



III.A.

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Architectural Review Board Staff Report

Project Type: Amended Architectural Elevations

Meeting Date: May 14, 2015

From: Jessica Henry
Project Planner

Location: South side of Chesterfield Airport Road, west of the intersection with Boones Crossing

Applicant: Priority Sign on behalf of Red Robin

Description: **Chesterfield Commons, Outlot 2 (Red Robin)**: Amended Architectural Elevations and an Architect's Statement of Design for a 1.37 acre lot of land zoned "C8" Planned Commercial District located on the south side of Chesterfield Airport Road, west of the intersection with Boones Crossing.

PROPOSAL SUMMARY

Priority Sign, on behalf of Red Robin Gourmet Burgers has submitted a request for Amended Architectural Elevations for an existing Red Robin fast food restaurant located at 17308 Chesterfield Airport Road. The request is for a new paint scheme and involves no other changes to the existing architecture of the building.

HISTORY OF SUBJECT SITE

On November 17, 1997 the City of Chesterfield approved Ordinance 1344, which permitted the development of Chesterfield Commons. On January 4, 1999 the City approved the Concept Plan for the portion of the development located on the south of Chesterfield Airport Road. The approved plan included both the strip retail center and 15 outlots. The Site Development Section Plan for the strip retail development was approved at the same time as the Site Development Concept Plan. In October of 1999, the Site Development Section Plan for outlot 2 was approved by the Planning Commission.

The original governing ordinance for the Chesterfield Commons was amended by Ordinance 1600 and 1627. In 2004, the City of Chesterfield approved Ordinance 2081, which repealed 1600 and 1627 and consolidated the governing conditions for the Chesterfield Commons into one ordinance.



Figure 1—Chesterfield Commons, Outlot 2 (Red Robin)

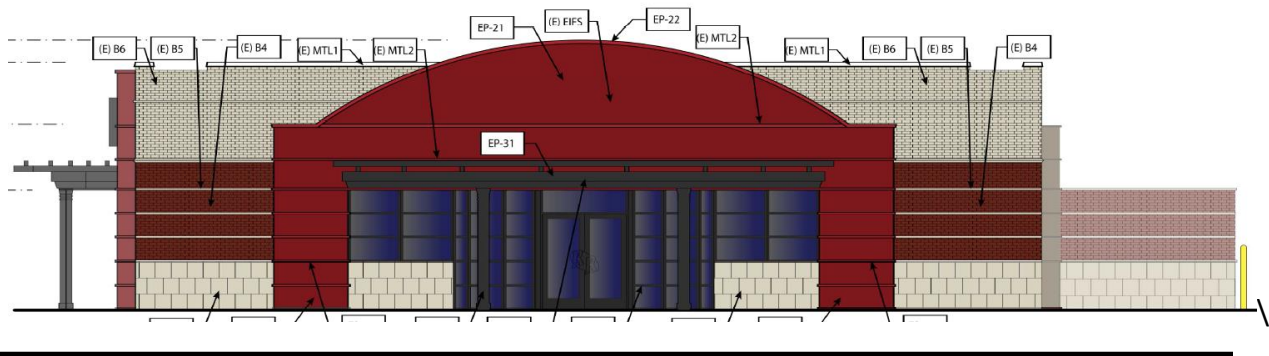
STAFF ANALYSIS

The City of Chesterfield Unified Development Code requires review by the Architectural Review Board for amendments that significantly impact architectural elements previously approved by the Planning Commission or Architectural Review Board. When this project was originally approved in 1999, the Architectural Review Board expressed concern regarding the intensity of the proposed color palette and subsequently added the following recommendation: "Make the red color more in keeping with the color of the red brick approved for the retail buildings." At that time, this was one of the first outlots in the Chesterfield Commons to develop, and there was discussion on whether the outlot developments would be required to match color palette of the main Chesterfield Commons retail center or if individual corporate branding and design would be permitted. In the years since, the restaurants located on the outlots have been constructed with corporate branding and design architectural features and color palettes.

