



690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Project Type: Amended Site Development Plan

Meeting Date: December 10, 2018

From: Mike Knight, Planner

Location: A 2 acre tract of land located southwest of the intersection of Olive Boulevard and Chesterfield Parkway.

Description: **YaYa's Euro Bistro (ASDP)** An Amended Site Development Plan, Landscape Plan, Architectural Elevations and Architect's Statement of Design for a 2 acre tract of land located southwest of the intersection of Olive Blvd and Chesterfield Pkwy.

PROPOSAL SUMMARY

YaYa's Euro Bistro is proposing a 1,209 square foot banquet addition at the north of the existing facility with a pathway from the new addition to the existing patio. The exterior materials and colors would match the existing earth-tones of the facility. Due to the size of the proposed addition, review by the Architectural Review Board (ARB) was required and the meeting was held on October 11, 2018. A minor amount of site work will also be accomplished in conjunction with this request.

HISTORY OF SUBJECT SITE

In November of 1996, the City of Chesterfield City Council approved Ordinance 1206 which amended City of Chesterfield Ordinance 175 and repealed City of Chesterfield Ordinance 259 and established a "C-8" Planned Commercial District for a 3 acre tract of land.

In September 1998, the Site Development Plan for YaYa's was approved.

In September of 2001, the City of Chesterfield City Council approved Ordinance 1788. This was a change in zoning from a "C-2" Shopping District and "C-8" Planned Commercial District to a new "PC" Planned Commercial District for a 3.9 acre tract of land. The 3.9 acres include the current Junior Chamber International building and the YaYa's Euro Bistro. The subject site remains today zoned "PC" Planned Commercial District under the terms and conditions of City of Chesterfield Ordinance 1788.



Figure 1: Aerial Photo

SURROUNDING LOCATIONS

The subject site is located southwest of the intersection of Olive Boulevard and Chesterfield Parkway. Although the majority of this request is the 1,209 square foot banquet room addition, there is a minor amount of site work in conjunction with this request.

The subject site and all adjacent parcels are located in what is known as the Urban Core Land Use Designation within the City of Chesterfield’s Comprehensive Plan. The access point for YaYa’s is off of Olive Boulevard which is classified as a Major Arterial. Olive Boulevard is owned and operated by the Missouri Department of Transportation. To the north is a 3 story, 262,000 square foot Pfizer research facility which is currently under construction. The banquet room addition would primarily be seen by travelers on Olive Boulevard and from the Pfizer research facility. The rear of the building

Direction	Development	Zoning
North	Pfizer	C8
South	Junior Chamber International	PC
East	Gas/Car wash/ Fast Food	C8
West	Woodland	C8

Table 1: Surrounding Sites and Zoning

is woodland, to the south is the non-profit Junior Chamber International, and across Olive Boulevard is retail consisting of a gas station, car wash, and fast food building. Table 1 to the left outlines the surrounding sites in relation to Figure 1 above.

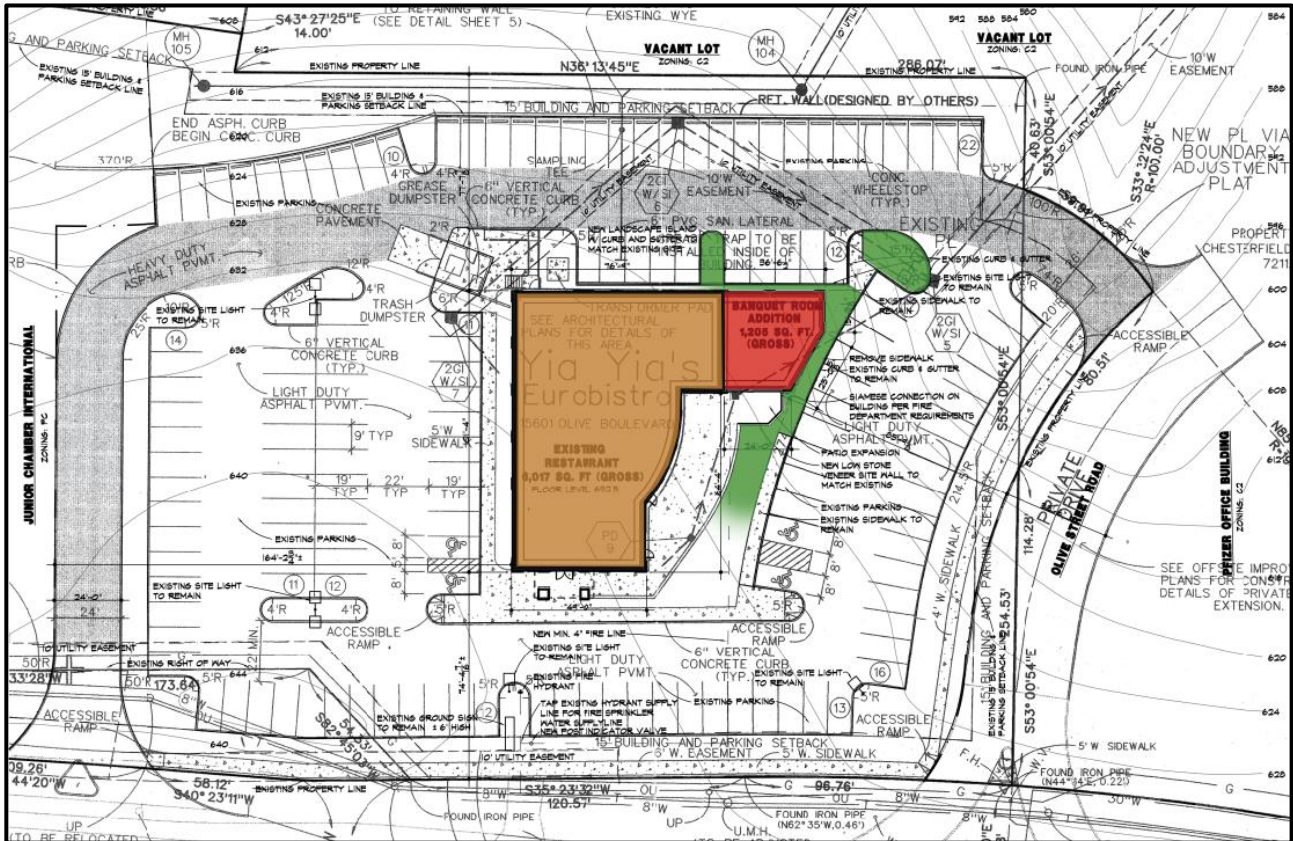


Figure 2: Color Site Plan

Figure 2 above is the Color Site Plan for the proposed development. The building is surrounded by parking with the access point for pedestrians at the front of the building. This addition does not change the parking, pedestrian connectivity, or vehicular circulation of the site. Landscaping has been removed in some areas and added in others as outlined later in this report.

Current Conditions

The existing restaurant building is a single story restaurant with EIFS facades and a standing seam metal roof which screens the roof top units. There is a patio at the north of the site surrounded by a low site wall. The area of the building facing the patio features a flat roof projecting out under the mansard with EIFS banding and dark-bronze framed storefront windows. The storefront windows are set in slight recesses giving the vertical EIFS pilasters between them a thickened appearance. Figure 3 on the following page shows recent photos of the area where the addition is being proposed.

There are two existing trees that currently reside in the area that will be removed, due to the construction of the addition. The mechanical units currently exist on the building roof behind the metal mansard and are fully screened. Any new mechanical units would be located in the same location as existing. The trash area is currently screened and located to the rear of the building on the southern/opposite end of the proposed addition.



Figure 3: Current Conditions

Proposed Changes

The applicant's goal for the banquet room addition is to make it look as if it has always been part of the building. The design replicates the design features of the area of the building facing the patio. The dark bronze framed storefront windows and thickened pilasters between will match the existing conditions. Glazing will match the existing panels at the patio. EIFS will be the new material on the facades with thickened EIFS bands to align with the existing building. The parapet and mansard roof will be extended around to the front to provide a cohesive appearance.

