

## Planning Commission Staff Report

<b>Project Type:</b>	Site Development Section Plan
<b>Meeting Date:</b>	December 10, 2018
<b>From:</b>	Andrew Stanislav, Planner <i>AS</i>
<b>Location:</b>	17690 Edison Avenue
<b>Description:</b>	<b>Edison Crossing, Lot 1 (Little Sunshine's Playhouse):</b> A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 1.27 acre tract of land zoned "PC" Planned Commercial District located at the southeast corner of the intersection of Edison Avenue and Long Road within the Edison Crossing subdivision.

### PROPOSAL SUMMARY

The request is for a 9,700 square foot daycare facility located at the southeast corner of the intersection of Edison Avenue and Long Road within the Edison Crossing subdivision. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 3018. The exterior building materials will primarily consist of freestyle texture EIFS and an Eldorado stone veneer with a stucco foam faux wood trim. Rooftop-mounted mechanical equipment will be screened within a six-foot deep mechanical roof pit of the building's mansard roof and a trash enclosure will be six feet in height and match the color and EIFS/stone veneer materials of the building's façade.

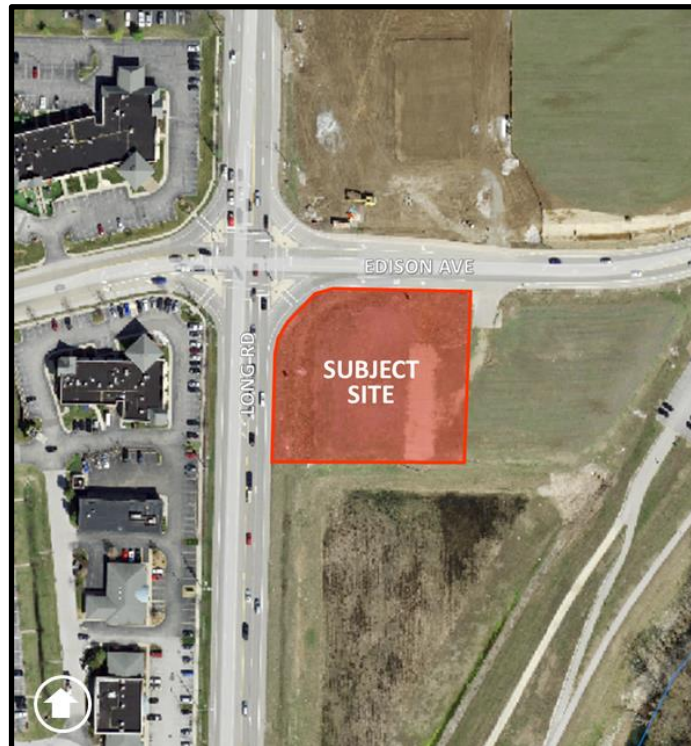


Figure 1: Site Aerial

**HISTORY OF SUBJECT SITE**

The subject site was zoned “NU” Non-Urban by St. Louis County prior to the City’s incorporation. A petition was filed in 2004 for a change of zoning to “PC” Planned Commercial. A public hearing was held, but no action was taken and the petition became inactive. In 2007, a petition was filed to change the zoning from “NU” Non-Urban to “PC” Planned Commercial, and City Council approved the change with Ordinance 2448 on March 19, 2008. A recreational easement was provided by Ordinance 2448 to allow parking and trail access to the Monarch Chesterfield Levee. This parking lot was constructed in 2010, and improvement plans were then approved in 2011 to construct the existing access point. A petition was filed in 2018 to amend Ordinance 2448 to establish new permitted uses in this “PC” District, including “day-care center” and “kindergarten or nursery school.” City Council approved the amendment with Ordinance [3018](#) on August 20, 2018, which serves as the current governing ordinance for the subject site.

A Boundary Adjustment Plat was received by the Department of Planning and Development Services on October 9, 2018 to extend the eastern property boundary line of Edison Crossing Lot 1 approximately 53 feet further to the east in accordance with the Site Development Section Plan for Little Sunshine’s Playhouse. The Boundary Adjustment Plat will be considered by City Council in the near future. The proposed adjusted property limits are depicted in Figure 1 above.

**LAND USE AND ZONING OF SURROUNDING PROPERTIES**

The land use and zoning for the properties surrounding this parcel are described below:

Direction	Zoning	Land Use
North	“PC” Planned Commercial District	Gas station/car wash
South	“PC” Planned Commercial District	Vacant/undeveloped land
East	“PC” Planned Commercial District	Vacant/undeveloped land
West	“PC” Planned Commercial District	Retail/commercial

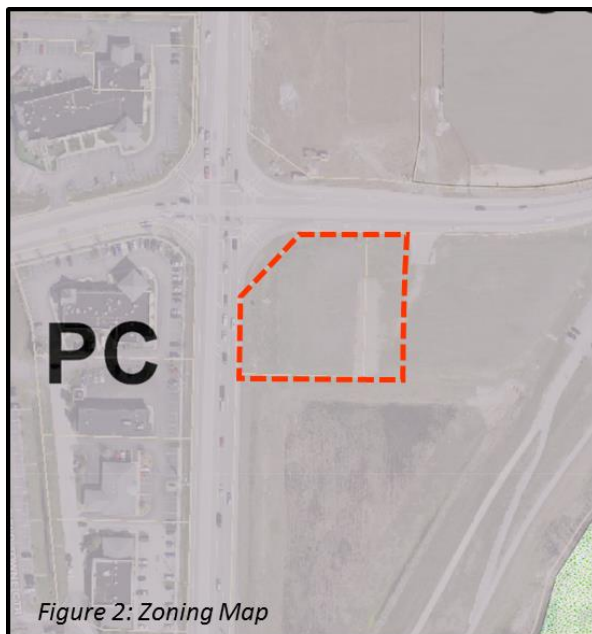


Figure 2: Zoning Map

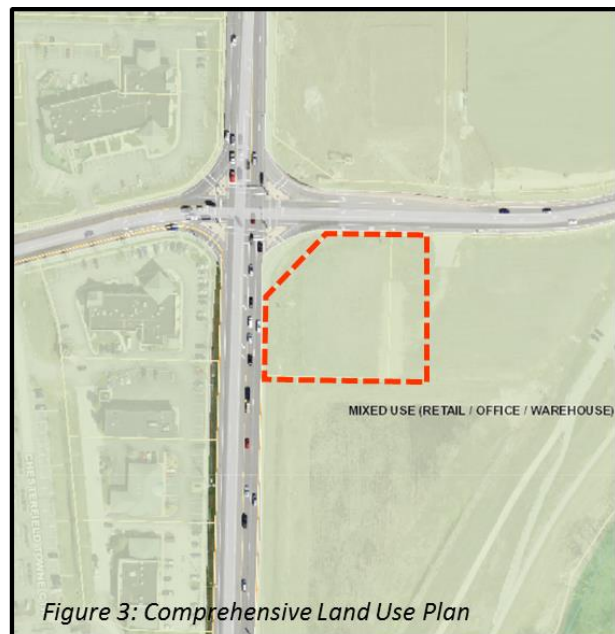


Figure 3: Comprehensive Land Use Plan

## **COMPREHENSIVE PLAN ANALYSIS**

The subject site is located within Ward 4 of the City of Chesterfield and is within the "Mixed Use (Retail/Office/Warehouse)" land use designation per the City's Land Use Plan as seen in Figure 3 above. The Comprehensive Plan identifies the Mixed Use (Retail/Office/Warehouse) designation as incorporating retail, low-density and mid-density office, and office/warehouse facilities.

The Comprehensive Plan includes Commercial Development Policies as well as specific policies which are applicable to developments within the Chesterfield Valley sub-area:

- **3.1 Quality Commercial Development** – Commercial developments should positively affect the image of the City, provide employment opportunities, and offer retail/service options to residents.

The proposed development complies with this policy by providing additional services to residents in appropriate locations while also ensuring the development is high quality through site and building design, landscaping, and material selections.

- **3.1.1 Quality of Design** – Overall design standards should provide for smaller-scale, mixed-use, project-oriented developments. Developments should emphasize architectural design, pedestrian circulation, landscaping, open space, innovative parking solutions and landscape buffering between any adjacent residential uses.

This policy intends to enhance the compatibility of a commercial development, both functionally and visually, within an individual site as well as with neighboring properties and uses. The proposed daycare center addresses the elements of this policy through the structure's high quality architecture as well as by providing pedestrian connections both on- and off-site. Landscaping is also provided throughout the site, including buffer areas along the roadways and the southern property line in accordance with the site specific ordinance.

- **3.5.1 Chesterfield Valley Regional Retail & Low Intensity Industry** – Regional retail and low-intensity industrial developments should be located in Chesterfield Valley. These include mixed-use office/retail-planned developments, low-intensity industrial assembly, distribution, and research and development business parks, and corporate campuses. Specifically, low-intensity industrial use is encouraged west of Long Road.

The proposed development complies with this policy as the proposed use of a daycare center is appropriate at the subject site located in Chesterfield Valley near other compatible commercial retail and service uses in the surrounding area.

- **7.2.4 Encourage Sidewalks** – Sidewalks should be required of all new developments and encouraged along existing roads in the City of Chesterfield, allowing creative placement to protect the natural environment.

The intent of this policy is to provide pedestrian connectivity and circulation throughout each new development as well as with neighboring properties. The proposed development provides sidewalks along the frontage of both Long Road and Edison Avenue along the extents of the Edison Crossing subdivision. The sidewalk along Edison Avenue is proposed to connect with the existing parking area for the Levee Trail further east, and a connection is also proposed between the existing cross walk at the intersection of Edison Avenue and Long Road and the subject site.

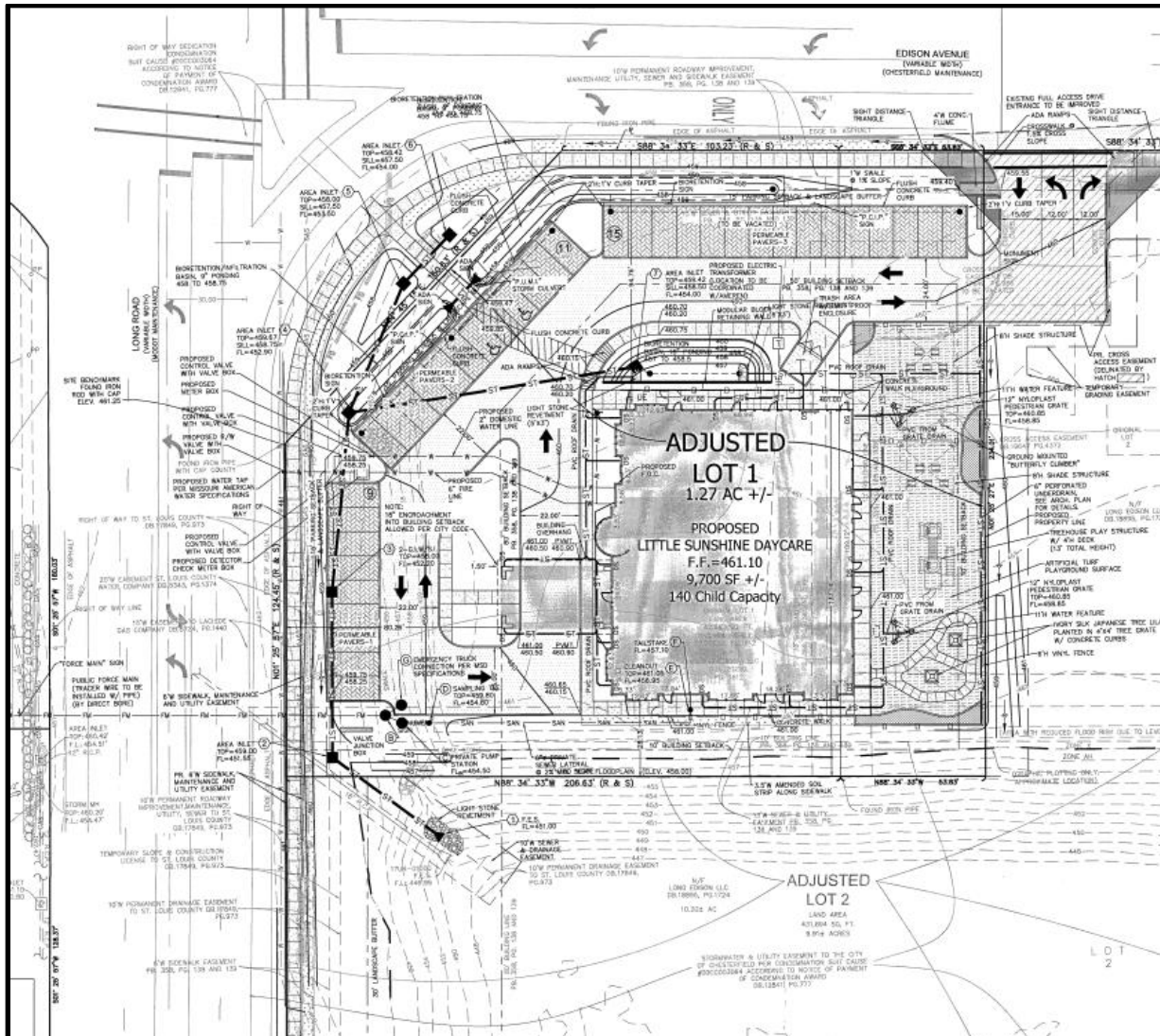


Figure 4: Portion of Site Development Section Plan

## STAFF ANALYSIS

### Zoning

The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 3018. This submittal was reviewed against the requirements of Ordinance 3018 as well as all applicable requirements of the Unified Development Code (UDC), and the proposed development adheres to these requirements.