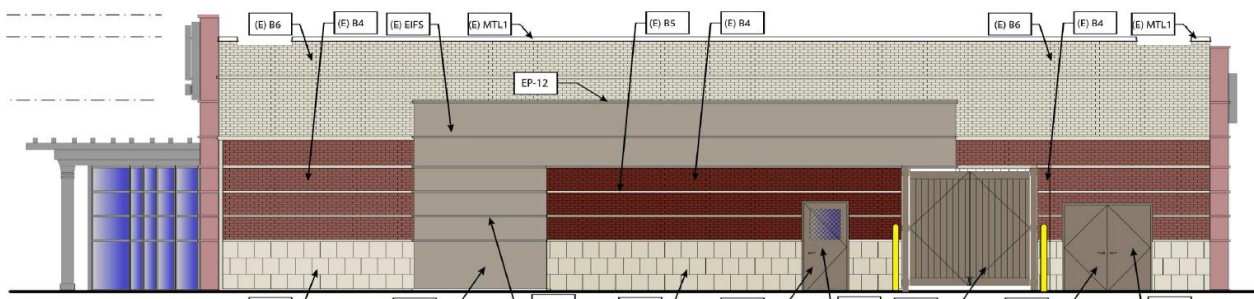
Materials and Color

The applicant is proposing the addition of six new colors, including three bold red tones, and two neutral earth tones to be applied to the portions of the four elevations that are currently painted. Additionally, the existing trellises on the north and west elevations are proposed to be painted black. Comparisons of the existing and proposed elevations are shown on the following pages.

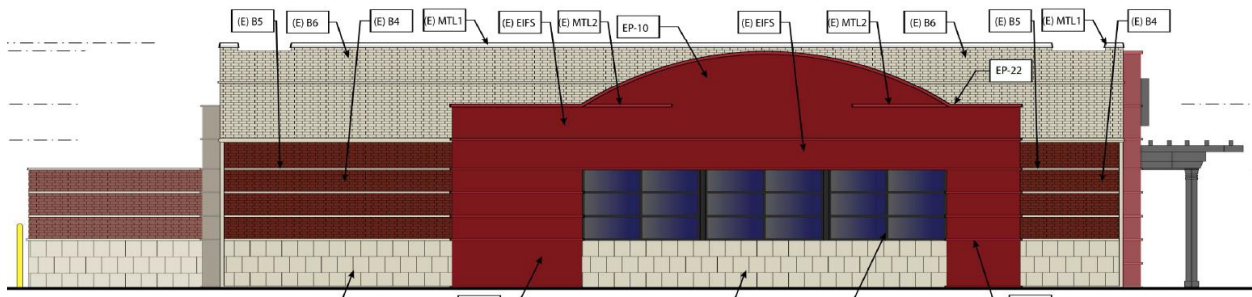
Existing & Proposed West Elevation



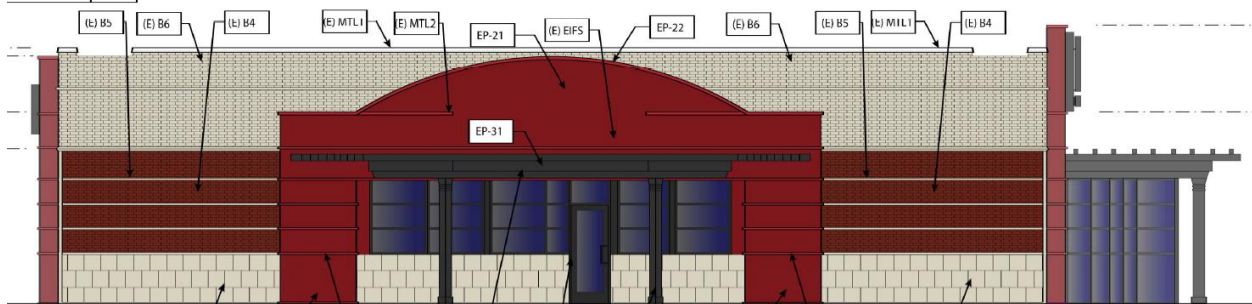
Existing & Proposed South Elevation



Existing & Proposed East Elevation



Existing & Proposed North Elevation



DEPARTMENTAL INPUT

Staff has reviewed the Amended Architectural Elevations and Architect's Statement of Design and found the request to be compliant with all City of Chesterfield code requirements. The Red Robin restaurant was constructed 15 years ago, and the proposed paint scheme will serve to refresh and modernize the restaurant. Staff requests action on the Amended Architectural Elevations and Architect's Statement of Design for Chesterfield Commons, Outlot 2 (Red Robin).

