



**III. B.**

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## **Architectural Review Board Staff Report**

**Project Type:** Amended Architectural Elevations

**Meeting Date:** October 13, 2016

**From:** Justin Wyse  
Senior Planner

**CC:** Aimee Nassif, Planning & Development Services Director

**Location:** North side of Swingley Ridge Rd., west of Nardin Dr.

**Applicant:** Chesterfield Hotels, LLC

**Description:** **Hampton Inn Chesterfield Lodging (AAE)**: Amended Architectural Elevations and Architect's Statement of Design for a 1.92 acre tract of land zoned "C-8" Planned Commercial District located on the north side of Swingley Ridge Rd., west of Nardin Dr.

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### **PROPOSAL SUMMARY**

Chesterfield Hotels, LLC, has submitted a request to modify the existing building at 16201 Swingley Ridge Road, operated as a Hampton Inn. The applicant is proposing to renovate the exterior of the building by modifying the existing EIFS, removing the existing mansard roof, and installing a new cornice and parapet. The exterior building materials will remain EIFS and improvements are included on the main building, drive canopy, and pool building.

### **HISTORY OF SUBJECT SITE**

The site was originally zoned "C-8" Planned Commercial District by St. Louis County Ordinance 13,191. The County ordinance was subsequently amended by St. Louis County Ordinance 13,786 and City of Chesterfield Ordinances 139, 439, 1031 and 1413. A site plan for the development of the current hotel was approved in 1995 reflecting existing conditions on the site.



*Figure 1: Aerial of Subject Site*

## **STAFF ANALYSIS**

### **General Requirements for Site Design:**

#### **A. Site Relationships**

The subject site is currently developed with a hotel on the site. No changes to the development impacting adjacent relationships are proposed.

#### **B. Circulation System and Access**

No changes to the circulation and access are proposed.

The proposal does include a new stamped concrete section under the canopy. This treatment in a high pedestrian area is encouraged in the City's architectural review standards.

#### **C. Topography**

No changes to existing topography are proposed.

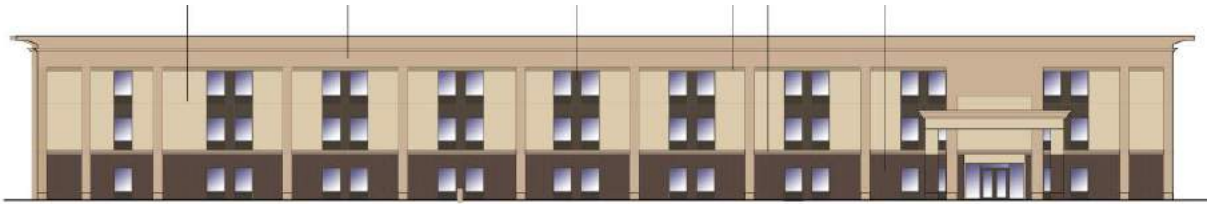
#### **D. Retaining Walls**

No new retaining walls are proposed on the site.

### **General Requirements for Building Design:**

#### **A. Scale**

The proposed change at the roofline of the building (removal of mansard roof and installation of cornice and parapet) will alter the appearance of the building; however, the overall height is not drastically changing. Additionally, different EIFS treatments on the building break up the existing design.



SOUTH ELEVATION

## **B. Design**

The proposed renovation to the building attempts to utilize the existing structure while updating the feel of the building. Several design choices have been made in an attempt to comply with the design requirements for buildings. Below is a summary of several of these items.

Design and coordinate all façades with regard to color, types and numbers of materials, architectural form and detailing – All façades are receiving a similar treatment in the proposed renovation.

Avoid linear repetitive streetscapes – Existing pilaster are included on the building. The proposal highlights these through complementary paint colors.

Provide architectural details particularly on façades at street level – The proposal includes an EIFS brick polymer. This design provides additional detailing at the lower level of the building.

Provide entry recesses, plazas, roof overhangs, wall fins, projecting canopies or other similar features indicating the building's entry points while providing protection – The existing building includes a canopy. The proposal updates the canopy to provide a consistent design between the building the building and canopy.

Screen rooftop equipment on all visible sides with materials that are an integral part of the architecture. Parapet walls or screen walls shall be treated as an integral part of the architecture and shall not visually weaken the design of the structure. – As noted in the statement of design, the overall height of the parapets remains unchanged to ensure existing rooftop equipment remains screened.

## **C. Materials and Color**

The proposed color palette for the building includes several shades of tan / brown. Additionally, an EIFS brick polymer is proposed on the bottom portion of the building. The applicant has included examples of applications of this material in their packet submittal.



#### **D. Landscape Design and Screening**

No changes to the landscaping are proposed. The trash enclosure is proposed to be painted to match the design of the renovated building.

#### **E. Lighting**

New wall mounted sconces are proposed for the building. These are proposed as architectural features that enhance the building as they are not fully shielded, flat lens fixtures.

The applicant also proposes to install cornice lighting for the structure. Several night time photos of similar applications are included in the applicant's submittal to illustrate the final product proposed for the building. The submittal also includes a detail illustrating how this lighting is to be installed.

#### **DEPARTMENTAL INPUT**

Staff has reviewed the Amended Architectural Elevations and Architect's Statement of Design. Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff's report to the Planning Commission.

Staff requests review and recommendation on this submittal for Hampton Inn Chesterfield Lodging.

#### **MOTION**

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Architectural Elevations and Architect's Statement of Design for Hampton Inn Chesterfield Lodging as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Amended Architectural Elevations and Architect's Statement of Design for Hampton Inn Chesterfield Lodging to the Planning Commission with a recommendation for approval with the following conditions..."

#### Attachments

1. Architectural Review Packet Submittal



ARCHITECTURAL REVIEW BOARD  
Project Statistics and Checklist

Date of First Comment Letter Received from the City of Chesterfield Sept 20 2016

Project Title: HAMPTON INN Location: 16201 SWINGLEY RIDGE RD

Developer: Chesterfield Hotels I/A Architect: LHO Architects Engineer: \_\_\_\_\_

**PROJECT STATISTICS:**

Size of site (in acres): \_\_\_\_\_ Total Square Footage: \_\_\_\_\_ Building Height: 3 story 32'

Proposed Usage: Hotel

Exterior Building Materials: EXTERIOR INSULATED FINISH SYSTEM

Roof Material & Design: FLAT ROOF / NEW PARAPETS / BALLASTED EPDM

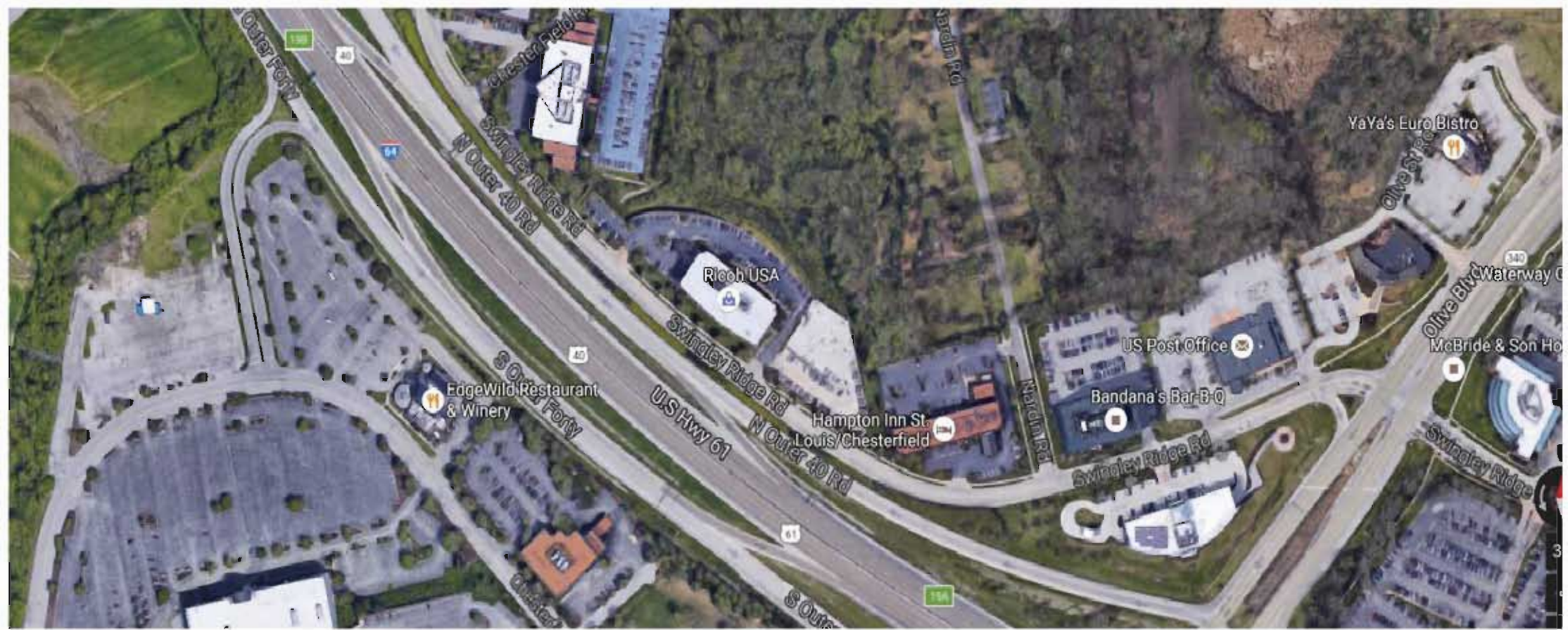
Screening Material & Design: EXISTING

Description of art or architecturally significant features (if any): REMOVAL OF SLOPED MANSARD ROOFING AND INSTALLATION OF NEW CORNICE AND PARAPETS

**ADDITIONAL PROJECT INFORMATION:**

**Checklist:** Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses. EXISTING
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- Details of screening, retaining walls, etc. EXISTING
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
- Landscape Plan.
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be brought to the ARB meeting)
- Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.