A portion of the site wall surrounding the patio will be removed and the patio extended in the area southeast of the banquet room addition to integrate the patio into the addition. Materials for the patio and new site wall surrounding the patio will match the existing, including finishes and height. A portion of the existing sidewalk along the northeast of the site will be removed for the installation of the addition and new landscape bed.



Figure 4: Proposed Changes

Landscaping and Screening

Two trees are to be removed from the banquet room addition. The applicant has provided a new planting list and proposed a new planting schedule consisting of 6 Serviceberry, 3 Boxwood, 5 Dwarf Fothergilla, and 68 Liriope, 1 Black gum, 1 Arborvite, and 1 Littleleaf Linden. The trash area is not being affected by this addition, but the applicant did provide a fresh application of paint that matches the existing building color. Figure 5 and Figure 6 below identify the proposed landscaping and the existing trash screening with updated paint.

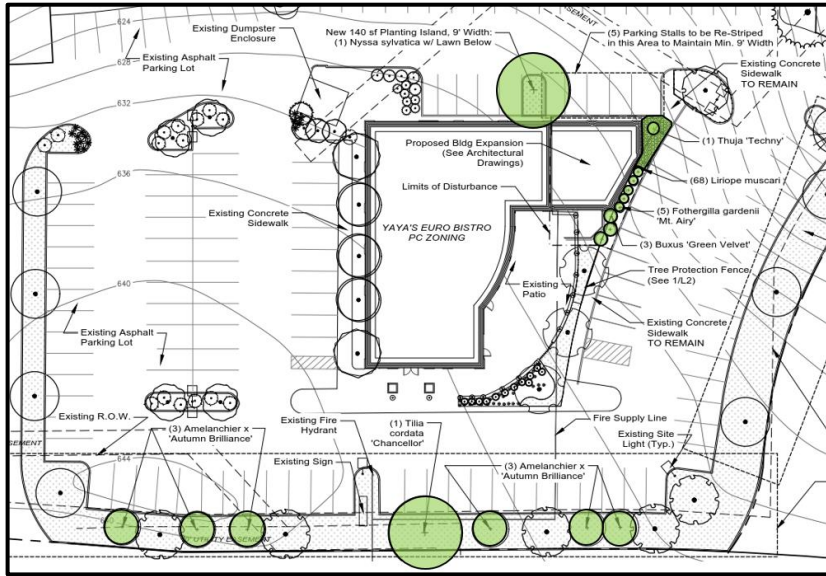


Figure 5: Proposed Landscaping

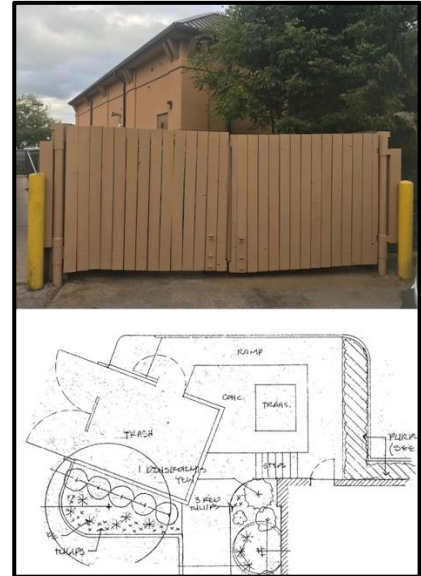


Figure 6: Existing Screening

No exterior building lighting (other than an emergency fixture at the egress door) will be on the addition. No site lighting will be altered within this project. No exterior signage will be placed on the addition or added to the site. All existing signage is to remain.

ARCHITECTURAL REVIEW BOARD

The project was reviewed by the Architectural Review Board on Thursday October 11th, 2018. At that time, the Board made a motion and seconded the motion to forward the project to the Planning Commission as presented, with the following conditions:

- The proposed addition should continue the darker EIFS color and banding around the base of the addition similar to the existing building.
- The proposed addition should incorporate elements of the mansard roof, pilasters, and brackets similar to the existing building.

The motion was then amended recommending that the applicant also supply material samples for Planning Commission review. The motion passed by a voice vote of 6-0. The applicant has since stated material samples will be presented at the Planning Commission meeting.

Both of the ARB conditions were fulfilled. Figure 7 depicts the front of the building with the incorporated elements of the mansard roof, pilasters, and brackets similar to the existing building along with the darker EIFS color banding continuing around the base of the building. Figure 8 is the rear.



Figure 7: Updated Front



Figure 8: Updated Rear

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

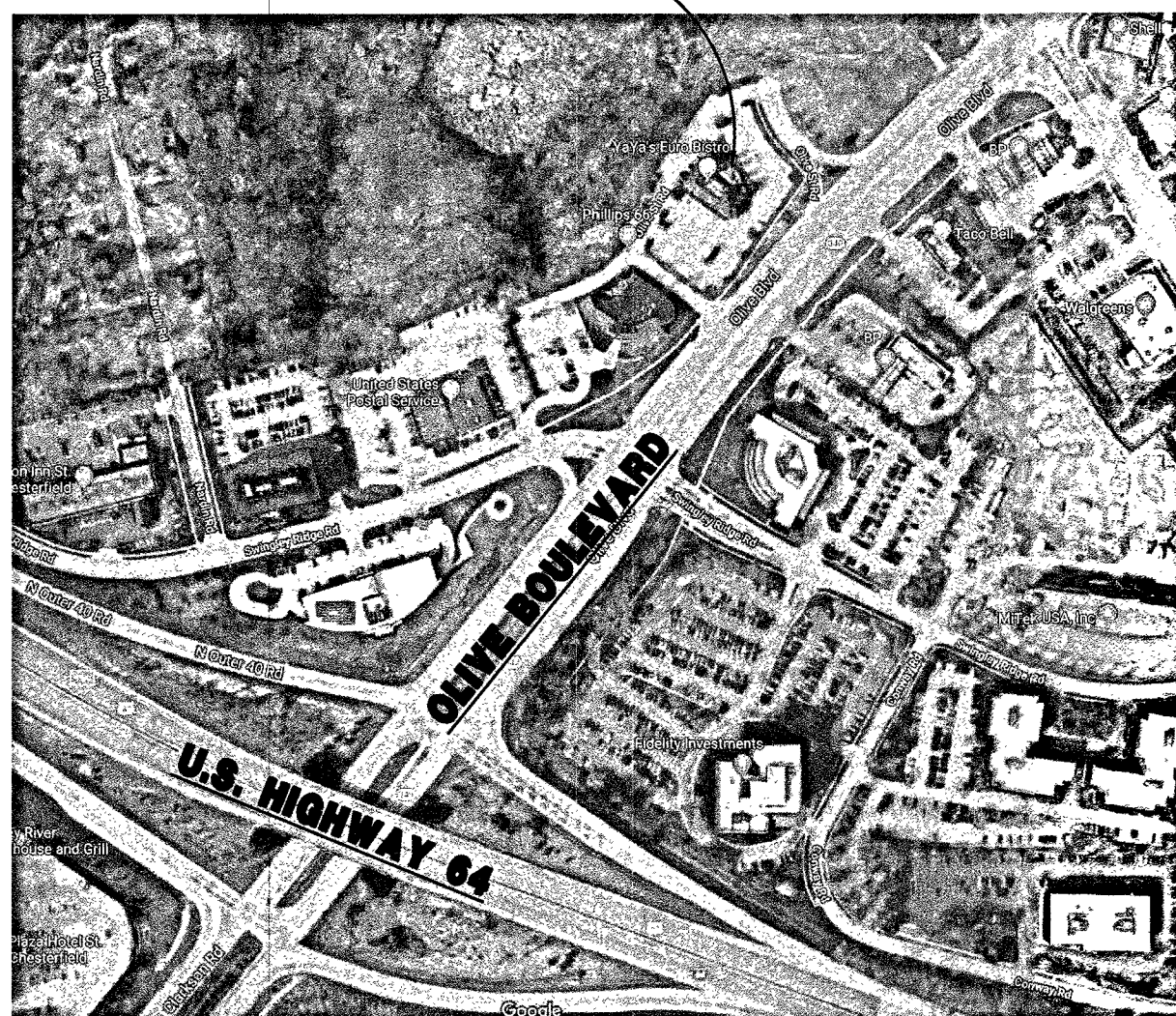
- 1) "I move to approve (or deny) the Amended Site Development Plan, Amended Landscape Plan, Amended Architectural Elevations, and Architect's Statement of Design for YaYa's Euro Bistro"
- 2) "I move to approve the Amended Site Development Plan, Amended Landscape Plan, Amended Architectural Elevations, and Architect's Statement of Design for YaYa's Euro Bistro with the following conditions... " (Conditions may be added, eliminated, altered, or modified)