### **Circulation System and Access**

The subject site will be served by a single access point at the northeast corner of the property. A cross access easement on Lot 2 of Edison Crossing provides access from this point on Lot 1 to Edison Avenue, which is a City maintained roadway at this location. Exit directional arrows at the access drive connection are oriented as a left turn arrow and right turn arrow out onto Edison Avenue. No access is proposed to this development from Long Road as is restricted in the site specific ordinance.

A sidewalk along the entire frontage of Edison Crossing on both Edison Avenue and Long Road is proposed as part of this development. The sidewalk along Edison Avenue will continue east along the roadway frontage and terminate at the existing parking lot of the Levee Trail access point, and the sidewalk along Long Road will run the entire frontage of the subdivision to the south. Pedestrian access to the development will be provided near the intersection of Edison Avenue and Long Road by connecting the proposed sidewalk to an existing crosswalk. This connection is proposed to extend onto the site across a designated painted area in the parking lot providing direct access to the building. There is also an internal sidewalk that circumnavigates the proposed building and extends from the porte cochere to the parking spaces along the western side of the property.

### **Topography and Parking**

The site is generally flat with only a few feet of grade change across the property. Bioretention/infiltration basins will be located just north of the proposed building as well as along the north and northwest perimeter of the proposed parking area for storm water management. All 35 proposed parking spaces are surfaced with permeable pavers and are located to the north and west of the site between the building and the frontage of both Edison Avenue and Long Road. Two ADA parking spaces are located along the pedestrian access area between the proposed frontage sidewalk and the internal sidewalk leading to the building.

### **Landscape Design and Screening**

Several different areas of landscaping are proposed for the site. Street trees are proposed along the site's prominent frontage at the intersection of Edison Avenue and Long Road as well as a landscape buffer. Trees are proposed along the south property line to provide screening as required by the site specific ordinance. Landscaping is also proposed within the parking lot area and along the front entry façade of the west elevation. Other small plantings are proposed in the outdoor playground area as well as around the trash enclosure.

Screening systems for the mechanical units and trash enclosure are proposed to match or be integrated within the building's design. Rooftop-mounted mechanical units are screened within the mechanical roof pit of the hunter green mansard roof, and the six-foot sight-proof trash enclosure features EIFS and stone veneer materials to match the main structure.

### **Lighting**

Lighting is planned in association with the proposed development as required by the City of Chesterfield. The proposed lighting plan consists of fixtures proposed in the parking area and mounted on the building facades for navigating the site. All proposed exterior lighting will be fully

cut off and directed down, and the utilitarian wall-mounted light fixtures are proposed in decorative housing. In total, there are five proposed fixtures in the parking area, fourteen wall-mounted fixtures across all four elevations of the building, and eight under-canopy lights in the porte cochere drop-off area. The applicant has noted the limited use of the wall-mounted and under-canopy fixtures throughout the year on the lighting plan, and this lighting is not intended to be utilized outside of the hours of operation.

### Architectural Elevations

The primary exterior material of the building is a buckskin color freestyle texture EIFS along with a rough-cut Eldorado stone veneer with chiseled edge stone cap wainscoting and accent areas. These materials are framed with a stucco foam faux wood trim as well as the doors and windows. The freestyle texture EIFS material is used on all four sides of the building. The stone veneer wainscoting is located along the north, south, and west elevations of the building. The architect has chosen not to include the stone veneer wainscoting along the east elevation of the building in order to avoid contact with children occupying the abutting outdoor playground space; however, this elevation is screened with a six foot vinyl fence that surrounds the playground space. Other architectural elements and materials of the building’s design are included on all elevations, including the hunter green architectural asphalt shingles of the surrounding mansard roof. Copper finials and other ornamental/decorative elements also serve to produce interesting facades.

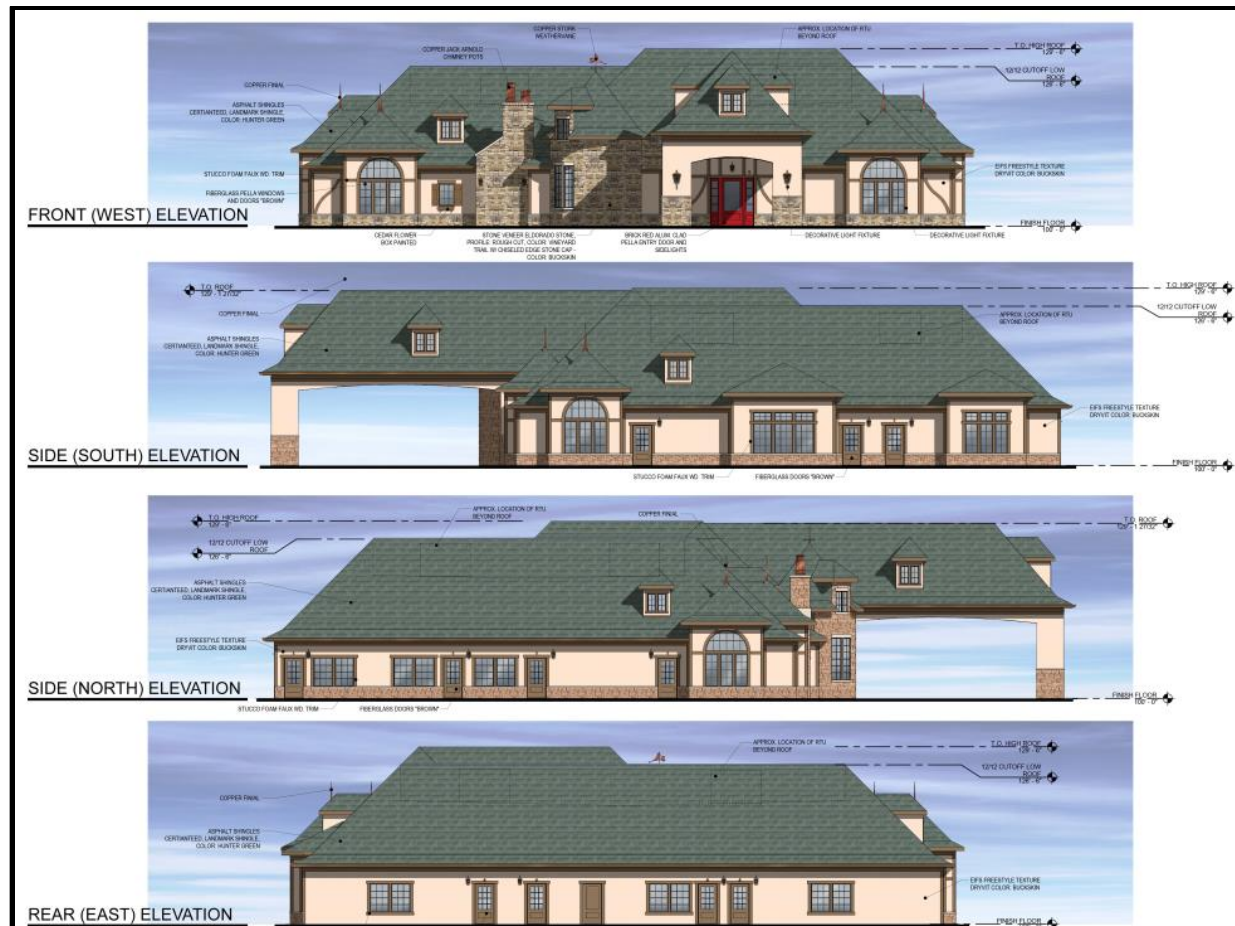


Figure 5: Building Elevations

## **ARCHITECTURAL REVIEW BOARD INPUT**

This project was reviewed by the Architectural Review Board (ARB) on November 8, 2018. At that meeting, the Board recommended approval with two conditions.

- **Provide a vehicular queuing and circulation analysis for the entry and parking area.**

The applicant has provided an exhibit depicting vehicular queuing on the proposed site plan as designed. This exhibit shows the stacking of vehicles and the circulation method for drop-off and pick-up scenarios. Staff has reviewed this exhibit and does not have any issues or concerns.

- **Provide junipers on both the east and west side of the dumpster enclosure.**

The applicant has revised the original Landscape Plan to incorporate two junipers on each side of the dumpster enclosure (east and west) to provide a more balanced and thorough screening as intended by the ARB.

## **STAFF RECOMENDATION**

Staff has reviewed the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design and has found the proposal to be in compliance with the site specific ordinance, Comprehensive Plan, and City Code requirements. Staff recommends approval of the proposed development of Little Sunshine's Playhouse.

## **MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for Little Sunshine's Playhouse."
- 2) "I move to approve (or deny) the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for Little Sunshine's Playhouse with the following conditions..." (Conditions may be added, eliminated, altered, or modified).

Attachments:     Site Development Section Plan  
                          Landscape Plan  
                          Architectural Elevations  
                          Lighting Plan  
                          Lighting Cut Sheets  
                          Architect's Statement of Design  
                          Color Elevations  
                          Rendering  
                          Vehicle Stacking/Queuing Exhibit  
                          Outdoor Play Area Details



September 19, 2018

City Planner  
City of Chesterfield

Re: Little Sunshine's Playhouse – 17690 Edison Ave.  
TR,i Project #: 17-117  
ARCHITECT'S STATEMENT OF DESIGN

To Whom it may concern,

As required by Chesterfield's Unified Development Code the following is our Architect's Statement of Design responding to the Architectural review design standards as they apply to our project.

**General requirements for site design:**

1. Site relationships: Our development has no directly adjacent developments. Currently the property to the South is in a flood plain the property to the East is yet undeveloped. We do provide pedestrian access to both parcels via public sidewalks along the full length of both Edison Avenue and Long Road. Our design incorporates extensive landscaping along both rights-of-way which can be extended once the adjacent lots are developed to provide site connectivity and a sense of continuation. Additional Cross access is provided onto the property to the East which will also provide connection to future adjacent development.
2. Circulation system and access: Our design provides ample separation between vehicular circulation and pedestrian circulation with a network of public sidewalks along the full length of both the Edison Avenue Right-of-way and the Long Road Right-of-way as well as on site sidewalks connecting parking to the building entry and sidewalks around the building perimeter and to service areas. Landscaping is used along both the internal and external network of sidewalks to add interest to the pedestrian experience. Pedestrian orientation is accomplished by providing connecting walks with landscaping from the parking field to the Porte cochere and main building entry which has a wide welcoming sidewalk flanked with extensive landscaping.
3. Topography: The existing topography is currently relatively flat and minimal changes are proposed to it. Abrupt changes in the natural grading no not occur and landscaping is used for screening, buffering, and enhancement to the site.
4. Retaining walls: There are not any retaining walls being proposed in our design.

**General requirements for building design:**

1. Scale: There are no adjacent buildings to our project at this time however we have designed to building to provide a pedestrian scale with moderate height roof eaves at about 9'-6" above grade with a much taller height (about 12'-6") at the Porte cochere inviting pedestrians to the



building entrance. The adjacent lots are undeveloped currently, so we are establishing a design with a common wainscot height and window height that is very easy to coordinate with and compliment with future building designs.