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Architectural Elevations and Architect's Statement of Design for Chesterfield Commons, Outlot 2 (Red Robin), as presented, with a recommendation for approval (or denial) to City Staff."
- 2) "I move to forward the Amended Architectural Elevations and Architect's Statement of Design for Chesterfield Commons, Outlot 2 (Red Robin), to City Staff with the following recommendations..."

Attachments

1. Architectural Review Packet Submittal



LingleDESIGNGroupINC
www.lingledesign.com
158 West Main Street_Lena, IL 61048
Phone:815.369.9155
Fax: 815.369.4495

April 8, 2015

Jessica Henry
Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO
P: (636) 537-4000
F: (636) 537-4798

Re: Chesterfield Commons Outlot 2, Red Robin - Amended Architectural Elevations

Ms. Henry,

We are pleased to submit the following project to the City of Chesterfield Architectural Review Board for consideration. The following is an abbreviated statement of intent due to the very limited scope of work to the existing building. The project is limited to repainting the existing EIFS, metal coping and wood trim, as laid out in the accompanying elevations. There will be no structural changes to the facade.

STATEMENT OF DESIGN INTENT

General Requirements for Site Design

Site Relationship: There will be no change to the building site.
Circulation System and Outlet: There will be no change to the circulation or site access.
Topography: There will be no change to the site topography.
Retaining Walls: There will be no new retaining walls.

General Requirements for Building Design

Scale: There will be no change to the building that will affect the scale.
Design: The old Red Robin signage will have been updated in accordance to the new Red Robin branding guidelines as previously permitted by the City of Chesterfield.
Materials and Colors: The existing EIFS, metal coping and wood trim will be repainted.
Landscape Design and Screening: There will be no change to the landscaping.
Signage: The old Red Robin signage will have been updated in accordance to the new Red Robin branding guidelines as previously permitted by the City of Chesterfield.
Lighting: There are no proposed lighting changes.

We are very excited about the upcoming changes and proud to be a part of the continued growth of Chesterfield. Please feel free to contact me or our office should you have any questions of concerns.

Sincerely,

Carl Lingle
Principal

Proposed exterior paint scheme



Paint Schedule

EP-01	SW7032 Warm Stone Red: 136, Green: 125, Blue: 108
EP-02	SW7047 Porpoise Red: 106, Green: 101, Blue: 91
EP-03	SW2914 Vermillion Red: 126, Green: 25, Blue: 27
EP-04	Benjamin Moore BM - Classic Burgundy
EP-05	SW6866 Heartthrob Red: 173, Green: 38, Blue: 46
EP-06	SW6991 Black Magic Red: 51, Green: 50, Blue: 50

Finishes Schedule

EPS	Exterior Insulation Finish System
MC	Metal Coping
BT	Stained Redwood Trelace



Exterior Paint Scheme

Proposed exterior paint scheme



Paint Schedule

EP-10	SW7032 Warm Stone Red: 136, Green: 125, Blue: 108
EP-12	SW7047 Porpoise Red: 106, Green: 101, Blue: 91
EP-18	SW2914 Vermillion Red: 126, Green: 25, Blue: 27
EP-21	Benjamin Moore BM - Classic Burgundy
EP-22	SW6866 Heartthrob Red: 173, Green: 38, Blue: 46
EP-31	SW6991 Black Magic Red: 51, Green: 50, Blue: 50

Finishes Schedule

EPS	Exterior Insulation Finish System
MC	Metal Coping
RT	Stained Redwood Trellace



Exterior Paint Scheme

Proposed exterior paint scheme



Paint Schedule

EP-11	SW7032 Warm Stone Red: 136, Green: 125, Blue: 108
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Finishes Schedule

EIFS	Exterior Insulation Finish System
MC	Metal Coping
RT	Stained Redwood Trellace



Exterior Paint Scheme

Proposed exterior paint scheme.