Attachments

1. Amended Site Development Plan
2. Amended Landscape Plan
3. Amended Architectural Elevations
4. Architect's Statement of Design

YAYAS EUROBISTRO - BANQUET ROOM ADDITION

EXISTING YAYAS EUROBISTRO



VICINITY MAP
SCALE // NOT TO SCALE

SITE INFORMATION

- ZONING DISTRICT: PC
- SUBDIVISION NAME: CHESTERFIELD VILLAGE APARTMENTS PHASE B
- LOCATOR NUMBER: 16521087
- SITE AREA: 2.0 ACRES

BUILDING AREA

EXISTING BUILDING AREA: 6,017 SQUARE FEET
 PROPOSED BANQUET ROOM ADDITION: 1,205 SQUARE FEET
 TOTAL SQUARE FOOTAGE: 7,222 SQUARE FEET

BUILDING USE

EXISTING BUILDING USE: RESTAURANT
 BUILDING ADDITION USE: BANQUET ROOM FOR RESTAURANT

CONSTRUCTION TYPE

EXISTING BUILDING TYPE: 5B
 BUILDING ADDITION TYPE: 5B

ALLOWABLE AREA

RESTAURANT - A2 6000 SQ. FT. UNDER CONSTRUCTION TYPE 5B
 AREA INCREASE FOR SPRINKLERS 12,000+ SQ. FT. ALLOWED UNDER CONSTRUCTION TYPE 5B

OCCUPANCY

EXISTING BUILDING OCCUPANCY: 551 OCCUPANTS
 BANQUET ROOM ADDITION OCCUPANCY: 80 OCCUPANTS
 TOTAL PROPOSED OCCUPANCY: 481 OCCUPANTS

Sachs Properties, Inc., the owner(s) of the property shown on this plan for and in consideration of being granted approval of said plan to develop property under the provisions of Section 03.04-01 PC of City of Chesterfield Unified Development Code, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or voided or vacated by order of ordinance of the City of Chesterfield.

(Signature): Ami E. Kutz
 (Name Typed): Ami E. Kutz

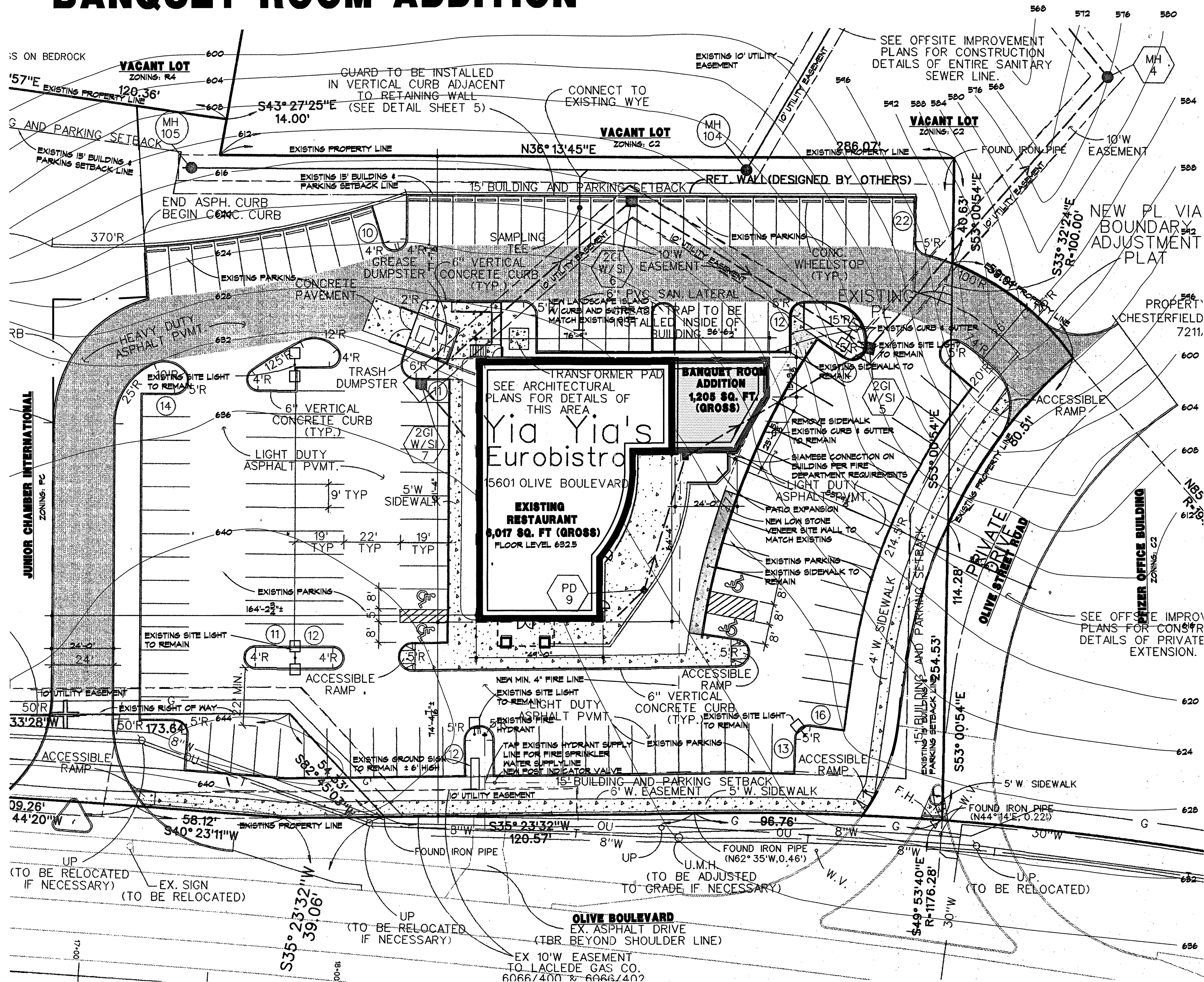
State of Missouri
 County of Saint Louis ss.

On this 18 day of September, A.D., 2018, before me personally appeared Ami E. Kutz, to me known, who, being by me sworn in, did say that he/she is the Vice President of Sachs Properties, Inc. a corporation in the State of Missouri, and that the seal affixed to the foregoing instruments is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said Vice President acknowledged said instrument to be the free act and deed of said corporation.

This Site Development Plan was approved by the City of Chesterfield Planning Commission and duly verified on the ___ day of _____, 20___, by the Chairperson of said Commission, authorizing the recording of this Site Development Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning and Development Services and the City Clerk.

