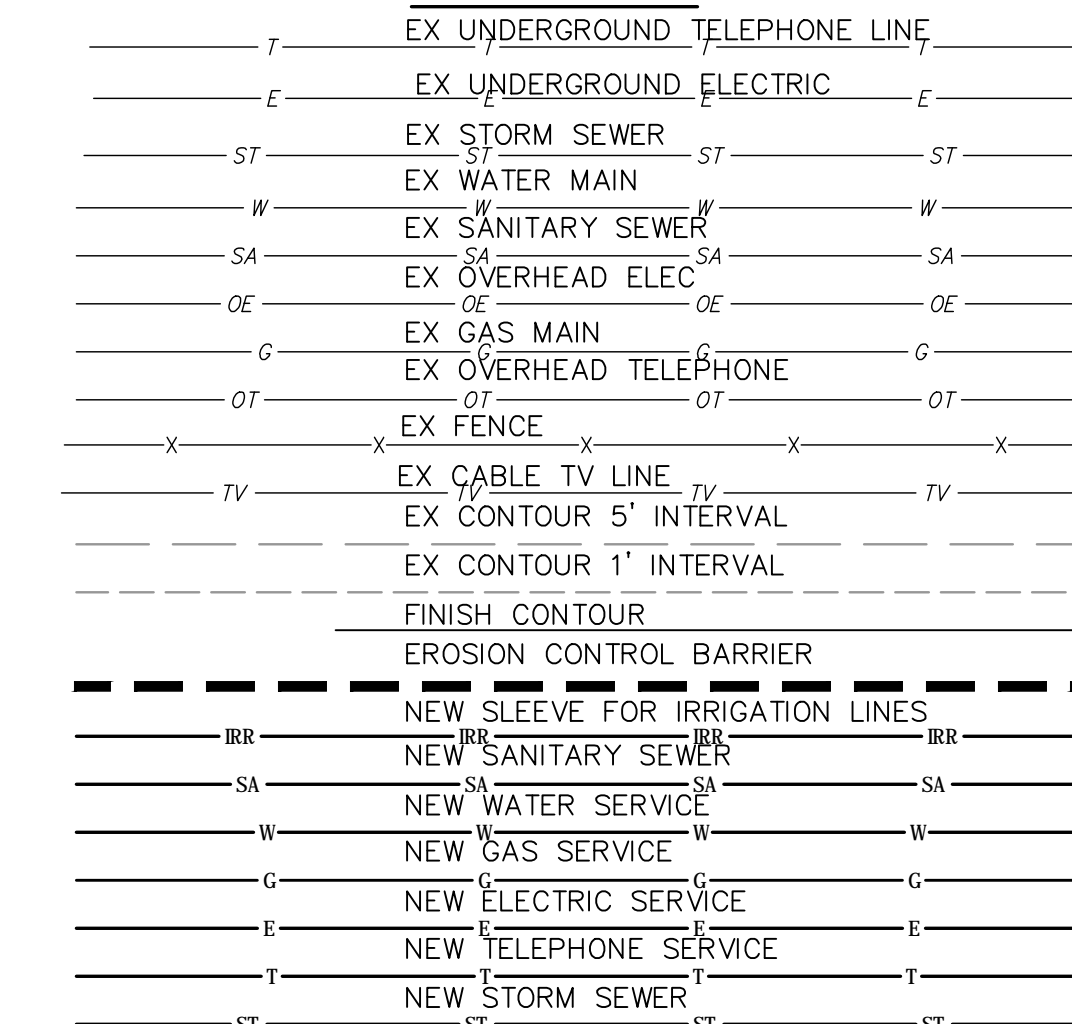


STORM INLET
CLEANOUT
LIGHT STANDARD
GRATE INLET
GAS VALVE
FIRE HYDRANT
SANITARY MANHOLE
WATER MANHOLE
WATER METER
WATER VALVE
UTILITY POLE
UTILITY POLE W/TRANSFORMER
TRAFFIC PULLBOX
GAS VALVE
GAS DRIP
AREA LIGHT
STREET LIGHT
ELECTRIC MANHOLE
ELECTRIC METER
GUY WIRE
SIGN
SANITARY MANHOLE
STORM MANHOLE
BUSH
DECIDUOUS TREE
EVERGREEN TREE
FINISH GRADE SPOT ELEVATION
ANTENNA
BOLLARD
BOREHOLE
BUSH
EXISTING SPOT ELEVATION
TELEPHONE PEDESTAL
TRANSFORMER

ABBREVIATIONS

(TR) TO REMAIN
ASPH ASPHALT
BLDG BUILDING
COR CORNER
CONC CONCRETE
CO CLEANOUT
DB DEED BOOK
FL FLOW LINE
MH MANHOLE
PB PLAT BOOK
PG PAGE
PB PLAT BOOK
P.O.B. POINT OF BEGINNING
P.U.M.I. PRIVATE, UNDER MSD INSPEC.
R.O.W. RIGHT-OF-WAY
SF SQUARE FEET
ST STORM
TC TOP OF CONCRETE/CURB
BC BOTTOM OF CURB
TW TOP OF WALL
BW BOTTOM OF WALL
TYP TYPICAL
UTIL UTILITY
W. WIDE
N NORTH
S SOUTH
E EAST
W WEST
SA SANITARY
ME MATCH EXISTING
G GUTTER
HANDICAP STALL MARKER
PARKING STALL INDICATOR
UTILITY KEYED NOTE
DEMOLITION KEYED NOTE
HARDSCAPE KEYED NOTE
FIBER OPTIC CABLE MARKER
GAS METER
MAIL BOX
GRATE TOP MANHOLE
MONITORING WELL
ROCK
TELEPHONE MANHOLE
TRAFFIC SIGNAL

LINEWORK



ISSUE REF	BY	DATE	DESCRIPTION
	JPB	12-28-18	CITY COMMENTS
	JPB	2-21-19	CITY COMMENTS
	JPB	3-4-19	CITY COMMENTS
	JPB	4-5-19	CITY COMMENTS
	JPB	4-25-19	PARKING CHANGE

REV	DATE	DESCRIPTION
1	12-28-18	
2	2-21-19	
3	3-4-19	
4	4-5-19	
5	4-25-19	

ROBERT E. POLK
ENGINEER
00083

THIS SHEET HAS BEEN SIGNED, SEALED, AND DATED ELECTRONICALLY

ROBERT E. POLK
ENGINEER
00083

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

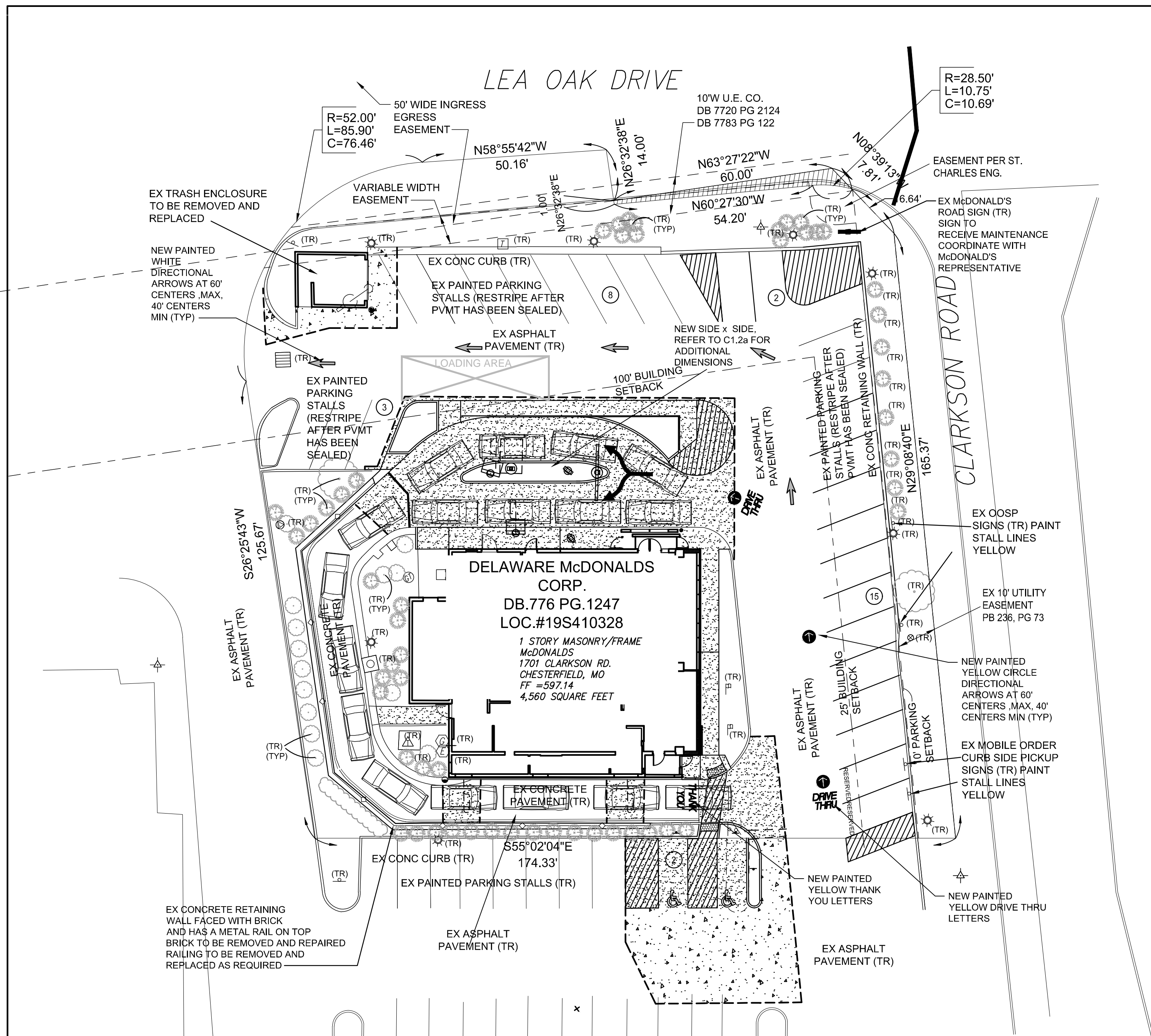
GREAT PLAINS REGION
10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210

PLAN APPROVAL	DATE
SIGNATURE (2 REQUIRED)	
REGIONAL MGR.	
CONST. MGR.	
PROJECT MANAGER	
REAL ESTATE MGR.	
CONTRACTOR	
OWNER	

STATUS	DATE	BY
PRELIMINARY	7-18-18	FG
FINAL PLAN	-	FG
AS-CONST.		

ASDP-0

COVER SHEET



AMENDED SITE DEVELOPMENT SECTION PLAN

Scale: 1"=20'

SITE INFORMATION

LOCATOR NUMBER 19S-41-1406
 ZONING DISTRICT C-8 PLANNED COMMERCIAL DISTRICT
 SITE ADDRESS 1701 CLARKSON SQUARE

EXISTING AREA BREAKDOWN

RESTAURANT BUILDING AREA 4,560 SQUARE FEET (14.50%)
 EXISTING PAVED AREA 18,770 SQUARE FEET (59.64%)
 EXISTING LANDSCAPE AREA 8,138 SQUARE FEET (25.86%)
 TOTAL LOT AREA 31,468 SQUARE FEET OR 0.72 ACRES

PROPOSED AREA BREAKDOWN

RESTAURANT BUILDING AREA 4,560 SQUARE FEET (14.50%)
 PROPOSED PAVED AREA 18,911 SQUARE FEET (60.09%)
 PROPOSED LANDSCAPE AREA 7,997 SQUARE FEET (25.41%)
 TOTAL LOT AREA 31,468 SQUARE FEET OR 0.72 ACRES

PARKING CALCULATIONS

FAST FOOD RESTAURANT = 15 SPACES PER EVERY 1,000 GFA
 FAST FOOD RESTAURANT = 4,560 / 1,000 = 4.56 x 15 = 68.4
 68.4 x 0.15 = 10.26 68.4 - 10.26 = 58.14
 TOTAL PARKING REQUIRED = 58 SPACES

PROVIDED
 27 SPACES (ON SITE)
 (1 HANDICAP SPACE PROVIDED OFF SITE FOR A TOTAL OF 28)

PER THE PARKING STUDY EXHIBIT A TOTAL OF 430 STALLS ARE REQUIRED, A TOTAL OF 452 STALLS ARE PROVIDED

STACKING REQUIREMENTS = 1 SPACE FOR EACH DRIVE UP SERVICE LANE PLUS 7 ADDITIONAL STACKING SPACES FOR EACH SERVICE LANE
 STACKING PROVIDED 17 STACKING SPACES
 1 LANE REQUIRES 1 + 7 ADDITIONAL = 8 TOTAL REQUIRED

SCRIPT FOR A SITE PLAN

A TRACT OF LAND BEING PART OF LOT A OF CLARKSON SQUARE PLAT FOUR, U.S. SURVEY 2002, TOWNSHIP 45 NORTH, RANGE 4 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AND FURTHER DESCRIBED AS:

BEGINNING AT THE SOUTHEAST CORNER OF ABOVE REFERENCED LOT A, SAID POINT BEING ON THE NORTHWESTERLY LINE OF CLARKSON ROAD AS ESTABLISHED BY DEED RECORDED IN BOOK 7492 PAGE 191 OF THE ST. LOUIS COUNTY RECORDS; THENCE NORTH 29 DEGREES 08 MINUTES 40 SECONDS EAST A DISTANCE OF 165.37 FEET TO A POINT, THENCE NORTH 08 DEGREES 39 MINUTES 13 SECONDS WEST A DISTANCE OF 16.64' TO A POINT, SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 28.50 FEET AND AN ARC LENGTH OF 10.75' TO A POINT, THENCE NORTH 60 DEGREES 27 MINUTES 30 SECONDS WEST A DISTANCE OF 54.20 FEET TO A POINT, THENCE NORTH 26 DEGREES 32 MINUTES 38 SECONDS EAST A DISTANCE OF 15.00 FEET TO A POINT, THENCE NORTH 58 DEGREES 55 MINUTES 42 SECONDS WEST A DISTANCE OF 50.16 FEET TO A POINT SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 52.00 FEET AND AN ARC LENGTH OF 85.90 FEET TO A POINT, THENCE SOUTH 26 DEGREES 25 MINUTES 43 SECONDS WEST A DISTANCE OF 125.67 FEET TO A POINT, THENCE SOUTH 55 DEGREES 02 MINUTES 04 SECONDS EAST A DISTANCE OF 174.33 FEET TO THE POINT OF BEGINNING AND CONTAINING 31,468 SQUARE FEET OR 0.72 ACRES MORE OR LESS.

_____, the owner(s) of the property shown on this plan for and in [Name of Owner(s)] consideration of being granted approval of said plan to develop property under the provisions of Section 03. _____ of City of Chesterfield Unified Development (applicable subsection) (present zoning) Code, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or voided or vacated by order of ordinance of the City of Chesterfield Council.

(Signature): _____
 (Name Typed): _____

(AND EITHER INCLUDE THIS SECTION FOR A CORPORATION)

State of _____) SS.
 County of _____)
 On this _____ day of _____, A.D., 20____, before me personally appeared _____, to me known, who, being by me sworn in, did say that he/she is the _____ of _____ (Title) (Name of Corporation) a corporation in the State of _____, and that the seal affixed to the foregoing instruments is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said _____ (Officer of Corporation) acknowledged said instrument to be the free act and deed of said corporation.

This Amended Site Development Section Plan was approved and duly verified by the Director of Planning and Development Services on the _____ day of _____, 20____ authorizing the recording of this Site Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning and Development Services and the City Clerk.

Justin Wyse, AICP
 Director of Planning and Development Services
 City of Chesterfield, Missouri

Vickie Hass, City Clerk
 City of Chesterfield, Missouri

TRAFFIC STUDY NOTES

The purpose of the traffic circulation review and parking sufficiency study was to determine if the proposed exterior renovations and site enhancement plans provide improvement in site circulation by reducing queuing conflicts while maintaining adequate parking availability for the site.

