



VII. A.

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Planning Commission Staff Report

Project Type: Residential Addition
Meeting Date: December 14, 2009
From: Justin Wyse, AICP Annissa McCaskill-Clay, AICP
Project Planner Lead Senior Planner
Location: 68 Chesterfield Lakes Dr. (Chesterfield Lakes)
Applicant: J. Leon Zickrick
Description: 68 Chesterfield Lakes Rd. (Chesterfield Lakes Subdivision): A request for a residential addition for a freestanding garage on a parcel zoned “NU” Non-Urban District and located at 68 Chesterfield Lakes Dr., in the Chesterfield Lakes Subdivision.

PROPOSAL SUMMARY

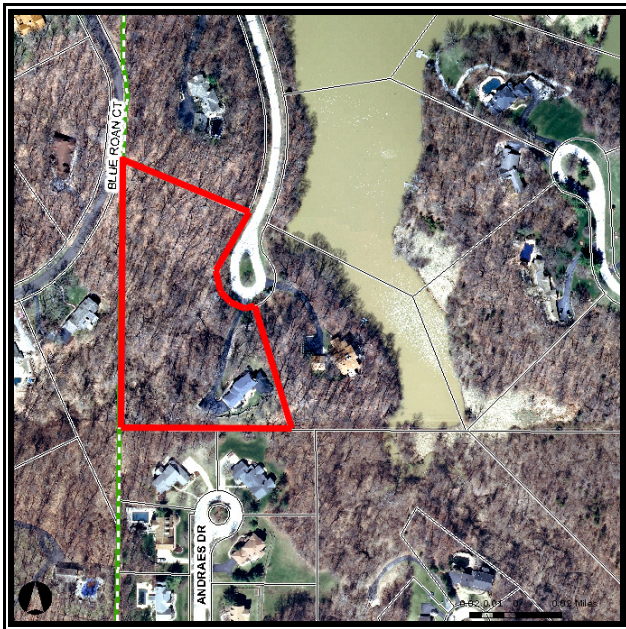
J. Leon Zickrick has submitted a request for a freestanding garage in excess of 500 square feet for your review. The proposed addition includes a total of 792 square feet; 732 square feet of garage a 60 square foot porch. Exterior building materials for the addition are to match the existing brick of the residence, the porch columns and fascia are to match the existing porch on the residential structure, and the slope of the roof is to match the slope of the roof of the residential structure.

LAND USE AND HISTORY OF SUBJECT SITE

Chesterfield Lakes Subdivision was zoned “NU” Non-Urban District by St. Louis County prior to the incorporation of the City of Chesterfield. The front yard setback for structures in this district is fifty (50) feet from any roadway right of way line.

Land Use and Zoning of Surrounding Properties

The property is located in the Chesterfield Lakes subdivision and is surrounded by other residential properties. To the south of the property is Wilson Farm Estates.



Aerial View of Site



Aerial View of Approximate Addition Area

History

The existing home on the site was constructed in 1981. In 1989, the Zickrick's applied and were approved for the addition of a detached garage addition similar to the current proposal. The structure was never constructed. Later, in 1998 an addition on the southeast side of the home was approved by the City of Chesterfield.

STAFF ANALYSIS

Process

Section 1003.126B "Residential Additions" states that any addition greater than five hundred (500) square feet shall be approved by the City of Chesterfield Planning Commission. The proposed addition is 732 square feet. This section also states, "Residential additions, including the height of all additions, shall be harmonious and compatible with the existing residential dwellings." The proposed height of the addition is 47.5 feet to top of the cupola, with the height of the roof matching the elevation of the existing home.

Architectural Elevations

As previously stated, materials for the addition are to match the brick of the residence. A copy of the proposed elevations is provided for your review.

Landscaping and Tree Preservation

The property has not submitted a Tree Stand Delineation as they are exempted by the Tree Preservation and Landscape Requirements. Section III. Exceptions, B.1. states that single family residential properties greater than one acre are not required to submit a Tree Preservation Plan or Tree Stand Delineation if, "Constructing a residential addition or deck less than 1,000 square feet in area."

DEPARTMENTAL INPUT

Staff has reviewed the submittal and has found the application to be in conformance with the Comprehensive Plan, Zoning Ordinance and all other requirements and standards.

MOTION

The following options are provided to the Planning Commission relative to this application:

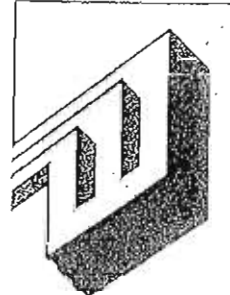
1. "I move to approve (or deny) the residential addition for 68 Chesterfield Lakes Dr., located in the Chesterfield Lakes Subdivision."
2. "I move to approve the residential addition for 68 Chesterfield Lakes Dr., located in the 68 Chesterfield Lakes Subdivision with the following conditions (Conditions may be added, eliminated, altered or modified)."

Cc: City Administrator
City Attorney
Department of Planning and Public Works

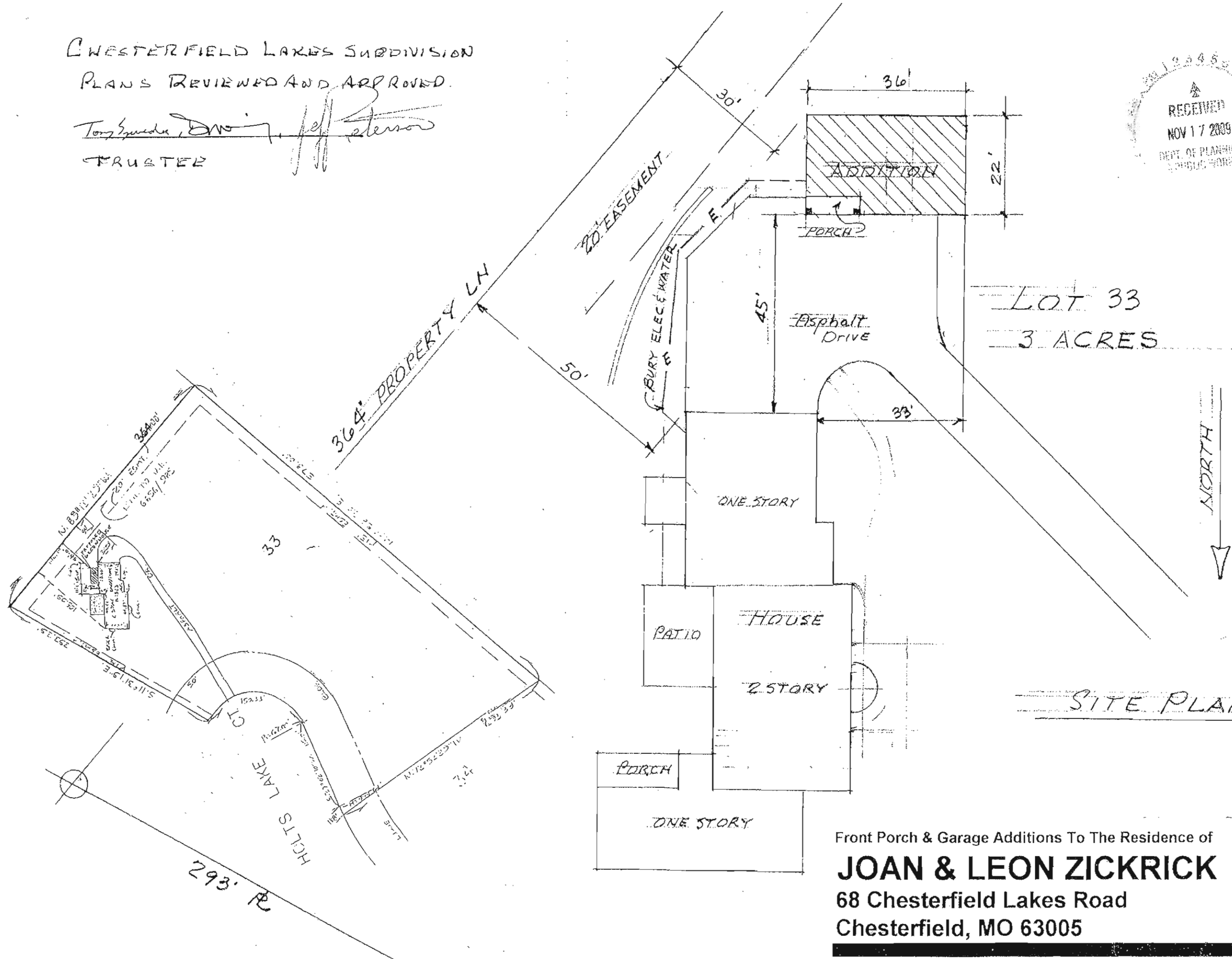
Attachments: Plot Plan
Architectural Elevations

