



690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
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Planning Commission Staff Report

Project Type: Sign Approval

Meeting Date: December 14, 2009

From: Charlie Campo, AICP
Project Planner

Mara Perry, AICP
Senior Planner

Location: AT&T Olive Subdivision, Lot 1 (Valvoline Instant Oil Change)

Applicant: Ashland Inc.

Description: **AT&T Olive Subdivision, Lot 1 (Valvoline Instant Oil Change):**
A request for a free standing sign to exceed six (6) feet in height, with the bottom of the sign face to exceed three (3) feet in height located on a 0.46 acre lot of land zoned “C-8” Planned Commercial District, located at the northwest corner of Olive Boulevard and Woodchase Ln.

PROPOSAL SUMMARY

Ashland, Inc. has submitted a request for a free standing sign for Planning Commission review. The petitioner is proposing to replace the cabinet and renovate the base of an existing pole sign located along Olive Boulevard in front of an existing vehicle service center. The proposed sign is twenty (20) feet in height with a sign face area of forty-four (44) square feet with three (3) lines of manually changeable channel letters. The proposed sign will replace an existing twenty five (25) foot tall sign with a sign face area of thirty-seven (37) square feet. The proposed sign is before the Planning Commission for review because the bottom of the sign and the overall height of the sign exceed the requirements set forth in the City of Chesterfield Zoning Ordinance.