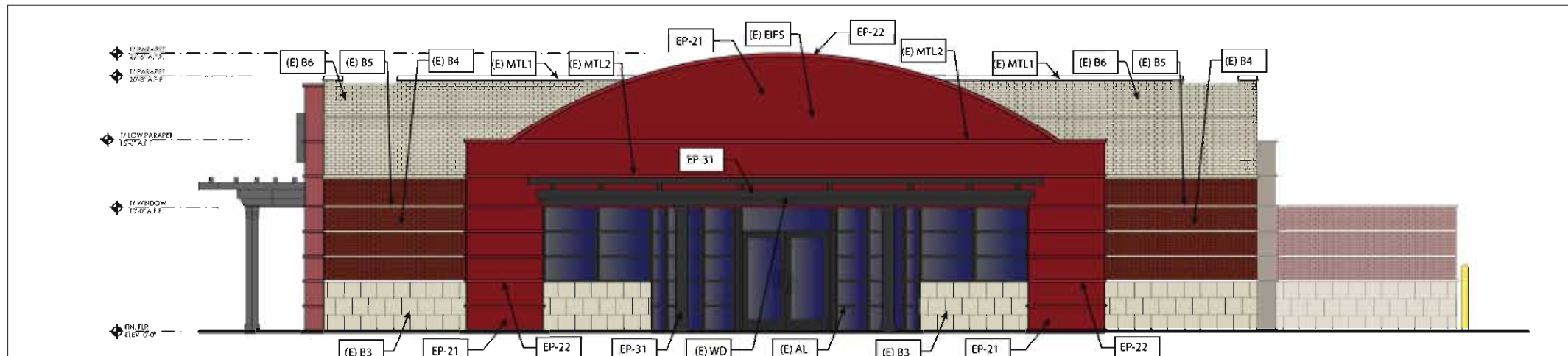
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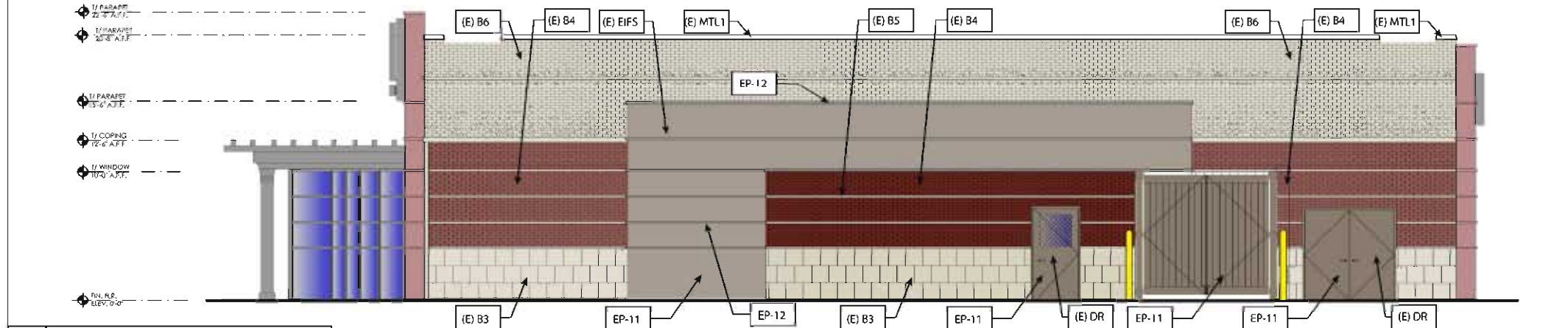
Finishes Schedule

EIFS	Exterior Insulation Finish System
MC	Metal Coping
TR	Stained Redwood Trellace
TR	Trash Enclosure Door
GL	Gate Latch
DR	Building Door