CHESTERFIELD LAKES SUBDIVISION
PLANS REVIEWED AND APPROVED.

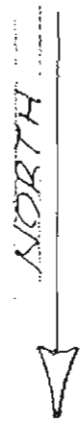
Tony Smedley, D.W.
TRUSTEE



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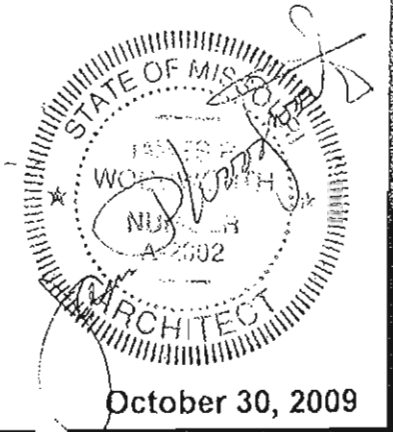


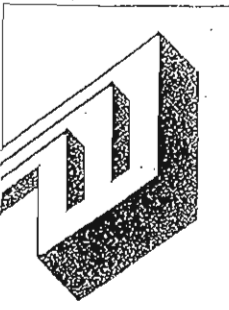
LOT 33
3 ACRES



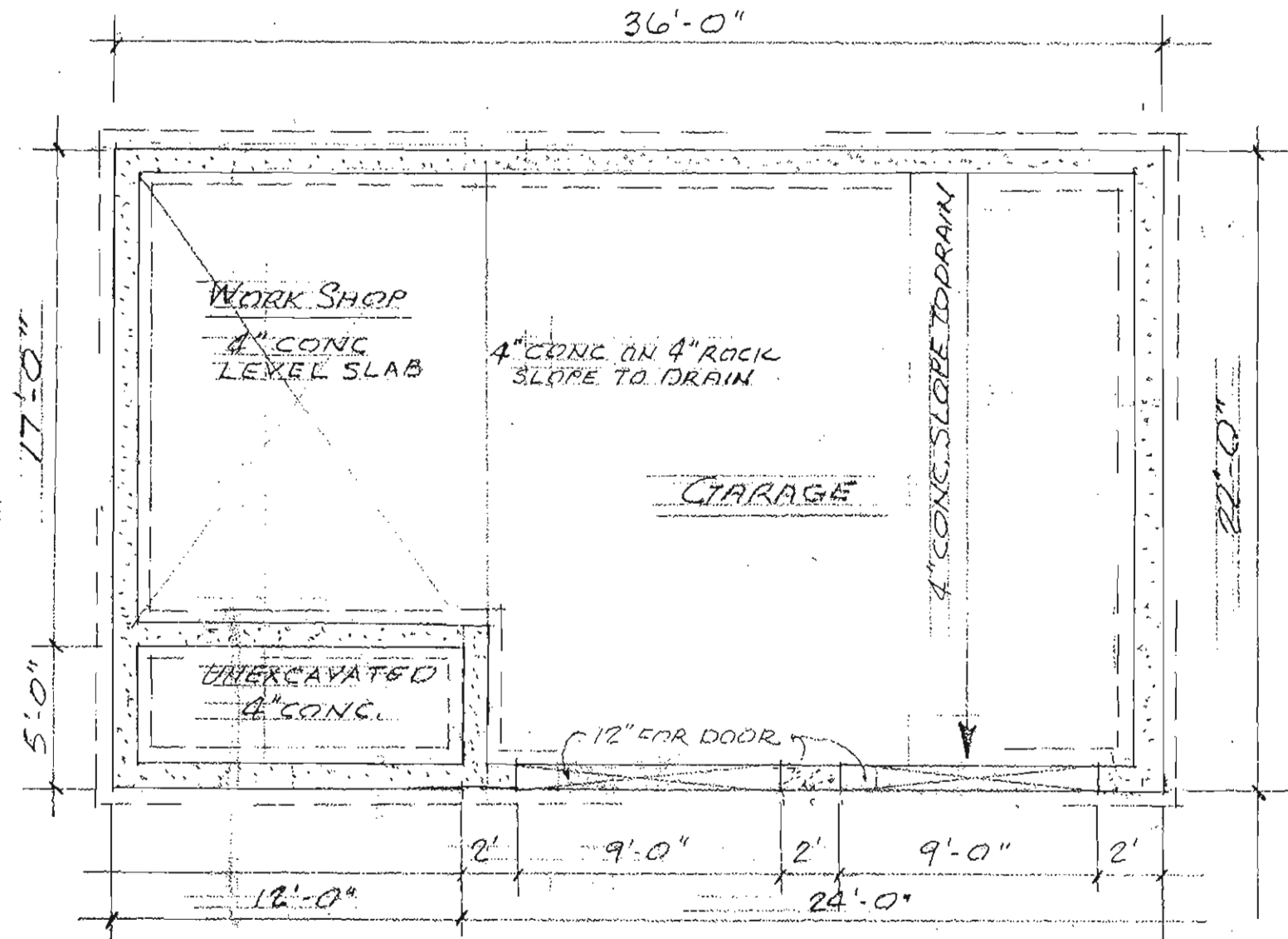
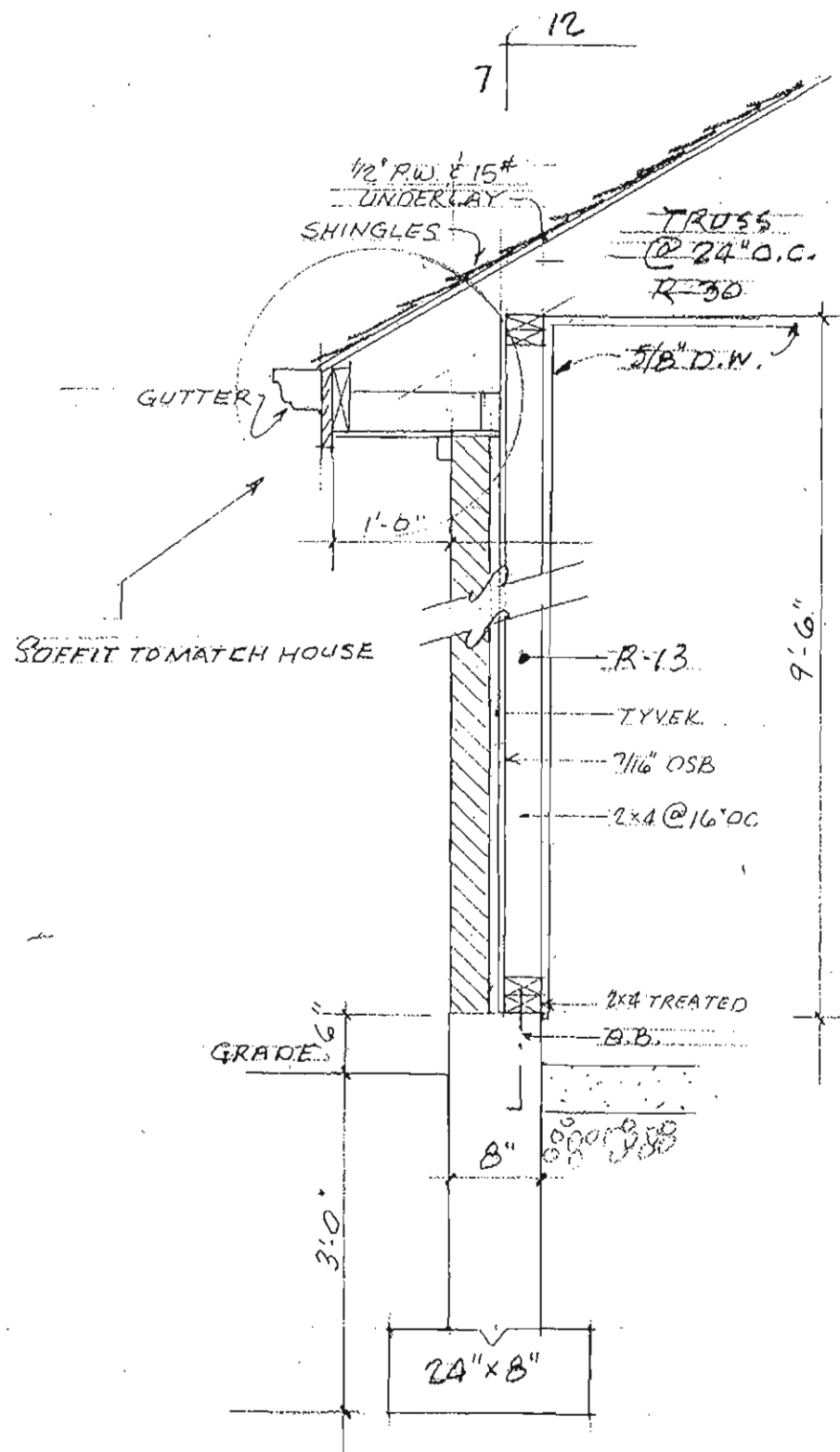
SITE PLAN 20'=1"