2. Design: The building design and finishes are coordinated on all sides of the building with the most character being on the front, then the sides, and the rear with the least amount of detail but still using similar finishes and colors as the front and sides. The front of the building has much fenestration and vertical change in the facade and finishes creating an extremely interesting façade. A taller Porte cochere element that projects out from the building is used to identify the building entry. Mechanical equipment will be screened within a roof pit shielded by a mansard architectural shingled roof on all sides.
3. Materials and Colors: Earth tone finishes are used throughout the exterior design that are neutral and compatible with many other pallets. The materials included stone, EIFS, wood trim, architectural windows and doors, architectural shingles, and copper roof adornments.
4. Landscape design and screening: Landscaping is used along the streets to create connectivity to adjacent sites. Within the site landscaping is used along the pedestrian paths to accentuate the path to the main building entry, it is used to screen the trash area, and it is used along the base of the building to soften the building's base.
5. Signage: It is understood that signage is reviewed separately. Signage is shown only to indicate intended location, style, and scale of signage as it relates to the building.
6. Lighting: All exterior lighting will be fully cut off and will adhere to Chesterfields UDC. Cut sheets of the lighting are included for review, they complement the buildings style.

**Specific requirements for the Chesterfield Valley:**

- The architecture from the building is carried around all four sides of the building.
- There is not any flood lighting on the building, we have decorative lantern style accent lights on the building.
- The trash enclosure wall finishes are designed to match the building wall, additional we have landscape screening this area.
- We have no outdoor storage to screen.
- Our building does not face I-64/US 40 or North Outer 40 Road.

I trust this information meets your needs. Please advise if you have any questions or comments.

Respectfully,



Jeffrey P. Kaiser  
Project Manager

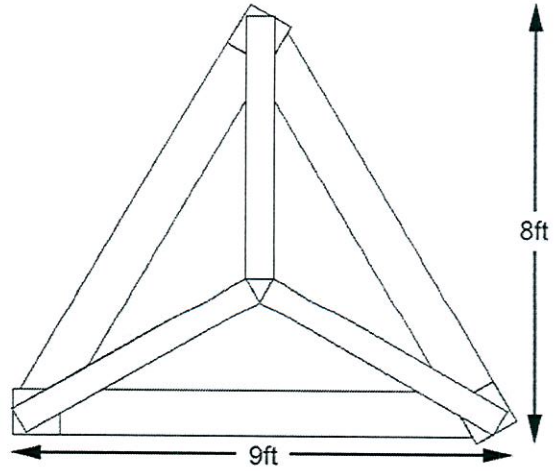




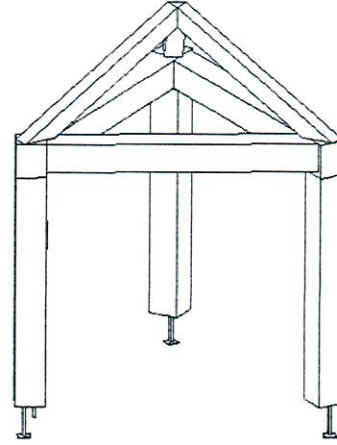
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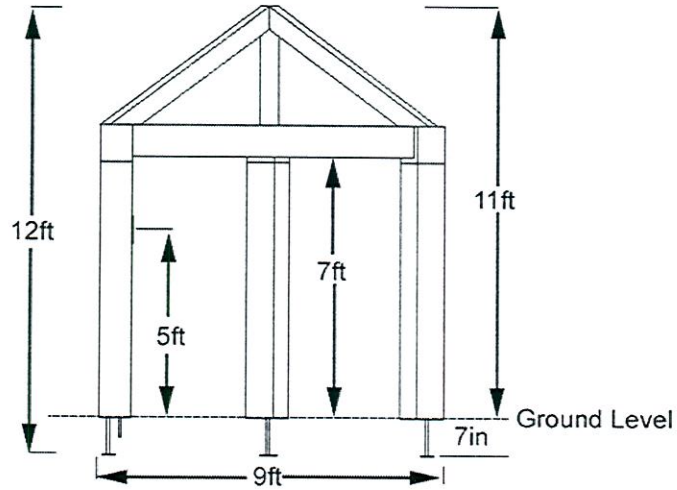
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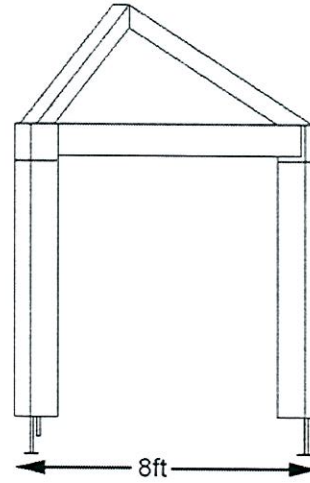
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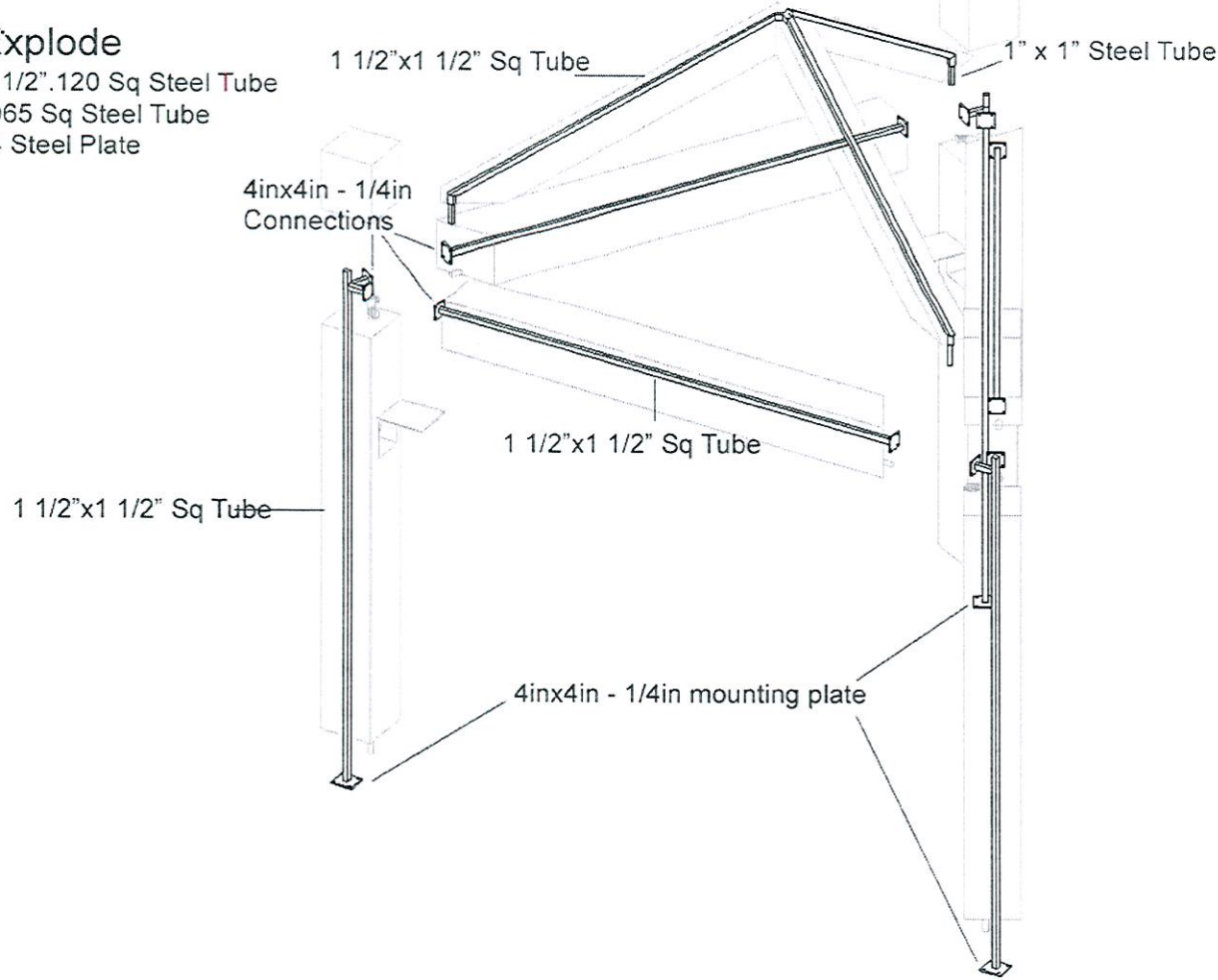
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Project Name:  
**Little Sunshine's Playhouse & Preschool**  
 Client Name/Address:

# Steel Explode

- 1 1/2"x1 1/2" .120 Sq Steel Tube
- 1" x 1" .065 Sq Steel Tube
- 4"x4" 1/4 Steel Plate



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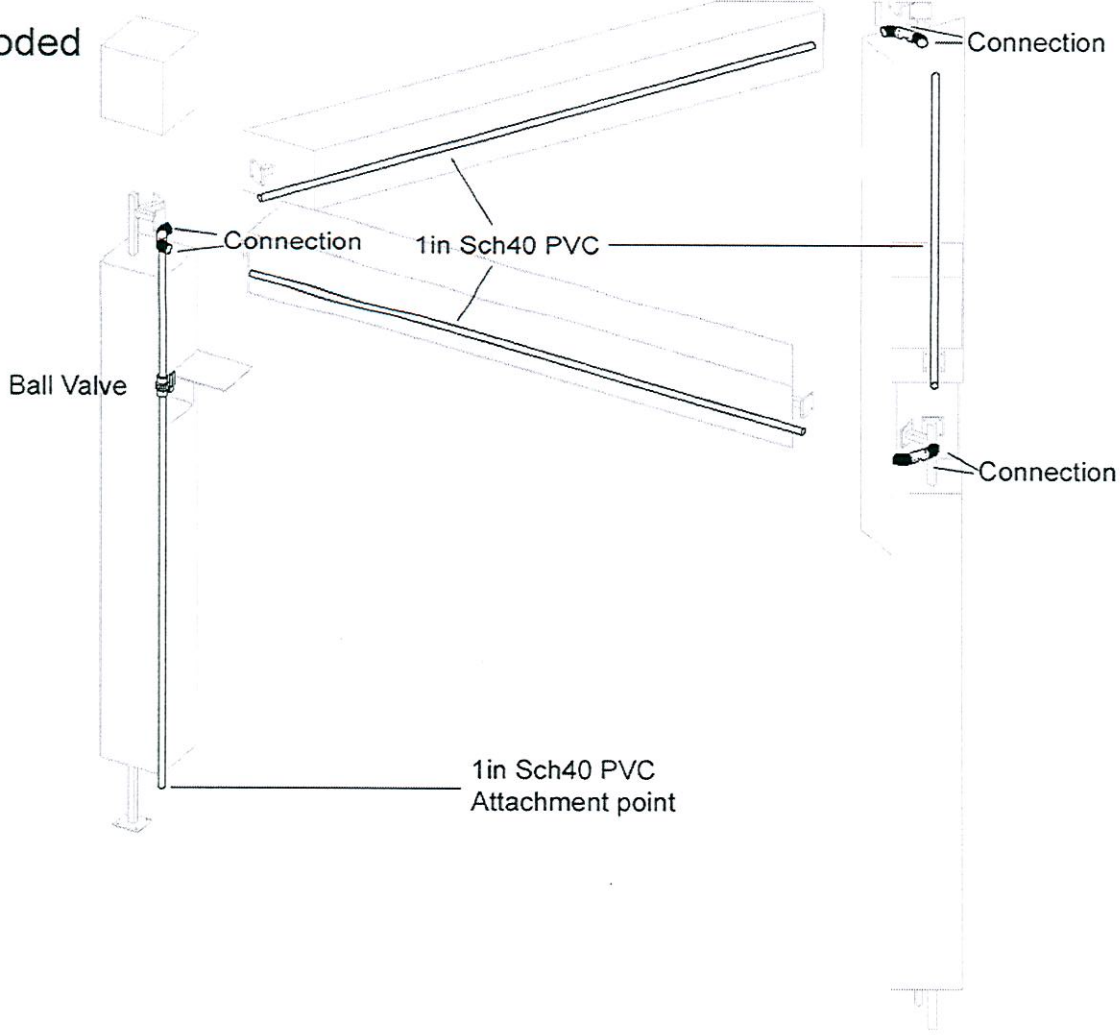
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# Plumbing Exploded