Justin Wyse, AICP
 Director of Planning and Development Services
 City of Chesterfield, Missouri

Vickie Hass, City Clerk
 City of Chesterfield, Missouri



PARKING

145 PARKING SPACES - NO PROPOSED CHANGES
 ORDINANCE REQUIRED PARKING: 121,000 GFA

STORMWATER AND SEWER

PUBLIC STORMWATER SYSTEM W/ COLLECTION BOXES ON SITE & PUBLIC SEWER CONNECTION

SITE RATIOS

EXISTING SITE: 2.0 ACRES (87,120 SQ. FT.)
 TOTAL BUILDING SQ. FT. W/ ADDITION: 7,212 SQ. FT.
 TOTAL DRIVES, PARKING AND OTHER OUTDOOR AREA: 52,613 SQ. FT.
 OPENSOURCE AREA PER UDC: 27,290 SQ. FT.
 FLOOR AREA RATIO: 8.3 %
 OPENSOURCE PERCENTAGE: 31.3%

TREE STAND DELINEATION

SITE HAS AN EXISTING LANDSCAPING PLAN AND SITE VEGETATION TO REMAIN
 PROVIDE NEW LANDSCAPING IN AREA AROUND BUILDING ADDITION AS SHOWN

PROPOSED SCOPE OF WORK

- ADDING A SINGLE STORY BANQUET ROOM TO THE NORTHEAST OF THE EXISTING SINGLE STORY RESTAURANT
- 1,201 SQUARE FEET ADDED TO THE EXISTING FACILITY
- MATERIALS ARE TO MATCH EXISTING FACILITY
- EXTERIOR COLORS ARE TO MATCH EXISTING FACILITY
- EXPAND EXTERIOR PATIO 166 SQ. FT. TO CONNECT EGRESS TO EXISTING PATIO AND SIDEWALK

SIGHT LIGHTING

- ALL EXTERIOR SITE LIGHTS ARE EXISTING TO REMAIN
- HEIGHT OF EXISTING SITE LIGHTS IS APPROXIMATELY 30 FEET
- NO NEW SITE LIGHTING IS PROPOSED

SITE AND BUILDING SIGNAGE

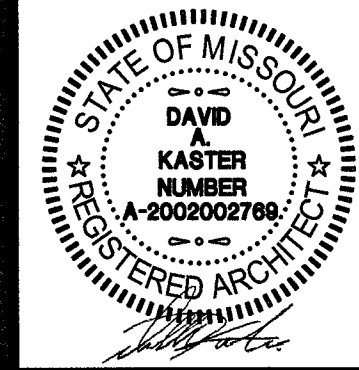
- ALL EXTERIOR SIGNAGE ON SITE & BUILDING IS EXISTING TO REMAIN
- NO NEW EXTERIOR SIGNAGE

PLAN PREPARER

KASTER ARCHITECTS
 7804 WEST 130TH STREET, SUITE 170
 OVERLAND PARK, KS 66213
 CONTACT NAME: MICHAEL HOWARD
 PHONE: 913.681.1200
 EMAIL: MHOWARD@KASTERARCHITECTS.COM
 SEND ALL COMMENTS TO MICHAEL HOWARD AT EMAIL ADDRESS ABOVE

SITE PLAN

SCALE // 1" = 20'-0"
 0 5 10 20 30 40 50 60 70 80 90 100



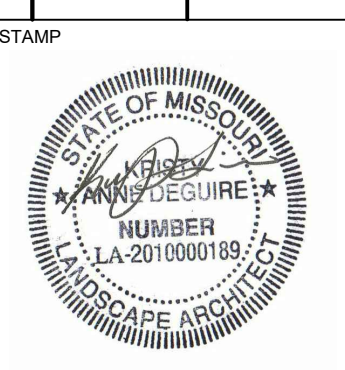
ROGER A. KASTER, ARCHITECT
 DAVID A. KASTER, NCARB, LEED-AP
 MICHAEL L. HOWARD, ARCHITECT
 SUITE 170
 7804 WEST 130TH STREET
 OVERLAND PARK, KANSAS 66213
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KASTER ARCHITECTS INC
 ARCHITECTURE · PLANNING · INTERIOR DESIGN

**YAYAS EURO BISTRO
 BANQUET ROOM ADDITION
 15601 OLIVE BLVD.
 CHESTERFIELD, MISSOURI**

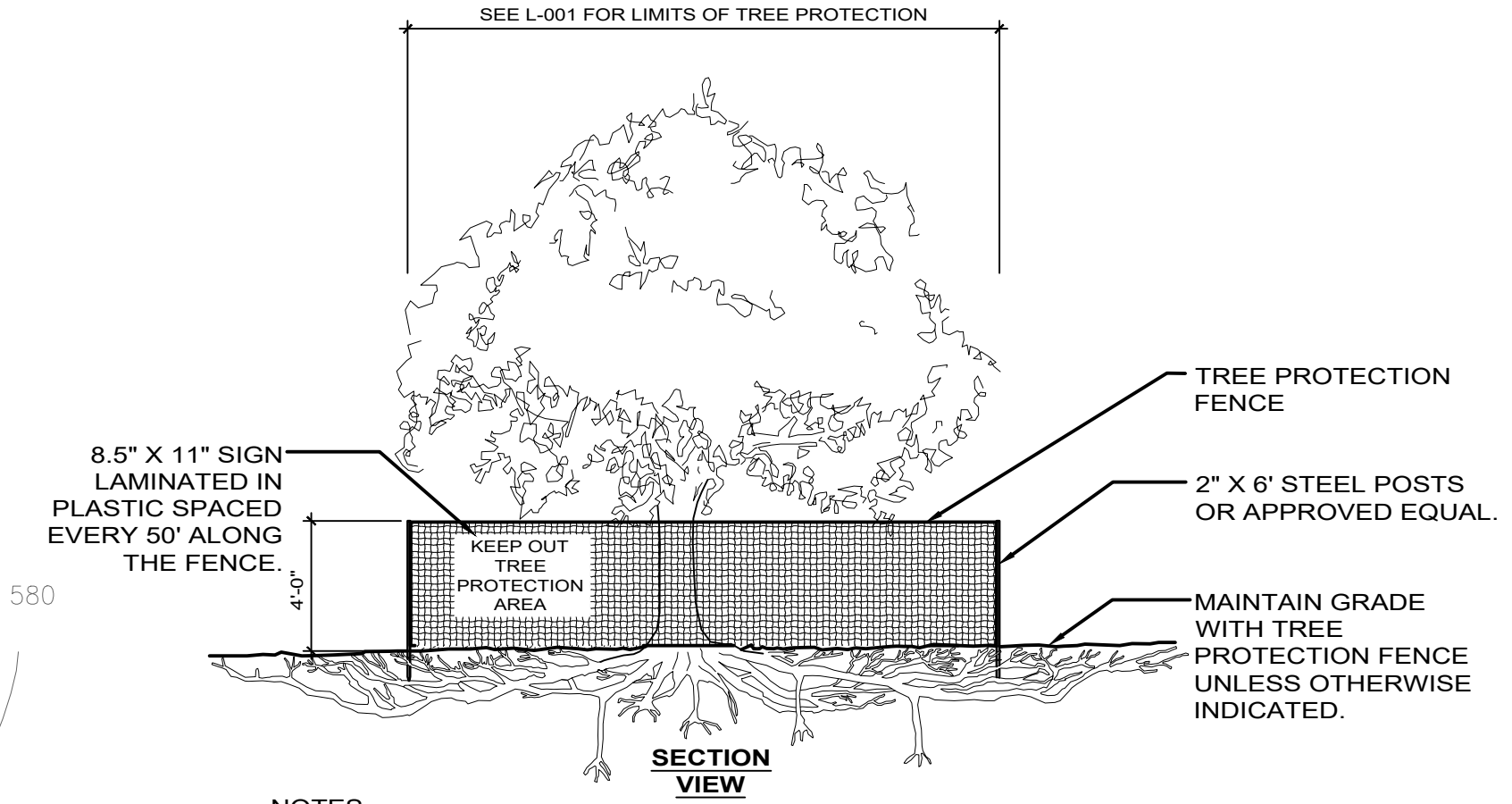
DATE: OCT 24, 2018
 REVISED SHEET NUMBER
A1.1
 OF SHEETS
 KAI JOB NO. 1706-A

NO.	ISSUED FOR	DATE
1	REVISION	11/16/18
2	REVISION	11/16/18



11/16/2018
Kristy DeGure
Landscape Architect
LA-201000189
DRAWING TITLE
TSD + TPP
PROJECT #: 18-299
SHEET NUMBER

L2



- NOTES:**
- Any visible root over (1) one inch in diameter is to be cleanly cut where visible at surface layer or during trenching operations for preserved trees.
 - No limb pruning shall be performed except by approved arborist.
 - No equipment shall operate inside the protective fencing including during fence installation and removal.
 - No storage of any materials shall be allowed inside the protective fencing.