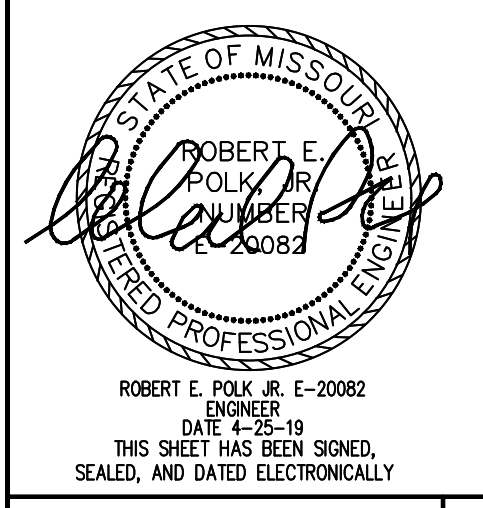
The existing parking supply (26 on site stalls) for the McDonalds site adequately serves the current parking demand. Following the drive thru configuration three parking stalls would be removed. However with the remaining on-site spaces and the available off site spaces, there would remain adequate parking. The increase in capacity for stacked vehicles would be expected to alleviate the queuing conflicts that currently exist, so the improvement would significantly help to eliminate stacking that currently occurs.

As noted on the site plan, the City's parking standards for a fast-food restaurant of this size would require 38 parking spaces. Presently, McDonald's provides 26 on site parking spaces; and is dependent on 12 off site spaces located adjacent to the site. The construction of the side by side drive-through lanes would eliminate three (3) parking spaces. It is noted that approximately 70% of their total sales are derived from their customers utilizing the drive-through lanes.

Site circulation pattern remains and with the incorporation of the side x side drive thru stacking is expected to be better thus freeing up aisle space for improved vehicle circulation. Delivery routes will remain unchanged and deliveries will be scheduled for off peak hours. Handicap parking stalls have been relocated to be closer to a building entry point.

Per Sheet PS-1 Parking Study
 The total required parking for the development per current unified development code = 901
 Total provided = 1,079 a surplus of 178 stalls exist
 22 surplus stalls exist on the building "A" site do to its location we will not consider these for surplus for the remainder of the site surplus parking for the remainder of the site = 156

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4	4-5-19	CITY COMMENTS	JPB	
5	4-25-19	PARKING CHANGE	JPB	



Signature of Robert E. Pollock
 10801 WASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210
 ADDRESS 1701 CLARKSON SQUARE CHESTERFIELD MO

PLAN APPROVAL	DATE	BY
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
PROJECT MANAGER		
REAL ESTATE MGR.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		
STATUS	DATE	BY
PRELIMINARY	7-18-18	FG
FINAL PLAN	-	FG
AS-CONST.		

ASDSP-1 AMENDED SITE DEVELOPMENT SECTION PLAN

Landscape Notes

GENERAL

- BASE SURVEY INFORMATION SUPPLIED BY OTHERS. ALL QUANTITIES AND DESIGN ARE BASED UPON THE PROVIDED SURVEY.
- PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL NOTIFY J.U.L.I.E., OWNER AND GENERAL CONTRACTOR (IF ANY) FOR THE PROPER MARKING/LOCATION OF ALL EXISTING UTILITIES, PUBLIC AND PRIVATE.
- ANY DAMAGE TO EXISTING PROPERTIES SHALL BE REPAIRED AND/OR REPLACED AT SUB-CONTRACTOR'S EXPENSE. CONTRACTOR IS ENCOURAGED TO TAKE PERIODIC RECORD PHOTOGRAPHS (I.E. PRE-CONSTRUCTION, DURING AND POST-CONSTRUCTION) OF SITE CONDITIONS & DESIGN ELEMENTS: PAVEMENTS, HARDSCAPE, NEW & EXISTING PLANTS AND OTHER SITE ELEMENTS.
- WHEN APPLICABLE, CONSTRUCTION BARRIERS SHALL BE ERECTED TO PROTECT THE PROPOSED WORK AND TO PROVIDE SECURITY.
- ALL WORK AND OPERATIONS SHALL COMPLY WITH CURRENT SAFETY PRACTICES, CODES OR ORDINANCES AS DICTATED BY FEDERAL (O.S.H.A.), STATE, AND LOCAL (CITY OR COUNTY) SAFETY CODES AND ORDINANCES, AS WELL AS THOSE OF THE OWNER AND/OR GENERAL CONTRACTOR. IT IS THE (SUB) CONTRACTOR'S RESPONSIBILITY TO LEARN AND COMPLY WITH CODES, ORDINANCES AND JOB SITE RULES.
- ALL TRADES SHALL COORDINATE AND COLLABORATE WITH EACH OTHERS WORK SO THAT THE FLOW OF WORK IS MAINTAINED AND ONE CRAFTSMAN'S WORK IS NOT UNFAIRLY DELAYED. TIME IS OF THE ESSENCE. CONTRACTORS MUST START WORK UPON NOTICE TO PROCEED AND REMAIN ON-SITE FOR THE COMPLETION OF THEIR SCOPE OF WORK AS AND WHEN THE SITE IS AVAILABLE TO THEM.
- CONTRACTORS SHALL VISIT THE SITE PRIOR TO START OF WORK TO COMPLETELY FAMILIARIZE THEMSELVES WITH EXISTING AS WELL AS PROPOSED CONDITIONS.
- CONTRACTOR TO FOLLOW NORMAL CLIENT, CITY OR VILLAGE WORKDAY HOURS (TYPICALLY BETWEEN 7 AM AND 6 PM). WEEKEND WORK TO BE IN COMPLIANCE WITH LOCAL CODES (WHERE APPLICABLE) AND COORDINATED WITH THE CLIENT FOR SITE ACCESS. NOTIFY THE GENERAL CONTRACTOR (OR CLIENT) OF ALL NON-NORMAL BUSINESS HOURS OF WORK.
- ALL WORK SHALL COMPLY WITH CURRENT O.S.H.A. REQUIREMENTS AND THE AMERICAN WITH DISABILITIES ACT FOR PHYSICALLY HANDICAPPED PEOPLE. THE CONTRACTOR IS RESPONSIBLE FOR SECURING AND PAYING FOR ALL REQUIRED PERMITS UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING SANITARY FACILITIES FOR THEIR CREWS IF NONE ARE PROVIDED.
- CONTRACTOR AND ALL SUB-CONTRACTORS ARE EXPECTED TO MAINTAIN THE CLIENT'S ACCESS TO ALL DRIVEWAYS, WALKS AND DOORWAYS.
- CONTRACTOR AND ALL SUB-CONTRACTORS WILL POLICE THE SITE AND THEIR RESPECTIVE WORK EFFORTS AT THE END OF EACH WORK DAY IN ORDER TO MAINTAIN A CLEAN, NEAT AND ORDERLY WORK SITE. SITE CLEAN-UP IS REQUIRED ON A DAILY BASIS AS WELL AS AT PROJECT CONCLUSION. THE CONTRACTOR SHALL PROTECT THE PROPERTY OF THE OWNER AND SAFETY AND WORK OF OTHER CONTRACTORS BY LEAVING THE PROJECT SITE AS FREE OF DEBRIS, CONSTRUCTION MATERIALS AND TOOLS AND OTHER ITEMS AS POSSIBLE FOR A NEAT AND ORDERLY APPEARANCE AT ALL TIMES. PLANT DEBRIS (LEAVES, TWIGS), DIRT AND DEBRIS SHALL BE SWEEPED FROM HARDSCAPES, DIRT CLODS, ROCKS, TWIGS/BRANCHES ETC. REMOVED FROM LAWN AREAS. THE CONTRACTOR SHALL ALSO BE DIRECTLY RESPONSIBLE FOR ALL DAMAGE CAUSED BY THE ACTIVITIES AND FOR THE DAILY REMOVAL OF ALL TRASH AND DEBRIS FROM HIS WORK AREA TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT. THE OWNER MAY ELECT TO RETAIN PROGRESS AND/OR FINAL PAYMENT(S) UNTIL SITE CLEAN-UP CONDITIONS ARE MET.
- FIELD VERIFICATION: THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO BIDDING AND REPORT ANY DISCREPANCIES TO THE OWNER OR HIS REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE, AT THEIR OWN EXPENSE, TEMPORARY PROTECTION FOR LANDSCAPE CONSTRUCTION AREAS UNTIL ISSUANCE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO SECURE, PROTECT AND OTHERWISE MINIMIZE OPPORTUNITIES FOR ACCIDENTS, THEFT AND VANDALISM. CONTRACTOR SHALL PROVIDE BARRICADES, TEMPORARY FENCING, SIGNS, AND WRITTEN WARNINGS OR POSTING AS MAY BE REQUIRED TO PROTECT SUCH AREAS. THE CONTRACTOR SHALL ISSUE WRITTEN WARNINGS TO OWNER WHEN APPLICABLE. AFTER SUCH WARNINGS ARE ISSUED, THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY THE OWNER OR THE OWNER'S EMPLOYEES, GUESTS OR FACILITY USERS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING ABOVE AND BELOW GROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION. ANY DAMAGE TO UTILITIES AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE WITHIN A REASONABLY SHORT PERIOD OF TIME, AND WITH AS LITTLE INCONVENIENCE TO THE OWNER AS POSSIBLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF CROWNS, TRUNKS AND ROOTS OF EXISTING TREES, SHRUBS, LAWNS, PAVED AREA AND OTHER EXISTING LANDSCAPED AREAS THAT ARE TO REMAIN. EXISTING TREES, WHICH MAY BE SUBJECT TO CONSTRUCTION DAMAGE, SHALL BE BOXED, FENCED, OR OTHERWISE PROTECTED BEFORE ANY WORK IS STARTED. BOXING OR OTHER PROTECTION WILL BE REMOVED AT THE END OF CONSTRUCTION. DO NOT LOCATE HEAVY EQUIPMENT OR STOCKPILES WITHIN THE DRIP-LINE OF EXISTING PLANTS OR ON LAWNS. ANY DAMAGE TO PLANTINGS OR LAWN AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE WITHIN A REASONABLY SHORT PERIOD OF TIME, AND WITH AS LITTLE INCONVENIENCE TO THE OWNER AS POSSIBLE.

LAYOUT

- ALL LAYOUT WORK MUST BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF HARDSCAPE, IRRIGATION SYSTEM OR PLANTING/LANDSCAPE ITEMS.
- USING THE DRAWINGS AS A GUIDE, THE LANDSCAPE CONTRACTOR SHALL PAINT, FLAG OR STAKE ALL PAVEMENT EDGES, WALL LOCATIONS AND/OR BOUNDARIES FOR LANDSCAPE ARCHITECT'S REVIEW. CONTACT THE LANDSCAPE ARCHITECT AND IRRIGATION CONTRACTOR (IF ANY) A MINIMUM OF 7 DAYS PRIOR TO LAYOUT TO COORDINATE A FIELD MEETING FOR REVIEW.
- THE CONTRACTOR SHALL VERIFY ALL DISTANCES AND DIMENSIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR A DECISION PRIOR TO COMMENCING WITH THE WORK.
- ALL WRITTEN DIMENSIONS SUPERSEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF WALL, EDGE OF STRUCTURE OR BACK OF CURB. PROPERTY LINE OR EDGE OF WALK UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- WALK SCORING AND EXPANSION JOINTS, IF PART OF THE LANDSCAPE SCOPE, SHALL BE LOCATED IN THE FIELD AS INDICATED ON THE DRAWINGS, OR AS FIELD ADJUSTED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT.

FINISH GRADING

- LANDSCAPE CONTRACTOR SHALL GRADE LAWN AREAS AND PLANTING BEDS PER THE GRADING PLAN. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- PROVIDE ALL GRADES FOR NATURAL WATER RUN-OFF WITHOUT LOW SPOTS, PUDDLES OR POCKETS. ACCURATELY SET FLOW LINE GRADES AT A 1/4" PER FOOT (2%) MINIMUM UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- FINISH GRADES SHALL BE SMOOTH, EVEN AND ON A UNIFORM PLANE WITH NO ABRUPT CHANGES IN THE SURFACE. SLOPE TO RUN UNIFORMLY BETWEEN GIVEN SPOT ELEVATIONS.
- WHERE GRADES ARE NOT INDICATED BETWEEN TWO GIVEN GRADE OR ELEVATION POINTS, GRADES ALONG THAT LINE SHALL BE UNIFORM. EITHER LEVEL OR SLOPED PER THE GRADING PLAN AND AT AN APPROPRIATE RELATIONSHIP TO ADJACENT PAVEMENTS, CURBS, EDGES OR DRAINAGE STRUCTURES.
- TOPS AND TOES OF ALL SLOPES SHALL BE ROUNDED TO PRODUCE A GRADUAL AND NATURAL APPEARANCE WITH EASED TRANSITIONS BETWEEN RELATIVELY LEVEL AREAS AND SLOPES.
- ALL PLANTING AREAS, INCLUDING LAWN AREAS, SHALL BE TRUE TO GRADE WITHIN ONE (1) INCH WHEN TESTED WITH A TEN (10) FOOT STRAIGHT EDGE.
- HOLD FINISH GRADES BELOW TOP OF ADJACENT PAVEMENT, HEADERS, CURBS, OR WALL PER THE FOLLOWING UNLESS INDICATED OTHERWISE ON SPECIFIC DRAWINGS OR DETAILS:
 - MULCH, SHREDDED WOOD OR COMPOST: 1 INCH. ALLOW MULCH LAYER TO TUCK AGAINST SOLID EDGE. KEEP SOIL LEVEL TWO INCHES MINIMUM BELOW MULCH LEVEL AT THESE CONDITIONS.
 - MULCH, STONE AGGREGATE: 1 INCH. ALLOW STONE MULCH TO STAY WELL BELOW ADJACENT HARDSCAPE ELEMENT. KEEP SOIL LEVEL A MINIMUM OF TWO INCHES BELOW TOP OF MULCH.
 - SEEDDED LAWN AREAS: 3/4 inch
 - SODDED LAWN AREAS: 1 inch