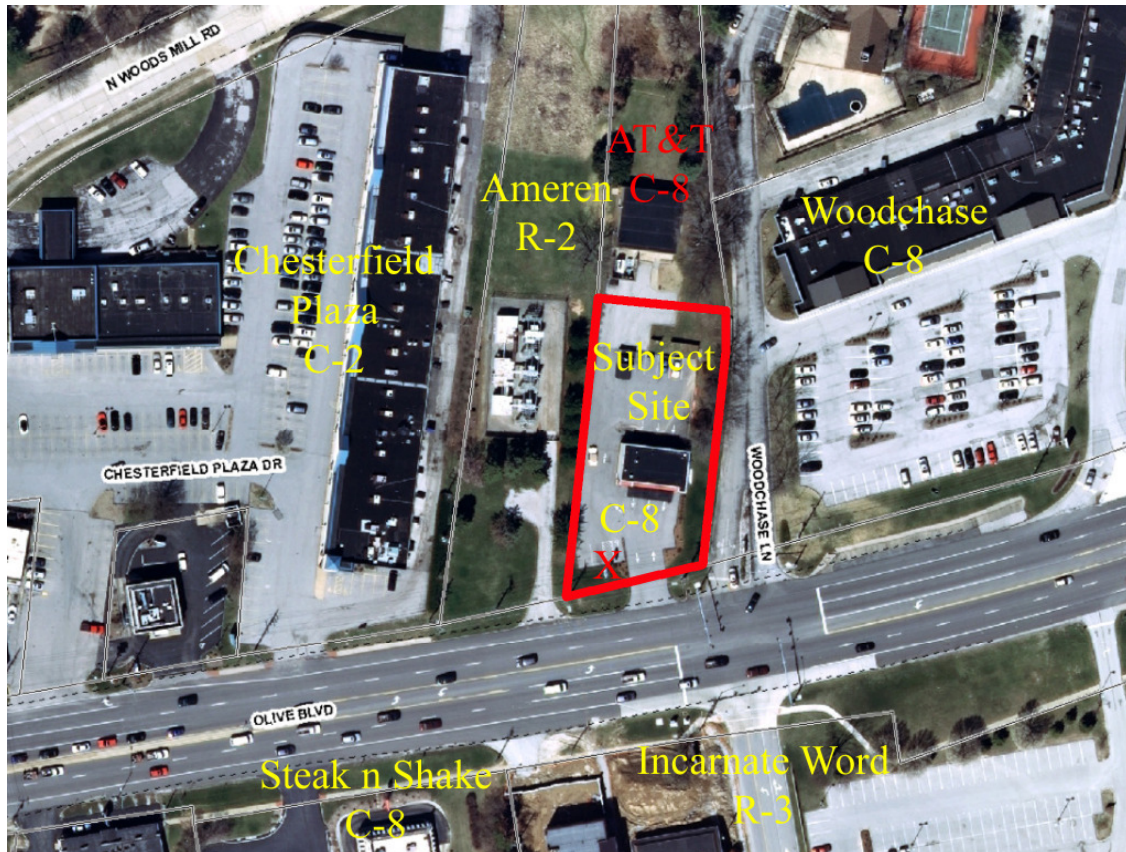
LAND USE AND ZONING HISTORY OF SUBJECT SITE

On July 13, 1989, St. Louis County approved Ordinance 14,543, a request for a change of zoning from an “R2” Residence District 15,000 sq. ft. and a “C8” Planned Commercial District to form a new “C8” Planned Commercial District for a 1.602 acre tract of land. On October 5, 1989, St. Louis County amended Ordinance 14,543, to reduce the side yard setback along the west side of the lot from thirty-two (32) feet to twenty-seven (27)

feet. St. Louis County further amended Ordinance 14,543, on March 15, 1990, to require stormwater detention at the discretion of the Metropolitan St. Louis Sewer District. A Site Plan for the service station was approved on March 28, 1990 and then amended on August 24, 1990 to relocate the entrance to the site. On March 21, 1991, St. Louis County approved Ordinance 15,430, to change the legal description of the district and to increase the side yard setback along the east side of lot 2 from five (5) feet to ten (10) feet.

Land Use and Zoning of Surrounding Properties:

Direction	Land Use	Zoning
North	Public Utility Facility	“C-8” Planned Commercial
South	Church	“R-3” Residence District
East	Retail	“C-8” Planned Commercial
West	Public Utility Facility	“R-2” Residence District



STAFF ANALYSIS

- Zoning**
 The subject site is currently zoned “C-8” Planned Commercial District under the terms and conditions of St. Louis County Ordinance 15,430. The Ordinance requires conformance with section “1003.168 Sign Regulations” of the Zoning Ordinance.

Developments requesting attached and/or detached signage are reviewed and approved by the Department of Planning and Public Works unless a Sign Package exists for the development or if modifications to the design requirements are being requested. This request is before the Planning Commission before review because the Petitioner is requesting modifications to the Sign Requirements found in Section 1003.168.C.2(2) of the City of Chesterfield Zoning Ordinance.

The modifications being requested to section 1003.168C.2(2) are as follows:

1. **The height of any freestanding sign shall not exceed six (6) feet. The height may be increased to twenty (20) feet subject to Planning Commission approval**

The Petitioners are requesting a sign height of twenty (20) ft. measured from the finished grade at the base of the sign. This is five (5) feet lower in height than the existing sign.

2. **The bottom of the sign face shall not exceed a height of three (3) feet above the average existing finished grade at the base of the sign. The sign base height may be taller than three (3) feet subject to Planning Commission approval**

The Petitioners are requesting a sign base of eleven (11) feet four (4) inches in height. This is eight (8) feet, six (6) inches lower in height than the existing sign base.

The outline area for the proposed sign is 48 square feet, which is within the dimensions required by the City of Chesterfield Zoning Ordinance. Therefore, no approval of sign square footage is necessary by the Commission.

The existing sign is mounted on a narrow pole. The proposed sign includes a base that is greater than one-half the width of the sign face which is within the dimensions required by the City of Chesterfield Zoning Ordinance.

The Base of the sign will be landscaped according to City of Chesterfield Code.

DEPARTMENTAL INPUT

The submittal is in compliance with all applicable St. Louis County and City of Chesterfield ordinance requirements, necessary to go before Planning Commission for review and approval. The Department of Planning and Public Works requests action on the sign request.