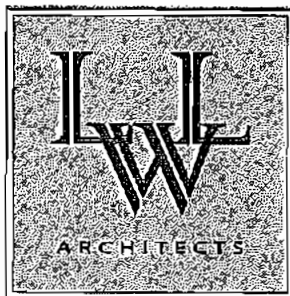












September 28, 2016

City of Chesterfield  
Attn: Justin Wyse, AICP, PTP  
Senior Planner  
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Chesterfield, MO 63017-0760  
636-537-4000 phone  
JWyse@chesterfield.mo.us

Re Hampton Inn Exterior Renovation – Chesterfield, MO

**Architect's Statement of Design:**

**Introduction**

Chesterfield Lodging, LLC is remodeling the exterior of the existing Hampton Inn located at 16201 Swingley Ridge Road. The hotel was built in 1997 and the existing façade consist of exterior insulation and finish system (EIFS) which has maintained its durability. Hilton WorldWide has implemented a program call the Forever Young Initiative (FYI) for the Hampton brand. The FYI program is designed to revitalize the existing exterior making it fresh and relevant to today's architecture.

Please find below the Architect's Statement of Design, which shows how we have addressed the applicable standards and the intent for this project. All standards referenced are from Section 31-04-01 Architectural review design standards of the City of Chesterfield.

**General Site Design**

**Design Standard C-2: Circulation system and access**

Response: The existing pedestrian and vehicular circulation will remain.

**Design Standard C-3: Topography**

Response: The existing topography will remain.

**Design Standard D-3 – Part 2: Utilize contrasting paving surfaces for pedestrian access in large paved areas.**

Response: A contrasting stamped concrete pattern will be used below the porte-cochere to clearly identify this area as a pedestrian access point.

*Design Standard D-4: Landscape design and screening*

Response: All planting is existing and is to remain. Any planting removed for construction will be replaced.

*Design Standard D-6 Lighting: Site lighting is reviewed through a separate process. All lighting including architectural lighting and building light fixtures shall adhere to the UDC.*

Response: There are no changes to the existing parking lot lighting. There will be new signage installed with LED lighting. The Architectural cornice uplighting which is on the underside of the cornice will be used as a reflective light only. It will not affect either the night sky nor the ground lighting. The cornice lighting is providing a simple illumination to the underside of the cornice (refer to the photo board for examples).

### **General Building Design**

*Design Standard D-2A: Design and coordinate all facades with regard to color, types and numbers of materials, architectural form and detailing.*

Response: We have provided a consistent design for all four elevations of the building. There is a constant roof parapet design for the main tower, and the porte-cochere and pool building will have the same parapet design. There is a consistent rhythm in the elevations, with a patterned EIFS being used for the ground floor for the "base" of the building. This pattern will mimic the look of brick and has been proven to be very durable (refer to the photo board for examples). We researched other materials such as brick veneer but due to the existing building's structural limitations, it was cost prohibitive. EIFS with a consistent finish is being used on the 2<sup>nd</sup> and 3<sup>rd</sup> floors. An EIFS accent colors are being used as a lintel band and window zone color. This medium color palette is well coordinated and compatible.

*Design Standard D-2C: Avoid stylized corporate and/or franchise designs that use the building as advertising.*

Response: Our building has no design elements that serve as advertising.

*Design Standard D-2D: Provide architectural details particularly on facades at street level.*

Response: See sheets A3.3, A3.4 and the rendering for the proposed exterior elevations. Sheets A7.1 and A7.2 provide construction details of the exterior façade.

*Design Standard D-2G: Encourage the use of environmentally conscious building techniques and materials.*

Response: The exterior cladding of the building is an EIFS system. This EIFS system serves as a continuous thermal insulation, which has resulted in lowered heating and cooling costs and thereby reduce the impact on the environment. All new exterior lighting will be LED which will also enhance energy efficiency.

*Design Standard D-2H: Provide entry recesses, plazas, roof overhangs, wall fins, projecting canopies or other similar features indicating the building's entry points while providing protection.*

Response: We are providing a redesign of the existing porte-cochere at the main entry and a covered area at the rear building entry. These areas clearly define the building's entry points.

Design Standard D-2I: Paint and trim temporary barriers/walls to complement the permanent construction excluding tree protection fencing.

Response: Temporary barriers or walls are not planned to be used during construction.

Design Standard D-2J: Screen rooftop equipment on all visible sides with materials that are an integral part of the architecture. Parapet walls or screen walls shall be treated as an integral part of the architecture and shall not visually weaken the design of the structure.

Response: Although the existing parapets are being altered, we will maintain the existing height of the parapets so that rooftop equipment remains screened. Our parapet walls are integral to the architecture of the building.

Design Standard D-3 – Part 1: Materials and Colors

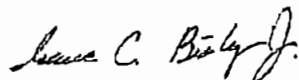
***Desirable Practices***

*Use compatible colors, materials and detailing on a building. Colors, materials and detailing should also be compatible with adjacent buildings and properties. Encourage the use of integral color where practical. Utilize durable materials.*

Response: We are utilizing a series of compatible EIFS colors, along with a brick patterned EIFS (refer to the colored elevations and rendering). All aluminum elements on the building, such as window frames and copings, are existing single prefinished color. The EIFS product is durable and has a mesh which is impact-resistant. As previously stated, the hotel was built in 1997 and the existing façade consist of EIFS which has maintained its durability.

Should you have any questions, please feel free to contact this office.

Sincerely,



Isaac Bishop  
Project Manager

Cc: Dave Parmley  
Larry Krapfl



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SUITE 100B  
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(901) 683-2385 f.  
lw@lwarchitects.com

ISSUED	DATE
FOR CONSTRUCTION	5-13-16

CITY ARB COMMENTS	8-31-16
CITY STAFF COMMENTS	9-26-16

NO.	REVISIONS	DATE

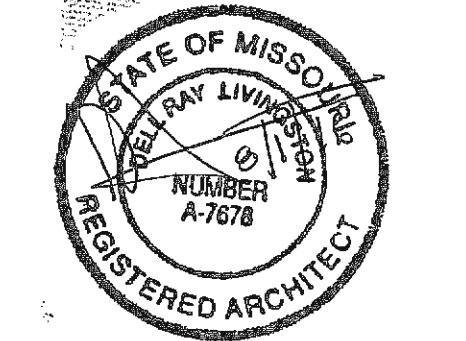
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VIOLATOR TO LEGAL PROSECUTION.