1in Sch40 PVC



Date: <b>9/11/18</b>	Revision:
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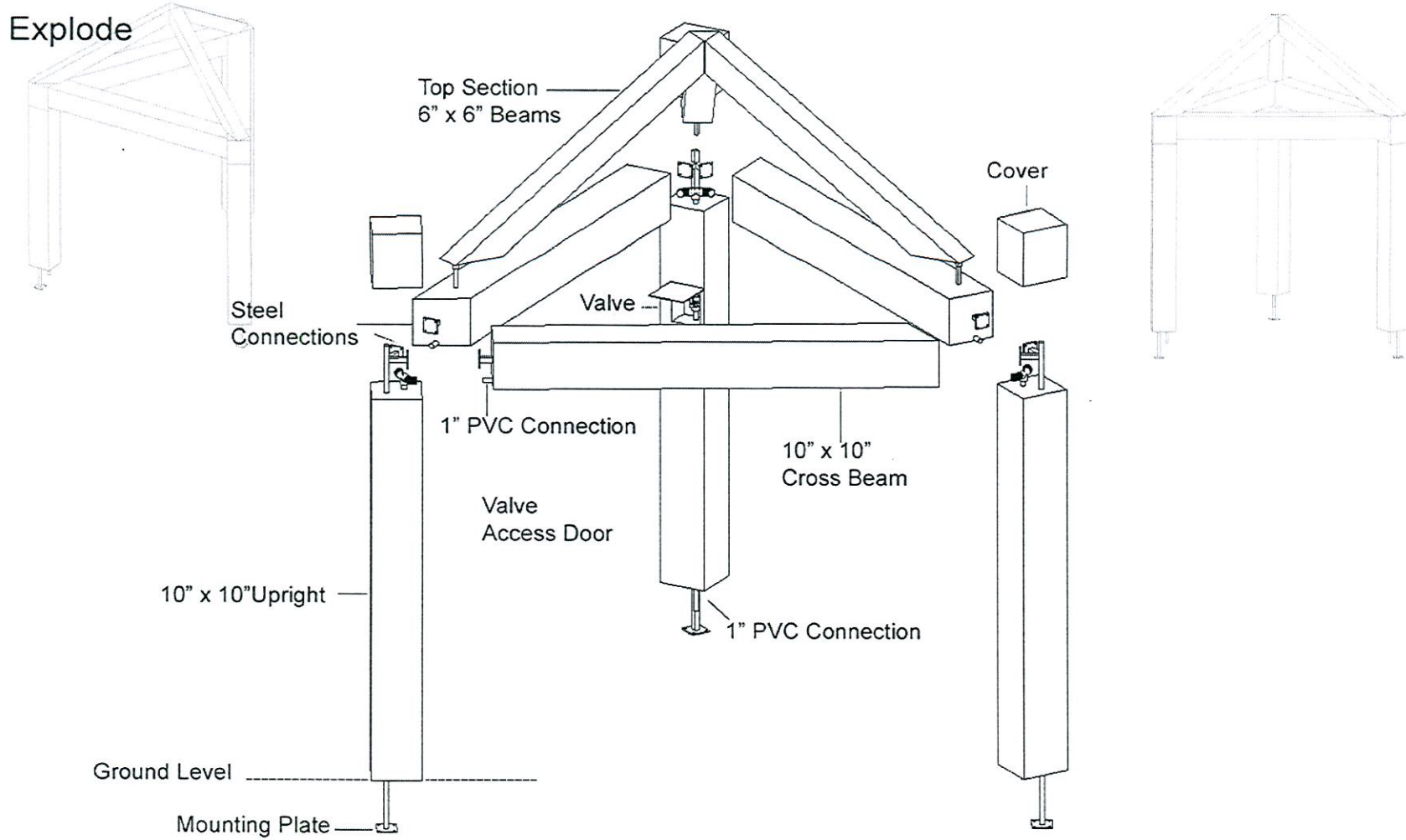
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Explode



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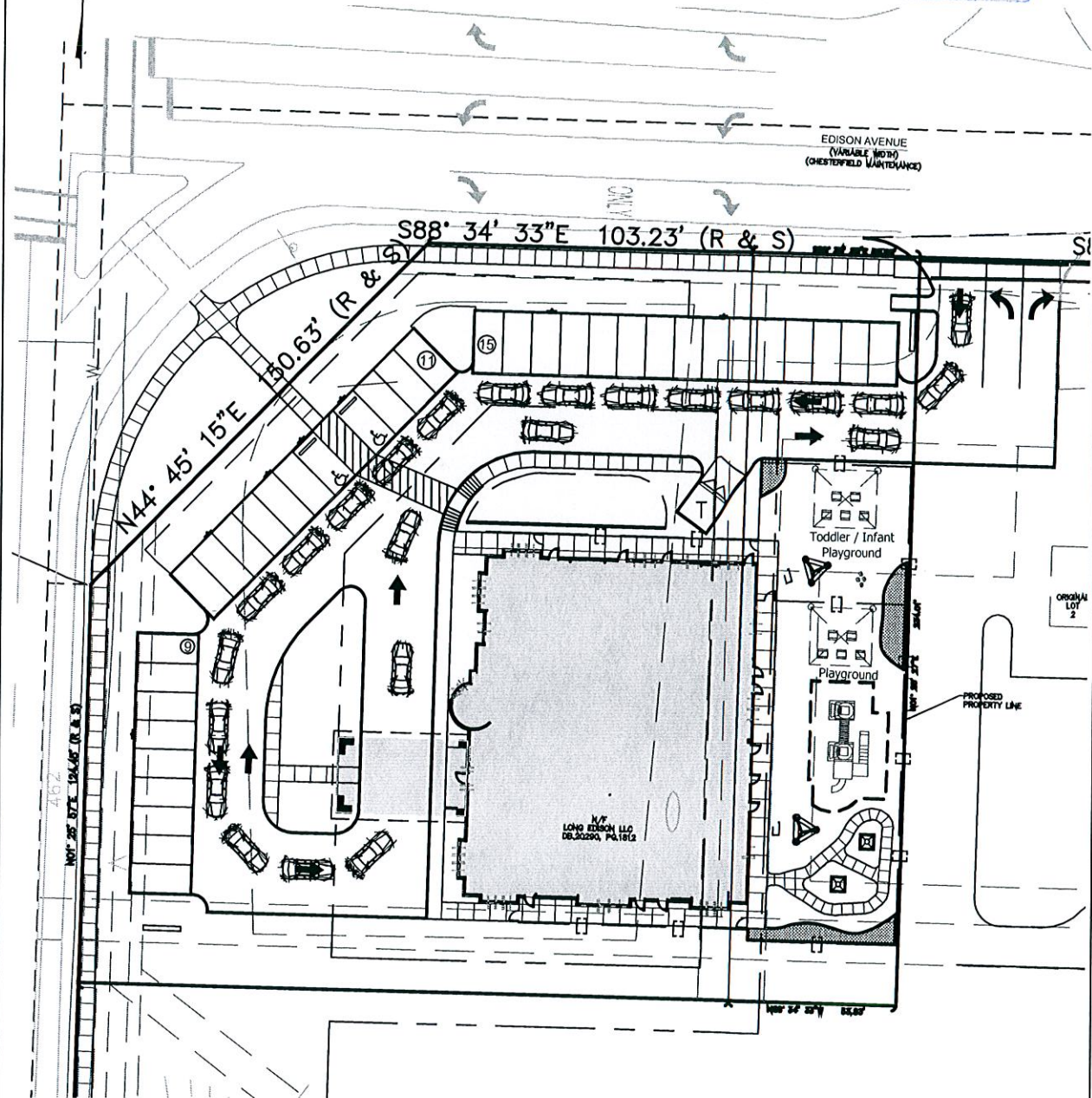
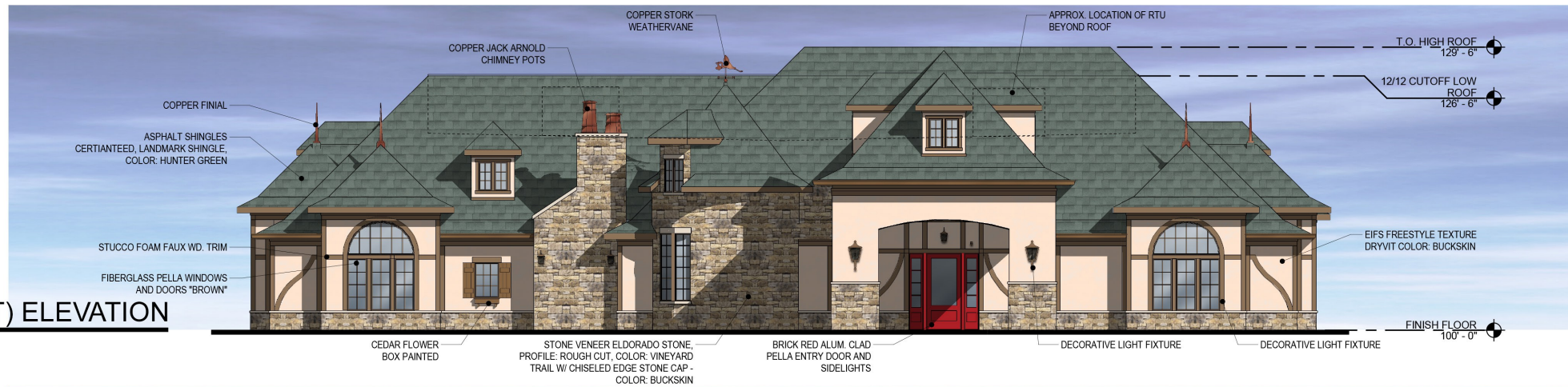


EXHIBIT  
LOT 1 AND PART OF LOT 2 OF EDISON CROSSING LOT SPLIT AS RECORDED IN PLAT BOOK 358 PAGES 138  
AND 139 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS IN  
ST. LOUIS COUNTY, MISSOURI



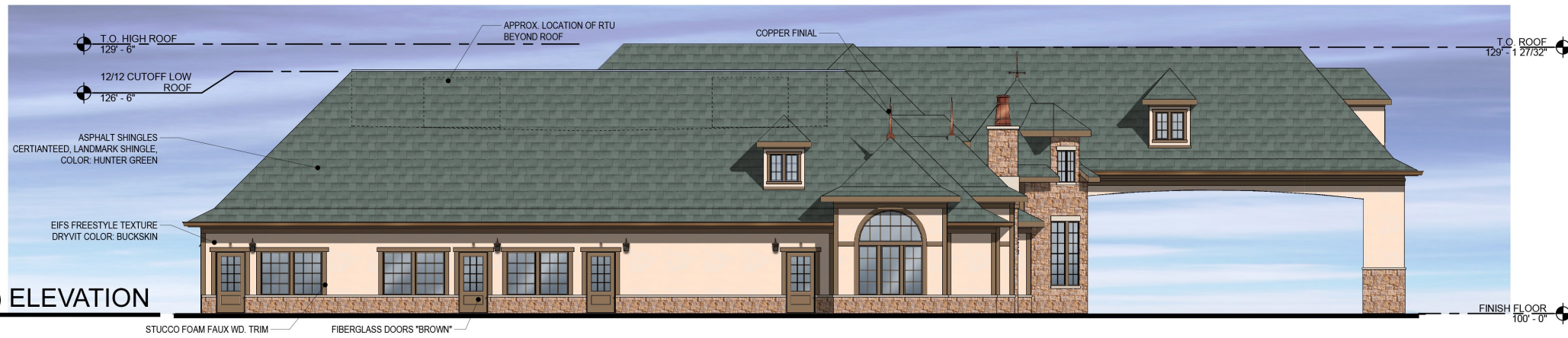
**FRONT (WEST) ELEVATION**



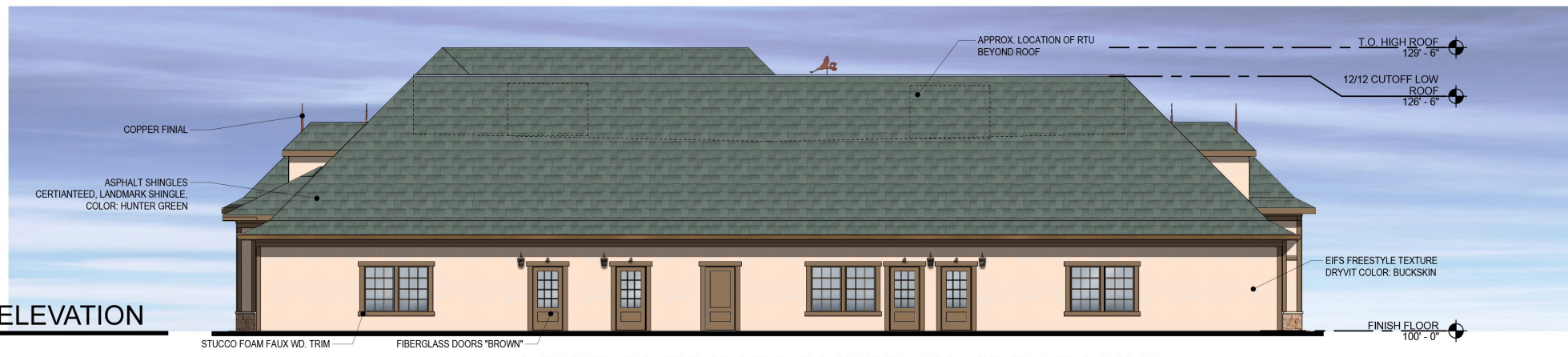
**SIDE (SOUTH) ELEVATION**



**SIDE (NORTH) ELEVATION**



**REAR (EAST) ELEVATION**



**LITTLE SUNSHINE'S PLAYHOUSE**

CHESTERFIELD,  
17-117

MISSOURI  
10.15.18







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BUILDING PERSPECTIVE

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## LITTLE SUNSHINE'S PLAYHOUSE