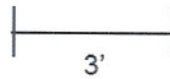
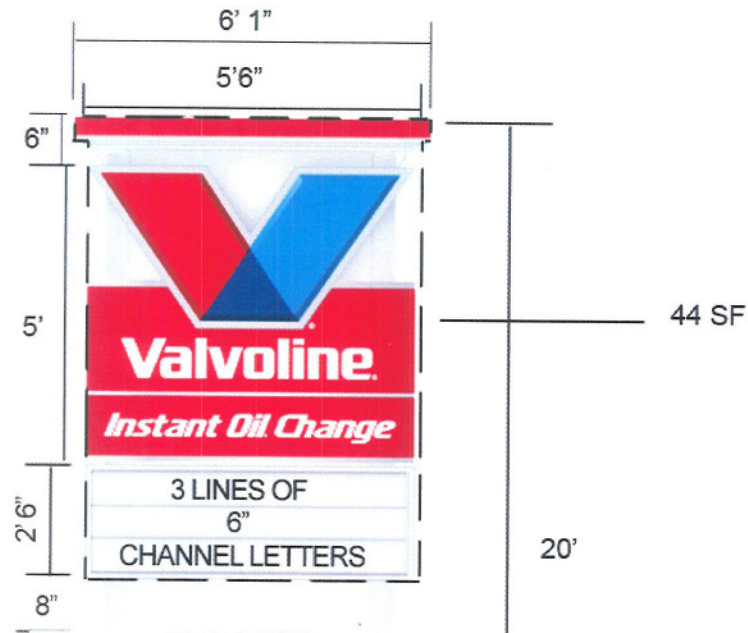
MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Sign Request for a free standing sign, twenty (20) feet in height with a base of eleven (11) feet four (4) inches in height for AT&T Olive Subdivision, Lot 1 (Valvoline Instant Oil Change)."
- 2) "I move to approve the Sign Request for a free standing sign, twenty (20) feet in height with a base of eleven (11) feet four (4) inches in height for AT&T Olive Subdivision, Lot 1 (Valvoline Instant Oil Change), with the following conditions..."
(Conditions may be added, eliminated, altered or modified)