CONSULTANTS

STRUCTURAL:  
DPC ENGINEERS  
(901) 377-9984

ELECTRICAL:  
JAMES W. BURNS, P.E.  
(901) 373-8462

SEAL



**Hampton Inn**  
RENOVATION

CHESTERFIELD,  
MISSOURI

SHEET NAME

SITE PLAN

DATE  
4/13/16

DRAWN BY  
LM

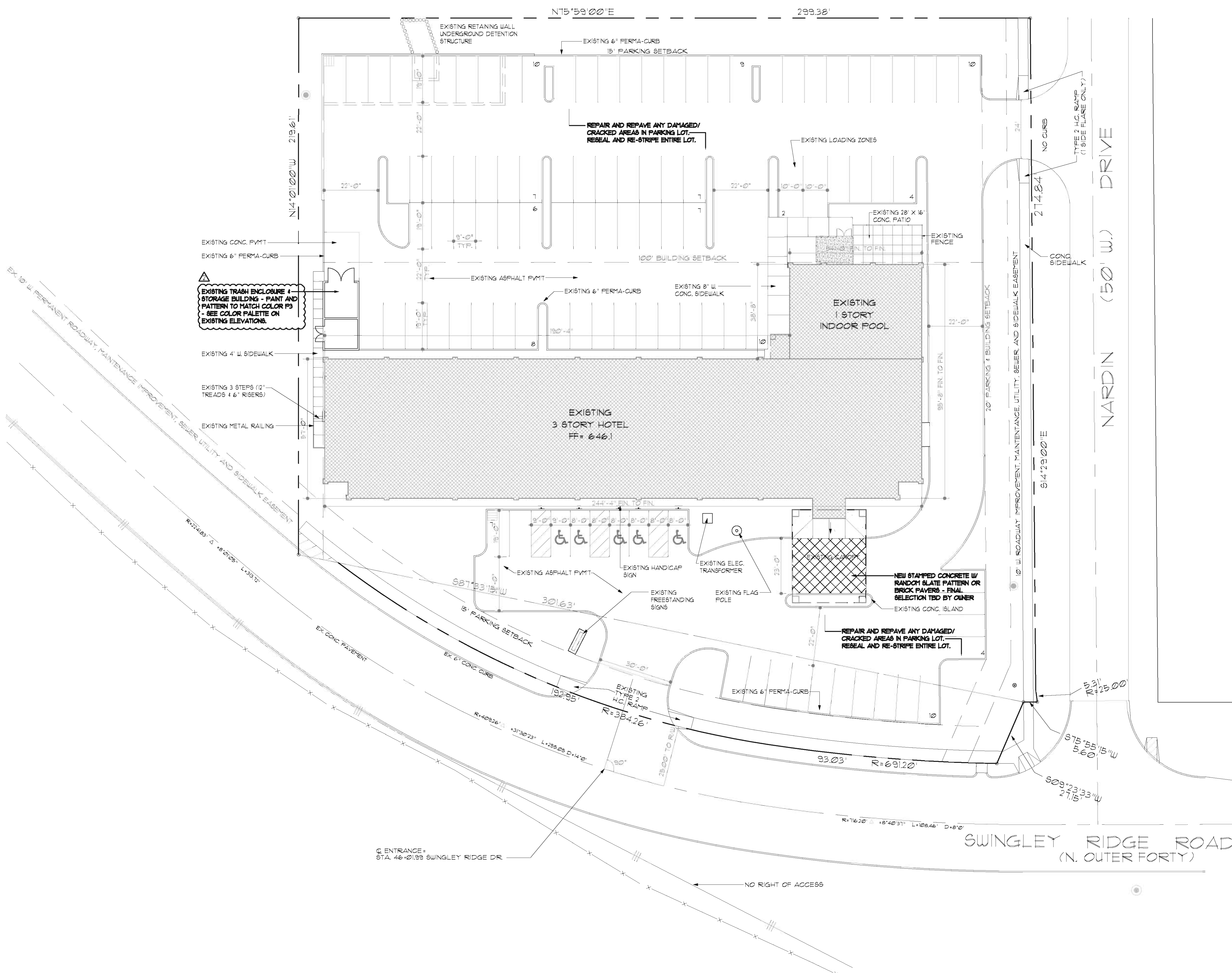
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FILE NAME  
0815-A101

SCALE  
AS NOTED

PROJECT NO.  
0815

DRAWING



EXISTING TRASH ENCLOSURE & STORAGE BUILDING - PAINT AND PATTERN TO MATCH COLOR P3 - SEE COLOR PALETTE ON EXISTING ELEVATIONS.

**GENERAL NOTES:**  
1. ALL LANDSCAPING & PLANTING IS EXISTING, AND ANY REMOVAL OF PLANTINGS FOR CONSTRUCTION WILL BE REPLACED.  
2. ALL EXISTING UTILITIES ARE CURRENTLY SCREENED.

**SITE PLAN**  
SCALE: 1" = 20'-0"  
TOTAL GUEST UNITS: 92  
TOTAL PARKING: 99

**A1.1**



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ISSUED	DATE
FOR CONSTRUCTION	5-13-16

OWNER REVISIONS/	DATE
HILTON 100% COMMENTS	7-25-16
CITY ARB COMMENTS	8-31-16
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NO.	REVISIONS	DATE

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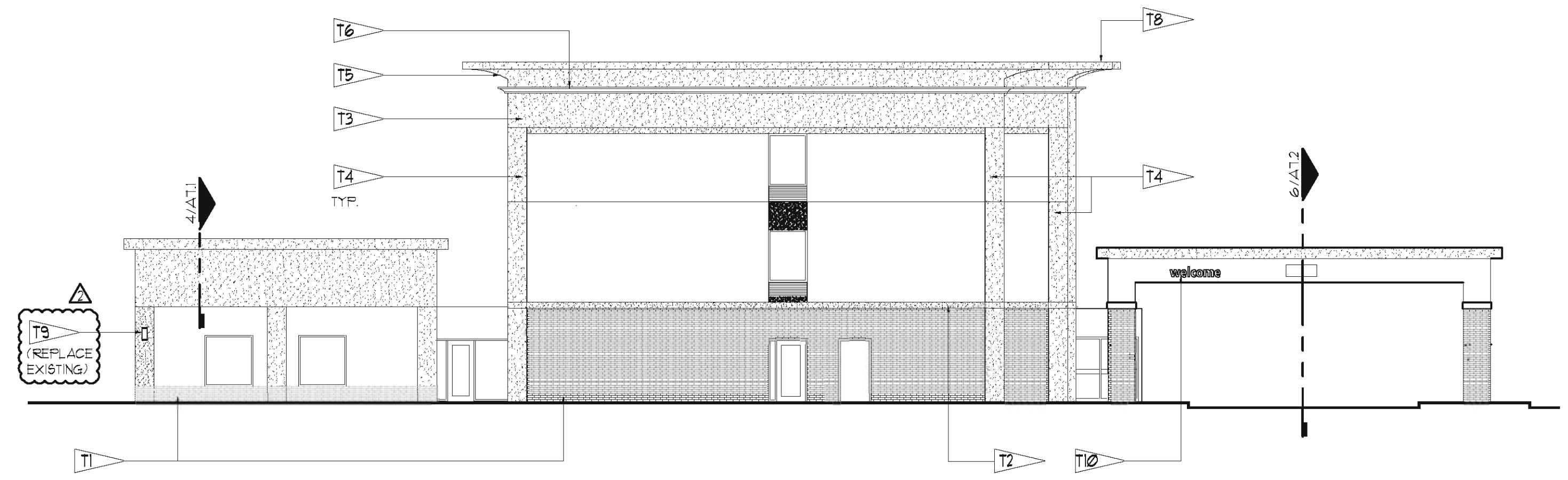
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- ### TYPICAL FINISHED KEYED NOTES
- T1 CUSTOM BRICK POLYMER FINISH OVER EXISTING EIFS
  - T2 EIFS TRIM
  - T3 NEW EIFS PARAPET
  - T4 EXISTING EIFS PILASTERS
  - T5 NEW EIFS CORNICE
  - T6 OWNER FURNISHED CONTRACTOR INSTALLED MODULAR LED ARCHITECTURAL UP LIGHT
  - T7 EXISTING SIGNAGE TO REMAIN
  - T8 NEW FINE FINISHED ALUMINUM EDGE FLASHING TO MATCH ADJACENT SURFACES
  - T9 SCONCE LIGHT FIXTURE - SEE ELECTRICAL
  - T10 NEW WELCOME AND CLEARANCE SIGN AS PER FYI STANDARDS VERIFY WITH APPROVED SIGN VENDOR