CHESTERFIELD,  
17-117

MISSOURI  
10.15.18



**LEGEND**

EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING STORM SEWER	---
PROPOSED STORM SEWER	---
EXISTING SANITARY SEWER	---
PROPOSED SANITARY SEWER	---
RIGHT-OF-WAY	---
EASEMENT	---
CENTERLINE	---
EXISTING TREE	---
EXISTING SPOT ELEVATION	---
PROPOSED SPOT ELEVATION	---
SWALE	---
TO BE REMOVED	---
TO BE REMOVED & RELOCATED	---
TO BE USED IN PLACE	---
ADJUST TO GRADE	---
BACK OF CURB	---
FACE OF CURB	---
WATER MAIN	---
GAS MAIN	---
UNDERGROUND TELEPHONE	---
OVERHEAD WIRE	---
UNDERGROUND ELECTRIC	---
SILTATION CONTROL	---
FIRE HYDRANT	---
POWER POLE	---
WATER VALVE	---
LIGHT STANDARD	---

**SYMBOLS ABBREVIATIONS**

WV	WATER VALVE	N	NORTH
WMH	WATER MANHOLE	S	SOUTH
TMH	TELEPHONE MANHOLE	E	EAST
BSH	BRUSH & SHRUB LINE	W	WEST
CONC	CONCRETE	CG	CORNER
ASPH	ASPHALT	PB	PLAT BOOK
DEED	DEED BOOK	SB	SECTION BOOK
PG	PAGE	AC	ACRES
AC	ACRES	ELEV	ELEVATION
FINISH	FINISH FLOOR	FL	FLOWLINE
CHLORIDE	CHLORIDE PIPE	PC	PLANNED COMMERCIAL
REINFORCED	REINFORCED CONCRETE PIPE	RC	REINFORCED CONCRETE
STORM	STORM	ST	STORM
SAN	SANITARY	SAN	SANITARY
SAVE	SAVE	(S)	SAVE
REMOVE	REMOVE	(R)	REMOVE

**NOTE:**  
CIVIL ENGINEERING DESIGN CONSULTANTS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS, METHODS & MATERIALS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. CIVIL ENGINEERING DESIGN CONSULTANTS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

**UTILITY NOTE:**  
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 219 RSMo.

**NOTE TO CONTRACTOR:**  
CONTRACTOR/SUBCONTRACTOR SHALL INVESTIGATE, ASCERTAIN AND CONFORM TO ANY AND ALL PERMIT REQUIREMENTS OF THE (ANY) VARIOUS AFFECTED UTILITY COMPANIES AND/OR REGULATORY AGENCIES WITH REGARDS TO MAKING CONNECTIONS TO, OR CROSSINGS OF THEIR FACILITIES, WORKING WITHIN THEIR RIGHT-OF-WAY OR EASEMENTS, INSPECTIONS AND ASSOCIATED MONETARY CHARGES; AND/OR SPECIAL BACKFILL REQUIREMENTS, SUCH INVESTIGATION TO INCLUDE BUT NOT LIMITED TO THE MAKING OF NECESSARY APPLICATIONS AND PAYMENTS OF ALL REQUIRED FEES.

THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS OR PROFILES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/SUBCONTRACTOR TO VERIFY THE FIELD LOCATIONS, ANTICIPATED CLEARANCES AND THE EXISTENCE OF ANY FACILITIES NOT SHOWN HEREON, AS PART OF THE INVESTIGATIONS IN THE PARAGRAPH ABOVE.

**SURVEYORS NOTES OF INTEREST**

Right of Way Dedication, Temporary Slope & Construction License, Stormwater & Utility Easement to the City of Chesterfield per condemnation suit cause #000003084 according to notice of payment of condemnation award 0812841, PG.777 is not listed in Title Commitment.

**SURVEYOR'S CERTIFICATION**

This is to certify that this Plot is a correct representation of all existing and proposed land divisions.

Marler Surveying Company, Inc.  
MISSOURI CORP. NO. LS. 347-D

Marty L. Marler, R.L.S.

**PREPARED FOR:**

**BUTTRY & BROWN DEVELOPMENT, LLC**  
2040 Tennyson Parkway  
Plano, Texas 75024  
Ph: 214.296.4989  
Mobil: 214.315.3844  
Attn: Steve Buttry  
SButtry@Buttry-Brown.com

**PREPARED BY:**

**CEDC**  
10820 Sunset Office Drive  
Suite 200  
St. Louis, Missouri 63127  
314.729.1400  
Fax: 314.729.1404  
www.cedc.net

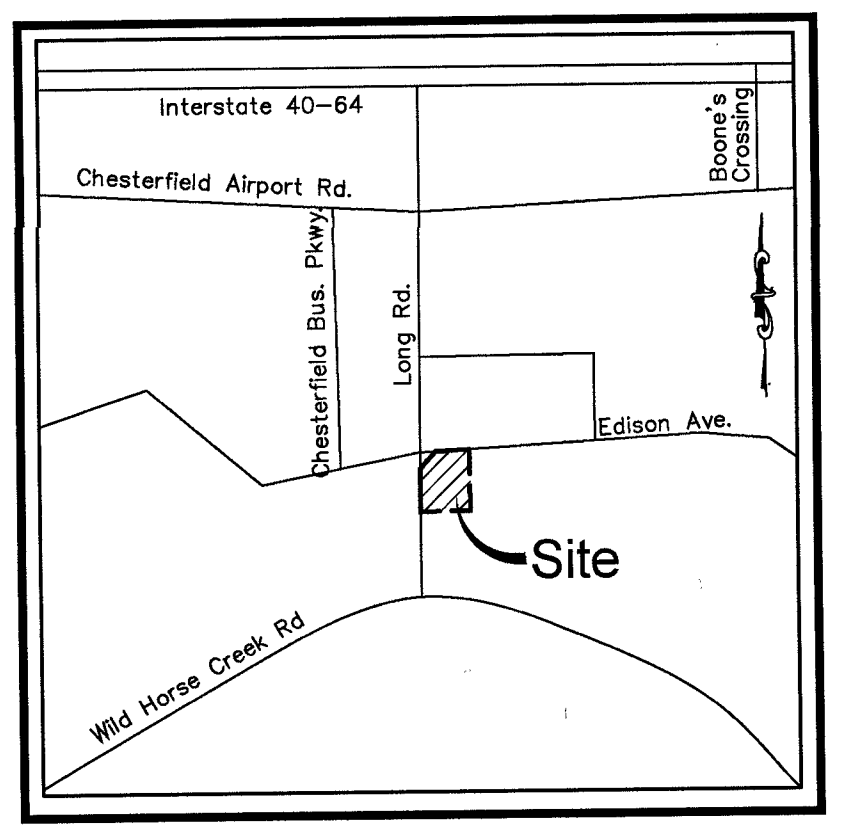
# SITE DEVELOPMENT SECTION PLAN

## for

# LITTLE SUNSHINE PLAYHOUSE & PRESCHOOL

LOT 1 AND 2 OF EDISON CROSSING LOT SPLIT, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 358, PAGE 138 OF THE ST. LOUIS COUNTY MISSOURI, RECORDS IN ST. LOUIS COUNTY, MISSOURI

LOT 1 AND PART OF LOT 2 OF EDISON CROSSING LOT SPLIT AS RECORDED IN PLAT BOOK 358 PAGES 138 AND 139 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS AS FOLLOWS:  
BEGINNING AT THE WESTERN MOST CORNER COMMON TO SAID LOTS 1 AND 2 OF EDISON CROSSING LOT SPLIT ON THE EAST LINE OF LONG ROAD;  
THENCE ALONG SAID EAST LINE OF LONG ROAD NORTH 01 DEGREES 25 MINUTES 57 SECONDS EAST A DISTANCE OF 124.45 FEET;  
THENCE DEPARTING SAID EAST LINE OF LONG ROAD NORTH 44 DEGREES 45 MINUTES 45 SECONDS EAST A DISTANCE OF 150.63 FEET TO THE SOUTH LINE EDISON AVENUE;  
THENCE ALONG SAID SOUTH LINE EDISON AVENUE SOUTH 88 DEGREES 34 MINUTES 33 SECONDS EAST A DISTANCE OF 157.06 FEET;  
THENCE DEPARTING SAID SOUTH LINE EDISON AVENUE SOUTH 01 DEGREES 25 MINUTES 27 SECONDS WEST A DISTANCE OF 234.01 FEET;  
THENCE NORTH 88 DEGREES 34 MINUTES 33 SECONDS WEST A DISTANCE OF 260.46 FEET TO THE POINT OF BEGINNING AND HAVING AN AREA OF 55,284 SQUARE FEET OR 1.27 ACRES, MORE OR LESS.



**LOCATION MAP**

**PROPERTY DATA**

OWNER = LONG EDISON LLC  
ADDRESS = 17590 EDISON AVENUE  
LOCATOR NO. = 17U120287  
ACREAGE = 55,284 S.F. OR 1.27± AC  
ZONING = PC (PLANNED COMMERCIAL) ORDINANCE #3018  
FIRE DISTRICT = MONARCH FIRE PROTECTION DISTRICT  
SCHOOL DISTRICT = ROCKWOOD  
WATER SHED = MISSOURI RIVER  
FEMA MAP = 29189c0165 K  
ELECTRIC COMPANY = AMEREN UE  
PHONE COMPANY = SOUTHWESTERN BELL TELEPHONE  
WATER COMPANY = MISSOURI AMERICAN WATER COMPANY

**PROJECT BENCHMARK**

NAVD88 Elev. 461.25' - Found Iron Rod at the northwest corner of subject lot at the intersection of Long Road and Edison Avenue, as shown on survey.

**LEGAL DESCRIPTION**

Lot 1 (Adjusted) = Lot 1 and part of Lot 2 of Edison Crossing Lot Split as recorded in Plat Book 358 Pages 138 and 139 of the St. Louis County Missouri records and described as follows:  
Beginning at the Western most corner common to said Lots 1 and 2 of Edison Crossing Lot Split on the East line of Long Road;  
Thence along said East line of Long Road North 01 Degrees 25 Minutes 57 Seconds East a distance of 124.45 feet;  
Thence departing said East line of Long Road North 44 Degrees 45 Minutes 45 Seconds East a distance of 150.63 feet to the South line Edison Avenue;  
Thence along said South line Edison Avenue South 88 Degrees 34 Minutes 33 Seconds East a distance of 157.06 feet;  
Thence departing said South line Edison Avenue South 01 Degrees 25 Minutes 27 Seconds West a distance of 234.01 feet;  
Thence North 88 Degrees 34 Minutes 33 Seconds West a distance of 260.46 feet to the point of beginning and having an area of 55,284 square feet or 1.27 acres, more or less.

**FLOOD ZONE NOTES**

By graphic plotting only, this property does lie within special flood zone areas according to the flood insurance rate map panel number 29189C0165K and community number 290986 (City of Chesterfield) which bears an effective date of February 4, 2015. The property lies within shaded zone X (Areas of 0.2% annual chance flood, areas of 1% annual chance flood with average depths of annual chance flood areas less than 1 square mile, and areas less than 1 foot or with drainage areas less than 1 square mile, and areas protected by levees from 1% annual chance flood) and Zone AH (Flood depths protected by levees from 1% annual chance flood; Base flood elevations determined, 1 to 3 feet (usually areas of ponding); Base flood elevations determined).