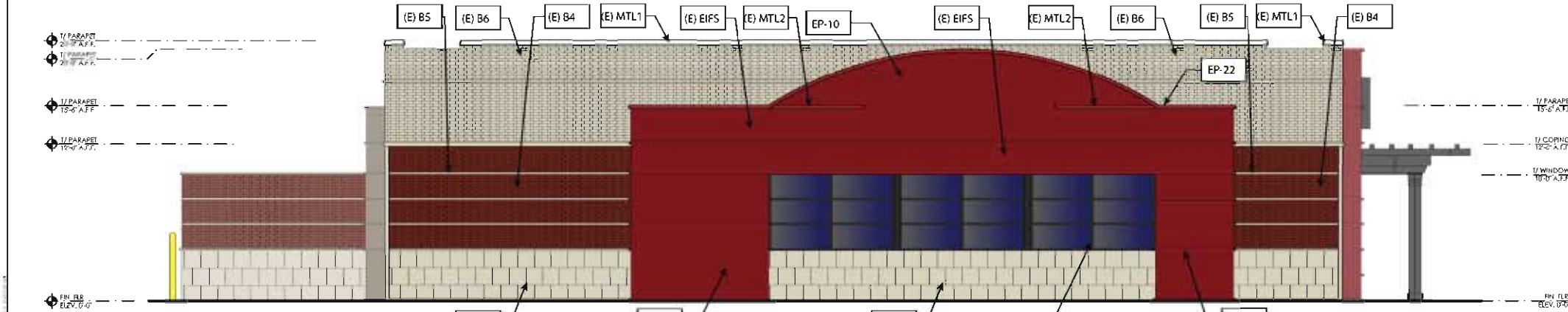




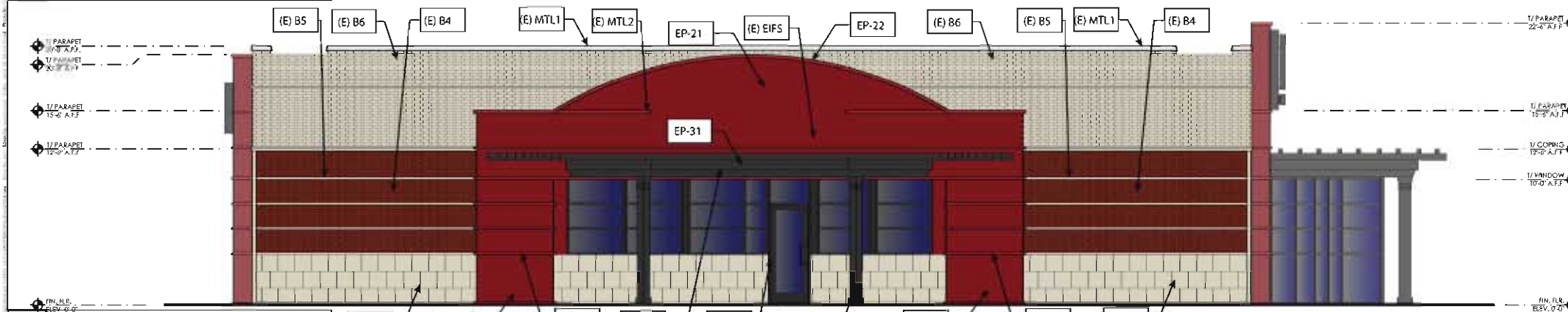
1 WEST ELEVATION
SCALE: _____



2 SOUTH ELEVATION
SCALE: _____



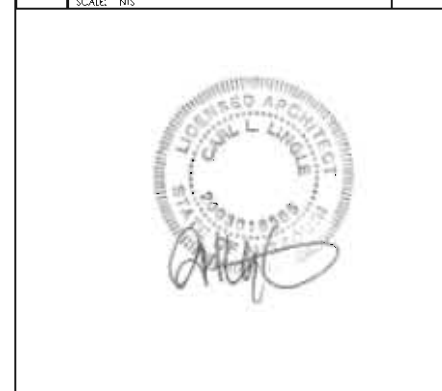
3 EAST ELEVATION
SCALE: _____



4 NORTH ELEVATION
SCALE: _____

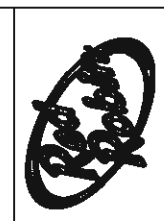
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(E) B1	Existing Precast Concrete: Diamond Profile, 8' Band Natural Concrete Color
(E) B2	Existing Precast Concrete: Diamond Profile, 4' Band Natural Concrete Color
(E) B3	Existing Split-Face CMU: Chiseled Face Integral Color - White, Arribraft
(E) B4	Existing Face Brick, Endicott Medium Ironspot '46 Smooth Face Brick
(E) B5	Existing Face Brick, Acme 16 Grey
(E) B6	Existing Face Brick, Acme Blend 16S Shadow Grey
(E) EIFS	Existing Exterior Insulation Finish System
(E) WD	Existing Stained Redwood Trellis
(E) AL	Existing Aluminum Storefront, Black Anodized
(E) MTL-1	Existing Metal Coping, Color To Match Acme Blend 16S Shadow Grey
(E) MTL-2	Existing Metal Coping
(E) MTL-3	Existing Metal Coping
(E) MTL-4	Existing Metal Trellis
(E) DR-1	Manual Swing Door

5 EXTERIOR FINISH SCHEDULE