Front Porch & Garage Additions To The Residence of
JOAN & LEON ZICKRICK
68 Chesterfield Lakes Road
Chesterfield, MO 63005





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FOUNDATION PLAN
 3/16" = 1'-0"

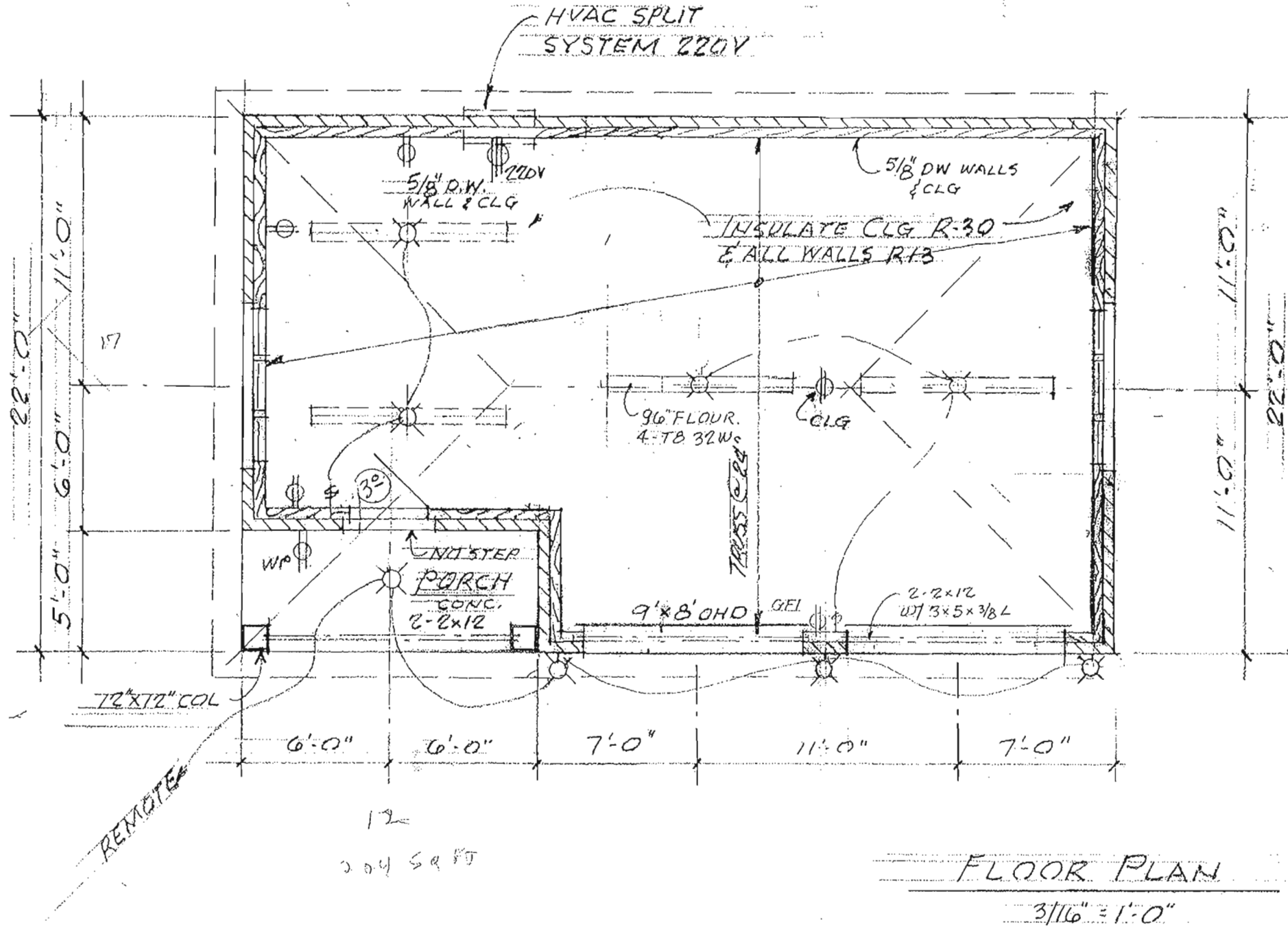
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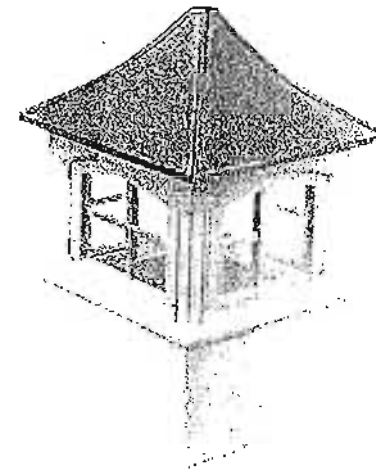
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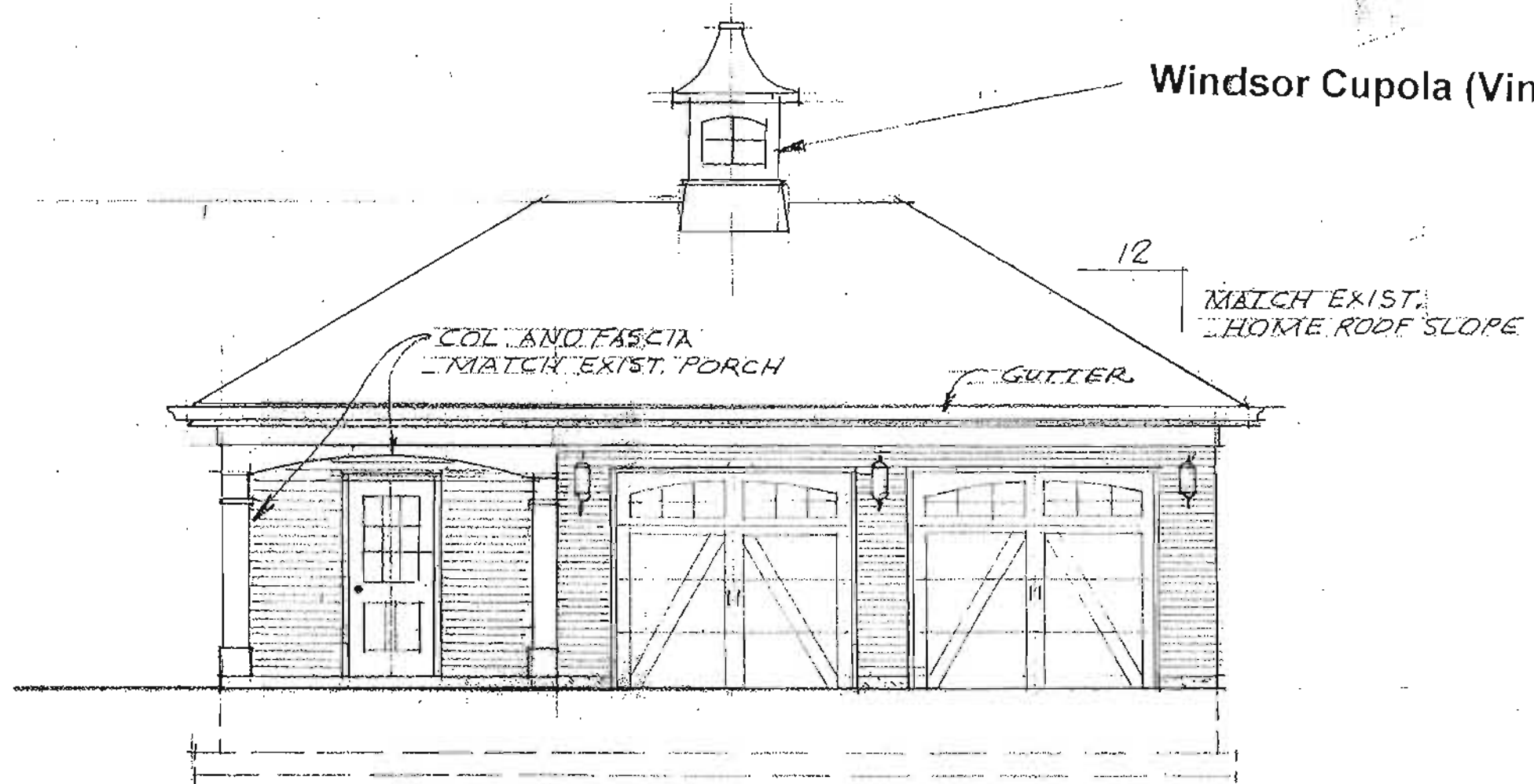
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Windsor Cupola (Vinyl)