Cc: City Administrator
City Attorney
Department of Planning and Public Works

Attachments: Sign Elevation
Site Development Plan
Letter from Petitioner

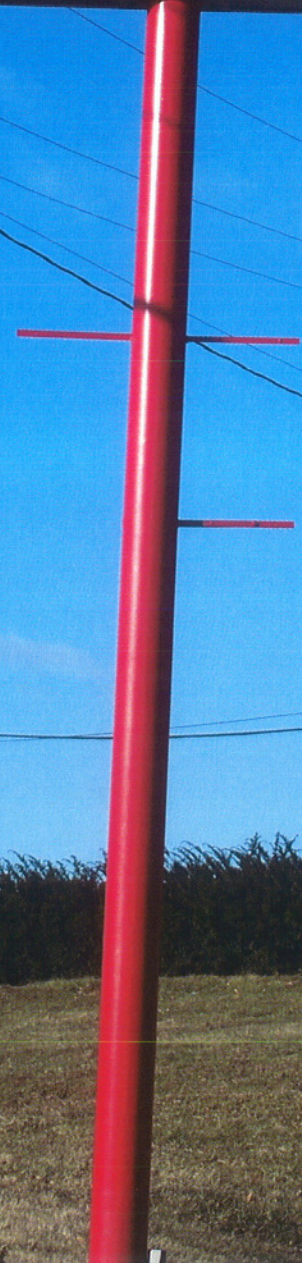


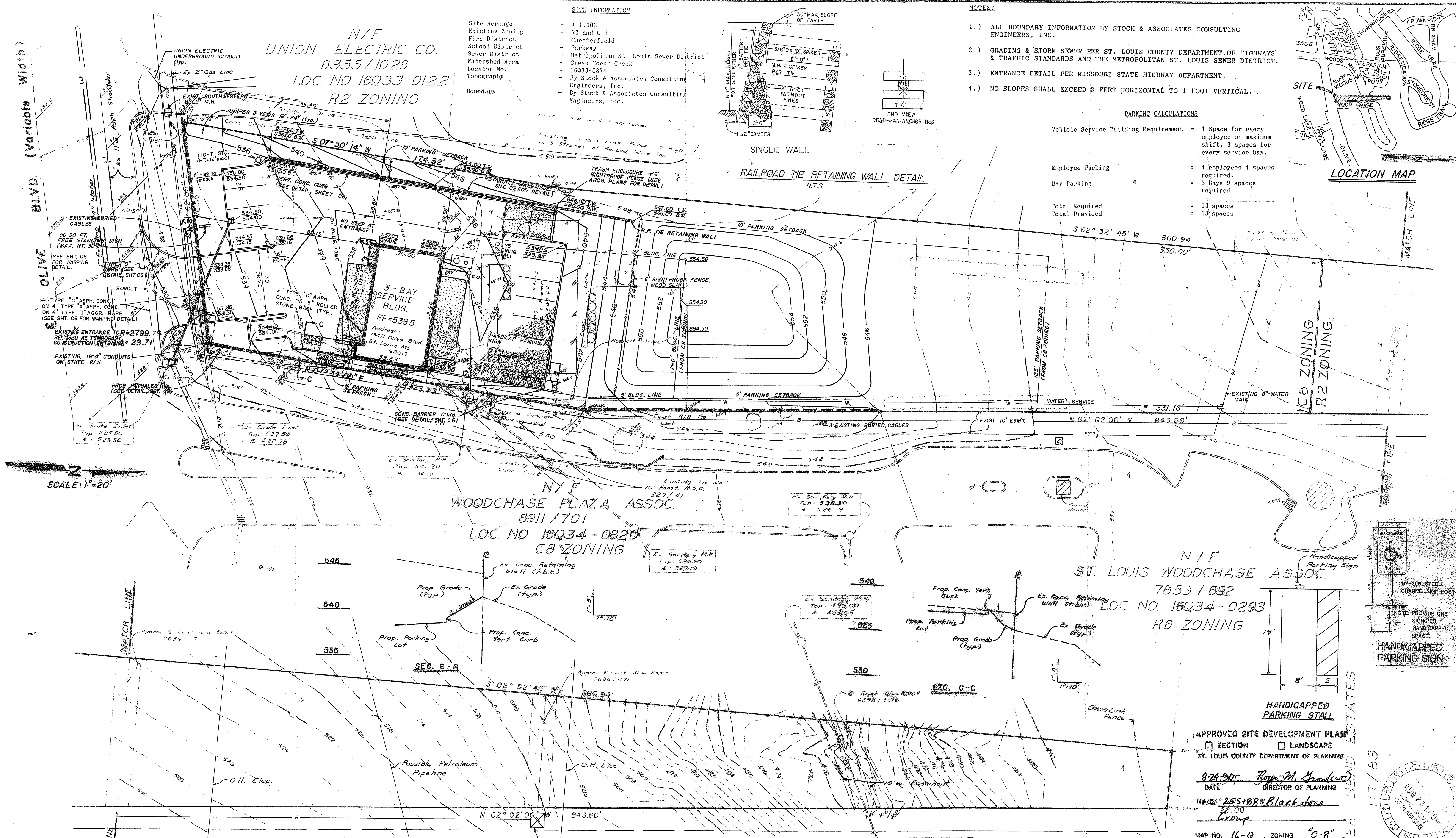
Single Post Pylon with Readerboard

RECEIVED
 DEC - 4 2009
 DEPT. OF PLANNING
 & PUBLIC WORKS