PLANTING

- PLANTING TECHNIQUES: ALL PLANTING TECHNIQUES AND METHODS SHALL BE

- CONSISTENT WITH THE LATEST EDITION OF "HORTICULTURE STANDARDS OF NURSERYMEN, INC.", AND AS DETAILED ON THESE DRAWINGS.
- ALL PLANT MATERIALS UPON ARRIVAL TO THE PROJECT SITE SHALL BE SUBJECT TO INSPECTION AND APPROVAL. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH FAIL TO MEET THIS INSPECTION. ALL REJECTED MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- PRE-DELIVERY PHOTOGRAPHS FROM NURSERY ARE ENCOURAGED. PHOTOS SHOULD INCLUDE THE ENTIRE PLANT AND A SCALED MEASURING DEVICE TO INDICATE THE SIZE OF PLANT. HEIGHT OF EVERGREEN TREES ARE MEASURED FROM THE GROUND TO THE FIRST LATERAL BRANCH CLOSEST TO THE TOP. HEIGHT AND/OR WIDTH OF OTHER PLANTS SO SPECIFIED ARE MEASURED BY THE OVERALL HABIT OF THE PLANT IS NOT COMPROMISED. ALL PRUNING WORK SHALL BE DONE WITH HAND PRUNERS ONLY.
- IF NECESSARY, TREES AND SHRUBS SHALL BE PRUNED OF DEAD AND BROKEN BRANCHES AS DIRECTED BY THE LANDSCAPE ARCHITECT AS LONG AS THE OVERALL HABIT OF THE PLANT IS NOT COMPROMISED. ALL PRUNING WORK SHALL BE DONE WITH HAND PRUNERS ONLY.
- ABSOLUTELY NO TIP PRUNING IS ALLOWED, EXCEPT HEDGES. ANY PLANT THAT IS TIP PRUNED IS SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT.
- PLANT SUBSTITUTION FROM THE SPECIFIED LIST WILL BE ACCEPTED ONLY WHEN SATISFACTORY EVIDENCE IN WRITING IS SUBMITTED TO THE OWNER OR HIS REPRESENTATIVE SHOWING THAT THE PLANT SPECIFIED IS NOT AVAILABLE. REQUESTS FOR APPROVAL OF SUBSTITUTE PLANT MATERIAL SHALL INCLUDE COMMON AND BOTANICAL NAMES AND SIZE OF SUBSTITUTE MATERIAL. ONLY THOSE SUBSTITUTIONS OF AT LEAST EQUIVALENT SIZE AND HAVING ESSENTIAL CHARACTERISTICS SIMILAR TO THE ORIGINALLY SPECIFIED MATERIAL WILL BE APPROVED. ACCEPTANCE OR REJECTION OF SUBSTITUTE PLANT MATERIALS WILL BE ISSUED IN WRITING BY THE OWNER OR HIS REPRESENTATIVE.
- ALL PLANTING BEDS RECEIVING BARK OR LEAF COMPOST MULCH SHALL BE TREATED WITH A QUALITY, COMMERCIAL GRADE PRE-EMERGENT HERBICIDE PRIOR TO MULCH INSTALLATION. PLANTING BED SHALL BE WEED AND/OR GRASS FREE PRIOR TO HERBICIDE APPLICATION. PROVIDE CUT SHEET OF HERBICIDE TO LANDSCAPE ARCHITECT FOR APPROVAL.
- PLANTS AND TURF ARE BEING ESTABLISHED IN A VARIETY OF CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND IMPLEMENT WHATEVER PROCEDURES HE DEEMS NECESSARY TO ESTABLISH THE PLANTS AND TURF AS PART OF HIS WORK. PLANTED AREAS AND TURF WILL BE ACCEPTED WHEN ALL AREAS ARE IN HEALTHY CONDITION AND AT LEAST 60 DAYS HAVE ELAPSED SINCE THE COMPLETION OF THIS WORK. THE CONTRACTOR SHALL SUBMIT WITH HIS BID A DESCRIPTION OF THE METHODS AND PROCEDURES HE INTENDS TO USE.
- PLANTING AREAS AND TURF SHALL BE WATERED TO ENSURE PROPER ESTABLISHMENT. ONCE PLANTS AND TURF ARE ESTABLISHED, WATERING MAY BE DECREASED BUT THE PLANTS AND TURF MUST NEVER BE ALLOWED TO DRY OUT COMPLETELY. FREQUENT WATERING SHOULD BE CONTINUED FOR APPROXIMATELY FOUR (4) WEEKS OR UNTIL PLANTS AND TURF HAVE BECOME SUFFICIENTLY ESTABLISHED TO WARRANT WATERING ON AN "AS NEEDED" BASIS. PRELIMINARY ACCEPTANCE: ALL PLANTINGS SHALL BE MAINTAINED BY THE CONTRACTOR FOR A PERIOD OF 60 DAYS AFTER PRELIMINARY ACCEPTANCE BY THE OWNER OR HIS REPRESENTATIVE. MAINTENANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, PRUNING PLANT MATERIAL, PULLING WEEDS, WATERING PLANT MATERIAL, AND PERENNIAL FLOWER MAINTENANCE.
- 60 DAY MAINTENANCE PERIOD: ALL PLANTINGS SHALL BE MAINTAINED BY THE CONTRACTOR FOR A PERIOD OF 60 DAYS AFTER PRELIMINARY ACCEPTANCE BY THE OWNER OR HIS REPRESENTATIVE. MAINTENANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, PRUNING PLANT MATERIAL, PULLING WEEDS, WATERING PLANT MATERIAL, AND PERENNIAL FLOWER MAINTENANCE.
- FINAL ACCEPTANCE (END OF 60 MAINTENANCE PERIOD): ALL PLANT MATERIAL (EXCLUDING ANNUAL COLOR), SHALL BE GUARANTEED FOR 1 CALENDAR YEAR AFTER THE END OF THE 60 DAY MAINTENANCE PERIOD. THE END OF THE MAINTENANCE PERIOD IS MARKED BY THE FINAL ACCEPTANCE OF THE CONTRACTOR'S WORK BY THE OWNER OR HIS REPRESENTATIVE.

EVERGREEN & DECIDUOUS TREE PLANTING NOTES

- TREES SHALL BEAR SAME RELATION TO FINISHED GRADE ON SITE OR IN NURSERY. IF ANY QUESTION, PLACE ROOTBALL 1" ABOVE ADJACENT FINISH GRADE.
- REMOVE ALL ROPE/STRING, NYLON OR SISAL, FROM AROUND TRUNK OF TREE.
- REMOVE BURLAP FROM TRUNK OF TREE AND CUT AWAY A 12" DIA. CIRCLE AROUND TRUNK.
- DO NOT REMOVE OR CUT WIRE BASKET UNLESS SPECIFICALLY DIRECTED BY THE LANDSCAPE ARCHITECT. WIRE BASKET IS RETAINED IN THE CASE THE ROOTBALL BEGINS TO ROCK APART DUE TO STRONG WINDS. BASKET COULD BE RE-TIED AS NEEDED AND STAKED IF DIRECTED BY LANDSCAPE ARCHITECT.
- SOAK WITH WATER IMMEDIATELY FOLLOWING INSTALLATION. WATER FROM BOTTOM OF TIP UPWARD IF POSSIBLE. SEE PERCOLATION TEST NOTE BELOW.
- DO NOT ALLOW AIR POKETS TO FORM WHEN BACKFILLING.
- DO NOT STAKE OR GUY WIRE TREES UNLESS DIRECTED TO DO SO BY THE LANDSCAPE ARCHITECT.
- EVERGREEN TREES WITH ORNAMENTAL OR UNNATURALLY TIGHT SHEARED FORM WILL BE REJECTED. IF ANY QUESTION, FORWARD PICTURES TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
- IF FITS ARE MACHINE EXCAVATED (I.E. AUGER) CONTRACTOR SHALL SCARIFY ALL SIDES OF PIT WITH HAND SPADE TO AVOID SOIL GLAZING.
- PERCOLATION TEST OF PLANTING PITS: ONCE ON-SITE, DISCUSS NEED FOR PERCOLATION TEST(S) WITH LANDSCAPE ARCHITECT PRIOR TO PLANTING TREES. EACH SITE SOIL PROFILE IS DIFFERENT.
- MULCHING: ALL INDIVIDUAL TREES AND THEIR WATERING RING BASIN SHALL BE MULCHED WITH SPECIFIED MULCH AT A 3" MIN. DEPTH. FOLLOW PROPER TECHNIQUE AND DO NOT ALLOW MULCH TO REST AGAINST TRUNK OF TREE.
- TREE WRAP: WHEN DIRECTED TO BY THE LANDSCAPE ARCHITECT OR BID SPECIFICATIONS, WRAP TREE SPIRALLY WITH APPROVED TREE WRAPPING TAPE THAT IS NOT LESS THAN 4" WIDE, AND SECURELY TIE WITH SUITABLE CORD AT THE TOP, BOTTOM, AND 2" INTERVALS ALONG THE TRUNK. WRAP FROM GROUND TO THE HEIGHT OF THE FIRST BRANCH. OWNER IS RESPONSIBLE FOR REMOVAL OF TREE WRAP.
- PROVIDE DURABLE, SLOW RELEASE WATERING BAGS OF BETWEEN 10 AND 15 GALLONS PER THE FOLLOWING TREE SIZES BELOW: "GATOR-BAGS" OR "GATOR BAG JR." OR APPROVED EQUAL. CONTRACTOR SHALL PURCHASE, INSTALL PER MANUFACTURER, AND FILL EACH WITH WATER IMMEDIATELY AFTER PLANTING. WATERING BAGS REMAIN PROPERTY OF THE END USER/OWNER/CLIENT AT THE COMPLETION OF THE 90 DAY WARRANTY. DECIDUOUS (SHADE AND ORNAMENTAL) TREES UP TO 3": ONE BAG; 3.5"-6.5": TWO BAGS. EVERGREEN AND ORNAMENTAL/MULTI-STEM TREES: 4"-14" HT.: ONE GATOR BAG JR.

EVERGREEN & DECIDUOUS SHRUB PLANTING NOTES

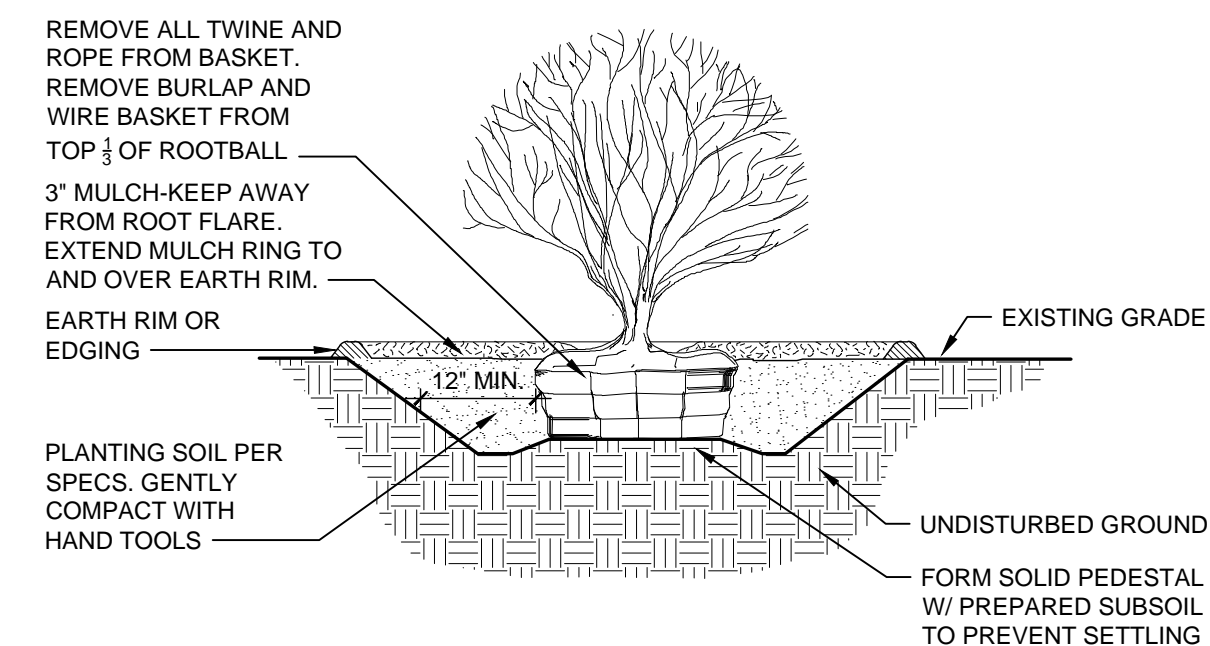
- DO NOT ALLOW POCKETS TO FORM WHILE BACKFILLING.
- SOAK WITH WATER IMMEDIATELY FOLLOWING INSTALLATION.
- DO NOT BREAK ROOTBALL WHILE HANDLING.
- IF 5-B MATERIAL, REMOVE BURGLAP AND TWINE FROM AROUND TOP 1/3 OF ROOTBALL. IF CONTAINERIZED, LOOSEN ROOT MASS SIGNIFICANTLY AFTER REMOVING FROM CONTAINER BY HAND OR CUT ROOT MASS WITH KNIFE ON 4 SIDES TO A DEPTH OF 1/2" AND CUT BOTTOM OF ROOT MASS IN SAME MANNER IN A 'X' PATTERN.
- MULCHING: SHRUBS PLANTED WITHIN LANDSCAPE BEDS SHALL RECEIVE THE SAME MULCH AS LANDSCAPE BEDS. SHRUB GROUPINGS PLANTED WITHIN MEADOW OR GRASS AREAS AND THEIR WATERING RING SHALL BE MULCHED WITH SPECIFIED MULCH AT A 3" MIN. DEPTH. FOLLOW PROPER TECHNIQUE AND DO NOT ALLOW MULCH TO REST AGAINST TRUNK OF SHRUB.

LANDSCAPE BEDS

- PROVIDE SHOVEL CUT EDGE AT ALL TURF EDGES UNLESS OTHERWISE INDICATED IN THE DRAWINGS.
- ALL BEDS TO BE CROWNED SLIGHTLY FOR PROPER DRAINAGE AWAY FROM BUILDINGS AND PAVEMENTS.
- IMMEDIATELY PRIOR TO PLANTING, AMEND PLANTING BEDS WITH 3" AGED LEAF COMPOST BY BLENDING THE COMPOST INTO THE TOP 6-8" OF PLANTING MEDIA.
- AFTER PLANTING, APPLY SHREDDED HARDWOOD MULCH AT A DEPTH OF 3".
- IMMEDIATELY FOLLOWING MULCH APPLICATION, APPLY A PREVENTIVE HERBICIDE SUCH AS PREEN OR APPROVED EQUAL. WET DOWN PLANTING BEDS THOROUGHLY WITH HOSE OR IRRIGATION SYSTEM (IF ANY).

5 SPADE CUT EDGING

Scale: NOT TO SCALE

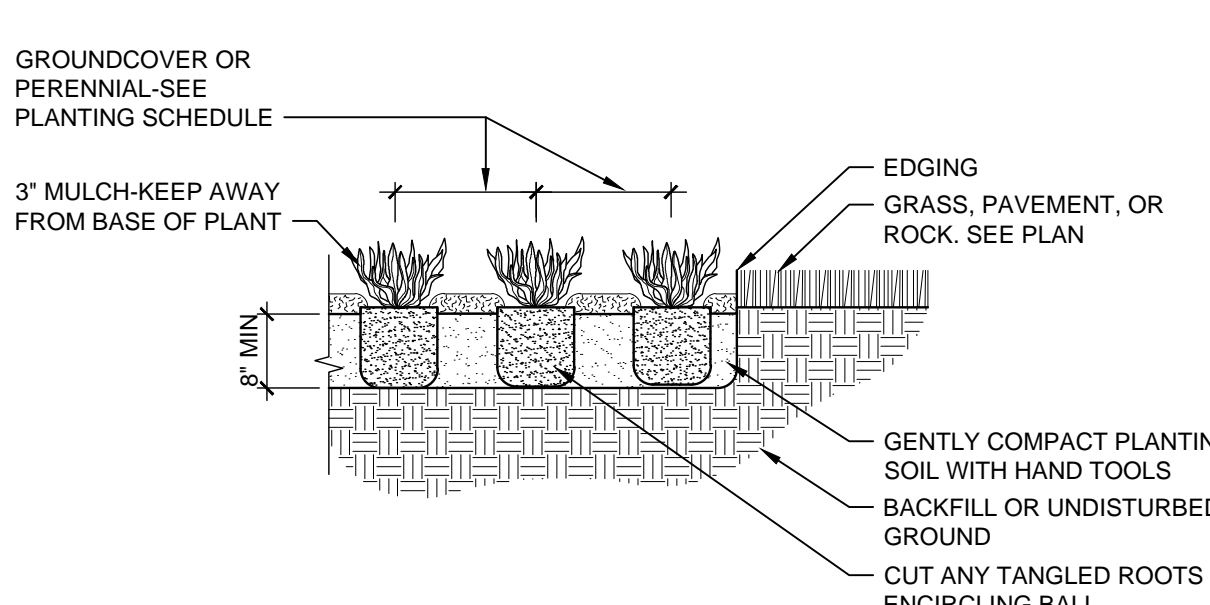


NOTES:

- SHRUB SHALL BE PLANTED SO ROOT FLARE IS 1" ABOVE ADJACENT FINISH GRADE.