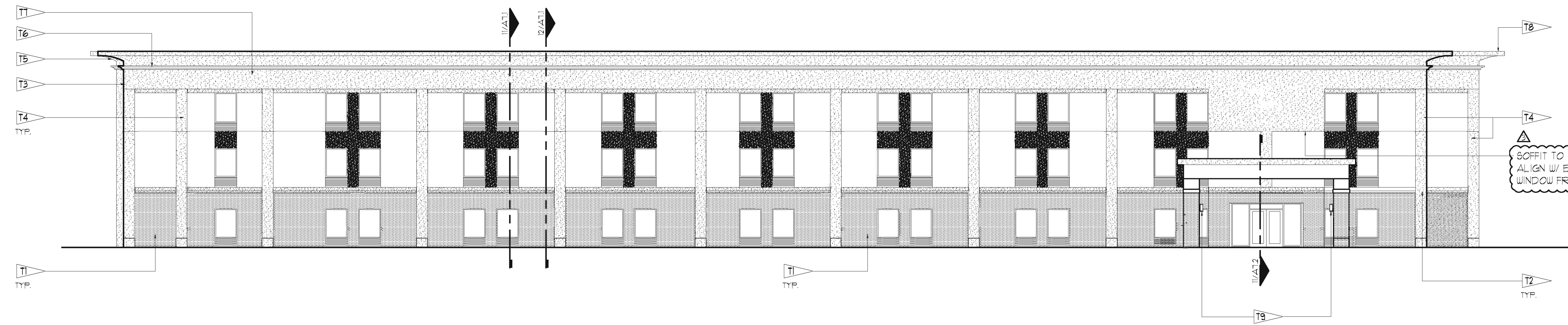
- ### COLOR PALETTE
- BENJAMIN MOORE PAINTS
- P1 - PUTNAM IVORY - HC-33
  - P2 - BROOKLINE BEIGE - HC-41
  - P3 - CLINTON BROWN - HC-61 - VERIFY FRAME COLOR FOR PROPER MATCH
  - P4 - ALEXANDRIA BEIGE - HC-11
  - P5 - "CUSTOM BRICK POLYMER FINISH" OVER EXISTING EIFS MATCH THIN SET BRICK VENEER COLOR "EXECUTIVE IRONSPOT" - SMOOTH THIN BRICK AS MANUFACTURED BY ENDICOTT
- GENERAL NOTES:  
1. REMOVE EXISTING WALL SCONCE LIGHT FIXTURES AT FIRST FLOOR AND REPLACE WITH NEW FIXTURES - SEE ELECTRICAL  
2. REPAINT ALL EXISTING WALL MOUNTED VENTS TO MATCH EXISTING ADJACENT SURFACES - TYPICAL  
3. NEW PARAPET HEIGHTS WILL SCREEN ALL EXISTING ROOF EQUIPMENT.



NEW PILASTERS WERE REMOVED  
CANOPY AND POOL PARAPET PROFILES CHANGED

6 Elevation Detail  
West Elevation

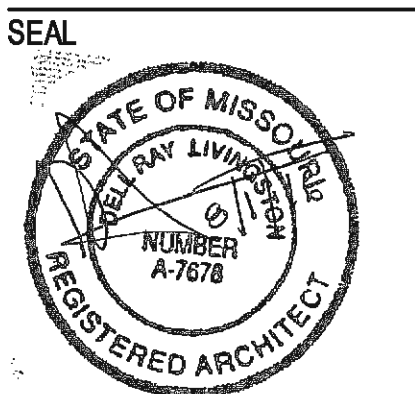
SCALE: 3/32" = 1'-0"



SOFFIT TO BE LOWERED TO  
ALIGN W/ BOTTOM OF  
WINDOW FRAME

11 Elevation Detail  
South Elevation

SCALE: 3/32" = 1'-0"



**Hampton Inn**  
RENOVATION  
CHESTERFIELD,  
MISSOURI

SHEET NAME  
EXTERIOR  
ELEVATIONS

DATE 4/13/16  
DRAWN BY ICB  
CHECKED BY DRL  
FILE NAME 0815-A303  
SCALE AS NOTED  
PROJECT NO. 0815  
DRAWING

A3.3





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CITY ARB COMMENTS	8-31-16

NO.	REVISIONS	DATE

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**TYPICAL FINISHED KEYED NOTES**

- T1 CUSTOM BRICK POLYMER FINISH OVER EXISTING EIFS
- T2 EIFS TRIM
- T3 NEW EIFS PARAPET
- T4 EXISTING EIFS PILASTERS
- T5 NEW EIFS CORNICE
- T6 OWNER FURNISHED CONTRACTOR INSTALLED MODULAR LED ARCHITECTURAL UP LIGHT
- T7 EXISTING SIGNAGE TO REMAIN
- T8 NEW FIRE FINISHED ALUMINUM EDGE FLASHING TO MATCH ADJACENT SURFACES
- T9 SCONCE LIGHT FIXTURE - SEE ELECTRICAL
- T10 NEW WELCOME AND CLEARANCE SIGN AS PER FYI STANDARDS VERIFY WITH APPROVED SIGN VENDOR

**COLOR PALETTE**

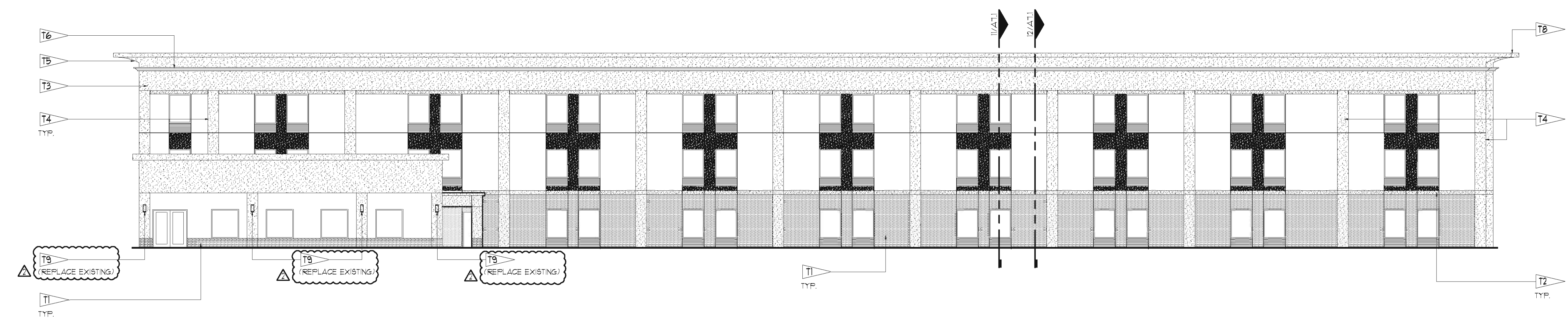
**BENJAMIN MOORE PAINTS**

- F1 - PUTNAM IVORY - HC-39
- F2 - BROOKLINE BEIGE - HC-41
- F3 - CLINTON BROWN - HC-61 - VERIFY FRAME COLOR FOR PROPER MATCH
- F4 - ALEXANDRIA BEIGE - HC-T1
- F5 - "CUSTOM BRICK POLYMER FINISH" OVER EXISTING EIFS MATCH THIN SET BRICK VENEER COLOR "EXECUTIVE IRONSPOT" - SMOOTH THIN BRICK AS MANUFACTURED BY ENDICOTT

**GENERAL NOTES:**

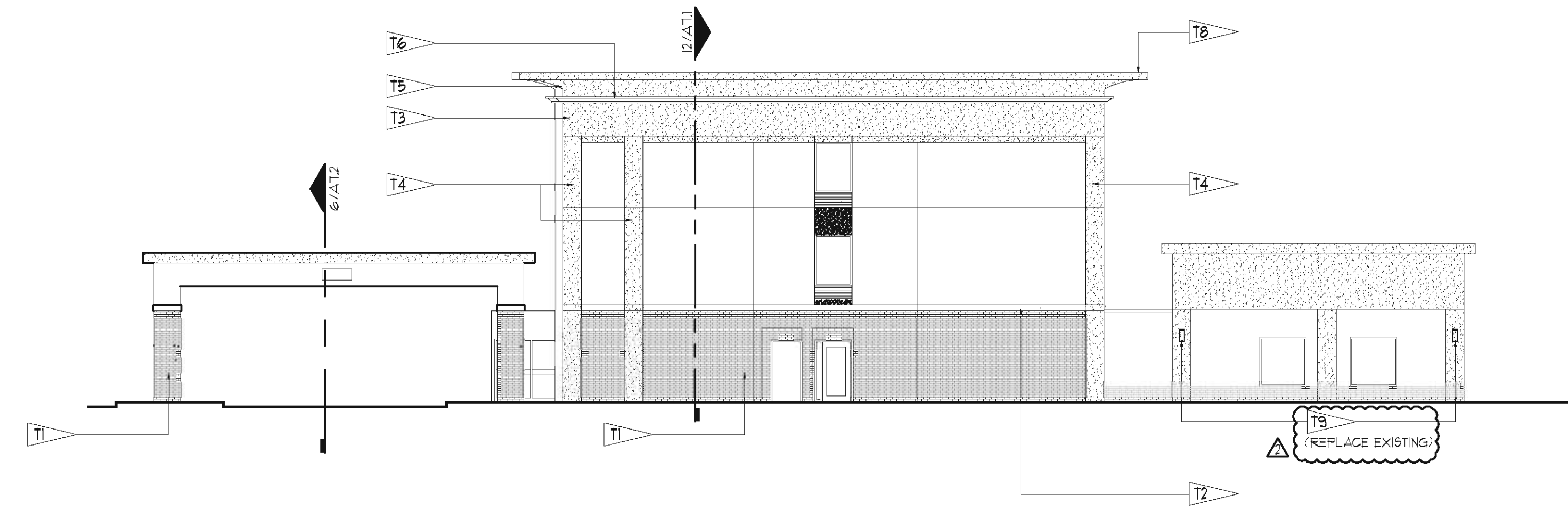
1. REMOVE EXISTING WALL SCONCE LIGHT FIXTURES AT FIRST FLOOR AND REPLACE WITH NEW FIXTURES - SEE ELECTRICAL
2. REPAINT ALL EXISTING WALL MOUNTED VENTS TO MATCH EXISTING ADJACENT SURFACES - TYPICAL
3. NEW PARAPET HEIGHTS WILL SCREEN ALL EXISTING ROOF EQUIPMENT