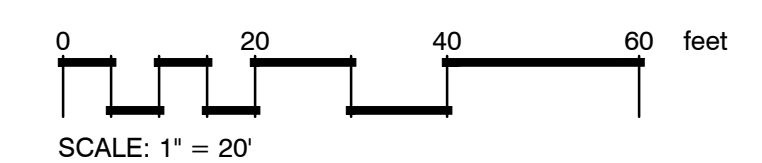
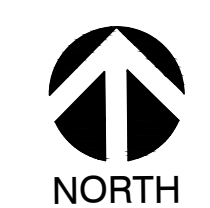
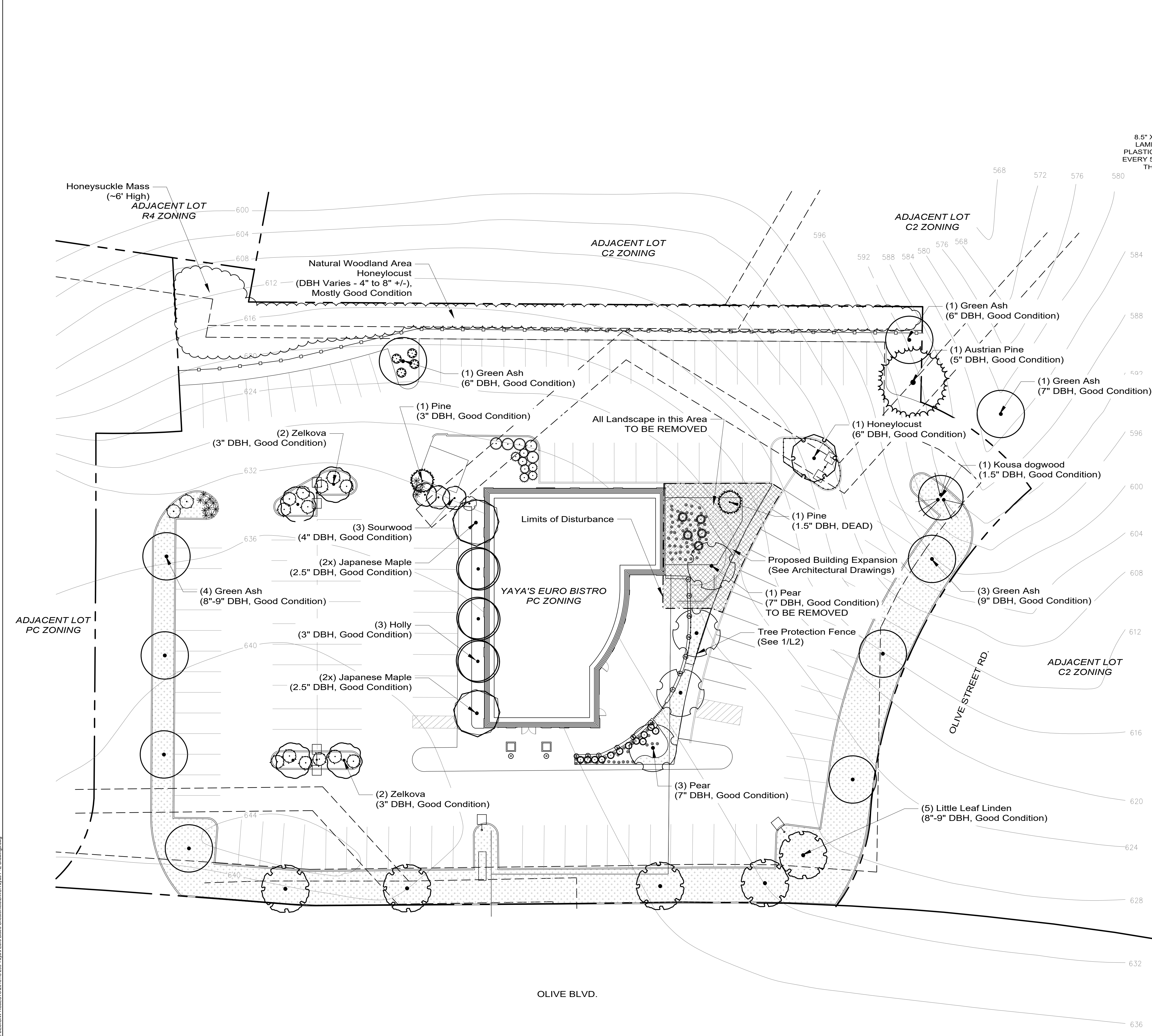
1 TREE PROTECTION DETAIL
3/16" = 1'-0"
P-CO-GR-PPHAS-06

TREE PROTECTION NOTES:

- Contractor shall stake clearing limits to coordinate the locations for tree protection measures and tree protection fencing installation.
- Contractor shall build and maintain temporary fences of brightly colored plastic tree protection fencing and signage so that construction workers can clearly see zones from where equipment must be kept clear. Signage will indicate "DO NOT ENTER", "DO NOT REMOVE", or other messages that communicate the importance of the tree protection fencing. Tree protection fence must be maintained at all times. It cannot be removed at any time during the construction. Upon completion of construction, all barriers, fencing and debris shall be removed from the site by the Contractor.
- No clearing or grading shall begin in any area of construction site where tree preservation measures have not been completed.
- No construction equipment can be operated within tree protection zone (TPZ) of the trees that are to be protected. Access to fenced preservation areas by construction equipment, materials or individuals that may cause harm to protected trees is prohibited.
- Contractor will be prohibited from cutting into tree's roots, compacting the soil over roots, or changing the ground level around the tree during construction. Root pruning, a tree protection measure, must be completed by qualified experts (forester or arborist) prior to any construction.
- Attachment of any signage or fencing to any tree is strictly prohibited.
- See Sheet L3 for proposed Landscape Plan.

TREE CANOPY AREA CALCULATIONS

TOTAL SITE AREA = 87,120 SF
TOTAL EXISTING CANOPY AREA = 13,000 SF
TOTAL CANOPY AREA TO BE REMOVED = 300 SF
% OF EXISTING CANOPY AREA TO BE SAVED = 97.7%



Date: G:\DG2 DESIGN\PROJECTS\18-299 Yaya's Euro Bistro Chesterfield\DWG\Yaya's P-Z Drawings.dwg

OPEN SPACE CALCULATIONS

TOTAL SITE AREA = 87,120 SF
 TOTAL BUILDING + HARDSCAPE AREA = 59,852 SF
 TOTAL OPEN SPACE AREA = 27,268 SF
 % OF TOTAL OPEN SPACE = 31.3%