4 SHRUB PLANTING

Scale: NOT TO SCALE



LANDSCAPE BEDS

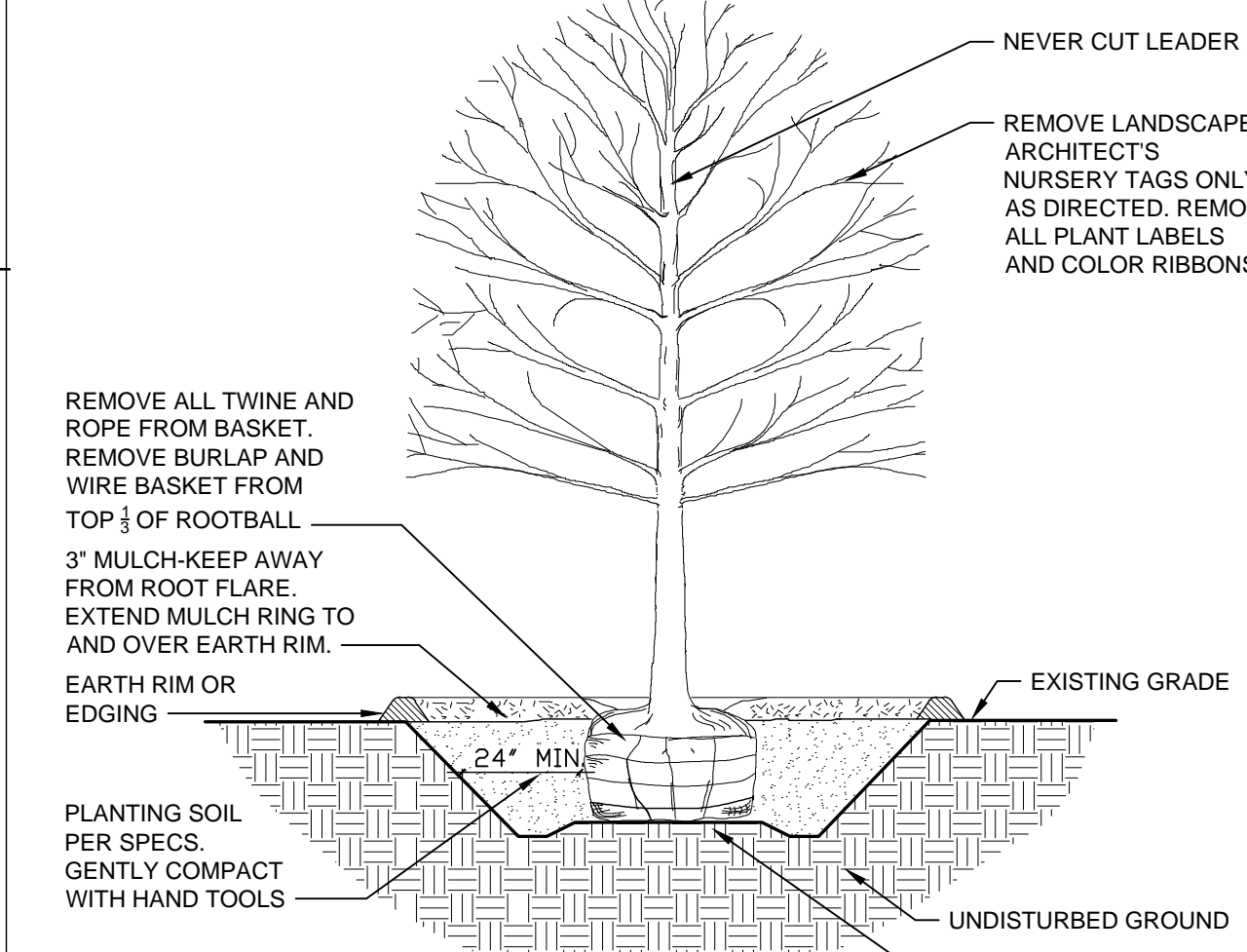
- PROVIDE SHOVEL CUT EDGE AT ALL TURF EDGES UNLESS OTHERWISE INDICATED IN THE DRAWINGS.
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- AFTER PLANTING, APPLY SHREDDED HARDWOOD MULCH AT A DEPTH OF 3".
- IMMEDIATELY FOLLOWING MULCH APPLICATION, APPLY A PREVENTIVE HERBICIDE SUCH AS PREEN OR APPROVED EQUAL. WET DOWN PLANTING BEDS THOROUGHLY WITH HOSE OR IRRIGATION SYSTEM (IF ANY).

3 PERENNIAL PLANTING

Scale: NOT TO SCALE

2 TREE PROTECTION

Scale: NOT TO SCALE

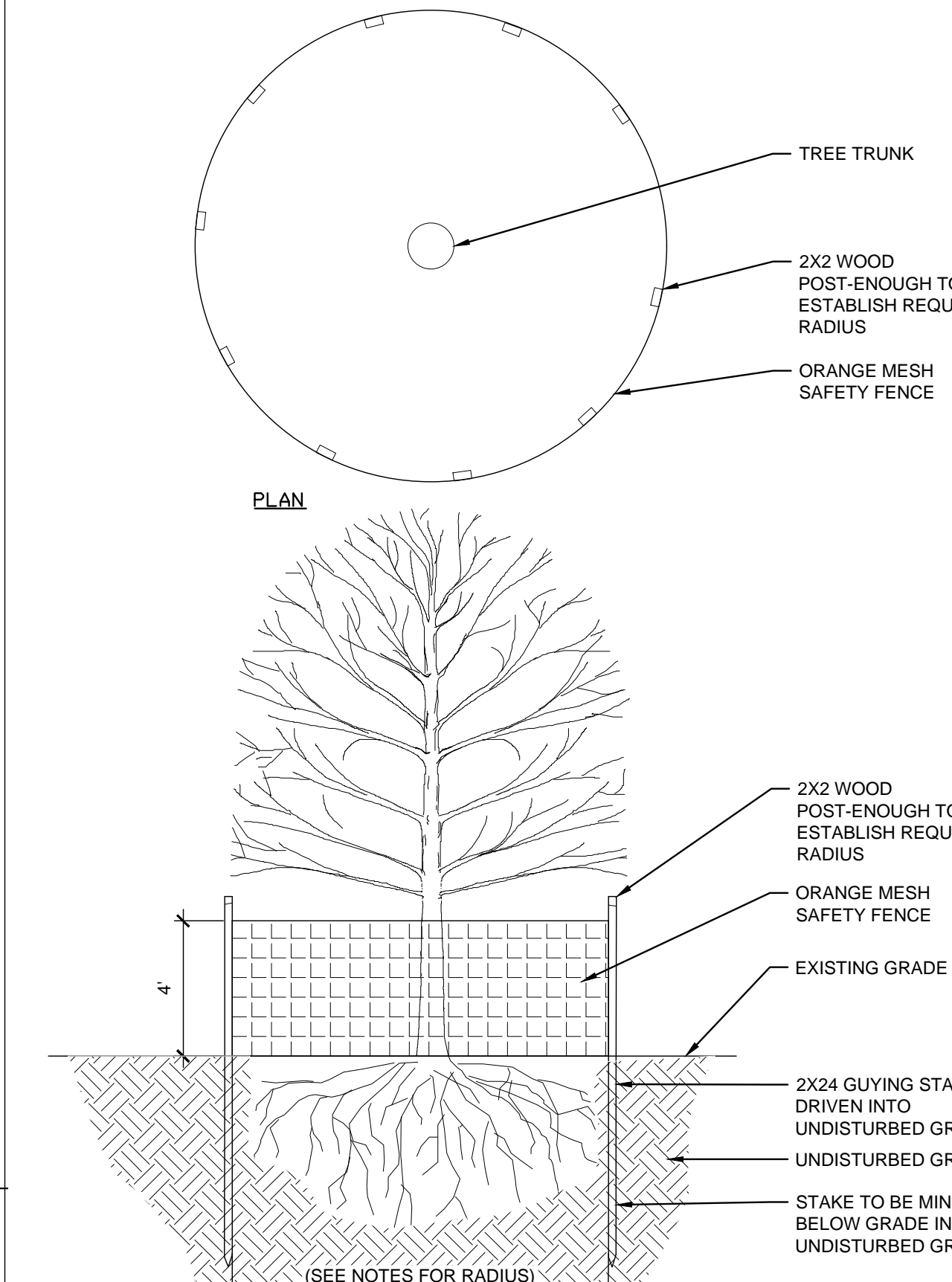


NOTES:

- TREE SHALL BE PLANTED SO ROOT FLARE IS 2" ABOVE ADJACENT FINISH GRADE.

1 TREE PLANTING

Scale: NOT TO SCALE



- NOTES:**
- BARRIER PREVENTS COMPACTION OF SOIL AROUND ROOTS BY CONSTRUCTION EQUIPMENT.
 - RADIUS OF FENCING TO BE DETERMINED BY THE FOLLOWING FORMULA: FOR EVERY 1" OF DBH (DIAMETER AT BREAST HEIGHT) OF THE EXISTING TREE, THERE SHALL BE 1" RADIUS OF PROTECTIVE FENCE. THEREFORE, AN 8" DBH TREE WOULD HAVE A PROTECTIVE FENCE WITH A RADIUS OF 8'.

PARKING INFORMATION			
28	2 SPACES	9'-0" X 19'	@ 90°
	15 SPACES	10'-0" X 19'	@ 75°
30	2 OFF SITE - HCP	8'-0" X 19'	@ 90°
	8 - SPACES	10'-0" X 19'	@ 60°
	3 - SPACES	9'-0" X 19'	@ 70°

UTILITY INFORMATION			
	SIZE	TYPE	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
STORM SEWER	-	-	-
ELECTRIC	-	-	-
GAS	-	-	-

SURVEY INFORMATION			
PREPARED BY:	Farnsworth GROUP	20 ALLEN AVENUE, SUITE 200	ST. LOUIS, MISSOURI 63119
DATE:		(314) 962-7000 / (314) 962-1253 Fax	www.fw.com
LEGEND			
-S-	SANITARY SEWER	-G-	GAS
-W-	WATER	-LP-30	LOT LIGHT
-ST-	STORM SEWER	(76.5)	EXISTING ELEVATION
-F-	ELECTRIC	(77.0)	PROPOSED ELEVATION

PLAN SCALE: 1"=20'	
STREET ADDRESS	
1701 CLARKSON SQUARE	
CITY	STATE
CHESTERFIELD	MISSOURI
COUNTY	
ST. LOUIS COUNTY	
REGIONAL DWG. NO	NATIONAL NUMBER
024-0263	-

STATUS	DATE	BY
PRELIMINARY	7-18-18	FG
FINAL PLAN	-	FG
AS-CONST.		



JACOB L. HECK - 201804567
LANDSCAPE ARCHITECT
STATE 7-18-18
THIS SHEET HAS BEEN SIGNED, SEALED, AND DATED ELECTRONICALLY

Jacob Heck

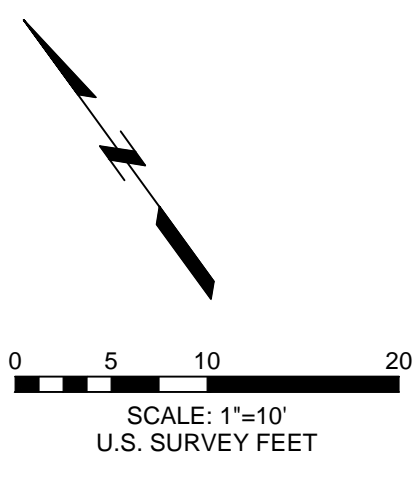
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GREAT PLAINS REGION
10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210

ADDRESS: 1701 CLARKSON SQUARE CHESTERFIELD MO

PLAN APPROVAL	
SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.	
CONST. MGR.	
PROJECT MANAGER	
REAL ESTATE MGR.	
CO-SIGN SIGNATURES	
CONTRACTOR	
OWNER	

ALAP-2	
LANDSCAPE DETAILS	



PAVED SURFACE READINGS	
Average	3.7
Maximum	7.4
Minimum	1.4
Avg:Min	2.64
Max:Min	5.29

PROPERTY LINE READINGS	
Average	1.5
Maximum	4.1
Minimum	0.3
Avg:Min	4.88
Max:Min	13.67

EXTERIOR LIGHT FIXTURE SCHEDULE				
MARK	DESCRIPTION	QUANTITY	FINISH	REMARKS
SL	SITE AREA LIGHT	8	NOTE 1	FLAT LENS, FULLY SHIELDED, REFER TO DETAIL THIS SHEET
LDL	LED DOWN LIGHT	4	SILVER	FLAT LENS, FULLY SHIELDED, REFER TO DETAIL 3 ON SHEET C3.3
WS1	WALL SCONCE	5	WHITE	FLAT LENS, FULLY SHIELDED, REFER TO DETAIL 4 ON SHEET C3.3
WS	WALL SCONCE	7	SILVER	FLAT LENS, FULLY SHIELDED, REFER TO DETAIL 4 ON SHEET C3.3
BW	BRAND WALL	2		FLAT LENS, FULLY SHIELDED, REFER TO DETAIL 1 ON SHEET C3.3
ICF	INTEGRATED TRELLIS LIGHTS	3	WHITE	NO CUT SHEET AVAILABLE REFER TO SHEET C3.4

NOTE 1
V POLYESTER POWDER COAT ECKTROSTATICALLY APPLIED AND THERMOURED, FINISH WILL CONSIST OF A FIVE STAGE PRETREATMENT TREGIMEN WITH A POLYMAR PRIMER SEALER AND TOP COATED WITH A THERMOSTAT SUPER TOIC POLYESTER POWDER COAT FINISH, COLOR TO BE COMPATIBLE WITH EXISTING AREA LIGHT POLES.

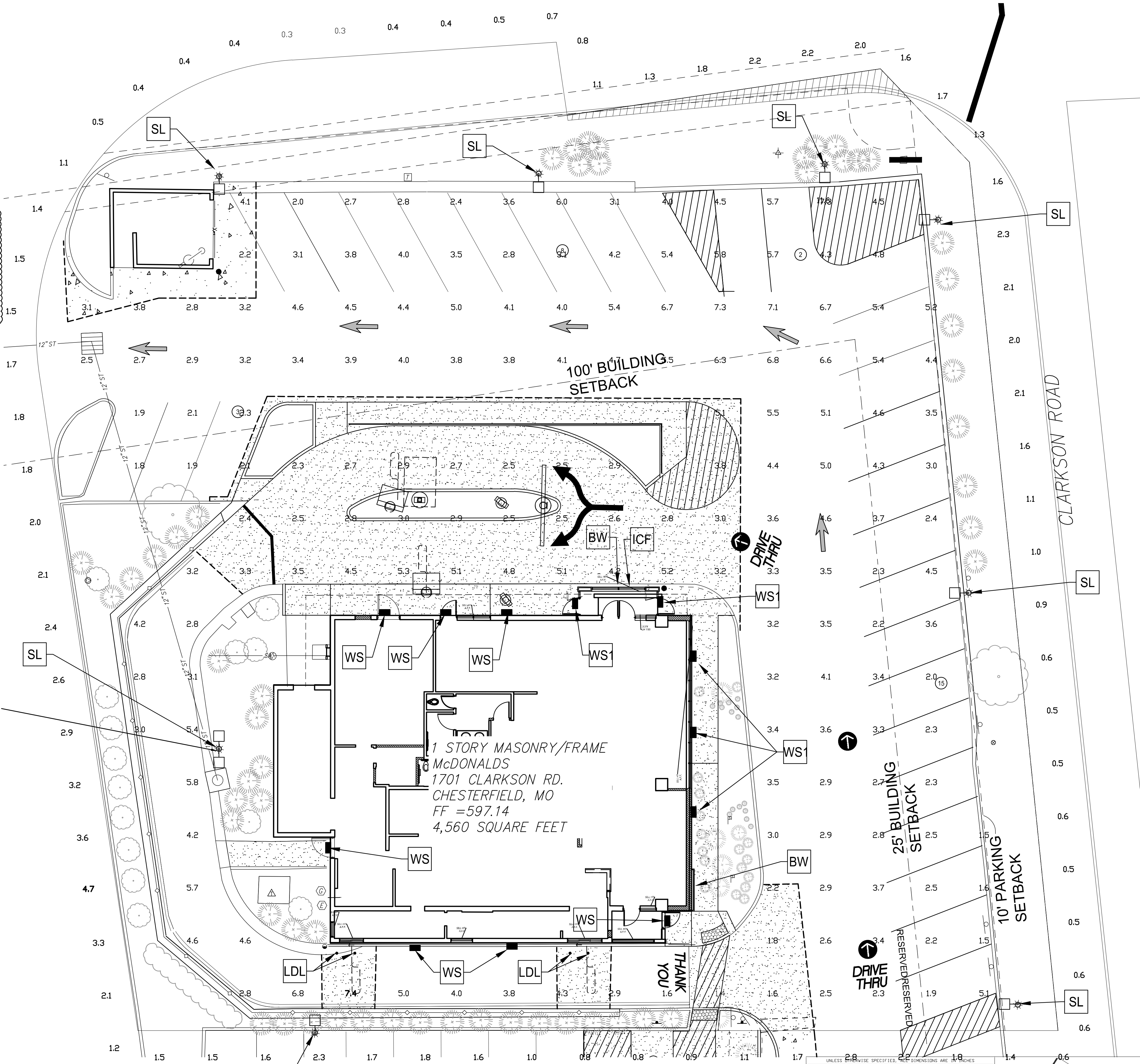
NOTE 2
NOT USED

NOTE 3 THE FIXTURE INDICATED AS ICF IS AN INTEGRATED FIXTURE WITH THE TRELLIS, NO CUT SHEET IS AVAILABLE IT IS SHOWN ON THE TRELLIS LIGHT IMAGE ON SHEET C3.4

DOUBLE HEADED FIXTURE
ALL OTHERS ALL BE
SINGLE

- NOTES:
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA: ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. THE CONTRIBUTION OF THE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THE DRAWING UNLESS SOFFIT / BUILDING LIGHTING IS SPECIFIED IN THE FIXTURE SCHEDULE BELOW.
 3. DISTANCE BETWEEN READINGS 10'
 4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.