- NEW PILASTERS WERE REMOVED  
- CANOPY AND POOL PARAPET PROFILES CHANGED



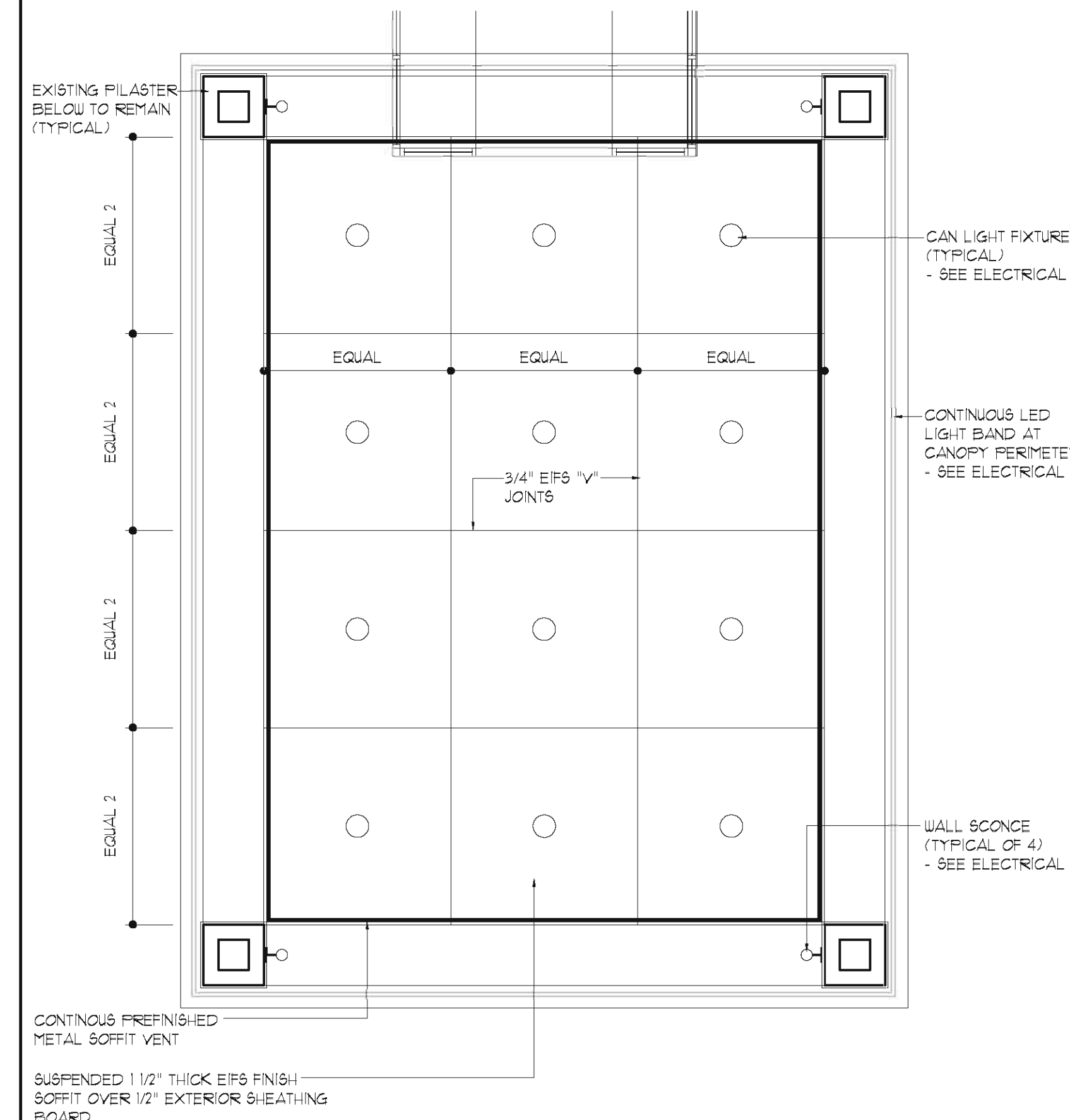
6 Elevation Detail  
North Elevation

SCALE: 3/32" = 1'-0"



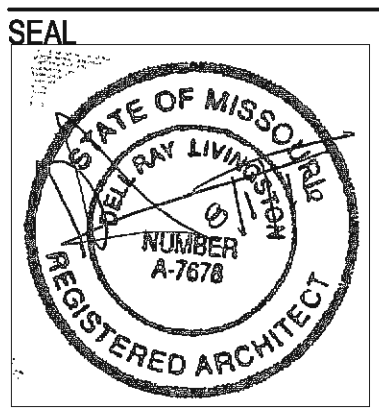
11 Elevation Detail  
East Elevation

SCALE: 3/32" = 1'-0"



15 Plan Detail  
Canopy Reflected Ceiling Plan

SCALE: 3/16" = 1'-0"

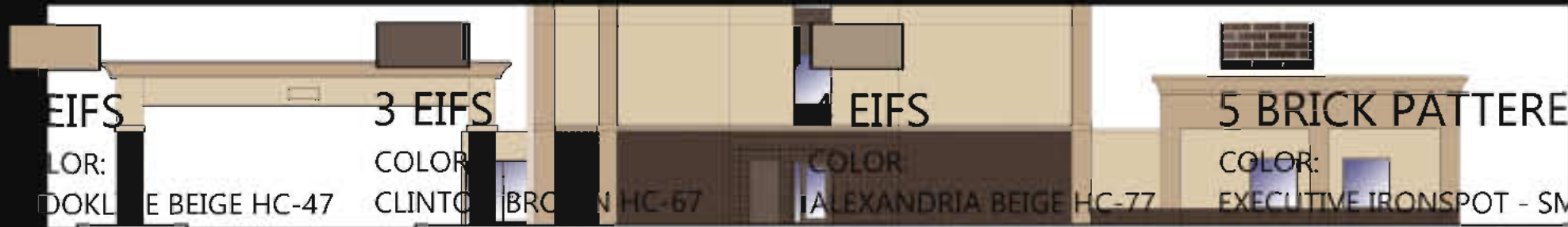
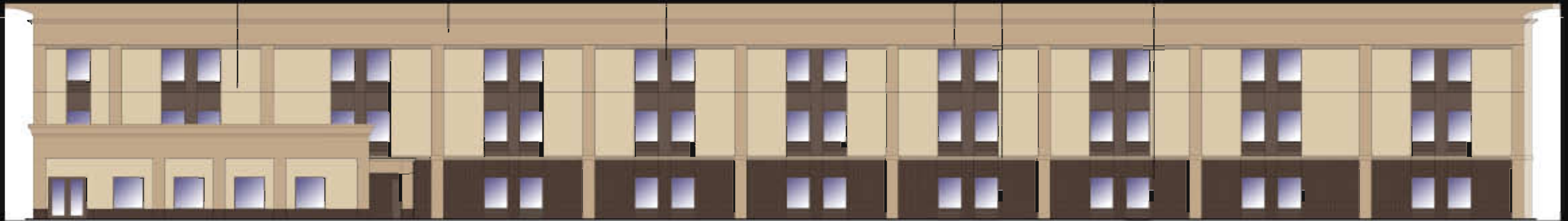


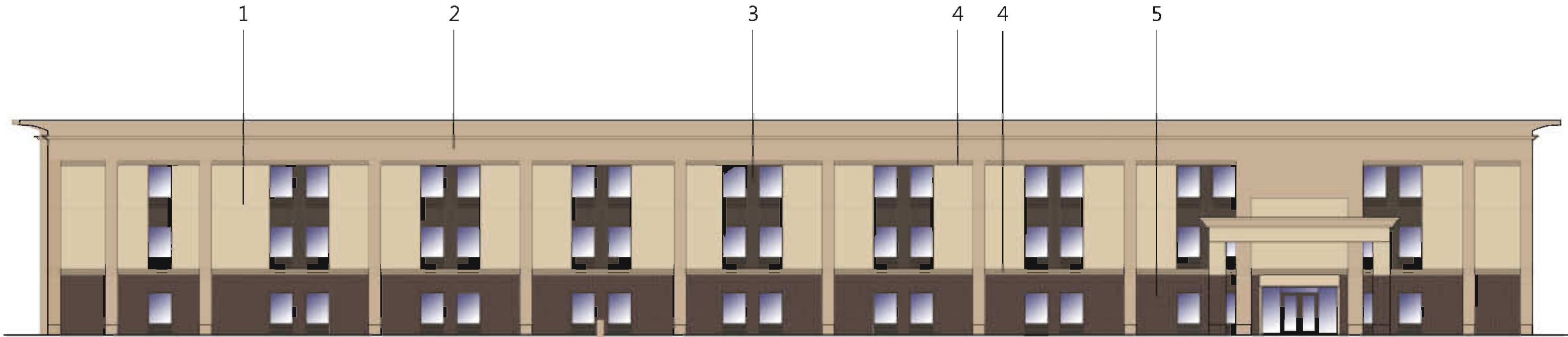
**Hampton Inn**  
RENOVATION  
CHESTERFIELD, MISSOURI