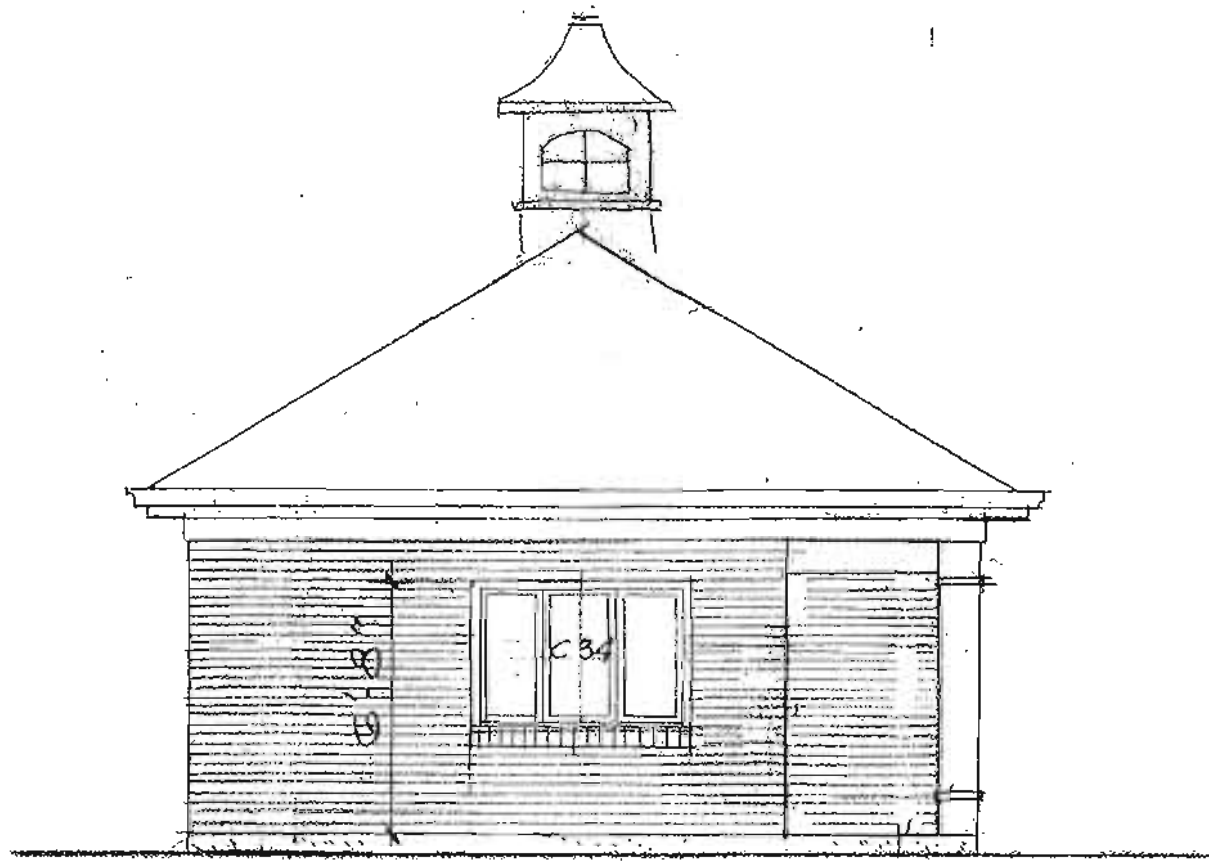


NORTH ELEVATION

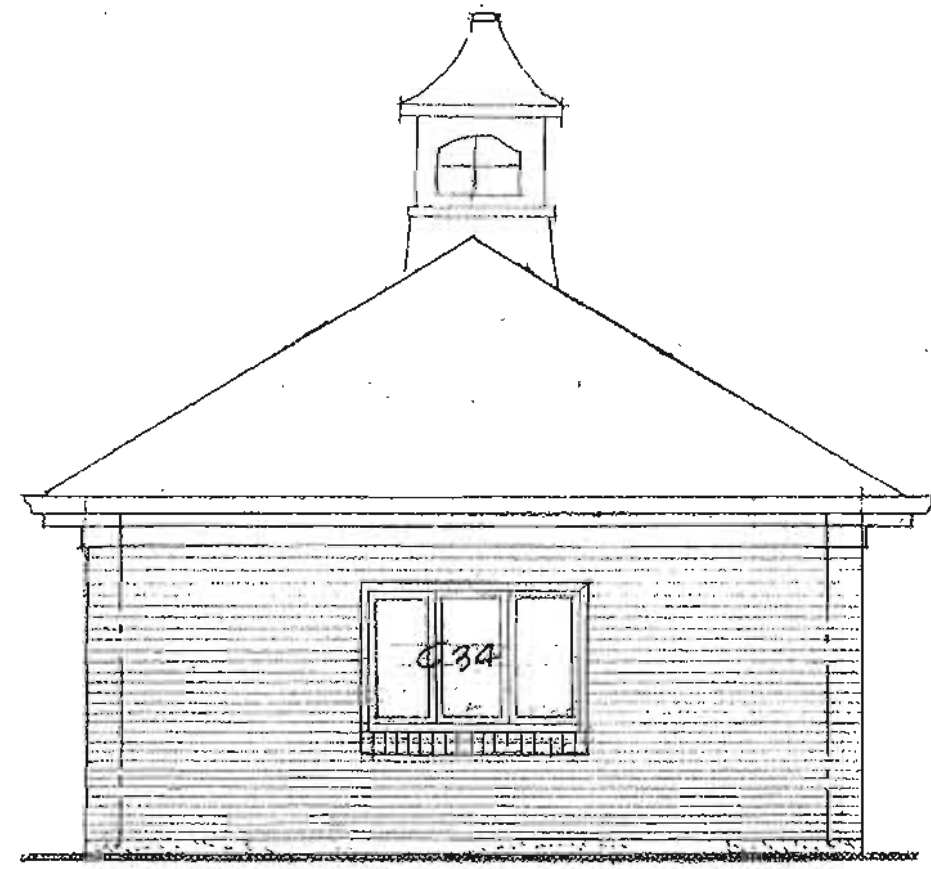
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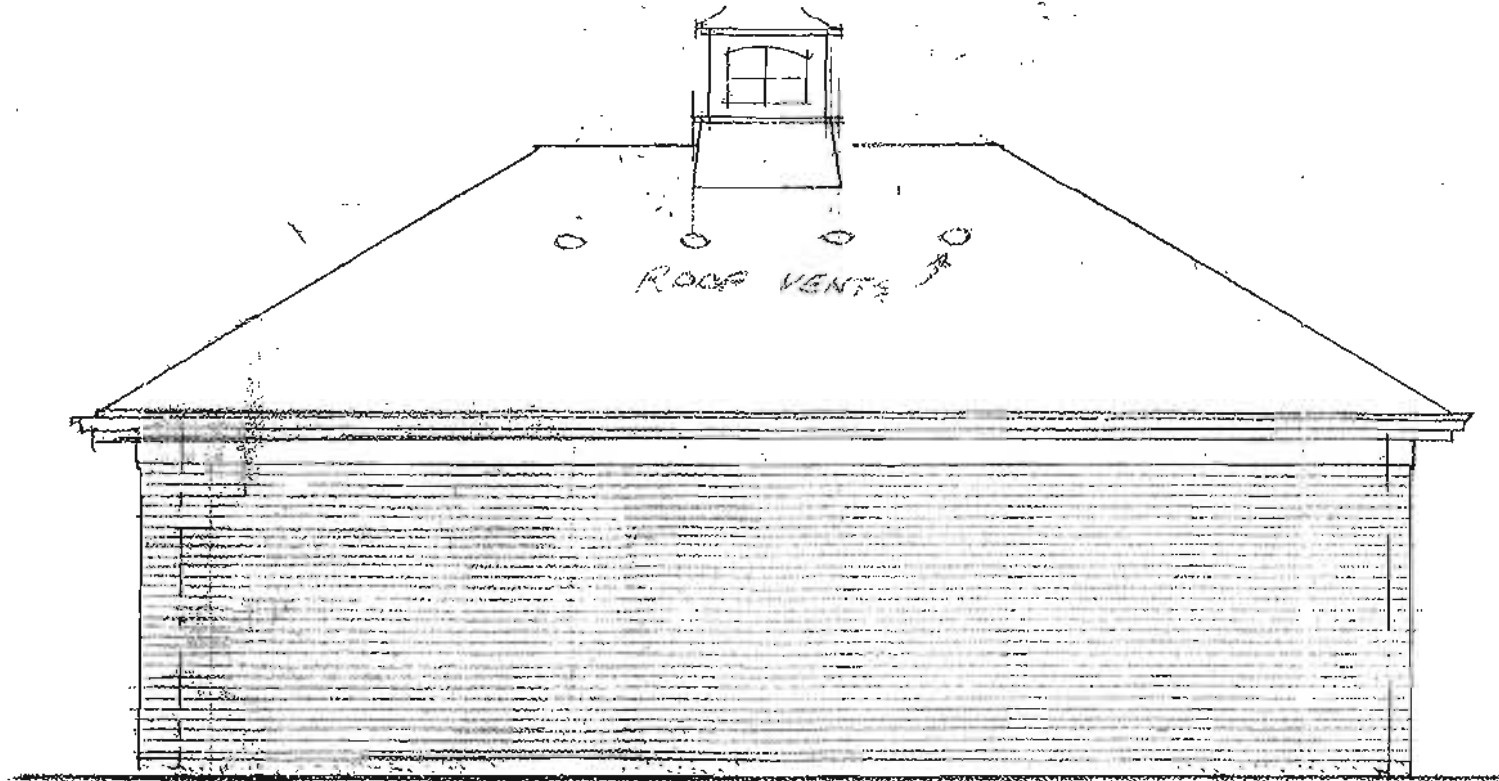
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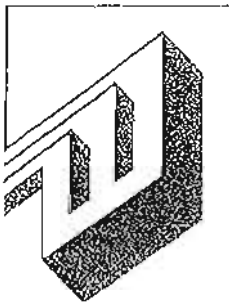
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



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GENERAL NOTES

PROJECT REQUIREMENTS

- 10000 APPLICABLE BUILDING CODE
- 1. ST. LOUIS COUNTY - 2003 IRC as amended by Ordinance # 22314.