**SHEET INDEX**

C01 TITLE SHEET  
C02 SITE PLAN

**UTILITIES/AGENCIES**

**ELECTRIC COMPANY** = AMEREN - ELLISVILLE DISTRICT  
280 OLD STATE ROAD  
ELLISVILLE, MO 63021  
PH. (314) 992-8844  
CONTACT: MR. MIKE TREACY

**PHONE COMPANY** = AT&T  
12801 MANCHESTER ROAD  
DES PERES, MO 63131  
PH. (314) 288-1278  
CONTACT: ENGINEERING

**GAS COMPANY** = SPIRE  
700 MARKET STREET  
ST. LOUIS, MO 63101  
PH. (314) 659-8423  
CONTACT: ENGINEERING

**WATER COMPANY** = MISSOURI AMERICAN WATER COMPANY  
1600 RESEARCH BLVD.  
ST. LOUIS, MO 63132  
PH. (314) 996-2247  
CONTACT: DAVID PARKOS

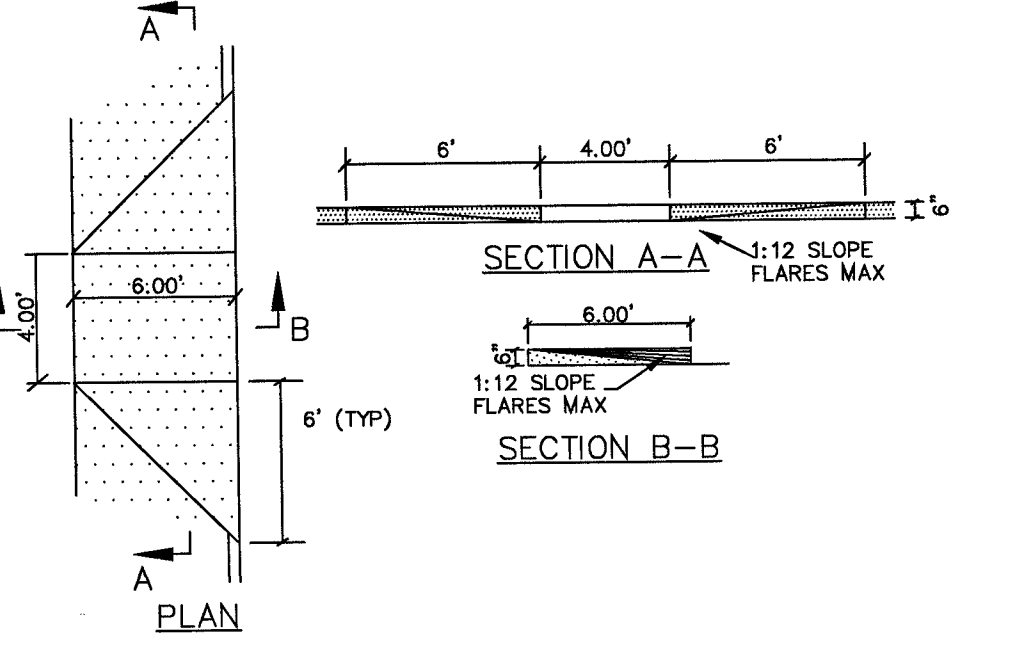
**CABLE TELEVISION** = CHARTER COMMUNICATIONS  
101 NORTHWEST PLAZA DRIVE  
ST. ANI, MO 63074  
PH. (314) 814-0900  
AT&T: ENGINEERING

**FIRE DISTRICT** = MONARCH FIRE PROTECTION DISTRICT  
12726 GRIFFIN BLVD.  
CHESTERFIELD, MO 63017  
PH. (314) 814-0900  
AT&T: FIRE MARSHAL ROGER N. HERN

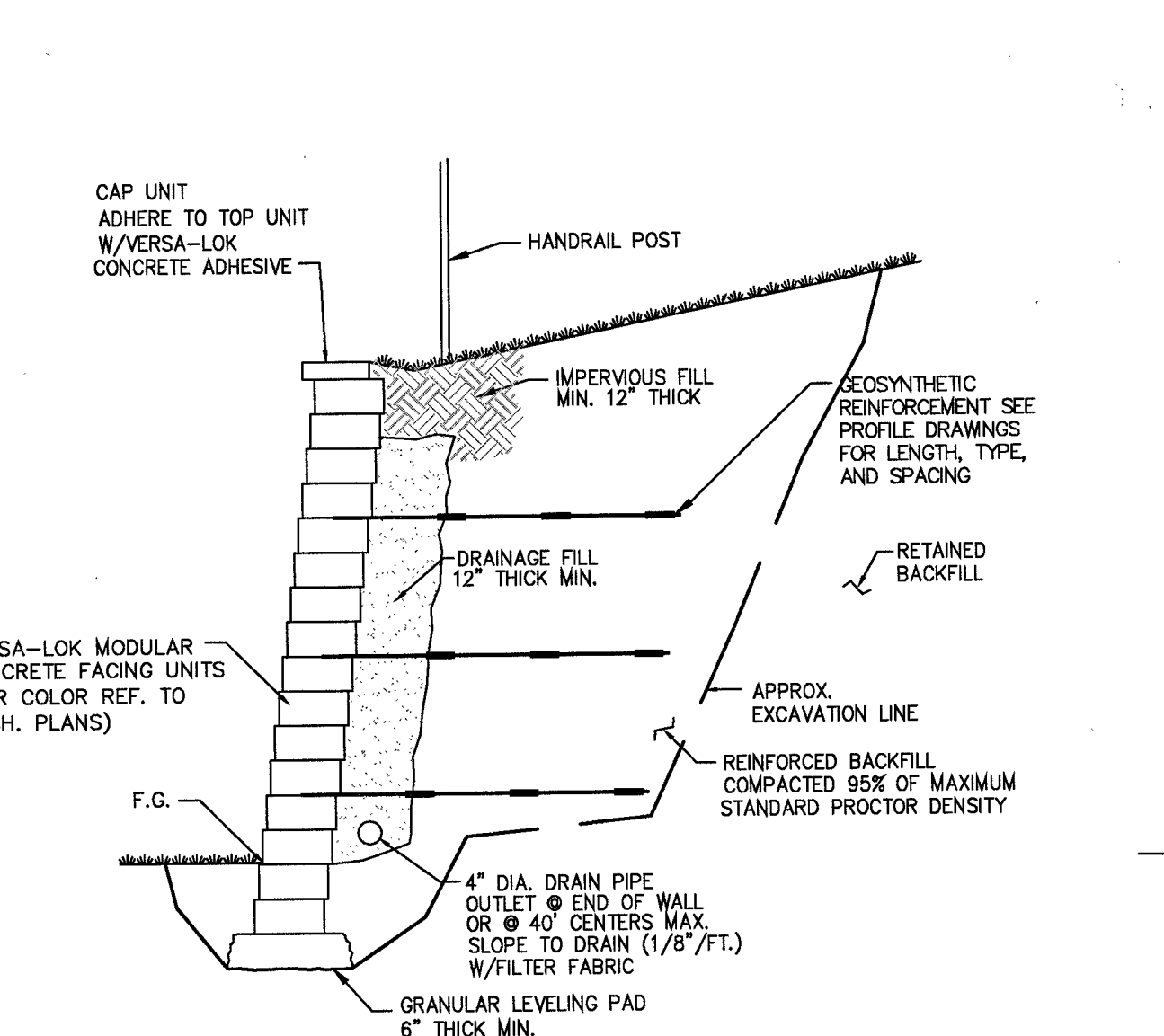
**GEOTECHNICAL ENGINEER'S STATEMENT**

This plan has been reviewed by the undersigned for professional opinion that earth slopes and grades constructed in accordance with the plans and specifications will be stable with an adequate factor of safety. The contractor must be involved during the construction phase to determine that subsurface conditions are as anticipated and that recommendations relative to construction are implemented.

DANIEL BARZKOWSKI, P.E.  
E-1000



**ACCESSIBLE RAMP DETAIL**



**TYPICAL SECTION-REINFORCED RETAINING WALL**

MODULAR CONCRETE UNIT  
SCALE: NONE

NOTES:  
1) REFER TO THIS DRAWING FOR WALL PROFILE AND HEIGHT ONLY. DESIGN OF WALL SHALL BE BY OTHERS.  
2) TYPE OF WALL TO BE OBTAINED BY OWNER AND ARCHITECT. FINISH, TYPE, COLOR, STYLE, ETC. TO BE COORDINATED WITH ARCHITECT.  
3) STRUCTURAL CALCULATIONS TO BE PROVIDED BY WALL MANUFACTURER OR STRUCTURAL ENGINEER. PERMITS FOR WALL TO BE OBTAINED BY CONTRACTOR.  
4) THE WALL MANUFACTURER SHALL OBTAIN A COPY OF THE GEOTECHNICAL REPORT IF ONE HAS BEEN PREPARED FOR THIS PROJECT AND COMPLY WITH THE REQUIREMENTS OUTLINED IN REPORT.  
5) HORIZONTAL LOCATION OF BASE OF WALL IS SUBJECT TO FINAL WALL DESIGN AND WALL BATTER.  
6) CONTRACTOR TO ACCOUNT FOR WALL BATTER WHEN STAKING OUT WALL AND BUILDING WALL.

- ALL UTILITIES SHOWN ARE LOCATED BY AVAILABLE RECORDS. THEIR LOCATION SHALL BE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM.
- ALL ELEVATIONS ARE BASED ON M.S.D. BENCHMARK
- BOUNDARY AND TOPOGRAPHIC SURVEY BY MARLER SURVEYING CO.
- ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE DIRECTOR OF PUBLIC WORKS FOR THE CITY OF CHESTERFIELD.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY THE CITY OF CHESTERFIELD.
- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES SHALL BE INSTALLED AS DIRECTED BY THE CITY OF CHESTERFIELD.
- ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL, AND DEBRIS.
- GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- GRADING & STORM WATER PER M.S.D. STANDARD SPECIFICATIONS AND THE CITY OF CHESTERFIELD STANDARDS.
- DRIVE ENTRANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CHESTERFIELD.
- SEEDING, SODDING, MULCHING AND PLANTINGS FOR ALL DISTURBED AREAS SHALL BE SPECIFIED ON THE LANDSCAPE PLAN.
- SIDEWALKS ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1% (20:1). SLOPES GREATER THAN 1% (20:1) MUST BE DESIGNED AS A RAMP.
- SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ADAAG GUIDELINES AND THE INFORMATION ON THESE PLANS, THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY DOES LIE WITHIN SPECIAL FLOOD ZONE AREAS ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL NUMBER 29189C0165K AND COMMUNITY NUMBER 290986 (CITY OF CHESTERFIELD) WHICH BEARS AN EFFECTIVE DATE OF FEBRUARY 4, 2015. THE PROPERTY LIES WITHIN SHADDED ZONE X (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) AND ZONE AH (FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY AREAS OF PONDING); BASE FLOOD ELEVATIONS DETERMINED).
- NO ON-SITE ILLUMINATION SOURCE SHALL BE SO SITUATED THAT LIGHT IS CAST DIRECTLY ON ADJOINING PROPERTIES OR PUBLIC ROADWAYS. ILLUMINATION LEVELS SHALL COMPLY WITH THE PROVISIONS OF SECTION 31.04.03 OF THE UNIFIED DEVELOPMENT CODE.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNAGE. SIGN APPROVAL IS A SEPARATE PROCESS.
- ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND
- ROOF TOP EQUIPMENT SHALL BE SCREENED
- THIS DEVELOPMENT SHALL CONFORM TO MSD REQUIREMENTS FOR WATER QUALITY, IF APPLICABLE.
- NO CONSTRUCTION RELATED PARKING SHALL BE PERMITTED WITHIN THE RIGHT-OF-WAY OF EDISON OR LONG ROAD
- ALL PROVISIONS OF THE CITY CODE SHALL APPLY.
- STRUCTURE SETBACKS (PER ORDINANCE NO. 3018)  
NO BUILDING OR STRUCTURE, OTHER THAN: A FREE-STANDING PROJECT IDENTIFICATION SIGN, LIGHT STANDARDS, FLAG POLES WILL BE LOCATED WITHIN THE FOLLOWING SETBACKS:  
a. FIFTY (50) FEET FROM THE R.O.W. OF EDISON AVENUE.  
b. EIGHTY (80) FEET FROM ANY PROPERTY LINE ADJOINING PROPERTY IN THE "NU" NON-URBAN, "PS" PARK AND SCENIC, OR ANY "R" RESIDENCE DISTRICT, IN ADDITION TO THE MINIMUM TWENTY-FIVE (25) FEET, ANY STRUCTURE EXCEEDING THIRTY (30) FEET IN HEIGHT WHICH ADJOINS PROPERTY IN THE "NU" NON-URBAN, "PS" PARK AND SCENIC, OR ANY "R" RESIDENCE DISTRICT SHALL BE SET BACK AN ADDITIONAL ONE (1) FOOT FOR EVERY TWO (2) FEET IN HEIGHT ABOVE THIRTY (30) FEET.  
c. TEN (10) FEET FROM ALL INTERNAL LOT LINES.
- PARKING SETBACKS (PER ORDINANCE NO. 3018)  
NO PARKING SHALL BE LOCATED WITHIN THE FOLLOWING SETBACKS:  
a. FIFTEEN (15) FEET FROM THE R.O.W. OF EDISON AVENUE.  
b. FIFTEEN (15) FEET FROM THE R.O.W. OF LONG ROAD.  
c. TWENTY-FIVE (25) FEET FROM ANY PROPERTY LINE ADJOINING PROPERTY IN THE "NU" NON-URBAN, "PS" PARK AND SCENIC, OR ANY "R" RESIDENCE DISTRICT, IN ADDITION TO THE MINIMUM TWENTY-FIVE (25) FEET, ANY STRUCTURE EXCEEDING THIRTY (30) FEET IN HEIGHT WHICH ADJOINS PROPERTY IN THE "NU" NON-URBAN, "PS" PARK AND SCENIC, OR ANY "R" RESIDENCE DISTRICT SHALL BE SET BACK AN ADDITIONAL ONE (1) FOOT FOR EVERY TWO (2) FEET IN HEIGHT ABOVE THIRTY (30) FEET.