TREE GROWTH RATE CALCULATIONS

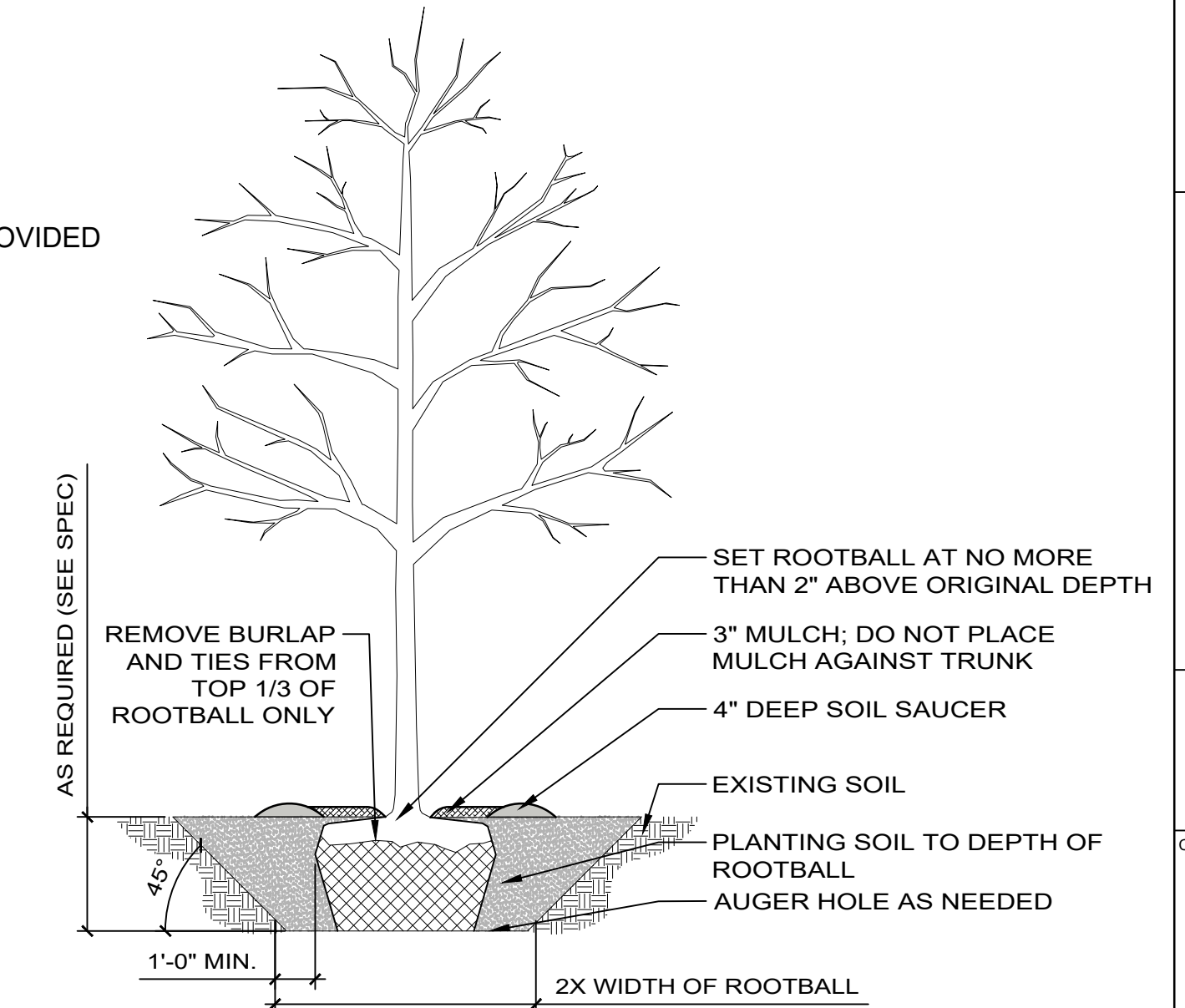
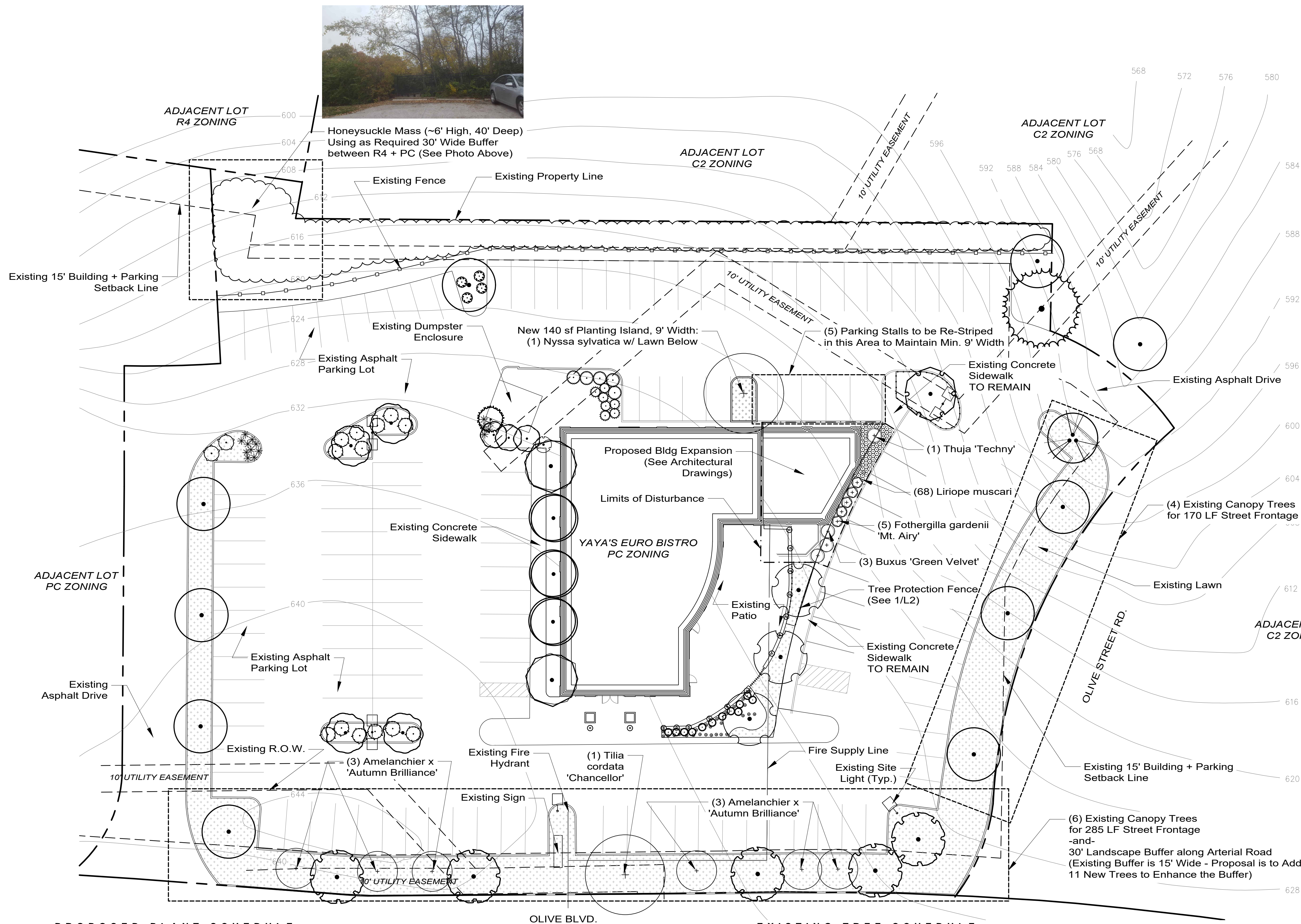
TOTAL # OF SITE TREES = 43
 TOTAL # OF TREES W/ SLOW TO MEDIUM GROWTH RATE = 38
 TOTAL % OF TREES W/ SLOW TO MEDIUM GROWTH RATE = 88%

BUFFER REQUIREMENTS

30' WIDE BUFFER BETWEEN PC + R4 = PROVIDED (SEE NOTES ON PLAN)
 (1) STREET TREE PER 50 LF OF ROAD FRONTAGE = PROVIDED (SEE NOTES ON PLAN)
 15' LANDSCAPE BUFFER TO VEHICULAR AREAS = PROVIDED (SEE NOTES ON PLAN)
 MINIMUM 30' LANDSCAPE BUFFER ALONG ARTERIAL ROAD = PROVIDED (SEE NOTES ON PLAN)

PARKING LOT REQUIREMENTS

(1) DECIDUOUS TREE PER SINGLE ISLAND = PROVIDED
 (2) DECIDUOUS TREES PER DOUBLE ISLAND = PROVIDED
 NO PARKING SPACE MORE THAN 50 FEET FROM A TREE = PROVIDED



1 DECIDUOUS TREE PLANTING
 NTS P-CO-GRA-PHAS-01

LANDSCAPE NOTES:

- Plant locations are to be staked in the field. The location of all plant material shall be approved by the Landscape Architect prior to installation. Notify the Landscape Architect a minimum of 2 days prior to planting. Do not dig holes for planting material until staked locations have been approved.
- Contractor shall verify plant quantities. Any discrepancies shall be reported to the Landscape Architect. If a conflict arises between the plan drawings and the written plant schedule, the written plant schedule shall prevail.
- The contractor shall obtain all necessary permits pertaining to construction.
- Underground facilities, structures and utilities have been plotted from available surveys and records. Locations and quantities are approximate and shall be the contractor's responsibility to determine or verify their existence and exact location and avoid any damage.
- The contractor is responsible for the location and protection of all underground utilities during the landscape installation.
- Call 1-800-DIG-RITE (344-7483) a minimum of 72 hours prior to digging. Report any discrepancies found with regard to existing conditions or proposed design immediately to the Landscape Architect.
- Do not willfully proceed with construction as designed where it is found that known discrepancies exist. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Refer to Civil Drawings for underground utility locations.
- Any and all areas disturbed by construction activities outside of the limits of disturbance are to be restored with Turf-Type Tall Fescue Blend SOD, unless otherwise indicated, at no additional cost to the developer.