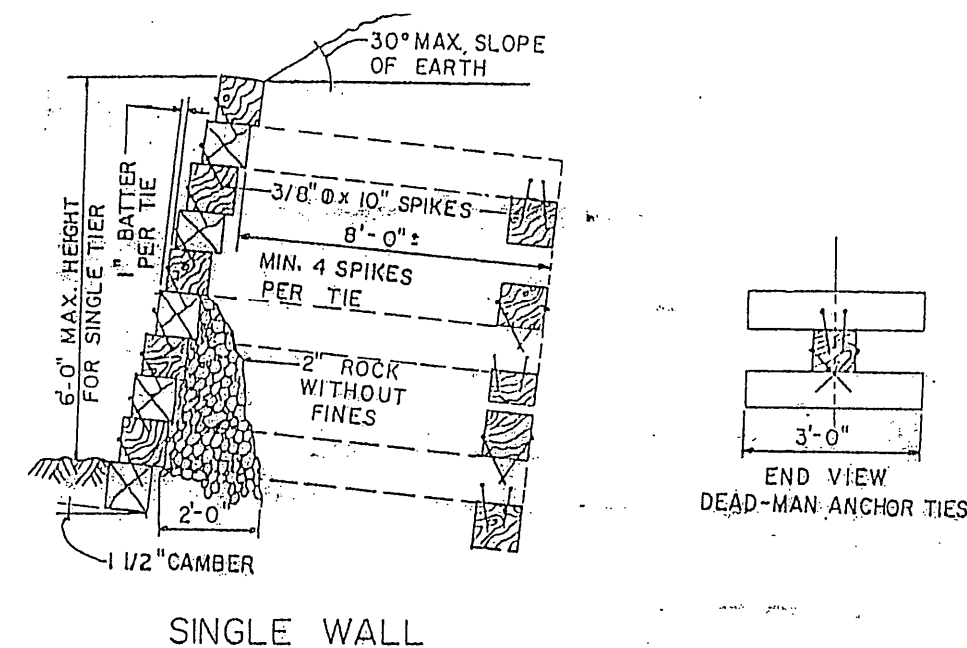
05-28 Olive Blvd, Chesterfield, MO





SITE INFORMATION

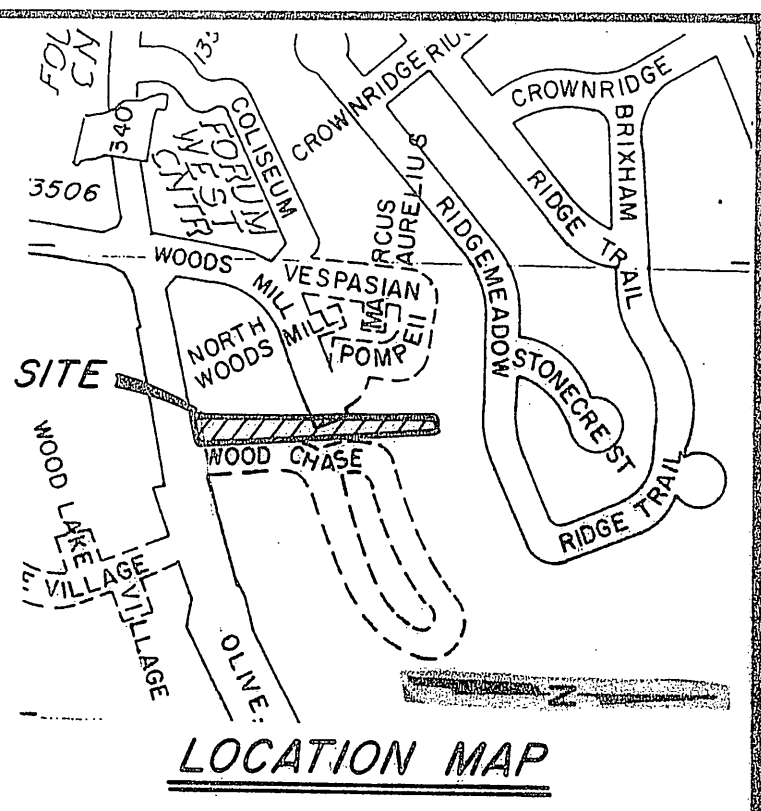
- ± 1.602
- RZ and C-8
- Chesterfield Parkway
- Metropolitan St. Louis Sewer District
- Creve Coeur Creek
- 16033-0874
- By Stock & Associates Consulting Engineers, Inc.
- By Stock & Associates Consulting Engineers, Inc.