FIXTURE TYPE	SYMBOL	FIXTURE QUANTITY	CONFIG	QUANTITY	EPA	MOUNTING HEIGHT	LLF	POLE TYPE	QUANTITY	WIND LOAD	ALLOWED EPA
VP-S-60NB-136-SK-T4-UNV-**-***	□	9	SGL	7	0.67	24'	0.87	EXISTING	8		
LB6LED10L50K WH / 1BXSQL	○	4				9'	0.87				
RWSC-36L-5K-DD-U-PS	□	11				9'	0.87				



THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE TITLE 24 COMPLIANT OR MEET OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

SCALE	1" = 20' 0"	DATE	2/19/19	NEXT ASSEMBLY	REF. DWG.
DRAWN BY	MW				
CHECKED BY					
APPROVED BY					
APPROVED BY					
SHOP ORDER					
PROJECT NO.					

SECURITY LIGHTING
POINT-BY-POINT FOOTCANDLE PLAN FOR
MCDONALD'S #7678
1701 CLARKSON SQ
CHESTERFIELD, MO

DRAWING NUMBER
1PCP40472B

ISSUE REF	BY	DESCRIPTION
	JPB	CITY COMMENTS
	JPB	CITY COMMENTS
	JPB	CITY COMMENTS
	JPB	PARKING CHANGE

REV	DATE	DESCRIPTION
1	12-28-18	
2	2-21-19	
3	3-4-19	
4	4-5-19	
5	4-25-19	

10801 WASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210

ADDRESS 1701 CLARKSON SQUARE CHESTERFIELD MO

McDonald's
GREAT PLAINS REGION
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PLAN APPROVAL	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY	7-18-18	FG
		FINAL PLAN	-	FG
AS-CONST.				

ALP-1
AMENDED LIGHTING PLAN

FG JOB NO 0180820.00

VIPER L SERIES ADVANCED LARGE VIPER LUMINAIRE	Cat.#	Job	Type		Approvals
---	-------	-----	------	--	-----------

SPECIFICATIONS

Intended Use:
The Beacon Viper luminaire is available in two sizes with a wide choice of different LED Wattage configurations and optical distributions designed to replace HID lighting up to 1000W MH or HPS. Luminaires are suitable for wet locations.

Construction:

- Manufactured with a low copper content, die cast aluminum.
- Coated with a polyester finish that meets ASTM D117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements.
- External hardware is corrosion resistant.
- One-piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Two piece silicone and micro particle polyurethane foam gasket ensures a weather-proof seal around each individual LED.

LED Optics:

- LED driver accepts 100V through 277V, 60 Hz to 60 Hz (50/60), or a driver that accepts 247V or 480V input.
- Power factor is .92 at full load.
- All electrical components are rated at 50,000 hours at full load and 25°C ambient conditions per MIL-2177 Notice 2.
- Dimming drivers are standard with connections for external dimming equipment available upon request.
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is listed by UL for use at 600VAC at 40°C or higher.
- Plug disconnects are listed by UL for use at 600 VAC, 15A or higher, 12A rating applies to primary (AC) side only.

Electrical:

- Future electrical compartment shall contain all LED driver components and shall be provided with a push-button terminal block for AC power connections.
- Ambient operating temperature -40°C to 40°C
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices.
- Surge protection - 20KA. Shuts off at end of life.
- Lifespan™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory preset temperature, and progressively reduce power over a finite temperature range. A luminaire equipped with the device may be reliably operated in any ambient temperature up to 55°C (131°F). Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fall out", allowing the luminaire to revert to full power in the event of

Controls/Options:

- Available with an optional passive infrared (PIR) motion sensor capable of detecting motion 300' around the luminaire. When no motion is detected for the specified time, the Motion Response system reduces the Wattage to factory preset level, reducing the light level accordingly. When motion is detected by the PIR sensor, the luminaire returns to full Wattage and full light output.
- Available with Emergent for optional set dimming, timed dimming with simple delay, or timed dimming based on hours of operation or time of night (www.beaconproducts.com/products/emergent/)
- Also available with Beaconconnect Wireless Control System (see Beaconconnect product page for more details: www.beaconconnect.com/products/beaconconnect/)

Installation:

- Mounting options for horizontal arm, vertical fence or traditional arm mounting available. Mounting hardware included.

Finish:

- Beaconco V polyester powder coat electrostatically applied and thermocured.
- Beaconco V finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermocured super TGIC polyester powder coat finish.
- The finish meets the AAMA 606.2 performance specification which includes passing a 2000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and meets surface impacts of up to 100 inch-pounds.

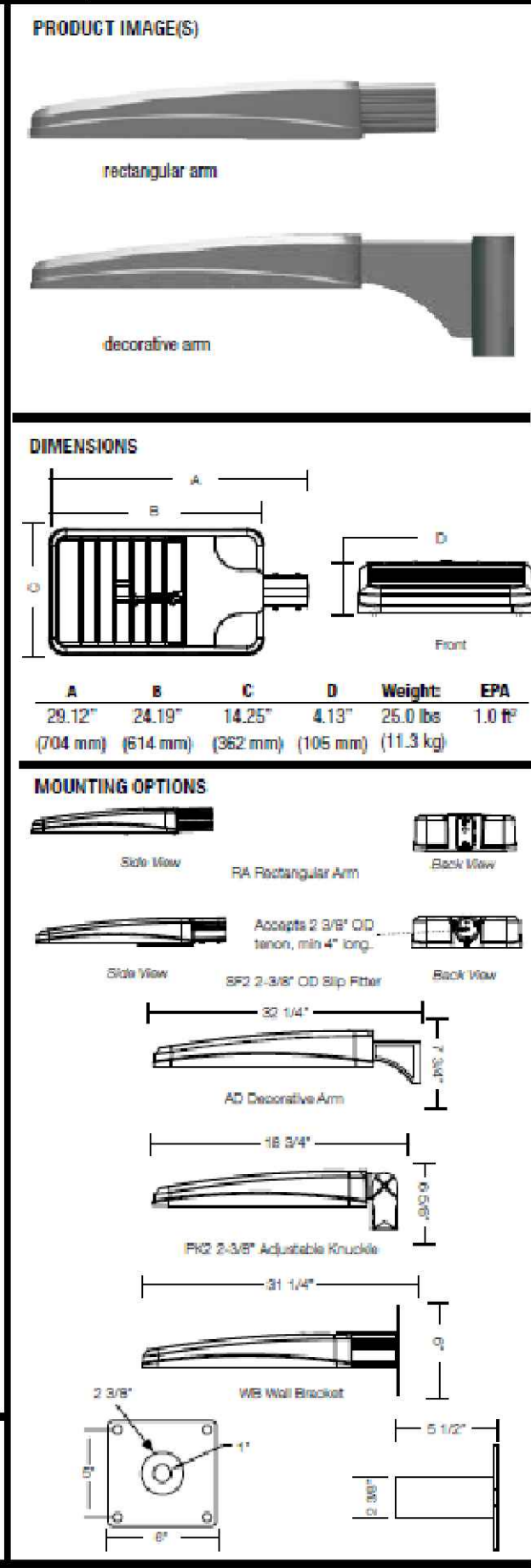
Listings:

- DesignLights Consortium (DLC) qualified, consult DLC website for more details: <http://www.designlights.org/DLC/>
- Listed to UL1598 and CSA C00.0w260.0-24 for wet locations and 40°C ambient temperatures
- IG listed for ANSI C136.31 high vibration applications
- IDA approved

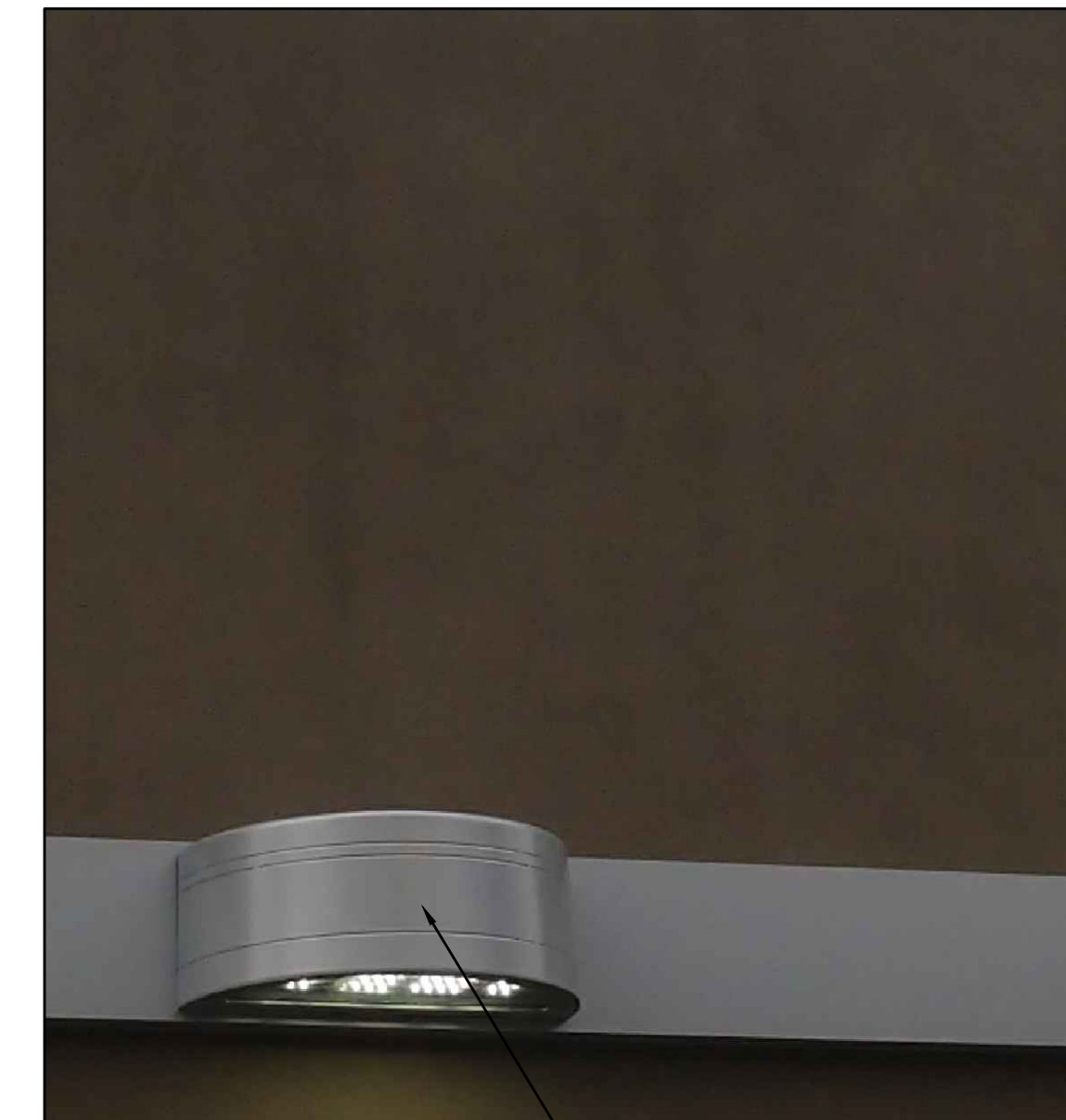
Warranty:
Five year limited warranty (for more information visit www.beaconlighting.com/warranty/warranty)

CERTIFICATIONS/LISTINGS

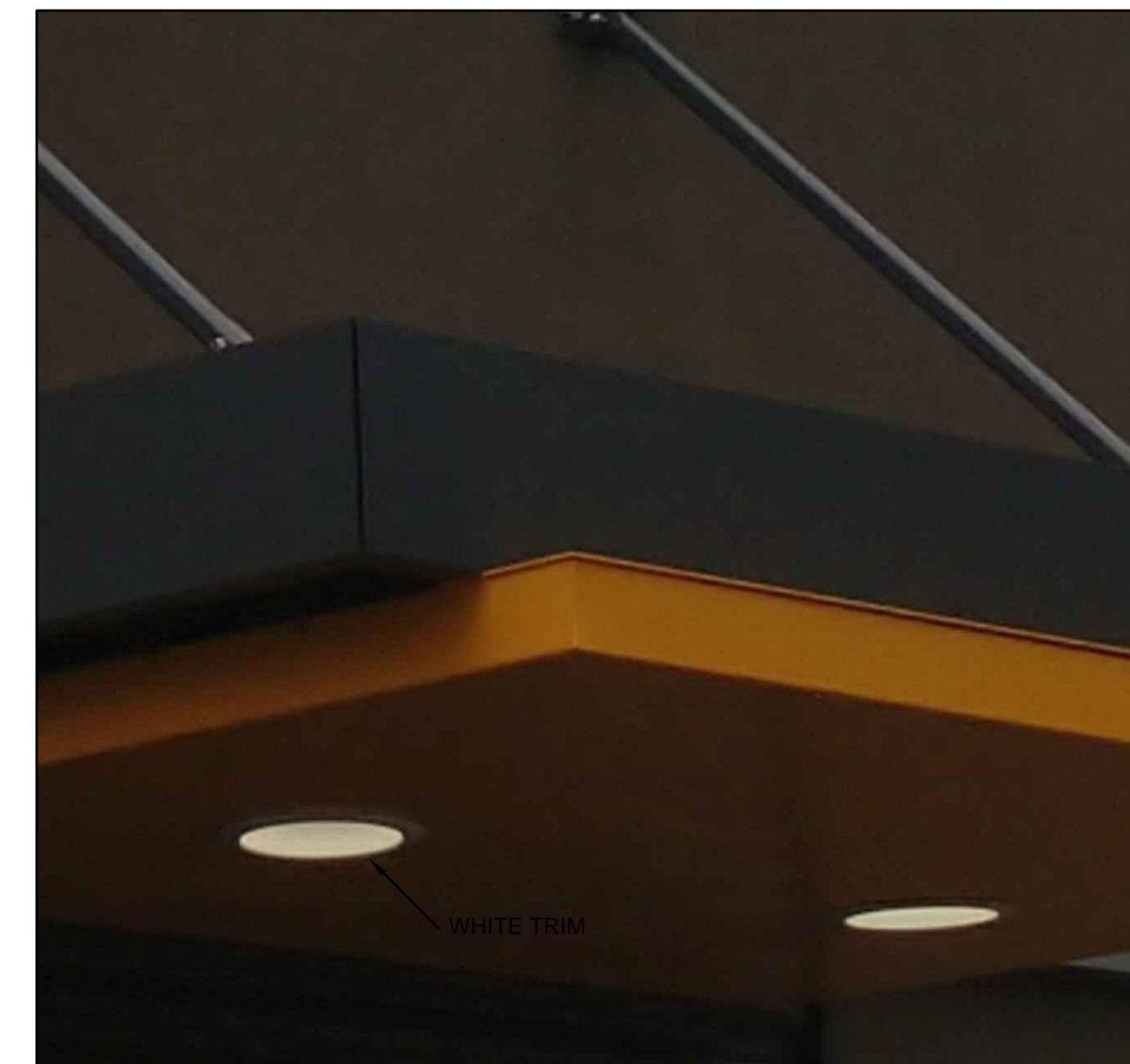
BEACON Beacon Products • 2041 58th Avenue Circle East, Bradenton, FL 34203 • Phone: 800-345-4928
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
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WALL SCONCE (WS)
Scale: NOT TO SCALE