PROPOSED PLANT SCHEDULE

SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT	SPACING	TYPE	GROWTH RATE	MATURE SIZE
<i>Amelanchier x 'Autumn Brilliance'</i>	Serviceberry	6	1.5" Caliper	B+B	N/A	Deciduous Tree (Medium)	Slow / Medium	25H x 15'W
<i>Buxus 'Green Velvet'</i>	Boxwood	3	5 Gallon	Container	60" o.c.	Evergreen Shrub		4'H x 4' W
<i>Fothergilla gardenii 'Mt. Airy'</i>	Dwarf Fothergilla	5	5 Gallon	Container	48" o.c.	Deciduous Shrub		4'H x 4' W
<i>Liriope muscari</i>	Liriope	68	1 Quart	Container	12" o.c.	Perennial		12" H x 12" W
<i>Nyssa sylvatica</i>	Blackgum	1	2.5" Cal.	B+B	20' o.c.	Deciduous Tree (Medium)	Slow	40' H x 30' W
<i>Thuja 'Techny'</i>	Arbovitae	1	6' Height	Container	N/A	Evergreen Tree	Medium	12' H x 6' W
<i>Tilia cordata 'Chancellor'</i>	Littleleaf Linden	1	2.5" Cal.	B+B	N/A	Deciduous Tree (Large)	Slow / Medium	60' H x 40' W

EXISTING TREE SCHEDULE

SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	TYPE	GROWTH RATE	NOTES
<i>Acer palmatum</i>	Japanese Maple	2	2.5" Caliper	Deciduous Tree (Small)	Medium	See sheet L2 for Location + Size of Each Tree
<i>Cornus kousa</i>	Kousa Dogwood	1	1.5" Caliper	Deciduous Tree (Small)	Slow / Medium	See sheet L2 for Location + Size of Each Tree
<i>Fraxinus pennsylvanica</i>	Green Ash	10	6"-9" Caliper	Deciduous Tree (Large)	Medium	See sheet L2 for Location + Size of Each Tree
<i>Gleditsia triacanthos</i>	Honeylocust	1	6" Caliper	Deciduous Tree (Large)	Fast	See sheet L2 for Location + Size of Each Tree
<i>Ilex opaca</i>	American Holly	3	3" Caliper	Evergreen Tree (Large)	Slow	See sheet L2 for Location + Size of Each Tree
<i>Oxydendrum arboreum</i>	Sourwood	3	4" Caliper	Deciduous Tree (Medium)	Slow / Medium	See sheet L2 for Location + Size of Each Tree
<i>Pinus</i>	Pine	2	3"-5" Caliper	Evergreen Tree (Large)	Medium	See sheet L2 for Location + Size of Each Tree
<i>Pyrus calleryana</i>	Pear	3	7" Caliper	Deciduous Tree (Small)	Medium	See sheet L2 for Location + Size of Each Tree
<i>Tilia cordata</i>	Littleleaf Linden	5	8"-9" Caliper	Deciduous Tree (Large)	Slow / Medium	See sheet L2 for Location + Size of Each Tree
<i>Zelkova serrata</i>	Zelkova	4	3" Caliper	Deciduous Tree (Large)	Fast	See sheet L2 for Location + Size of Each Tree

* = Information not found on Chesterfield Tree List, but gathered from research and classified for best fit based on similar trees in Chesterfield's list.

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 DG2 DESIGN MISSOURI STATE
 CERTIFICATE
 OF AUTHORITY #LC128925
 CONSULTANT

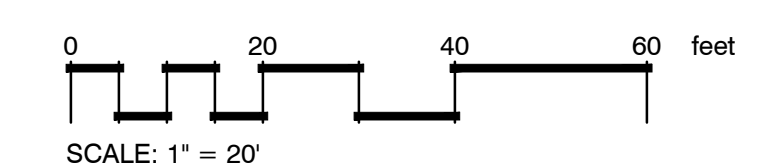
Yaya's Euro Bistro
 15601 OLIVE BLVD.
 CHESTERFIELD, MISSOURI 63017

NO.	ISSUED FOR	DATE
1	PREPARED	11/16/2018
2	REVISED	11/16/2018



11/16/2018
 Kristy DeGure
 Landscape Architect
 LA-201000189
 DRAWING TITLE
 LANDSCAPE PLAN
 PROJECT #: 18-299
 SHEET NUMBER