- NOTES:**
- 1.) ALL BOUNDARY INFORMATION BY STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
 - 2.) GRADING & STORM SEWER PER ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS & TRAFFIC STANDARDS AND THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
 - 3.) ENTRANCE DETAIL PER MISSOURI STATE HIGHWAY DEPARTMENT.
 - 4.) NO SLOPES SHALL EXCEED 3 FEET HORIZONTAL TO 1 FOOT VERTICAL.

PARKING CALCULATIONS

Vehicle Service Building Requirement	= 1 Space for every employee on maximum shift, 3 spaces for every service bay.
Employee Parking	= 4 employees 4 spaces required.
Bay Parking	= 3 Bays 3 spaces required
Total Required	= 13 spaces
Total Provided	= 13 spaces

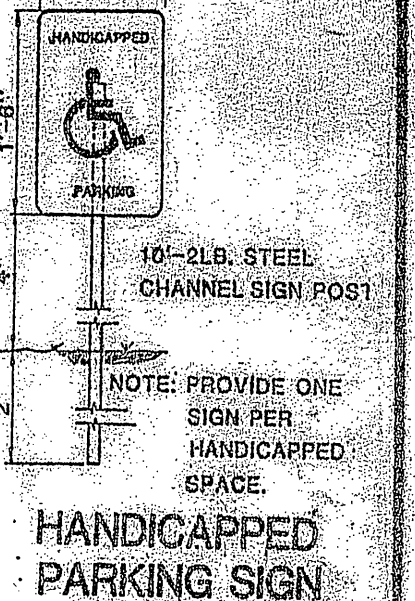


SCALE: 1"=20'

N/F
UNION ELECTRIC CO.
6355/1026
LOC. NO. 16Q33-0122
R2 ZONING

N/F
WOODCHASE PLAZA ASSOC.
8911/701
LOC. NO. 16Q34-0820
C8 ZONING

N/F
ST. LOUIS WOODCHASE ASSOC.
7853/692
LOC. NO. 16Q34-0293
R6 ZONING



HANDICAPPED PARKING STALL

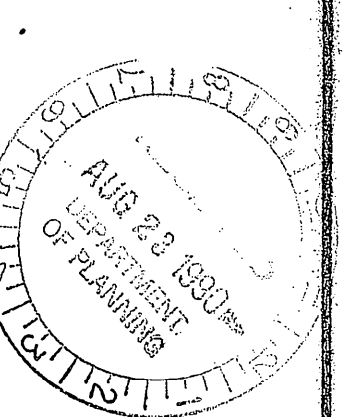
APPROVED SITE DEVELOPMENT PLAN

8-24-90
DATE
Rogers M. Gaudin
DIRECTOR OF PLANNING

MAP NO. 255-08W Black stone
DATE
G. Rupp

MAP NO. 16-Q ZONING "C-8"

Revision 8-23-90 AMENDED Related entrance only
Revision 2-8-90 Per St. Louis Co.
Revision 2-6-90 Per St. Louis Co.



AUG 23 1990

GILES ENGINEERING ASSOCIATES, INC. (GEA) and the undersigned engineers have not prepared any part of the plans given on these sheets. The seal of the undersigned professional engineer has been affixed at the request of St. Louis County and is a professional opinion to indicate that the undersigned has reviewed Sheets C2 and C3 of 7 of the plans and revisions through the date given below and that in GEA's opinion the grading and improvements as shown on the plans are compatible with the soil and geologic conditions at the site as described in the geotechnical reports for the project dated January 26, 1990. Roads and building foundations may be supported on suitable bearing naturally occurring soils and/or structural compacted fill. The railroad tie retaining wall is specifically excluded from this review and opinions. GEA has not reviewed the structural design and specifications for the railroad tie retaining wall because it is understood that it is a detail that is approved by St. Louis County.