SHEET NAME  
EXTERIOR  
ELEVATIONS &  
PORTE COCHERE  
REF. CEILING PLAN

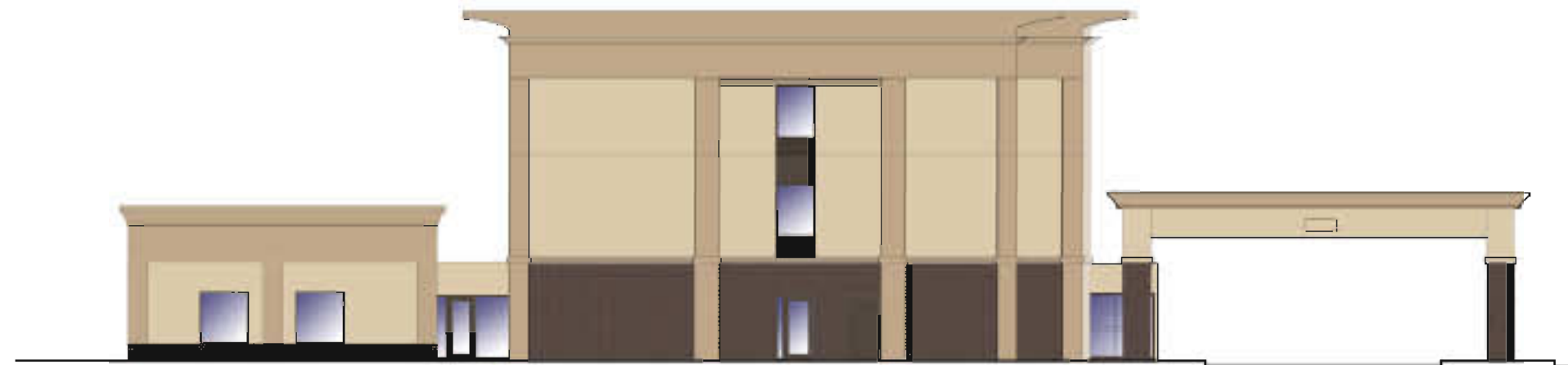
DATE	4/13/16
DRAWN BY	ICB
CHECKED BY	DRL
FILE NAME	0815-A304
SCALE	AS NOTED
PROJECT NO.	0815
DRAWING	

**A3.4**





SOUTH ELEVATION



WEST ELEVATION

*Hampton Inn*  
*Inn*<sup>®</sup>  
 RENOVATION

CHESTERFIELD,  
 MISSOURI

4-29-16



1 EIFS

COLOR:  
 PUTMAN IVORY HC-39  
 MANUFACTURER:  
 BENJAMIN MOORE



2 EIFS

COLOR:  
 BROOKLINE BEIGE HC-47  
 MANUFACTURER:  
 BENJAMIN MOORE



3 EIFS

COLOR:  
 CLINTON BROWN HC-67  
 MANUFACTURER:  
 BENJAMIN MOORE  
 \*(VERIFY FRAME COLOR FOR  
 PROPER MATCH)



4 EIFS

COLOR:  
 ALEXANDRIA BEIGE HC-77  
 MANUFACTURER:  
 BENJAMIN MOORE



5 BRICK PATTERNED EIFS

COLOR:  
 EXECUTIVE IRONSPOT - SMOOTH TEXTURE  
 MANUFACTURER:  
 ENDICOTT CLAY PRODUCTS



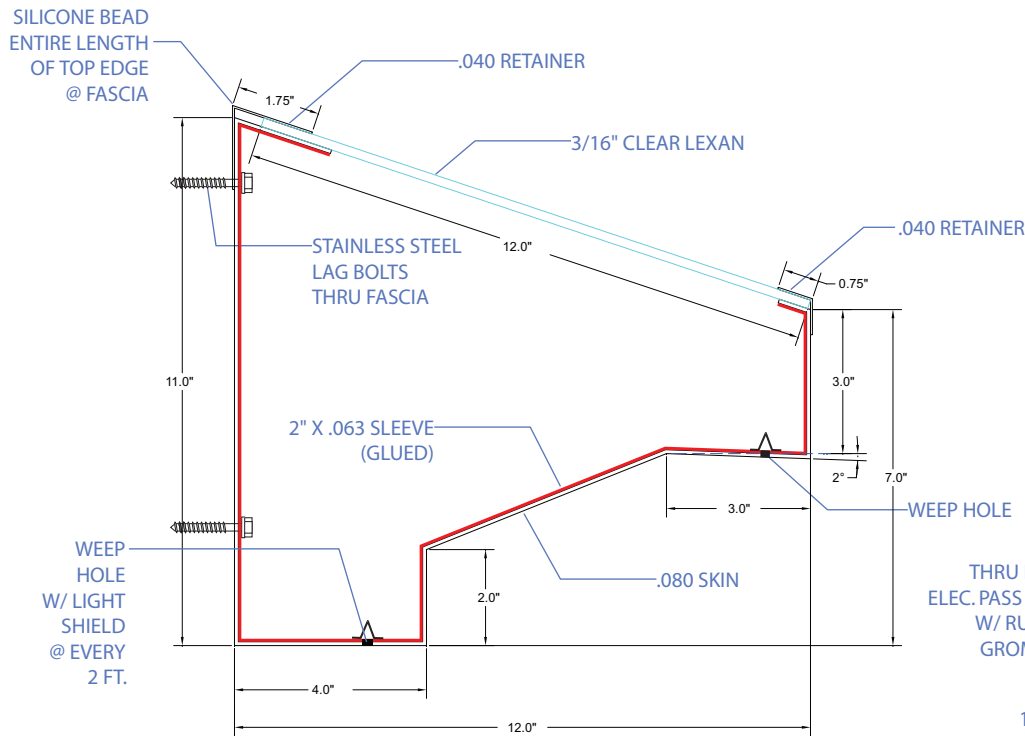


9.27.16

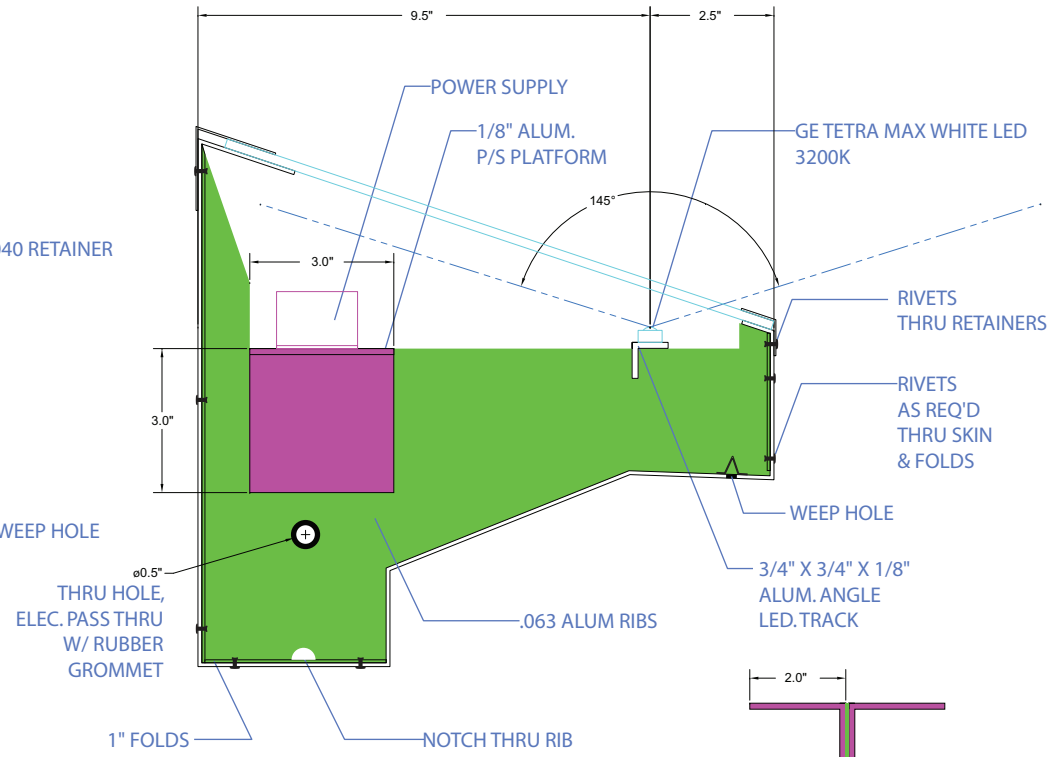
**ARCHITECTURAL RENDERING**



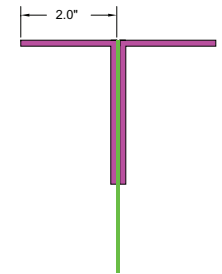
RENOVATION  
CHESTERFIELD, MISSOURI



PROFILE @ SEAM - SCALE: 3"= 1'