WALL SCONCE (WS)
Scale: NOT TO SCALE



LED DOWN LIGHTING (LDL)
Scale: NOT TO SCALE



TRELLIS LIGHTING
Scale: NOT TO SCALE

1 SITE LIGHTING (SL)
Scale: NOT TO SCALE

PLAN APPROVAL		DATE	ISSUE REF
REGIONAL MGR.	SIGNATURE (2 REQUIRED)		BY
CONST. MGR.			JPB
PROJECT MANAGER			JPB
REAL ESTATE MGR.			JPB
CO-SIGN SIGNATURES			JPB
CONTRACTOR			
OWNER			

REV	DATE	DESCRIPTION
1	12-28-18	CITY COMMENTS
2	2-21-19	CITY COMMENTS
3	3-4-19	CITY COMMENTS
4	4-5-19	CITY COMMENTS
5	4-25-19	PARKING CHANGE

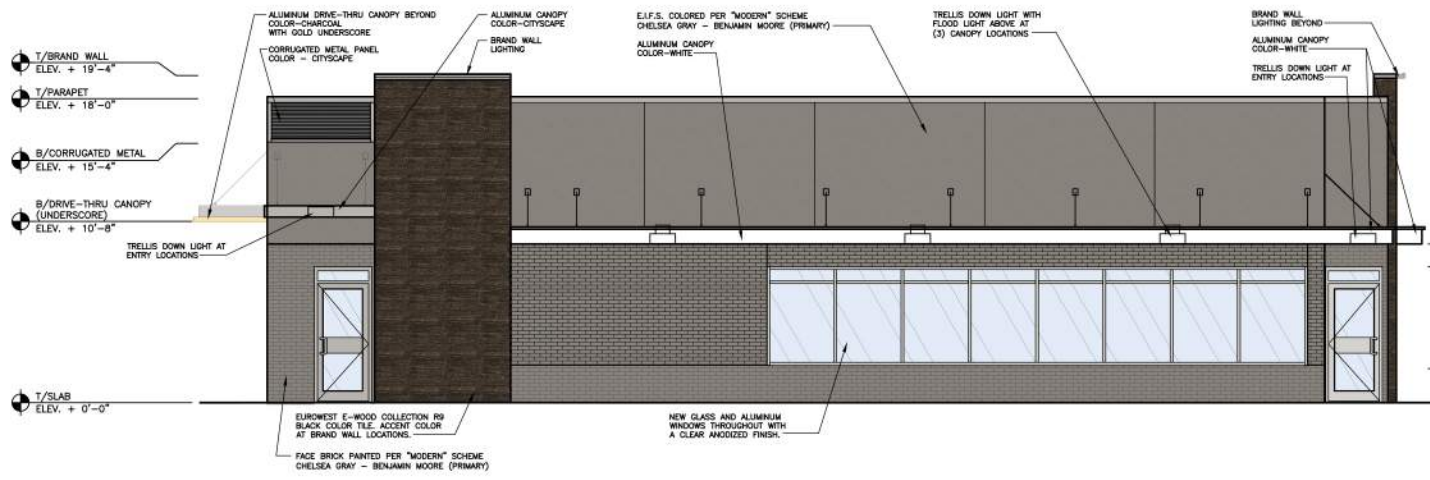
McDonald's

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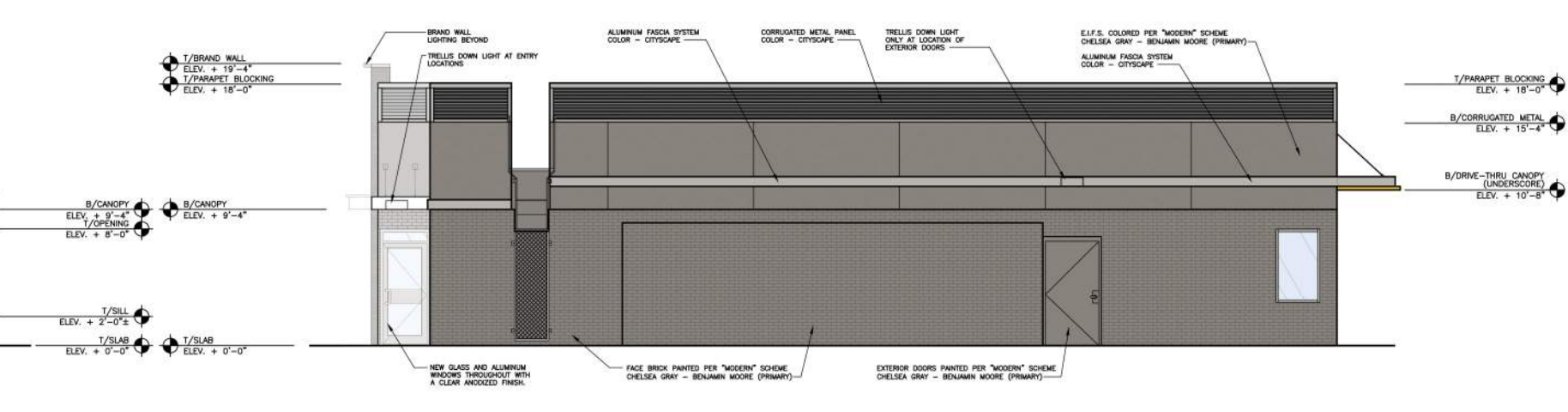
ADDRESS 1701 CLARKSON SQUARE CHESTERFIELD, MO

STATUS	DATE	BY
PRELIMINARY	7-18-18	FG
FINAL PLAN	-	FG
AS-CONST.		

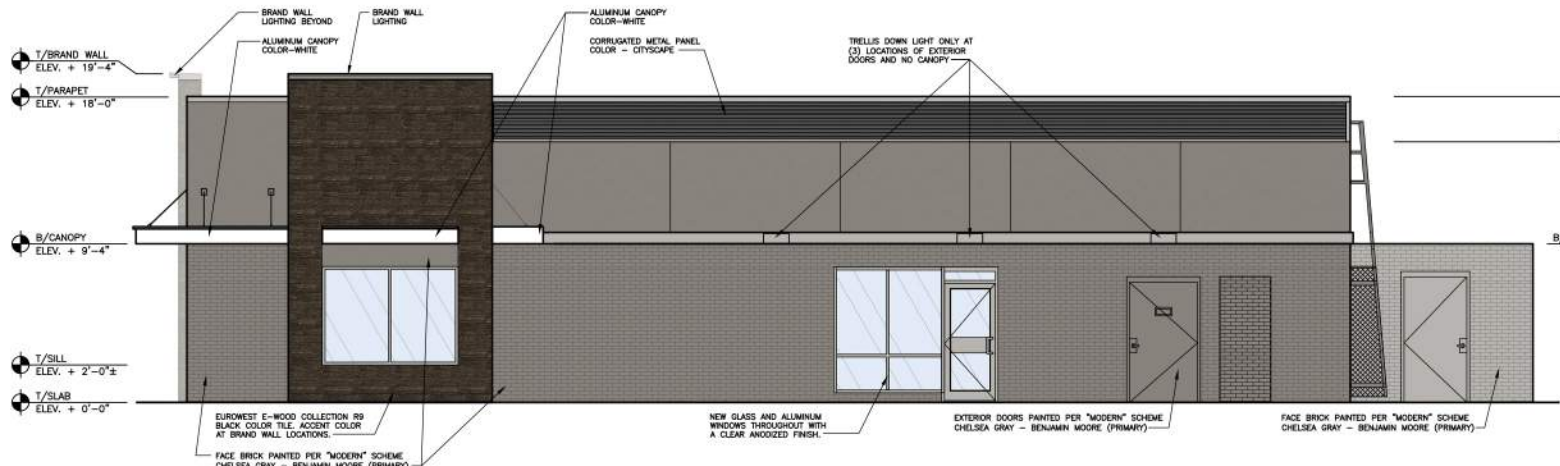
ALP-3
LIGHTS



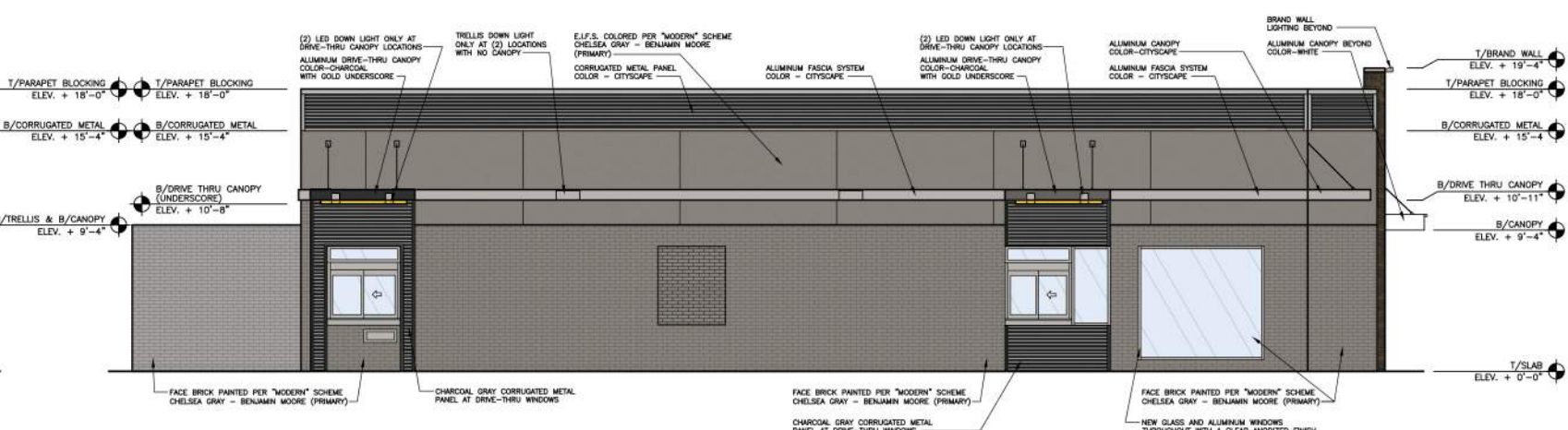
FRONT ELEVATION



REAR ELEVATION



NON-DRIVE-THRU ELEVATION



DRIVE-THRU ELEVATION



Clarkson Square
 AMENDED ARCHITECTURAL ELEVATIONS
 CHESTERFIELD, MO | FEBRUARY 21, 2019

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Exterior Rendering



EXISTING BUILDING FRONT ELEVATION



EXISTING BUILDING NON DRIVE THRU SIDE ELEVATION

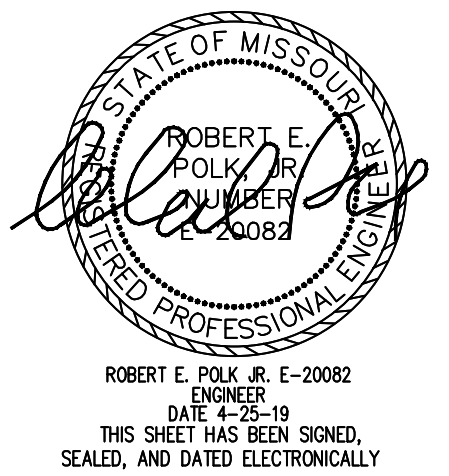


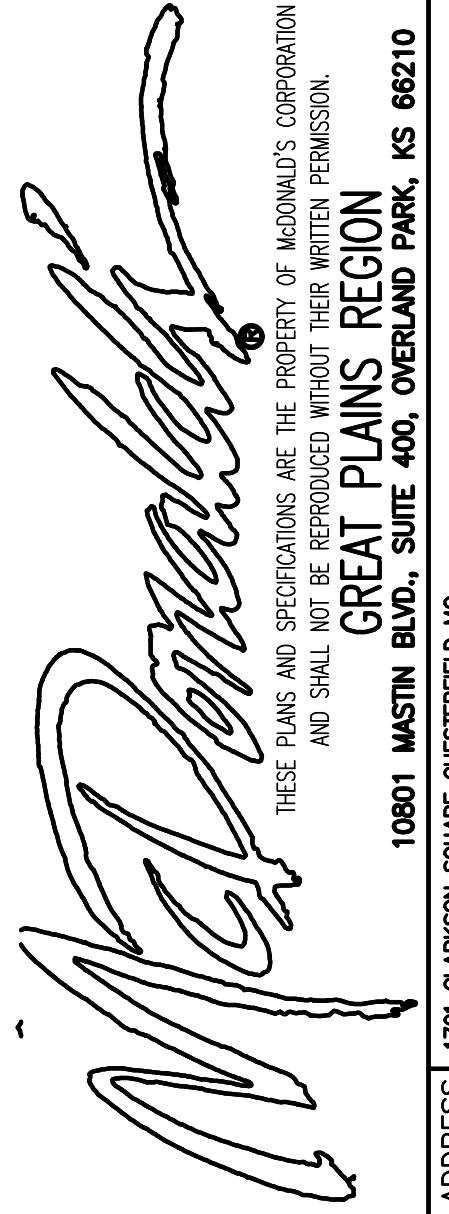
EXISTING BUILDING DRIVE THRU SIDE ELEVATION



EXISTING BUILDING REAR ELEVATION

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	12-28-18	CITY COMMENTS	JPB	
2	2-21-19	CITY COMMENTS	JPB	
3	3-4-19	CITY COMMENTS	JPB	
4	4-5-19	CITY COMMENTS	JPB	
5	4-25-19	PARKING CHANGE	JPB	




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GREAT PLAINS REGION
 10801 WASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210
 ADDRESS 1701 CLARKSON SQUARE CHESTERFIELD, MO

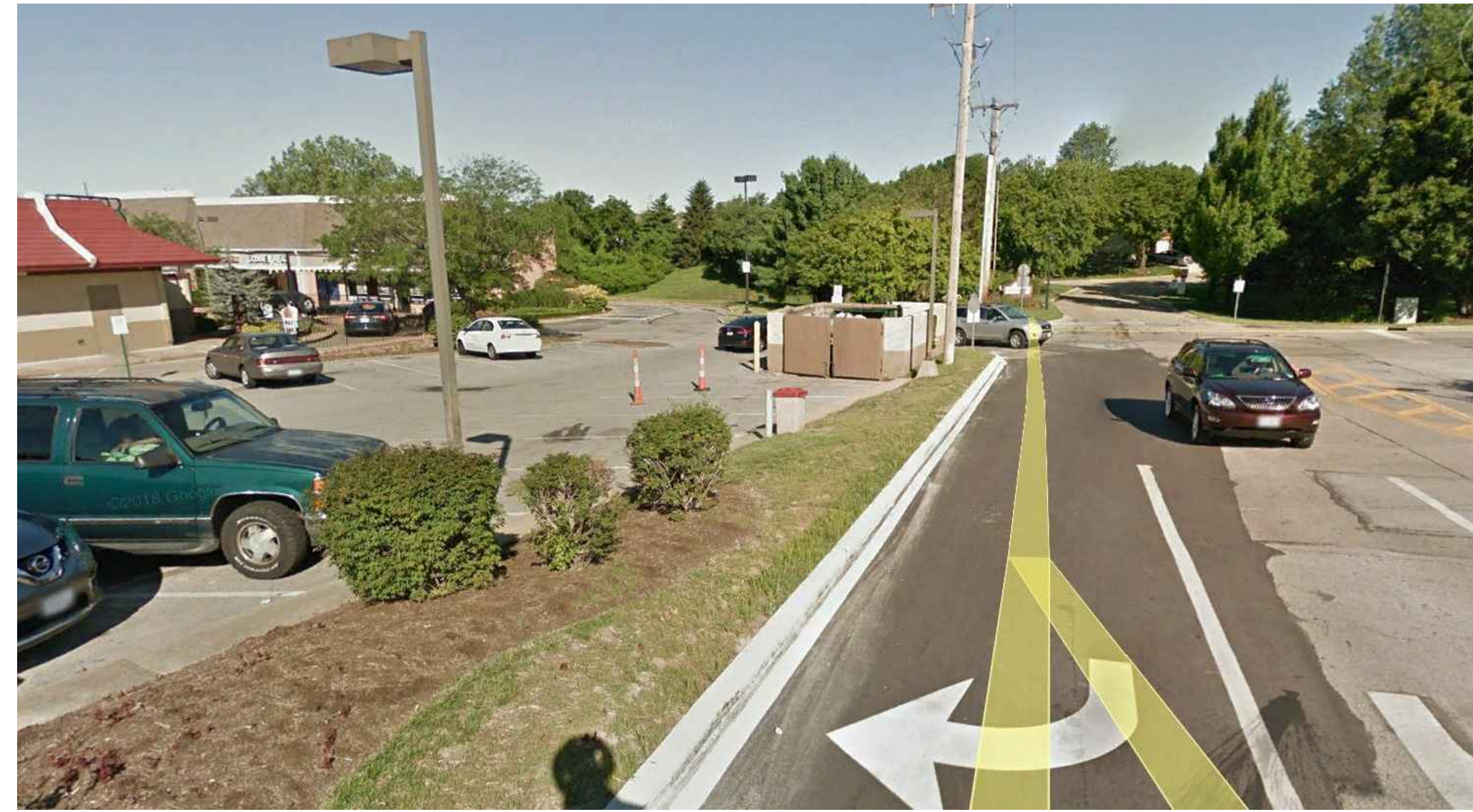
PLAN APPROVAL		DATE
REGIONAL MGR.	SIGNATURE (2 REQUIRED)	
CONST. MGR.		
PROJECT MANAGER		
REAL ESTATE MGR.		
CONTRACTOR	CO-SIGN SIGNATURES	
OWNER		

STATUS	DATE	BY
PRELIMINARY	7-18-18	FG
FINAL PLAN	-	FG
AS-CONST.		