SCALE: NTS



6 NOT USED
SCALE: NONE

7 NOT USED
SCALE: NONE



RED ROBIN GOURMET BURGERS - REMODEL
17300 CHESTERFIELD AIRPORT ROAD
CHESTERFIELD, MO 63005
CHESTERFIELD #615
EXTERIOR ELEVATIONS
CONSTRUCTION ISSUE: 2/23/2015

UNDERSIGNING ARCHITECT
WEST MAIN STREET
LEWIS, IL 61048 USA
PHONE: 215-355-9155
FAX: 815-369-4495
WWW.LINGLEDESIGN.COM

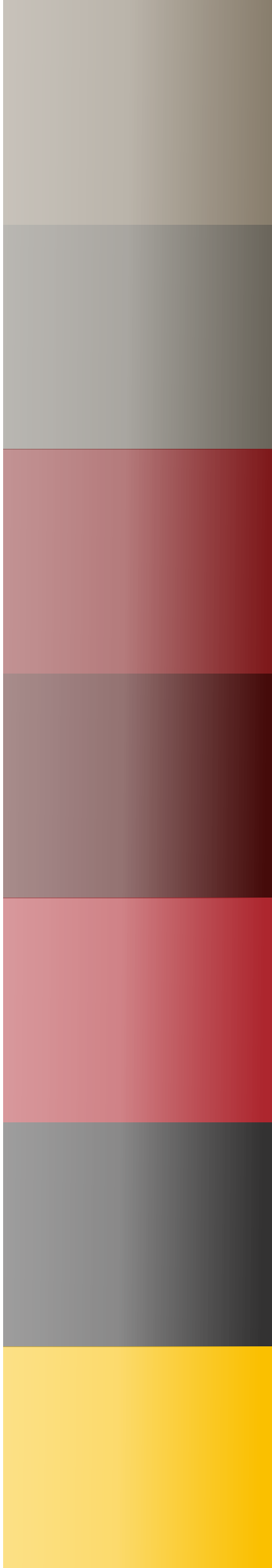


Revisions
▲ REVISED PER BID COMMENTS
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Drawn By	Checked By
Scale	Date
AS NOTED	2/23/2015
JOB NUMBER	14-0573
Sheet No.	A3.0



Proposed Exterior Color Scheme and Graphics




Paint

Exterior Paint Scheme

Proposed exterior paint scheme.



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EIFS	Exterior Insulation Finish System
MC	Metal Coping
RT	Stained Redwood Trellace



Revisions:

Added before & after, finishes schedule / 2.26.15 / SC	
X	
X	

Revisions:

X	
X	
X	

File Location:
ArtDept\Coreel Colors
\Red Robin

Date: 10.29.14

Designer: BD

Location: 17308 Chesterfield Airport Road Site ID: 615

City: Chesterfield, MO

Name: Chesterfield



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