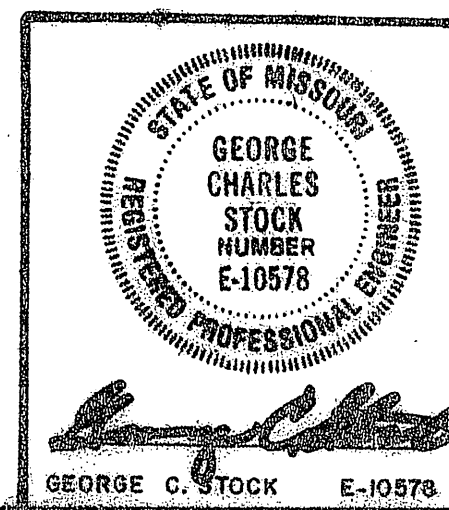
GEA and the undersigned have no responsibility for services provided by other, except as they relate to the geotechnical aspects of the design. Services by others include: establishment of grades, sewer plans and grades, drainage, boundary and topographic surveys; all structural and electrical components; water, gas, electric and telephone service and distribution facilities; any and all other engineering plans, specifications, estimates, plats, reports, surveys or other documents or instruments relating to or intended to be used for any part or parts of this project. Construction means and methods for implementation of the grading plan shall be left to the contractor with verification by the geotechnical engineer in writing.

The above opinion is based on data from the geotechnical reports which were based on widely spaced explorations. Conditions may vary from those encountered in the explorations, or can change due to construction activities or weather conditions. Therefore, undersigned must be involved during the construction phase of this project in order to determine that subsurface conditions are as anticipated from the boring data and that recommendations relative to construction are implemented.

PREPARED FOR:
VALVOLINE
INSTANT OIL CHANGE
5246 WOOSTER ROAD
CINCINNATI, OHIO 45226
PHONE (513) 533-1600

VALVOLINE INSTANT OIL CHANGE
OLIVE BLVD.
AMENDED SITE DEVELOPMENT PLAN
STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
1030 WOODCREST TERRACE DR.
SUITE 150
ST. LOUIS, MO. 63141
(314) 275-8071

DRAWN BY: R.S. DATE: 1-23-90
CHECKED BY: G.M.S. DATE: 1-23-90
JOB NUMBER: 90-236
SHEET: 1 of 2



Charles Campo

From: Joseph R Schindler [jrschindler@ashland.com]
Sent: Wednesday, December 09, 2009 8:47 AM
To: Charles Campo
Subject: Valvoline

Charlie: As we discussed, the following is the information you requested regarding our facility located at 13411 Olive Blvd.:

- VIOC will provide a landscape area around the base of the proposed pylon sign in accordance with city requirements.
- Sign materials consist of the following: .090 aluminum housing with internal steel structural components, polycarbonate vacuum formed embossed faces, 3-M translucent vinyl film (first surface), Reinforced aluminum metal shroud and hat, and Fluorescent fixtures with T-12 lamps and electronic ballasts.
- Sign colors are as follows: Azco Nobel 10510 White exterior paint (satin), Akzo Nobel 337 Red exterior paint (semi-gloss), Azco Nobel Brushed Aluminum exterior paint (satin), 3-M 3630-57 Olympic Blue translucent vinyl, 3-M 3630-33 Red translucent vinyl, 3-M PMS 280 Blue Translucent Vinyl.
- Architectural Building Enhancements are pre-manufactured faux tower structures mounted on the parapet consisting of Azco Nobel 10510 White satin finish ACM metal along with Azco Nobel 337 Red finish hat and metal cap.

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