EX ELEV 1
EX BLDG ELEV



SITE VIEW LOOKING WEST



SITE VIEW LOOKING EAST



SITE VIEW LOOKING NORTHWEST



SITE VIEW PERSPECTIVE VIEW



EXISTING RETAINING WALL
ALONG DRIVE THRU SIDE - REAR
SIMILAR



SITE VIEW SOUTH END LOOKING
NORTH

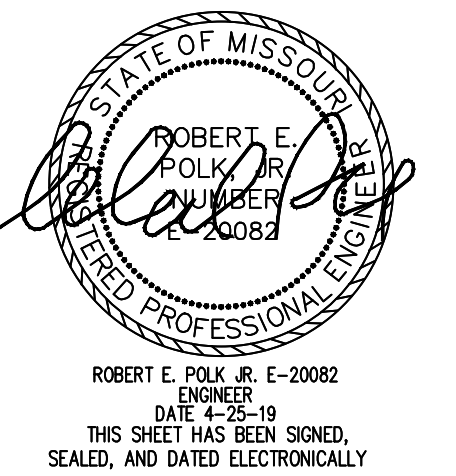


EXISTING CONCRETE RETAINING
WALL ALONG SITE FRONTAGE



EXISTING RETAINING WALL
ALONG NON DRIVE THRU SIDE

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	12-28-18		JPB	
2	2-21-19	CITY COMMENTS	JPB	
3	3-4-19	CITY COMMENTS	JPB	
4	4-5-19	CITY COMMENTS	JPB	
5	4-25-19	PARKING CHANGE	JPB	



ROBERT E. POLK
ENGINEER
NO. 10082
STATE OF MISSOURI
THIS SHEET HAS BEEN SIGNED,
SEALED, AND DATED ELECTRONICALLY

Robert E. Polk

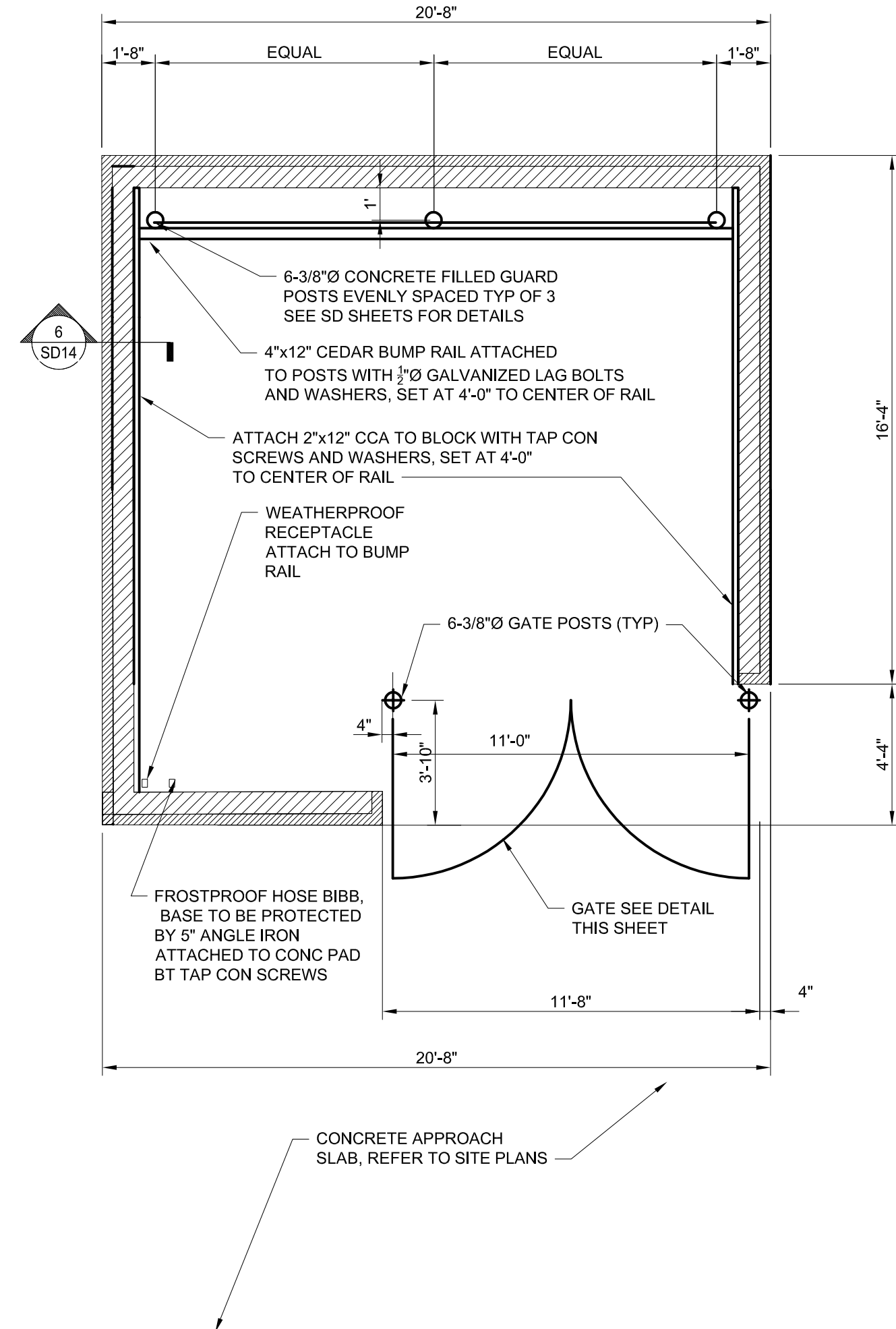
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10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210
ADDRESS 1701 CLARKSON SQUARE CHESTERFIELD, MO

PLAN APPROVAL	SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.		
CONST. MGR.		
PROJECT MANAGER		
REAL ESTATE MGR.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

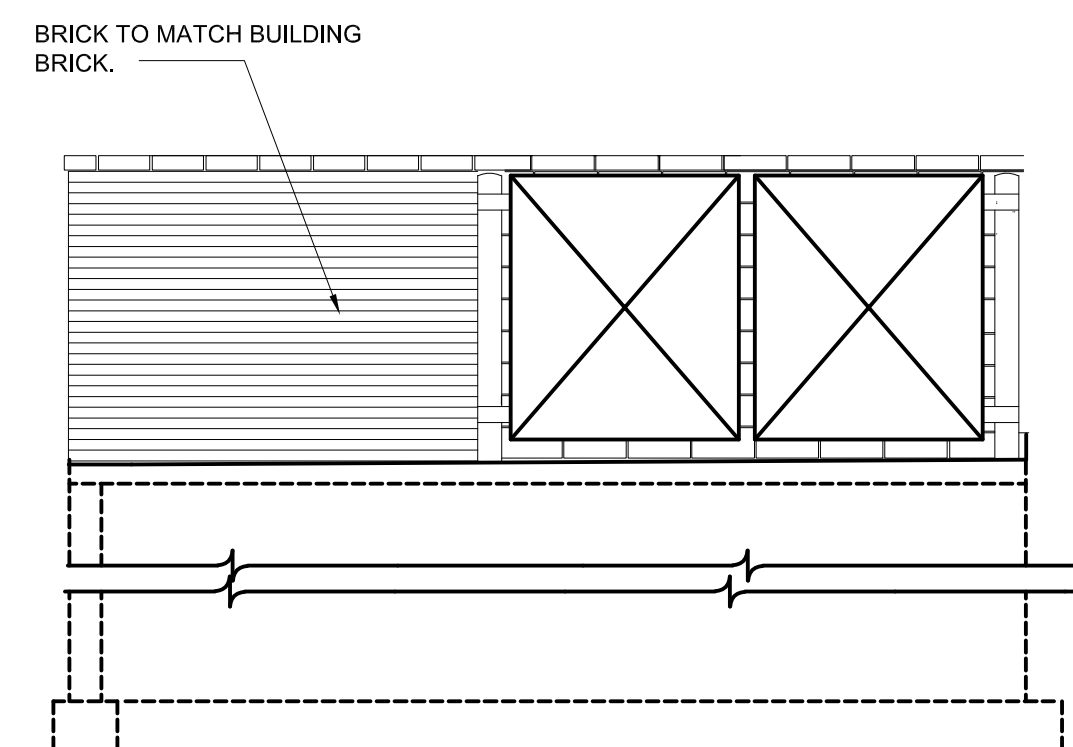
STATUS	DATE	BY
PRELIMINARY	7-18-18	FG
FINAL PLAN	-	FG
AS-CONST.		

SV - 1
SITE VIEWS

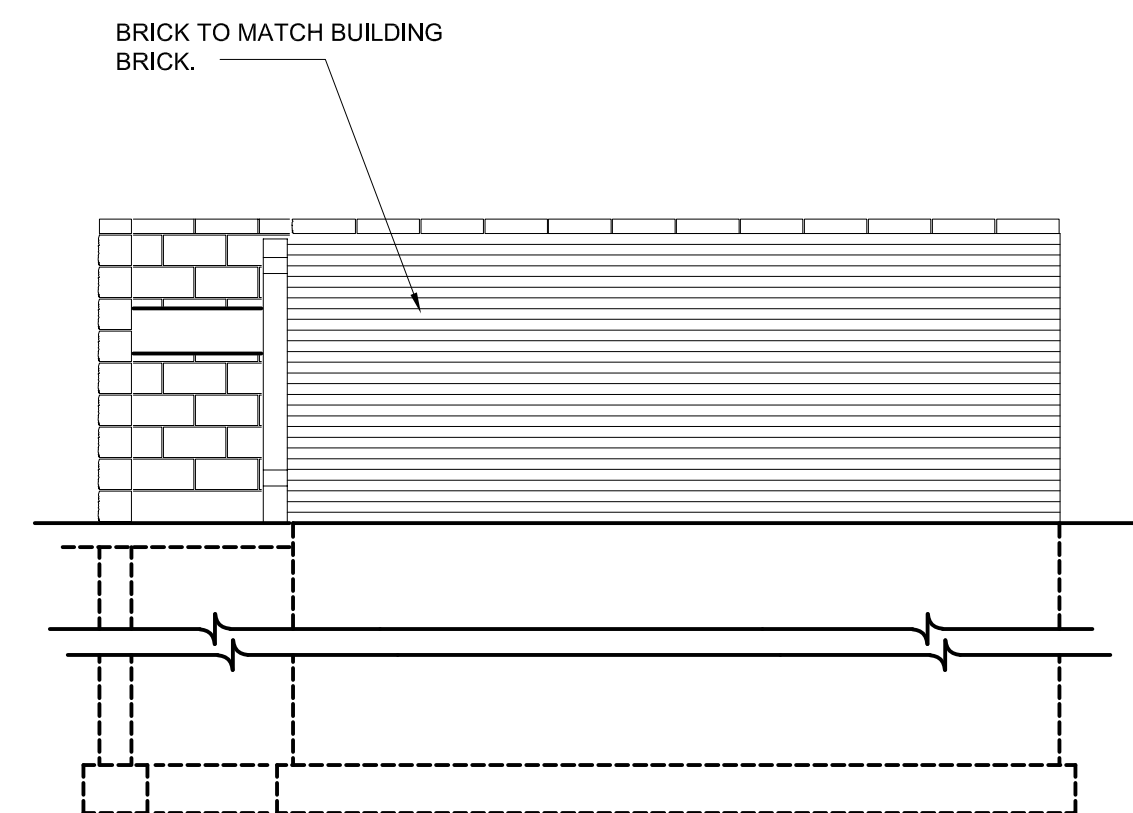
1 Trash Coral And Storage Enclosure Plan
Scale: 1/4"=1'-0"



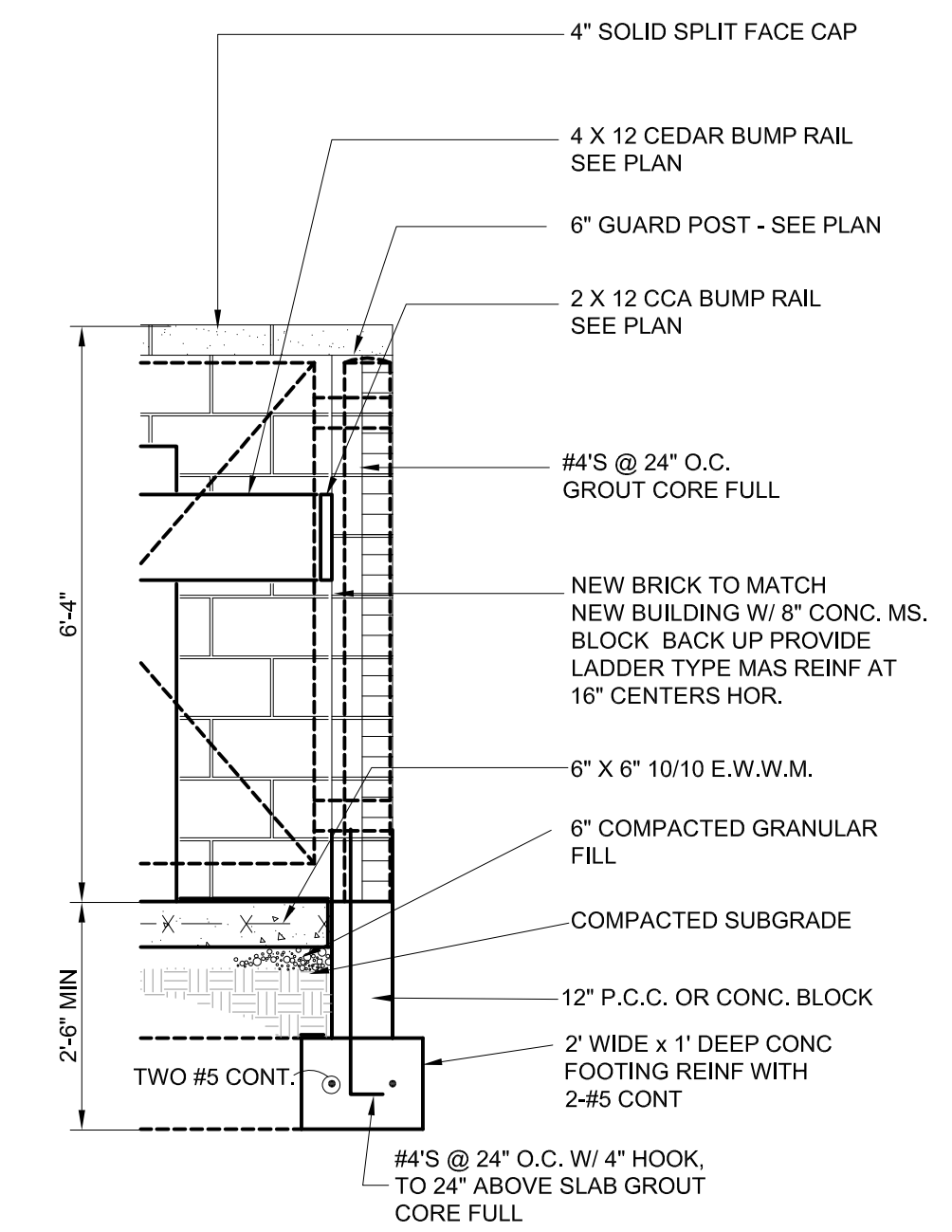
2 Trash Coral Front Elevation
Scale: 1/4"=1'-0"