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a. FIFTEEN (15) FEET FROM THE R.O.W. OF EDISON AVENUE.  
b. FIFTEEN (15) FEET FROM THE R.O.W. OF LONG ROAD.  
c. TWENTY-FIVE (25) FEET FROM ANY PROPERTY LINE ADJOINING PROPERTY IN THE "NU" NON-URBAN, "PS" PARK AND SCENIC, OR ANY "R" RESIDENCE DISTRICT, IN ADDITION TO THE MINIMUM TWENTY-FIVE (25) FEET, ANY STRUCTURE EXCEEDING THIRTY (30) FEET IN HEIGHT WHICH ADJOINS PROPERTY IN THE "NU" NON-URBAN, "PS" PARK AND SCENIC, OR ANY "R" RESIDENCE DISTRICT SHALL BE SET BACK AN ADDITIONAL ONE (1) FOOT FOR EVERY TWO (2) FEET IN HEIGHT ABOVE THIRTY (30) FEET.

**26) PARKING CALCULATIONS (PER "PC" PLANNED COMMERCIAL DISTRICT REGULATIONS)**

REQUIRED PARKING:  
MINIMUM REQUIRED = 3 SPACES PER 1,000 G.F.A. = 30 SPACES (MINIMUM)  
3,071,000 x 9,700

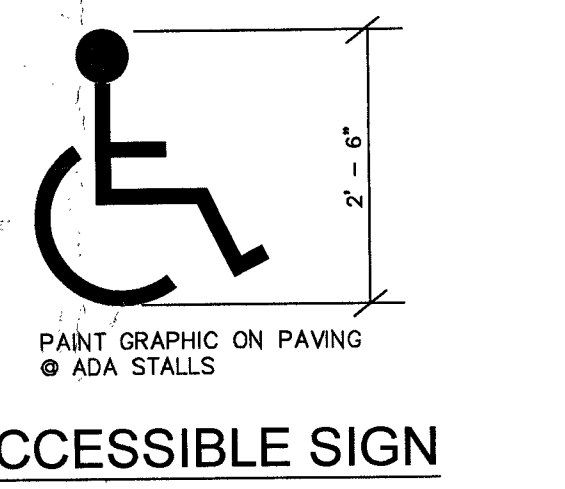
MAXIMUM ALLOWED = 4 SPACES PER 1,000 G.F.A. = 39 SPACES (MAXIMUM)  
4,071,000 x 9,700

PARKING PROVIDED = 35 SPACES

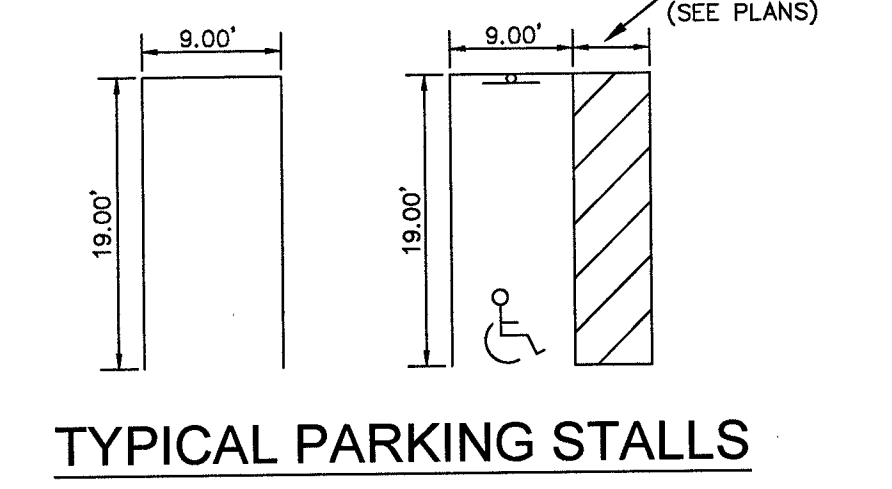
**27) FLOOR AREA RATIO (FAR) CALCULATION (PER "PC" PLANNED COMMERCIAL DISTRICT REGULATIONS)**  
MAXIMUM FLOOR AREA RATIO IS 0.55  
F.A.R. = 9,200 s.f. (bldg) / 18,000 s.f. (site) = 0.51

**28) OPEN SPACE (PER "PC" PLANNED COMMERCIAL DISTRICT REGULATIONS)**  
COMMON OPEN SPACE SHALL BE A MINIMUM OF THIRTY-FIVE PERCENT (35%) OF THE TOTAL SITE ACRES. OPEN SPACE SPECIFICALLY EXCLUDES ANY PORTION OF A SITE COVERED BY A BUILDING, ANY PAVED AREA FOR VEHICULAR CIRCULATION OR PARKING AND ANY OUTDOOR STORAGE AREAS.  
OPEN SPACE: 27,223 s.f. x 100 = 49%  
55,284 s.f. total site

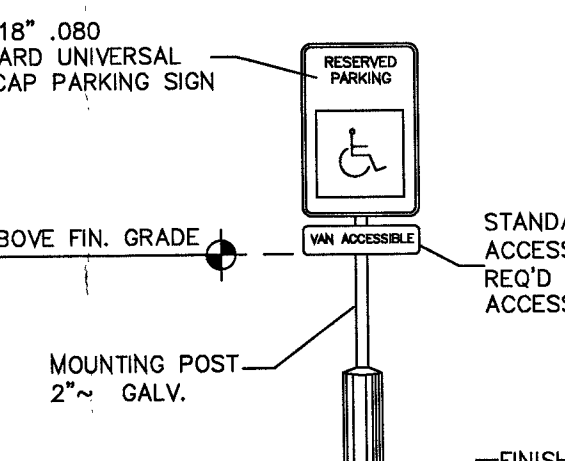
**29) A LANDSCAPE INSTALLATION AGREEMENT AND SURETY WILL BE REQUIRED PER THE UNIFIED DEVELOPMENT CODE.**



**ACCESSIBLE SIGN**



**TYPICAL PARKING STALLS**



**ACCESSIBLE PARKING SIGN**

NOTE:  
The underground utilities have been plotted from available sources and their locations must be considered approximate only. The verification of the actual locations of all underground utilities, either shown or not shown on this drawing, shall be the responsibility of the contractor and shall be located prior to grading or construction of improvements.  
MISSOURI ONE CALL TICKET NUMBER 180470865, 180470866, 180170866

Call BEFORE you DIG  
TOLL FREE  
1-800-DIG-RITE  
MISSOURI ONE-CALL SYSTEM, INC.

RECEIVED  
NOV 06 2018  
City of Chesterfield  
Department of Public Works

MSD Project Number: 18MSD-00479  
Base Map #: 17U

10820 Sunset Office Drive  
Suite 200  
St. Louis, Missouri 63127  
314.729.1400  
Fax: 314.729.1404  
www.cedc.net

**CEDC**  
CIVIL ENGINEERING  
DESIGN CONSULTANTS

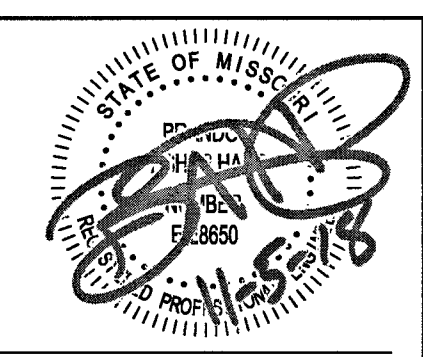
Site Improvement Plans for  
**LITTLE SUNSHINE PLAYHOUSE & PRESCHOOL**  
17634 & 17690 Edison Avenue  
Chesterfield, Missouri

Proj. #	1777
No. Description	Date
To City	09/14/18
To City	10/17/18
To City	11/05/18

TITLE SHEET	
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**C01**





10820 Sunset Office Drive  
 Suite 200  
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**CEDC**  
 CIVIL ENGINEERING  
 DESIGN CONSULTANTS

Site Improvement Plans for  
**LITTLE SUNSHINE PLAYHOUSE & PRESCHOOL**  
 17634 & 17690 Edison Avenue  
 Chesterfield, Missouri