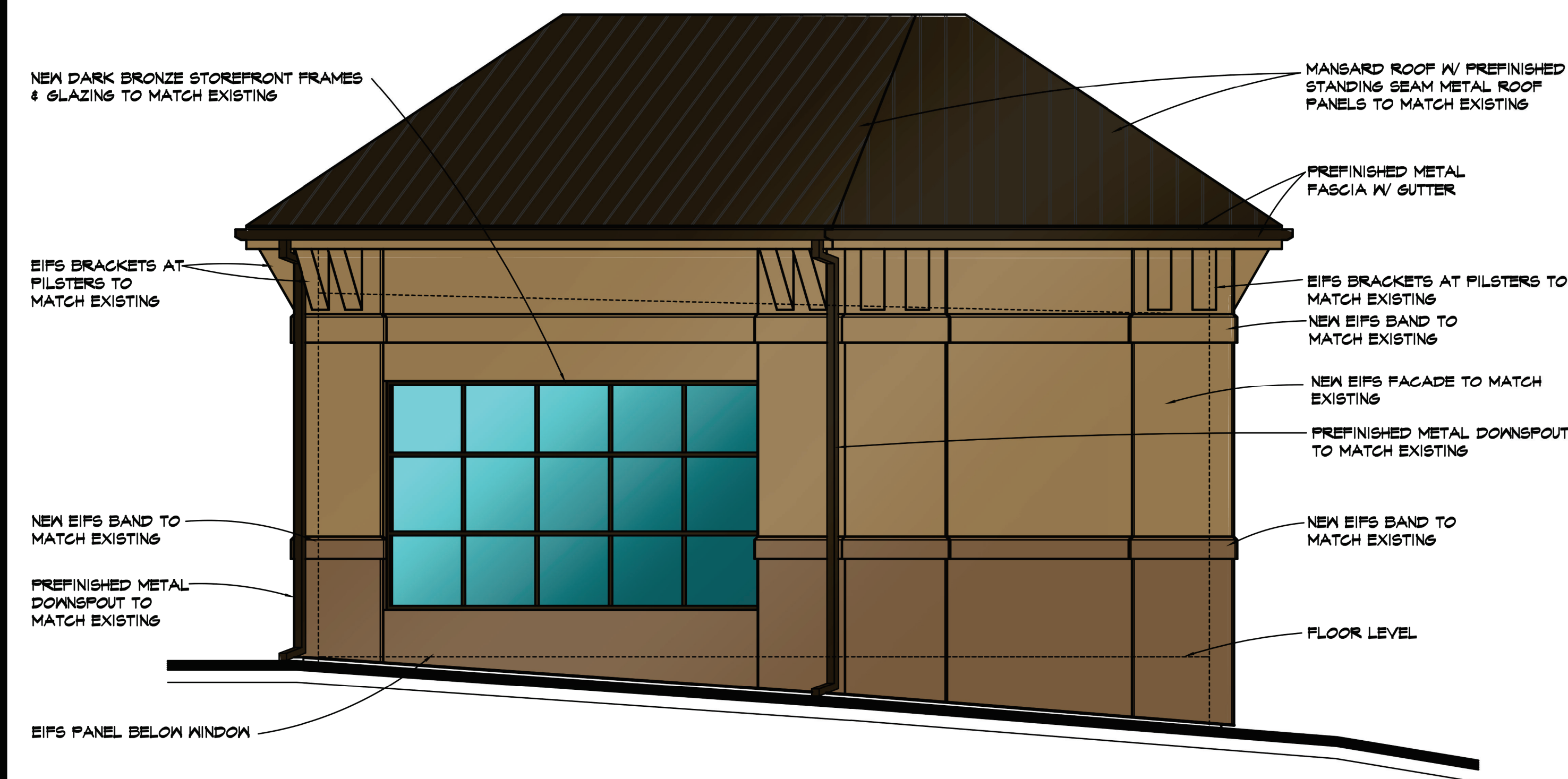
L3





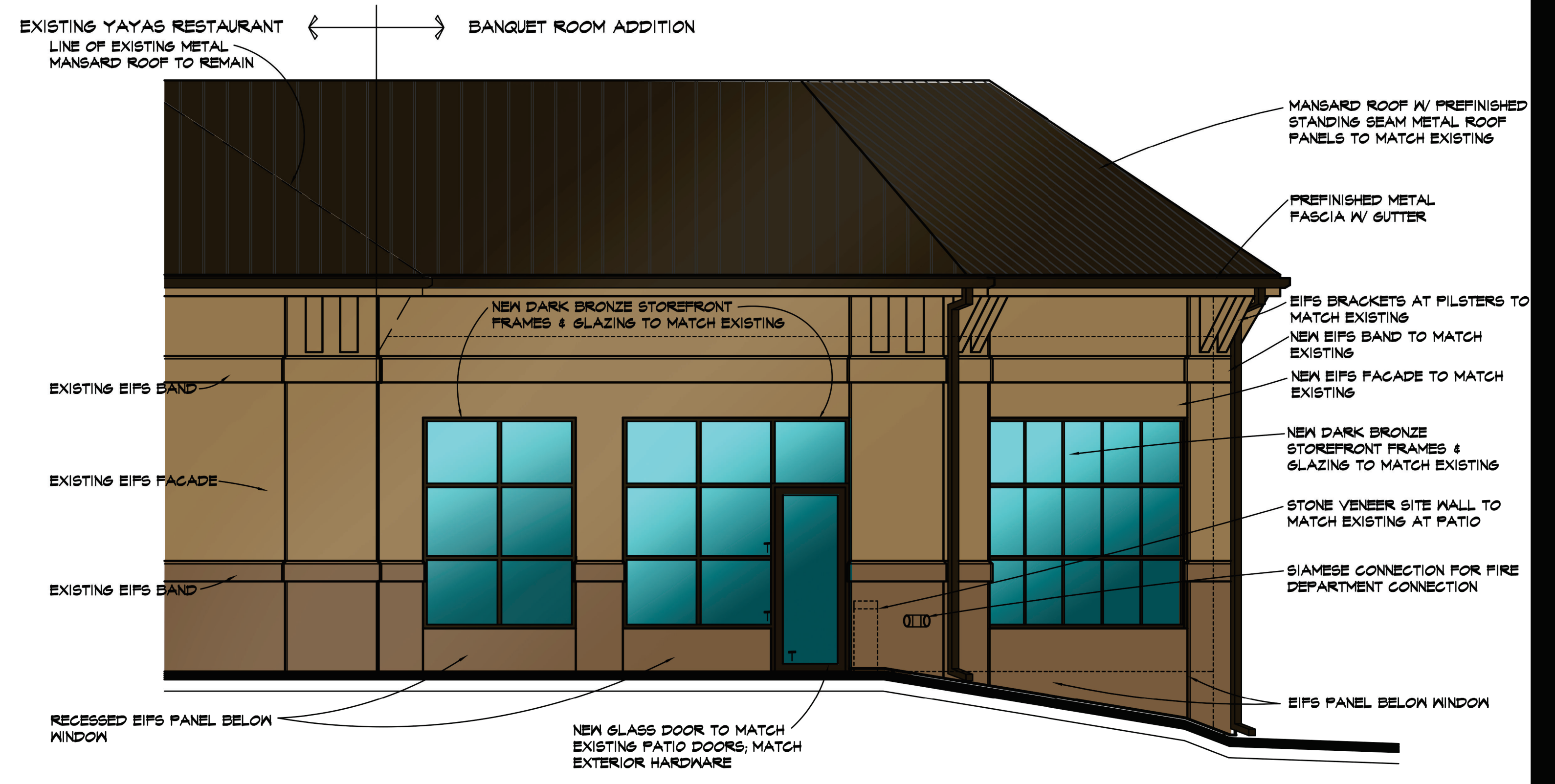
**BANQUET ROOM ADDITION
NORTHWEST ELEVATION**

SCALE // 1/4" = 1'-0"



**BANQUET ROOM ADDITION
NORTHEAST ELEVATION**

SCALE // 1/4" = 1'-0"



**BANQUET ROOM ADDITION
SOUTHEAST ELEVATION**

SCALE // 1/4" = 1'-0"



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KASTER ARCHITECTS INC
ARCHITECTURE • PLANNING • INTERIOR DESIGN

**YAYAS EURO BISTRO
BANQUET ROOM ADDITION
15601 OLIVE BLVD.
CHESTERFIELD, MISSOURI**

DATE OCT 19, 2016
REVISED
SHEET NUMBER
A3.1
OF SHEETS
KAI JOB NO. 1706-A



KASTER ARCHITECTS, INC

Roger A. Kaster, David A. Kaster, NCARB, Michael L. Howard. Ph: 913-681-1200, Fax: 913-681-1866
7304 West 130th Street – Suite 170 Overland Park, Kansas 66213

November 21, 2018

YAYAS EUROBISTRO – BANQUET ROOM ADDITION CHESTERFIELD, MO 15601 Olive Boulevard Chesterfield, MO

ARCHITECT'S STATEMENT OF DESIGN

The overall goal of this project is to add a 1,200 square foot banquet room to an existing Yayas Restaurant. The existing restaurant sits on a pad site to the north side of Olive Boulevard northeast of the Chesterfield Mall property across Highway 64. The existing building is a single-story restaurant with EIFS facades and a mansard consisting of standing seam metal roof which screens the roof top units. There is a patio at the northeast surrounded by a low site wall. The area of the building facing the patio features a flat roof projecting out under the mansard with EIFS banding and dark-bronze framed storefront windows. The storefront windows are set in slight recesses giving the vertical EIFS pilasters between them a thickened appearance.

The goal of our Banquet Room Addition is to make it look as if it has always been part of the building. To accomplish this, our design replicates the design features of the existing building. We will match the dark bronze framed storefront windows and thickened pilasters and mass brackets. Glazing will match the existing glazing panels at the patio. EIFS will be the new material on the facades with thickened EIFS bands to align with the existing building. Top of wall and coping will match existing and a new mansard roof screen to match existing will connected to the existing mansard and extended over the new banquet room.

Mechanical units for the addition will be set behind the metal mansard to ensure the units are fully screened.

There will necessarily be an egress from the Banquet Room. The door will be integrated into the storefront windows matching the patio door. A portion of the site wall surrounding the patio will be removed and the patio extended into the area southeast of the Banquet Room Addition to integrate the patio into the addition. Materials for the patio and new site wall surrounding the patio will match the existing and wall finishes including the site wall height. A portion of the existing sidewalk along the northeast of the site will be removed for the installation of the addition and a new landscape bed. An entirely new landscape plan is being submitted retaining the healthy plantings and trees that exist on site. Other trees and plantings are indicated on the plans to meet the development ordinance in close consultation with City of Chesterfield Planning Staff.

No exterior building lighting (other than an emergency fixture at the egress door) will be on the addition. All existing site and building lighting is existing to remain. No exterior signage will be placed on the addition or added to the site. All existing site signage is to remain.

Thank you.

Michael Howard - Project Manager, Kaster Architects