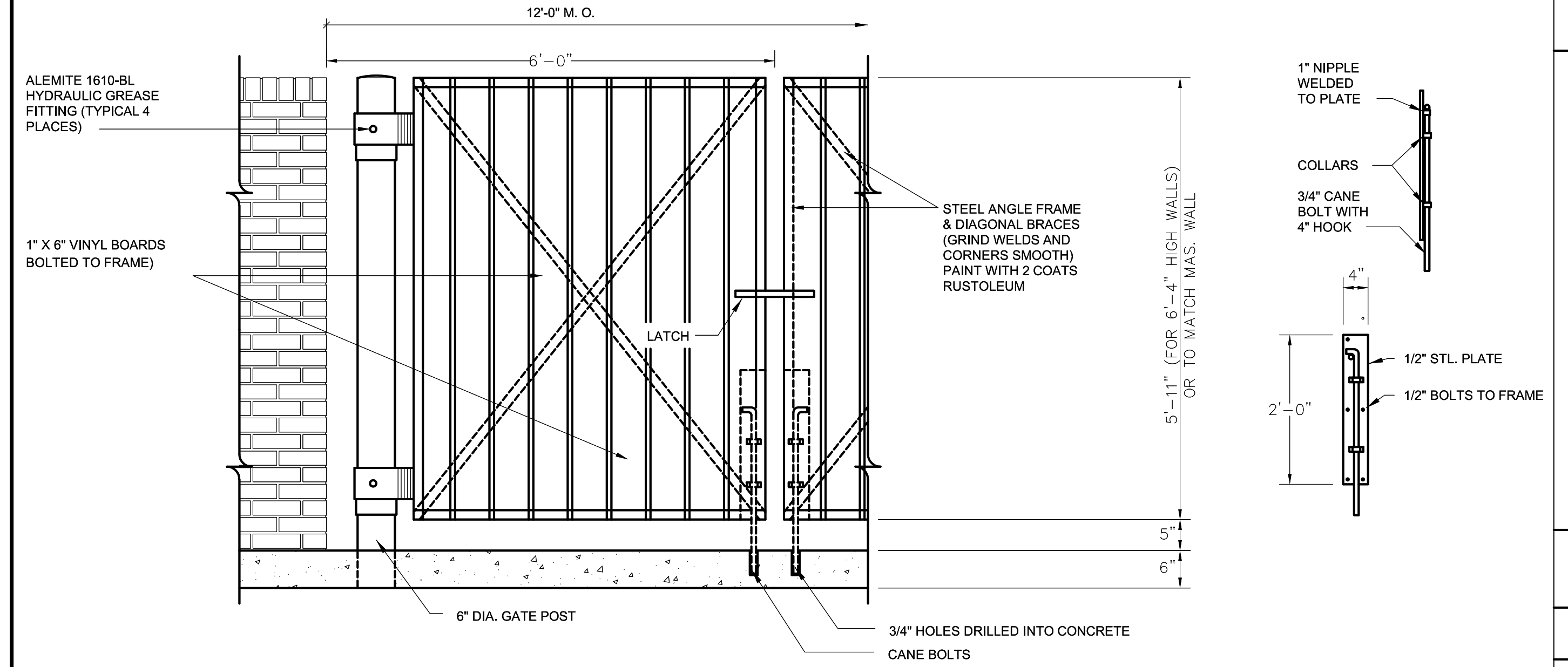
3 Trash Coral And Storage Enclosure Side Elevation
Scale: 1/4"=1'-0"



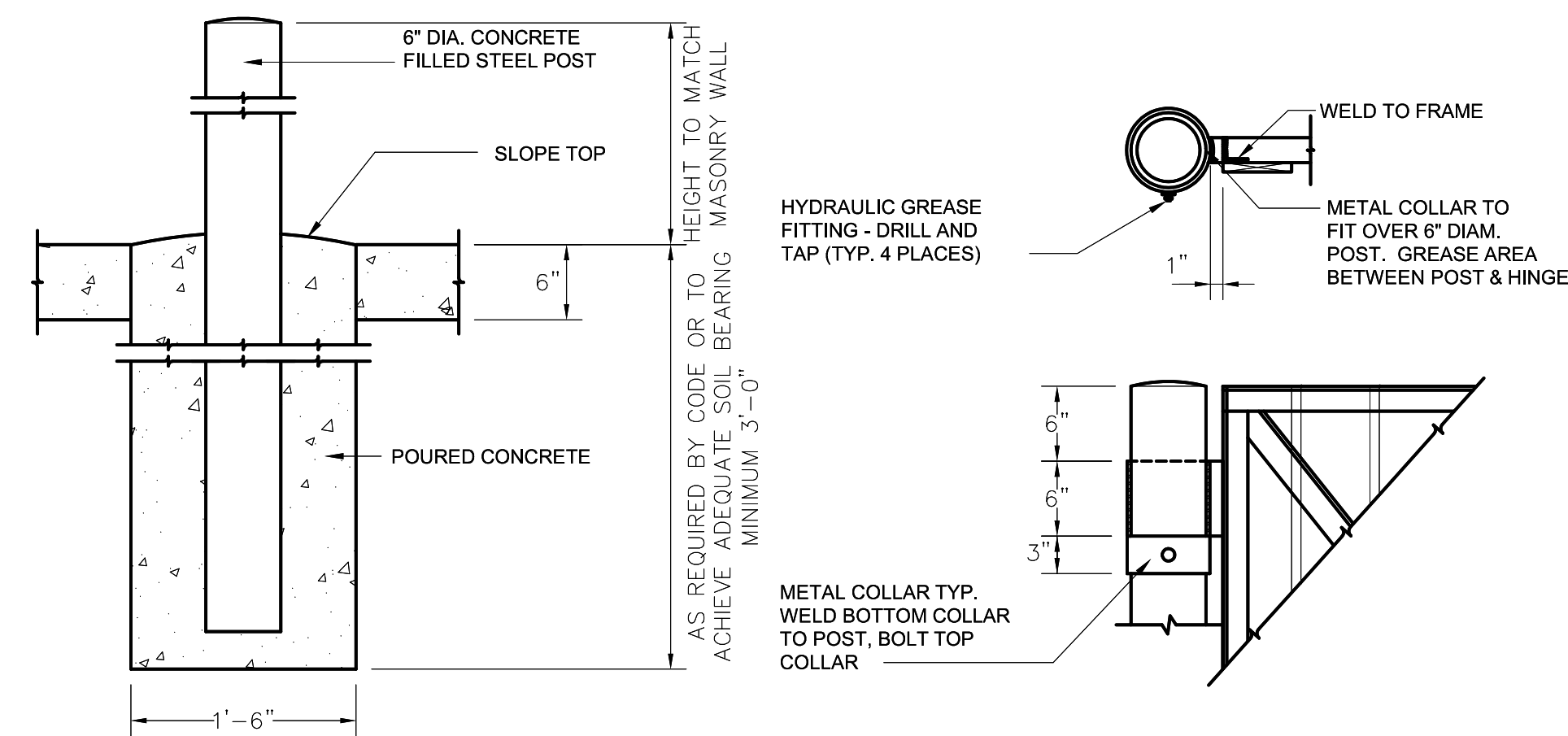
6 Section
Scale: 1/2"=1'-0"



4 Trash Enclosure Gate And Mounting Details
Scale: Not To Scale

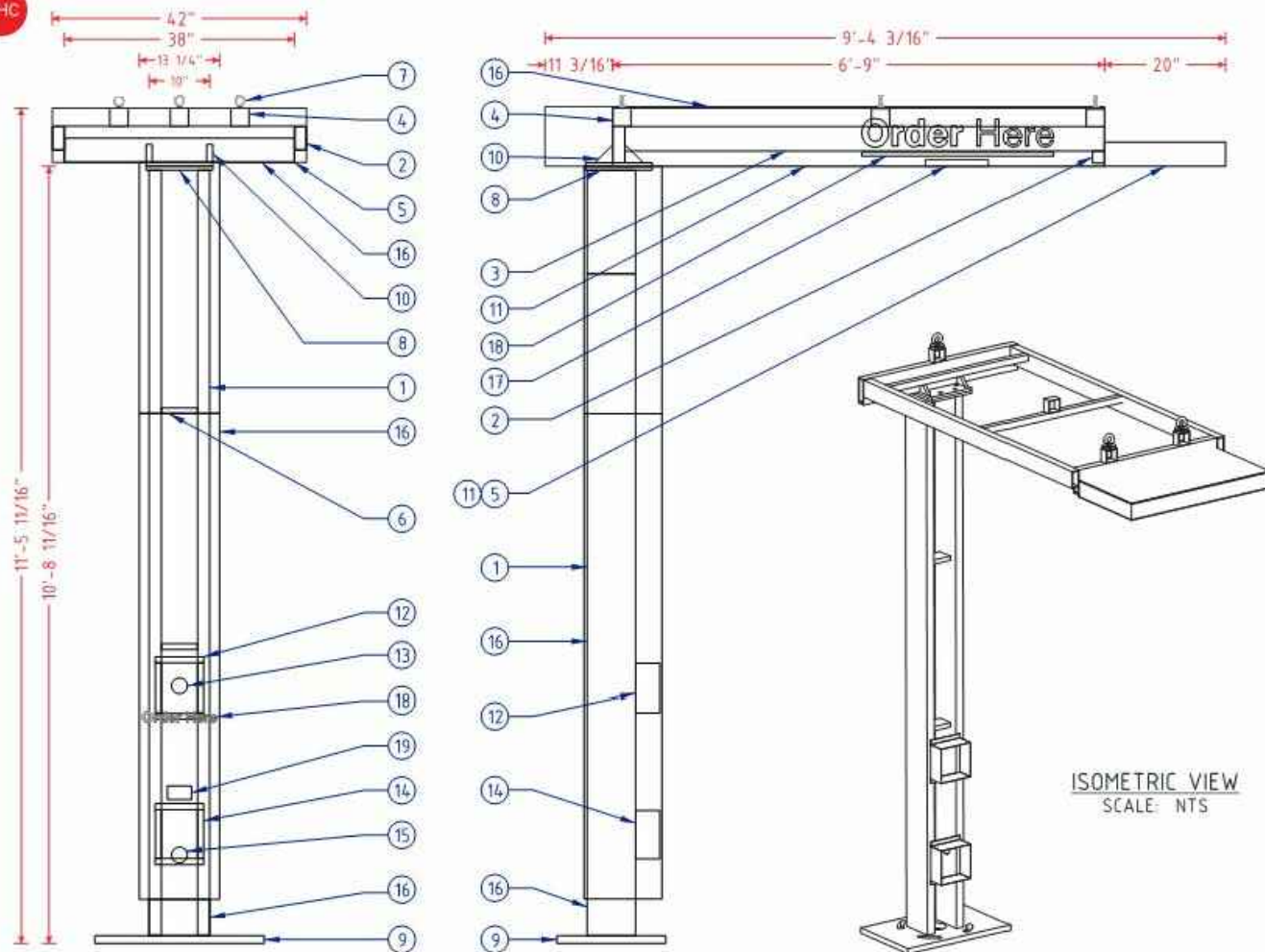


5 Trash Enclosure Gate Post Detail
Scale: Not To Scale



SHEET NO	TITLE	DATE	BY
SD11	STANDARD SITE DETAILS TRASH ENCLOSURE DETAILS	JAN 2013	
	DESCRIPTION		
	SITE ADDRESS		
	STANDARD SITE DETAILS		
	DATE ISSUED		
	REVIEWED BY		
	SITE ISSUE DATE		
	DRAWN BY		
	PREPARED FOR:		
	McDonald's USA, LLC		
	© 2011 McDonald's USA, LLC		
	PREPARED BY:		
	Farnsworth GROUP		
	20 ALLEN AVENUE, SUITE 200		
	ST LOUIS, MISSOURI 63119		
	(314) 962-7900 / (314) 962-1293 Fax		
	www.f-w.com		
	DATE 8-6-18		
	THIS SHEET HAS BEEN SIGNED, SEALED, AND DATED ELECTRONICALLY		
	ROBERT E. POLK, P.E.		
	REGISTERED PROFESSIONAL ENGINEER		
	NO. 0081		
	DATE 8-6-18		
	THIS SHEET HAS BEEN SIGNED, SEALED, AND DATED ELECTRONICALLY		
	REVISION		
	DATE		
	DESCRIPTION		

OHC



MCDONALD'S SPRINGBOARD OHC SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	2" X 8" X 3/16" RECTANGULAR TUBE
2	2" X 6" X 1/4" RECTANGULAR TUBE
3	2" X 4" X 1/4" RECTANGULAR TUBE
4	3" X 3" X 3/16" TUBE
5	1" X 4" X 1/8" RECTANGULAR TUBE
6	C4 C-CHANNEL
7	1/2" EYEBOLTS (3)
8	11" X 11" X 5/8" TOP PLATES (2) (SEE PLATE DETAILS)
9	18" X 28" X 1 1/4" BASE PLATE (SEE PLATE DETAILS)
10	3" X 3" X 3/4" GUSSETS (2)
11	.063" SKIN
12	.063" ALUMINUM BENT SP10 SPEAKER BOX HOLDER
13	SPEAKER OPENING
14	.063" ALUMINUM BENT DM 4/DM 5 MICROPHONE BOX HOLDER
15	MICROPHONE OPENING
16	ACM CLADDING
17	SLOAN LED LIGHT WITH POWER SUPPLY
18	REFLECTIVE WHITE 680-10 VINYL
19	ADA STICKER

NOTES:

- DESIGN FACTOR: TO BE DETERMINED
- 2" X 8" X 3/16 RECTANGULAR TUBE FRAME
- ACM AND .063" ALUMINUM SKIN
- EXTERIOR FINISH:
 - BASE PLATE - PAINT BM 1631 MIDNIGHT OIL
 - TUBE AND TOP ACM - PAINT CHARCOAL
 - SPRINGBOARD TIP AND UNDERSIDE - PAINT PMS-123C
- ACM/SKIN REMOVABLE FOR SERVICE
- U.L. LISTED
- ELECTRICAL: 0.64 AMPS/120 VOLTS

FRAME & LAMP DETAIL
SCALE: 3/8" = 1'-0"

CROSS SECTION A-A
SCALE: 3/8" = 1'-0"

ISOMETRIC VIEW
SCALE: NTS

18" X 28" X 1 1/4" PLATE
1 3/8" SLOTTED HOLES
1 1/4" BOLTS

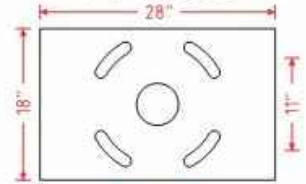


PLATE DETAIL
SCALE: 1/2 = 1'-0"

11" X 11" X 5/8" PLATE
3/4" HOLES
5/8" BOLTS

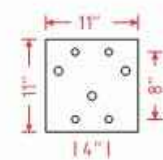


PLATE DETAIL
SCALE: 1/2 = 1'-0"



GRAPHIC DETAIL
SCALE: 3/16 = 1'-0"

4.00 SQUARE FEET BOXED
1.19 SQUARE FEET ACTUAL
(NON ILLUMINATED)