SITE CONSTRUCTION

02001 FINISH GRADING:

- Keep grade 8" minimum below top of foundation.
- Slope grade 1" / foot min. away from foundation for a distance of 8'.

CONCRETE

03010 POURED IN PLACE CONCRETE:

• CONCRETE COMPRESSIVE STRENGTHS:

1. Floors, Drives, Porches, Walks and Patios - 3500 psi.
2. Foundation walls and footings - 3000 psi
3. All concrete shall contain air-entrainment for exterior durability.

03350 ANCHOR BOLTS:

• FOUNDATION WALL PLATE ANCHOR BOLTS:

1. Provide galvanized anchor bolts 1/2" dia. x 9" min. length with 4" hook. Keep bolts 2 1/2" (minimum) from face of concrete and embed 7" into the concrete. Fasten down wall plate with a nut over a 1 1/2" washer.

MASONRY

04245 VENEER MASONRY SYSTEMS:

- Masonry over wall sheathing shall maintain a 1" air space between brick and wall sheathing. Flash all sills with 20 mil polyvinyl and provide 3/16" round weep holes spaced 32" o.c.
- Tie brickwork to the sheathing with non-corrosive corrugated metal wall ties (min. 22 ga. x 7/8" wide) spaced 16" o.c. vertically and 32" o.c. horizontally.

WOOD & PLASTICS

06010 LUMBER:

- Lumber Design Standards per AFPA NDS-91

06050 CONNECTORS AND SUPPORTS:

- Provide Simpson or equal standard column bases, column caps, joist and beam hangers for floor and roof framing.

06122 WALL, SUBFLOOR & ROOF SHEATHING

- ROOF SHEATHING: 1/2" plywood APA - EXP 1 with exterior glue.

• EXTERIOR WALL SHEATHING:

1. Sheathing under brick veneer walls must be covered with No. 15 non-perforated asphalt saturated felt complying with ASTM D 226
2. OSB COMPOSITE 7/16" structural panels meeting exterior Exposure 1 classification.

• EXTERIOR WALL BRACING:

1. The end structure (at exterior surfaces) shall have continuous DSS sheathing attached to the stud walls with 8d nails @ 6" OC around the perimeter and 12" OC on the interior framing member of the panel.
2. Outside and inside corner sheathing must overlap. Attach panel edges to the framing members with 8d nails @ 6" OC, and at 12" OC to the non edge framing members.

THERMAL & MOISTURE PROTECTION

07000 GENERAL

- HOUSE WRAP: Cover all exterior wall sheathing where siding or brick veneer materials are to be installed with DuPont - Tyvek HouseWrap. Install HouseWrap according to manufacturer recommendations.

- CAULKING AND SEALANTS: Caulk and seal water / air tight all exterior joints around windows, door frames, utility entrances and joints between different materials.

- DOWNSPOUTS: Direct water away from foundation. Provide splash block at each downspout discharging to grade (do not connect to sanitary sewers). bury downspouts under all walks and paving and extend to daylight.

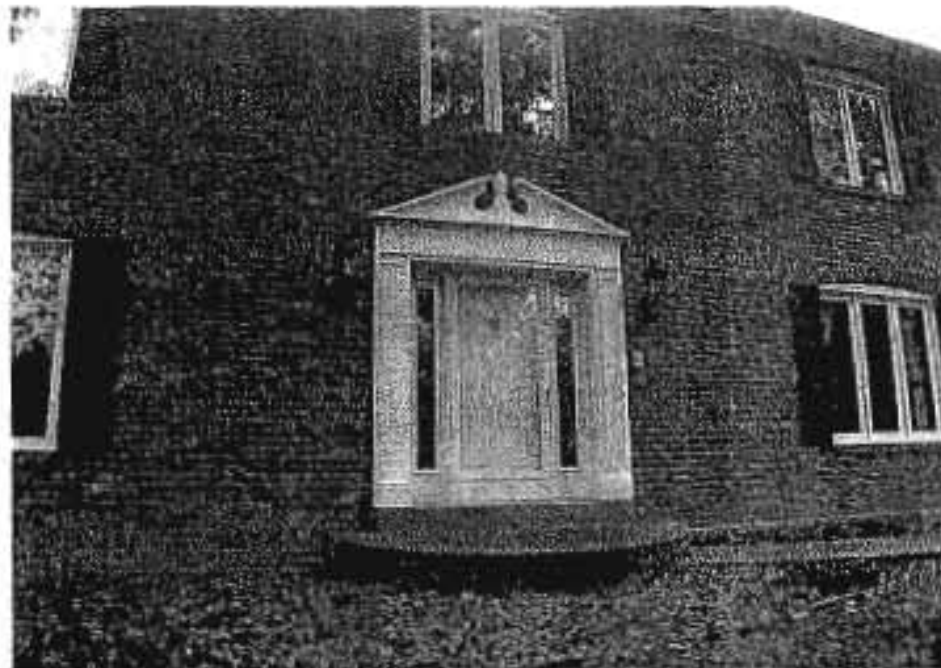
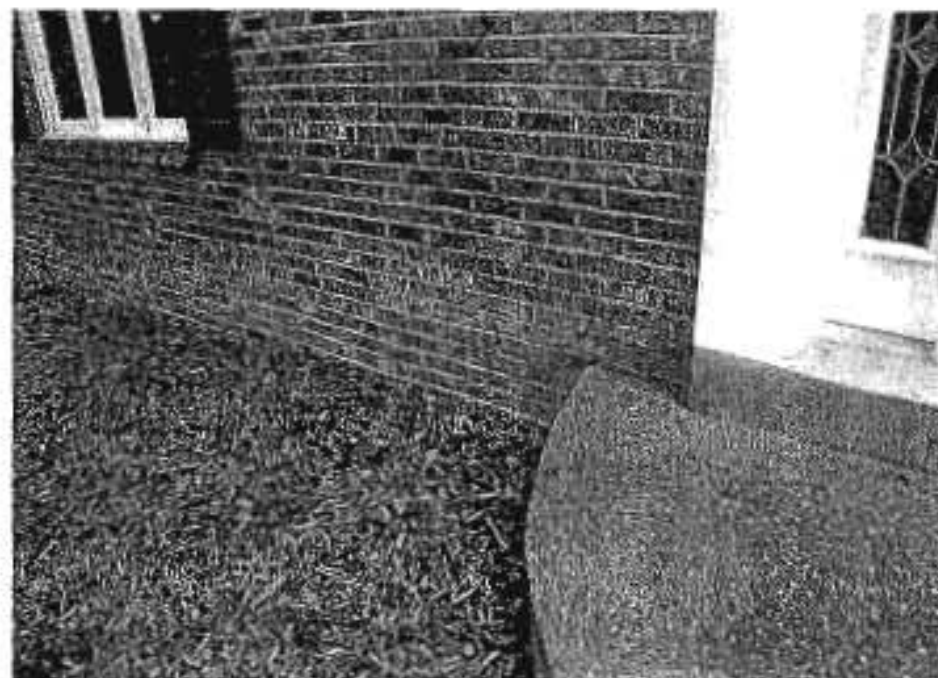
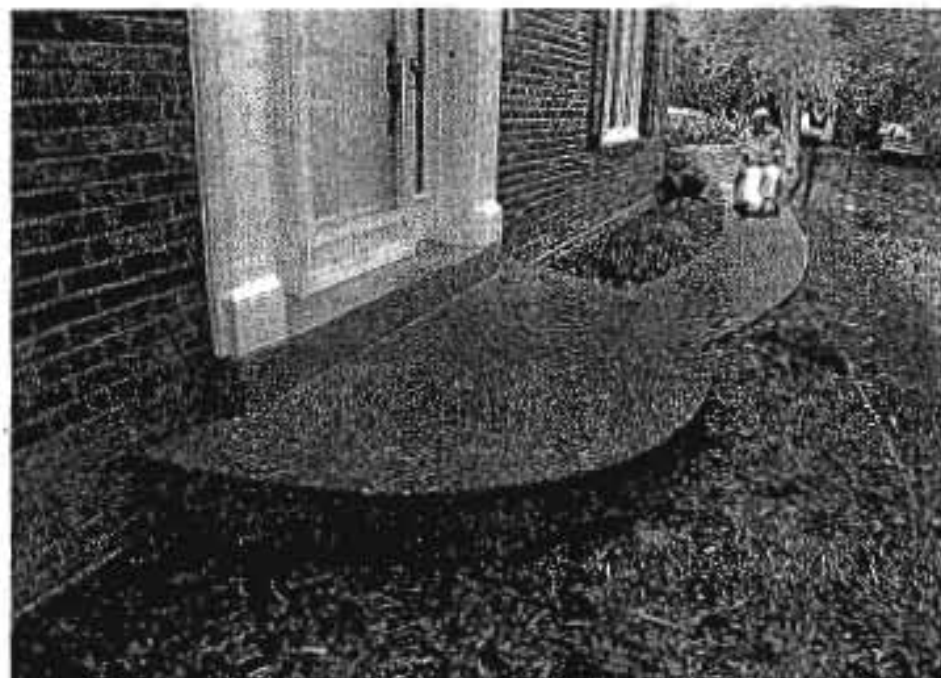
• FLASHING:

1. Flash roof valleys and hips (provided the shingles are interlaced) with either one layer of roll roofing, or two layers of Type 1 underlayment provided the shingles are interlaced. Flashing shall extend 18" beyond the valley or hip.

07200 INSULATION:

- Minimum Insulation Requirements:

1. Roof / Ceilings R-30 (minimum)
2. Wood Frame Walls and Band Boards - 2x4 wall R-13



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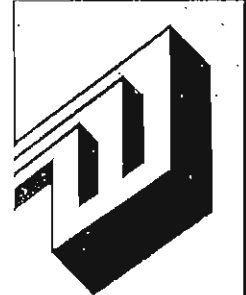
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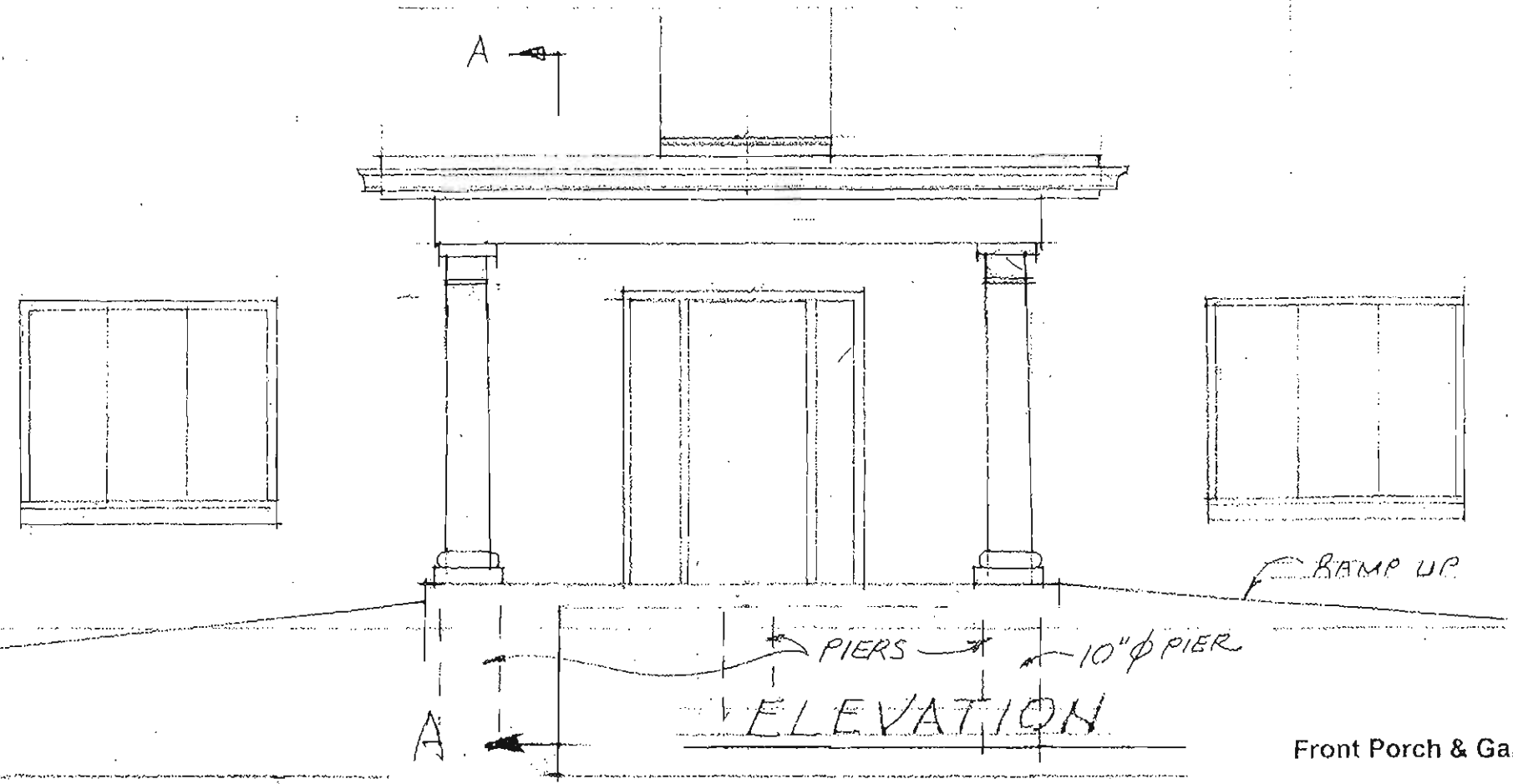
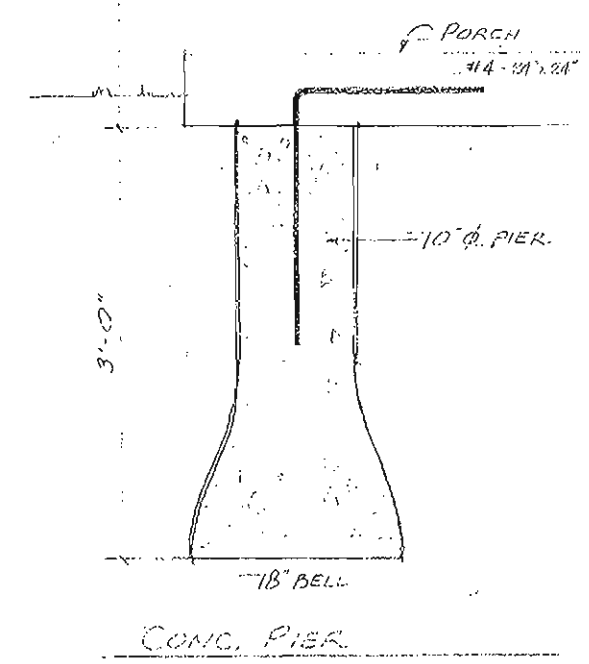
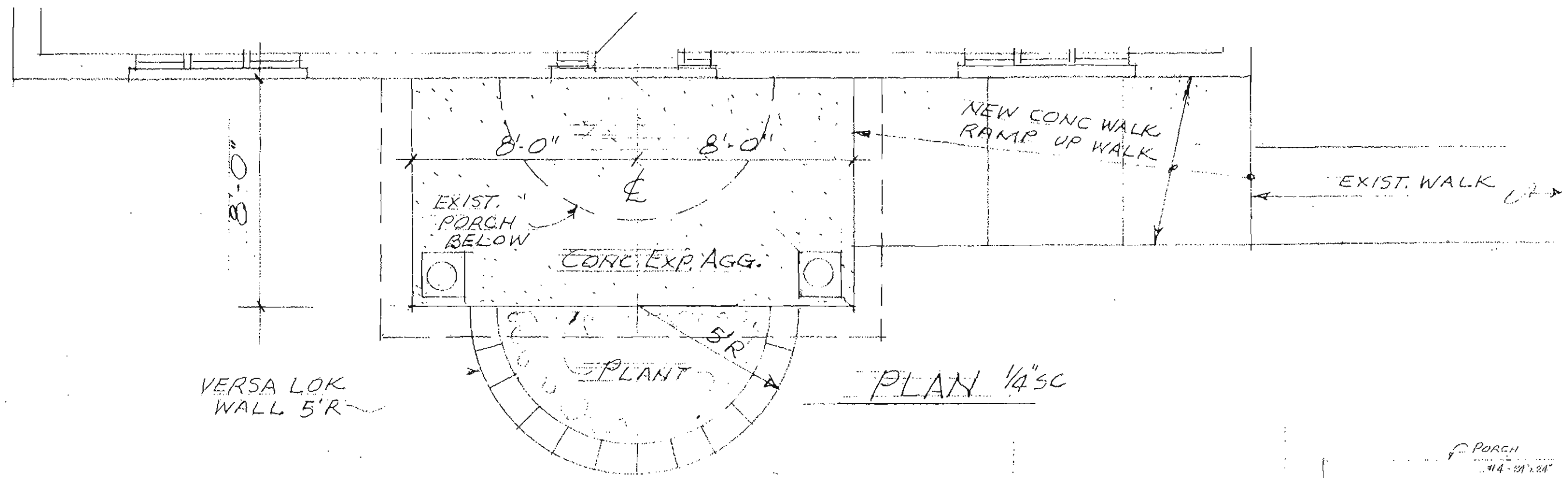
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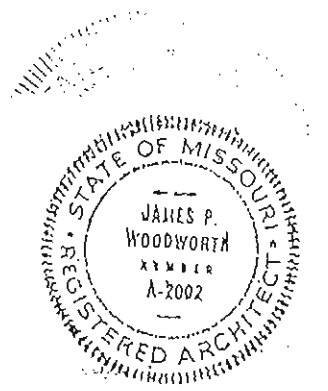
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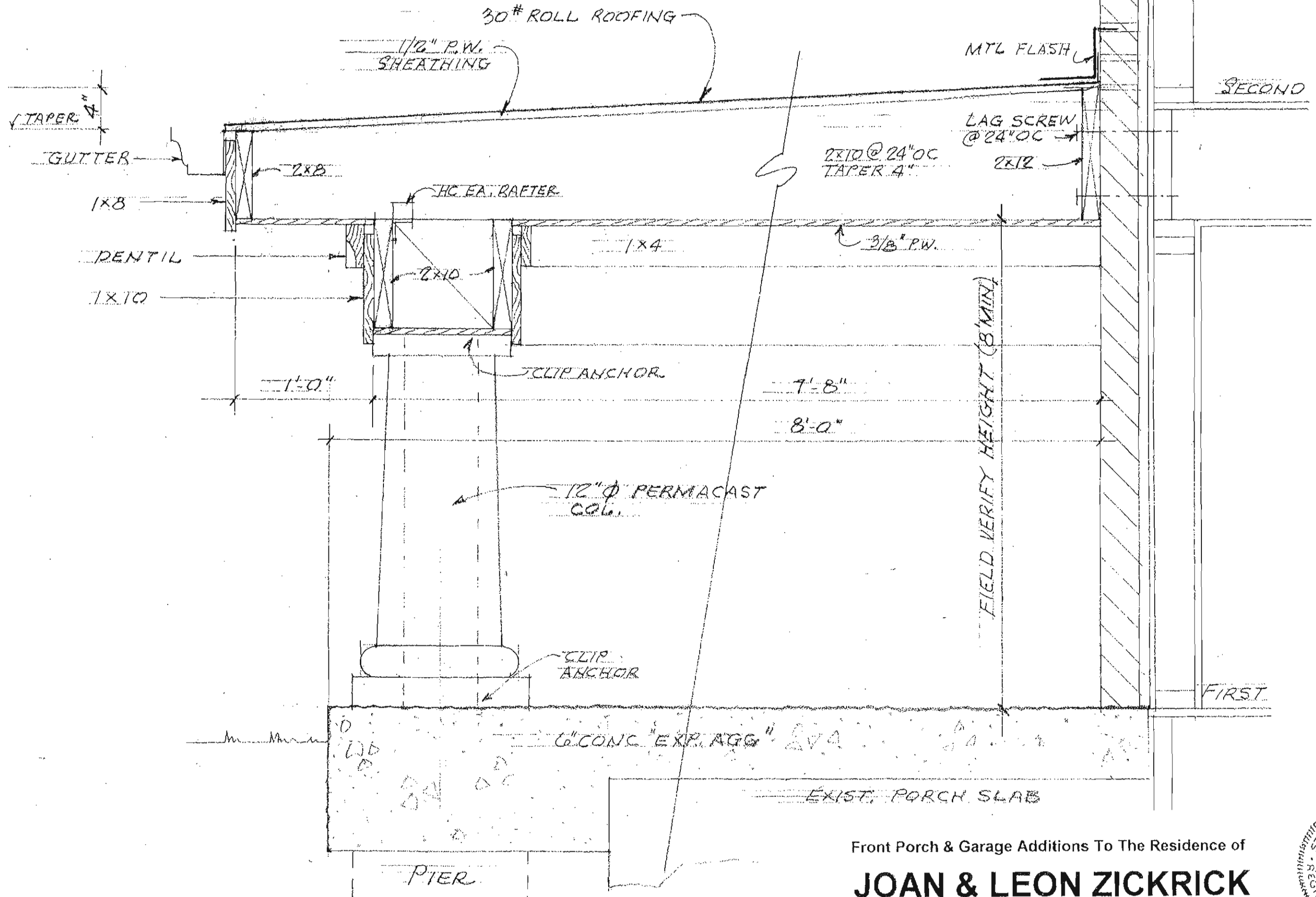
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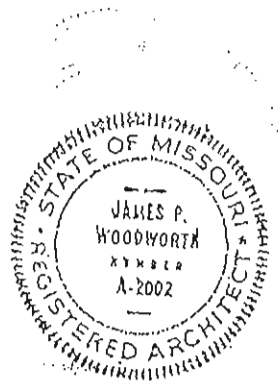
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