PROFILE @ RIB - SCALE: 3"= 1'



FRONT SECTION VIEW @ RIB - SCALE: 3"= 1'

**NOTES**

- 1) UL LABELS REQUIRED - INSTALL IN ACCORDANCE WITH NEC
- 2) PRIMARY ELECTRICAL BY OTHERS.
- 3) IF AVAILABLE POWER IS NOT 120 VOLT, THEN A DIFFERENCE IN PRICE WILL APPLY OR A STEP DOWN TRANSFORMER WILL NEED TO BE USED.
- 4) PAINT (AKZO NOBEL) TO MATCH FASCIA, SATIN FINISH
- 5) 8' TO 10' LENGTHS

PROCEED TO PRODUCTION

AUTHORIZED SIGNATURE

DATE

**LAURETANO**  
SIGN GROUP

1 Tremco Drive. Terryville, CT 06786  
phone: 860.582.0233 fax: 860.583.0949  
signs@lauretano.com www.lauretano.com

**TECHNICAL PAGE**

Marked dimensions are for internal quality control purposes.

**UL FILE NO. E70436**

Print 7776JP-3

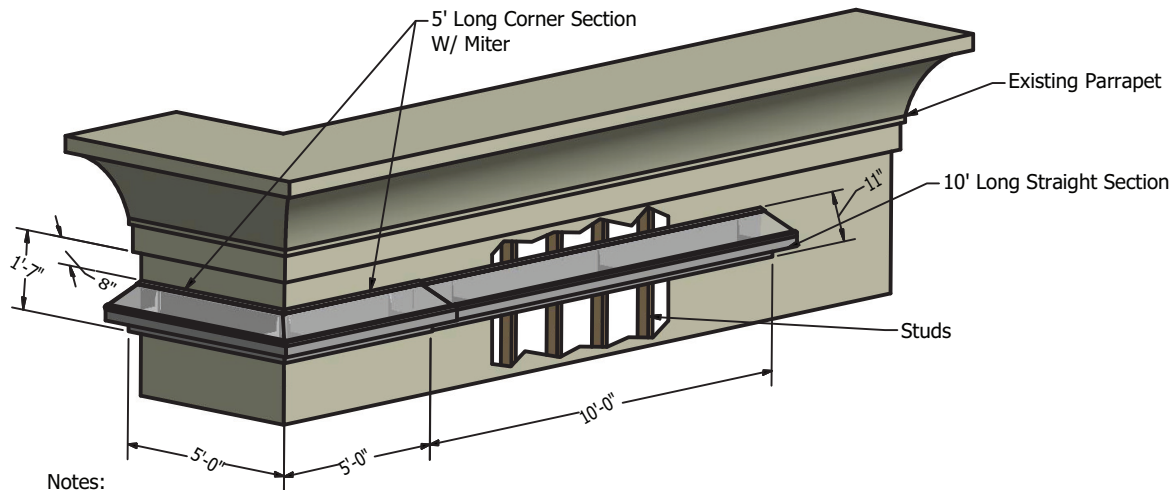
Quote 30234

Amps TBD

Date 12/1/14

Line 5 & 6

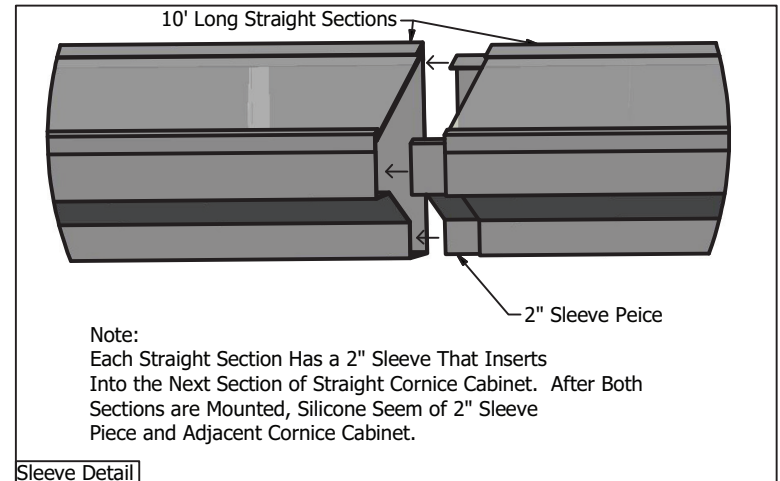
Volts 120



Notes:  
 Shipping-  
 Cornice Lighting Cabinet Sections Are Shipped In Crates As:  
 10' Long Straight Sections W/ 2" Sleeve Piece to Insert Into Next Section.  
 5' Long Outside Corner Sections. Sections are Mitered For Corner.  
 2' Long Inside Corner Sections. Sections are Mitered For Corner.

Install-  
 Cornice Lighting Cabinet Sections Are Installed at All Locations Shown in Blue on Elevation Drawings.  
 Cornice Cabinets Are Installed Level, Maintaining 8" Below Architectural Cornice of Building(See Drawing).  
 Corner Sections Are Slightly Larger Than Straight Sections To Allow The Straight Sections To Slide Into The  
 Corners For Field Adjustment.(Fabrication Note: Lens Retainers Have to Be CoPlanar Between Corner And Straight Sections.  
 At Termination of Cornice Cabinet Runs, The Cabinet Will Be Closed With An End Cap.

Mount Cabinets W/ 3/8" Lags Into Studs Behind Fascia.(Lag Length Determined At Time Of Survey)  
 Apply Silicone Bead To Entire Gap Between Top Edge Of Cornice Cabinet And Building Fascia.  
 At The End of Each Straight Run, The Last Straight Section Will Be Field-Cut And Slid Into The Corner Section.  
 Led is Pre-Mounted Inside Cabinets. Connect The Led Wires From One Section To The Next With Wire Nuts.  
 Power Supply Can Be Mounted Inside Cornice Cabinet But Generally Will Be Remote. If Remote Power Supplies Will Be Mounted Inside  
 Transformer Box on Roof.  
 One 60 Watt Power Supply Can Run 60' of Cornice Cabinet. Primary On Roof Provided By Others.



Sleeve Detail

PROCEED TO PRODUCTION

---

AUTHORIZED SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**LAURETANO**  
SIGN GROUP

1 Tremco Drive. Terryville, CT 06786  
 phone: 860.582.0233 fax: 860.583.0949  
 signs@lauretano.com www.lauretano.com

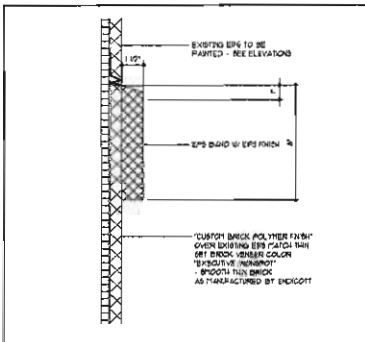
**TECHNICAL PAGE**

Ⓜ Marked dimensions are for internal quality control purposes.

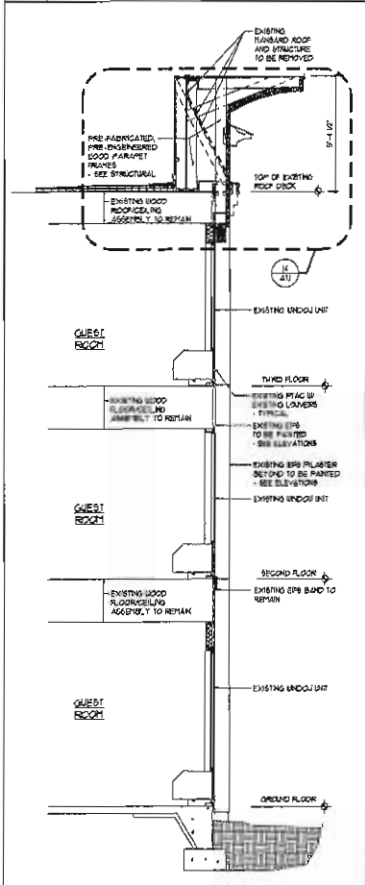
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 Date 12/1/14

Quote 30234  
 Line 5 & 6



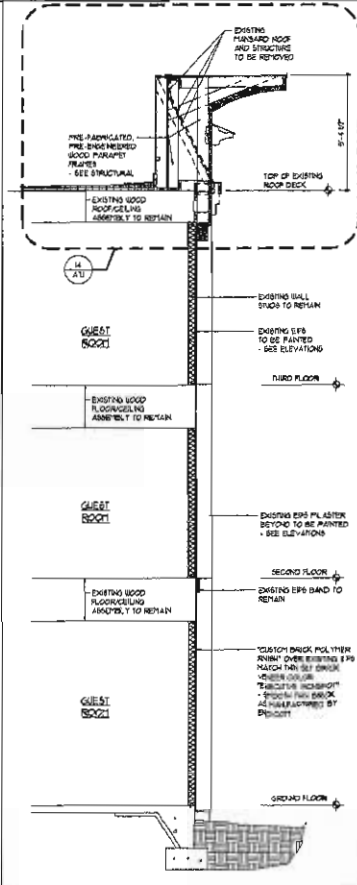
1 Section Detail  
EP6 Trim @ Canopy SCALE: 3/4"=1'-0"



11 Section Detail  
Guest Unit / Window SCALE: 3/8"=1'-0"



2 Section Detail  
Not Used SCALE:



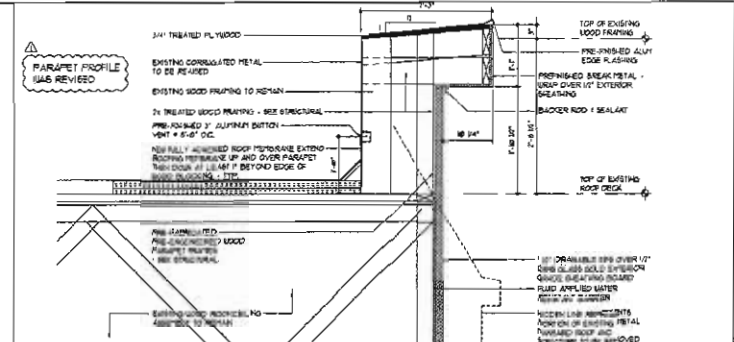
12 Section Detail  
Guest Unit / Metal Stud SCALE: 3/8"=1'-0"



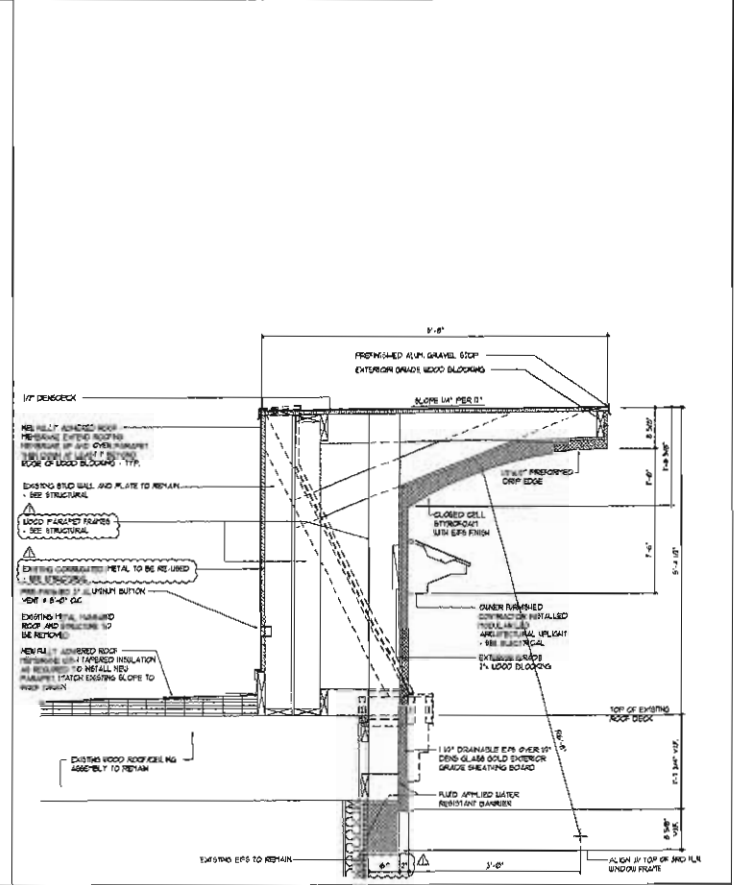
3 Section Detail  
Not Used SCALE:



13 Section Detail  
Not Used SCALE:



4 Section Detail  
Pool Roof Parapet SCALE: 1/4"=1'-0"



14 Section Detail  
Wall Section @ Main Roof Parapet SCALE: 1/4"=1'-0"



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(901) 528-1175 P.  
(901) 528-0885 F.  
lw@lwwarchitects.com

ISSUED	DATE
FOR CONSTRUCTION	01-19-19

NO.	REVISIONS	DATE

CONSULTANTS

STRUCTURAL:  
GRC ENGINEERS  
(901) 377-9984  
ELECTRICAL:  
JAMES W. BURNS, P.E.  
(901) 373-8462



**Hampton Inn**  
RENOVATION  
CHESTERFIELD, MISSOURI

SHEET NAME  
WALL SECTIONS AND DETAILS

DATE: 4/13/16  
DRAWN BY: ICB  
CHECKED BY: DRL  
FILE NAME: 0815-A701  
SCALE: AS NOTED  
PROJECT NO.: 0815  
DRAWING

A7.1



9.27.16

**EXAMPLES OF PROPOSED BUILDING MOUNTED CORNICE LIGHTING**



RENOVATION  
CHESTERFIELD, MISSOURI



Fixture #	OW928		
Style	Exterior Sconce		
Project		Quantity	



**Available Specifications:**

**Dimensions and Lamping:**

**OW928-25** 10.75" A x 25" B x 13" D x 12.5" MC  
**F** 2-32W TT  
**FF** 2-27W BX  
**LED** LED

\*OAH is standard unless specified otherwise

**Voltage Options:**

**1** 120V                                      **2** 277V                                      **MVT** Multi-Volt (120V thru 277V)

**Diffusers:**

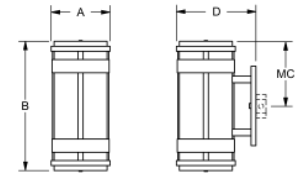
**WA** White Acrylic                                      **WS** White Alabaster Acrylic                                      **FA** Beige Alabaster Acrylic  
**GR** Grey Alabaster Acrylic                                      **CA** Custom Acrylic                                      **HPA** Hand Painted Acrylic

**Finishes:**

**PAL** Aluminum                                      **PAB** Antique Brass                                      **PBW** Black Wrinkle  
**PBR** Bronze                                      **PBB** Brushed Brass                                      **PCM** Copper  
**CPF** Custom Painted Finish                                      **PDB** Dark Bronze                                      **PDG** Deep Gold  
**PHB** Hammered Bronze                                      **PHC** Hammered Copper                                      **PHS** Hammered Silver  
**PLB** Light Bronze                                      **PMW** Matte White                                      **PMB** Medium Bronze  
**PNL** Nickel                                      **PRB** Oil Rubbed Bronze                                      **PPA** Patina  
**PSB** Satin Black                                      **PSG** Satin Gold                                      **PWW** White Wrinkle  
**AB** Premium Antique Brass                                      **BA** Premium Brushed Aluminum                                      **BB** Premium Brushed Brass  
**PB** Premium Polished Brass                                      **PC** Premium Polished Chrome                                      **SN** Premium Satin Nickel

**Other Options:**

**REM** Remote Emergency Ballast                                      **DM** Dimming                                      **FUS** Fusing  
**SBA** Sandblasted Acrylic



Custom sizes and finishes available upon request.

Incandescent and/or fluorescent lamps not included.

Camman reserves the right to make design changes without prior notice.

Unless otherwise specified, mounting is to a 4 inch octagonal junction box. Structural mounting is required for fixtures over 50 lbs. Please contact the factory for specific mounting instructions.

Photometric information available at [www.cammanlighting.com](http://www.cammanlighting.com)

Fixture approved for outdoor locations.





9.27.16

**EXAMPLES OF PROPOSED BRICK POLYMER FINISH OVER EXISTING E.I.F.S.**



RENOVATION  
CHESTERFIELD, MISSOURI