No.	Description	Date
1	To City	09/14/18
2	To City	10/17/18
3	To City	11/05/18

SITE DEVELOPMENT SECTION PLAN

C02

MSD Project Number: 18MSD-00479  
 Base Map: 1707

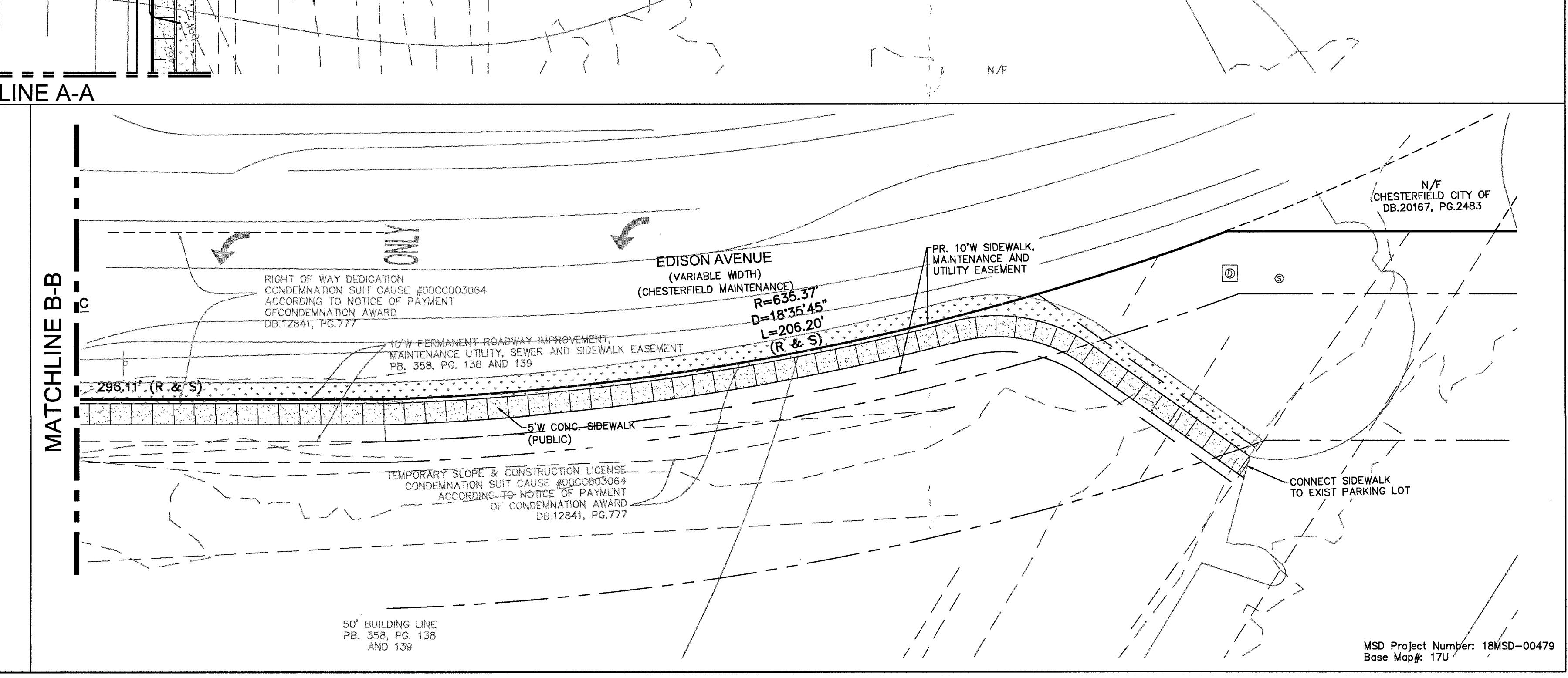
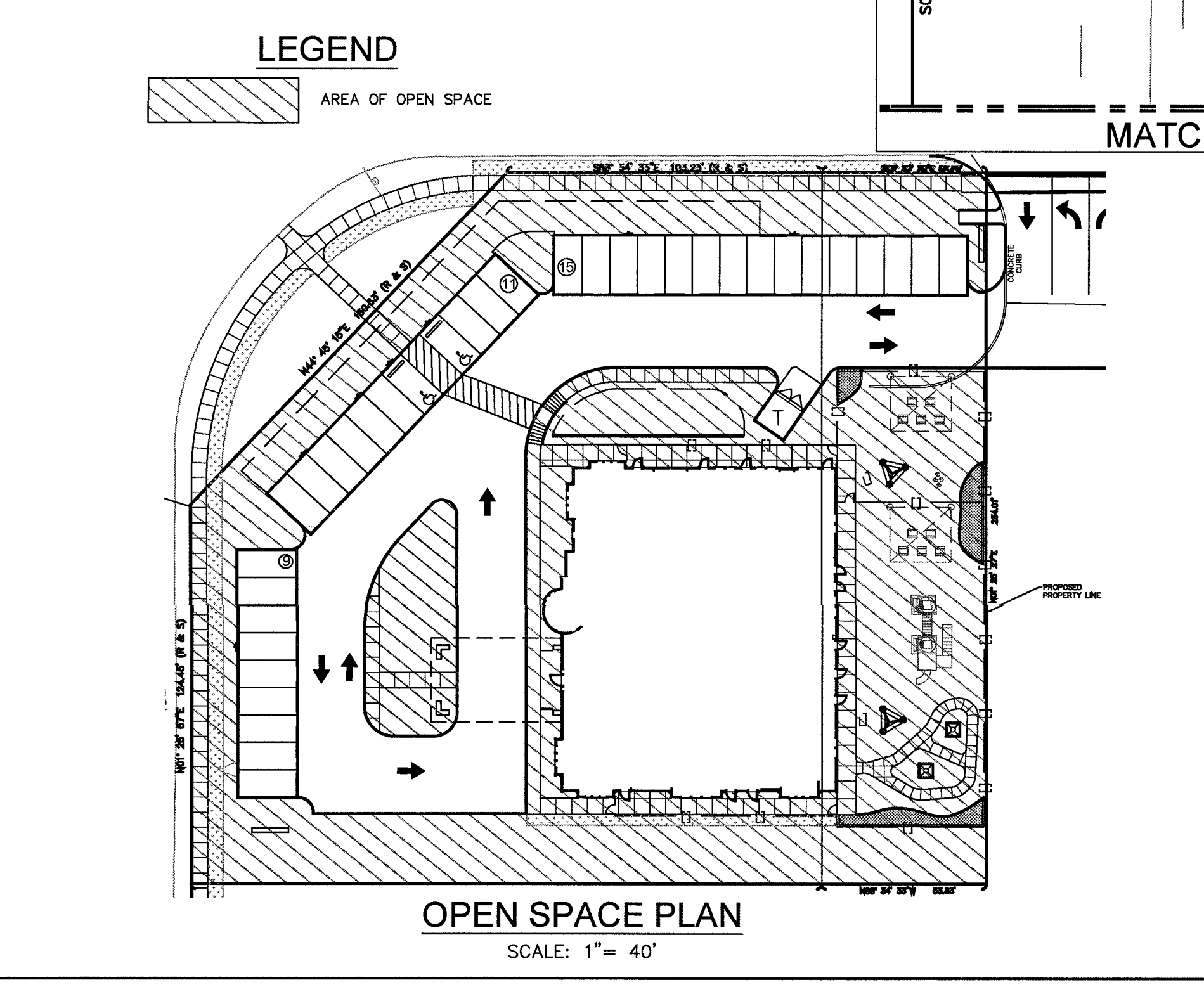
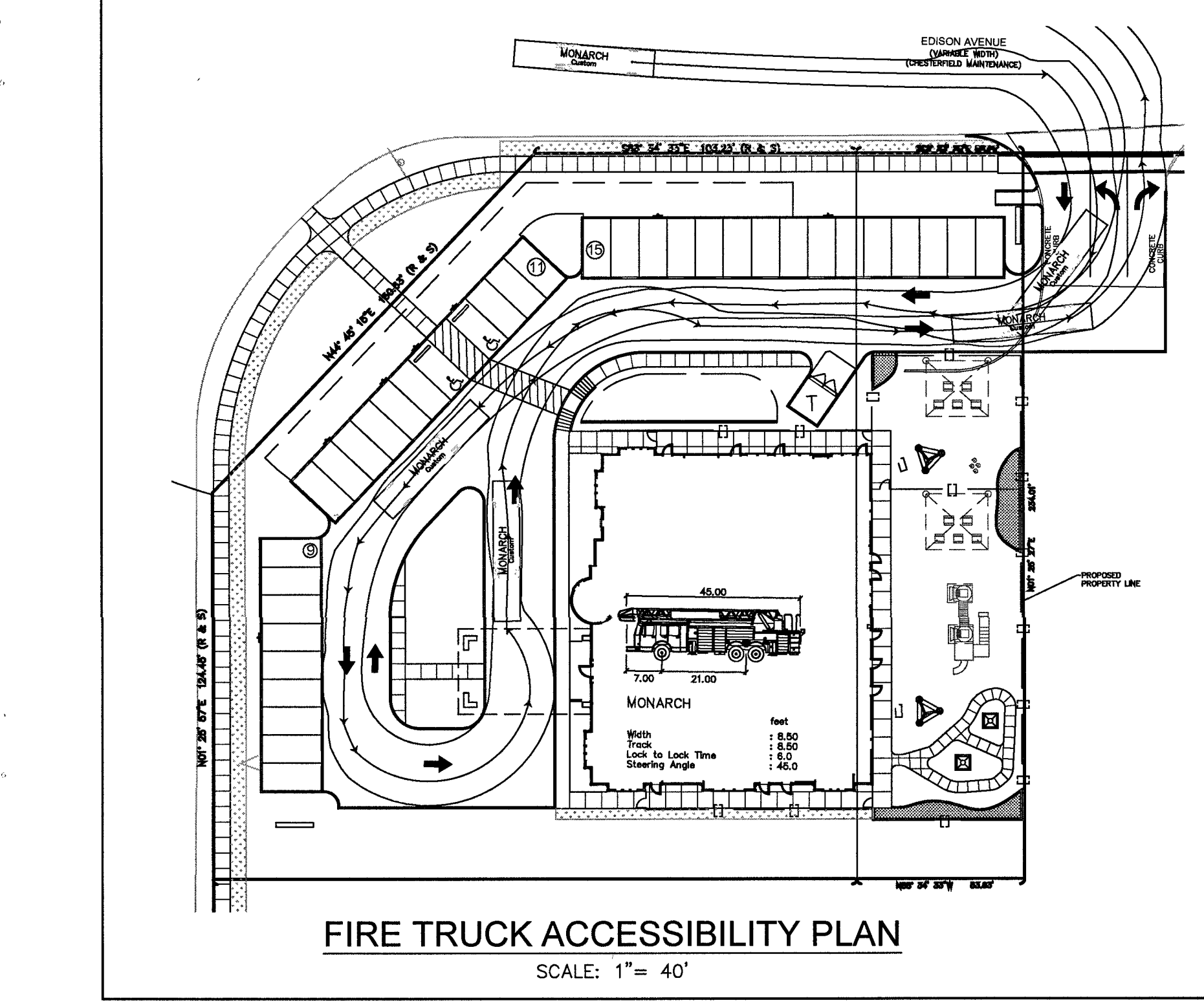
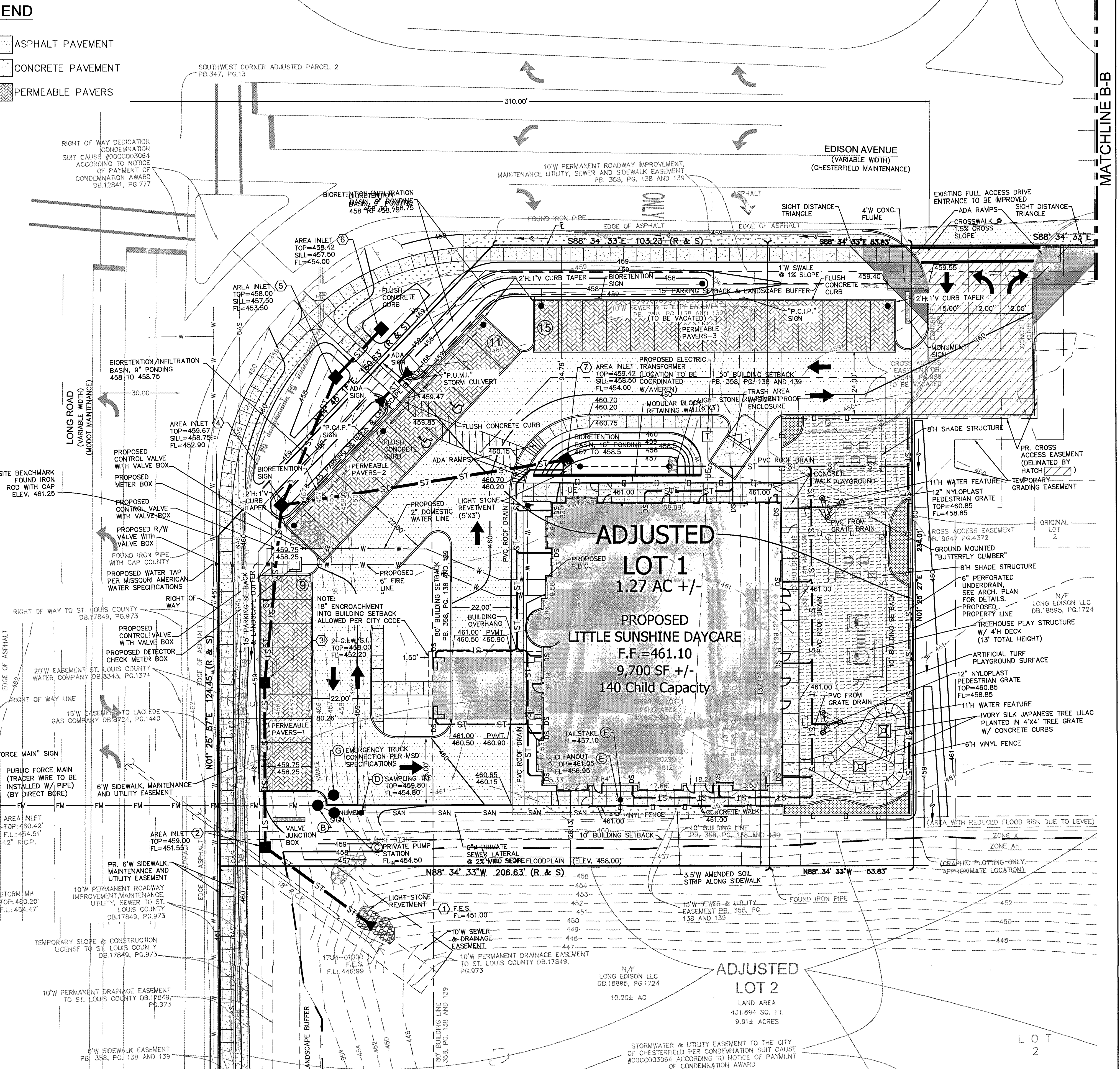
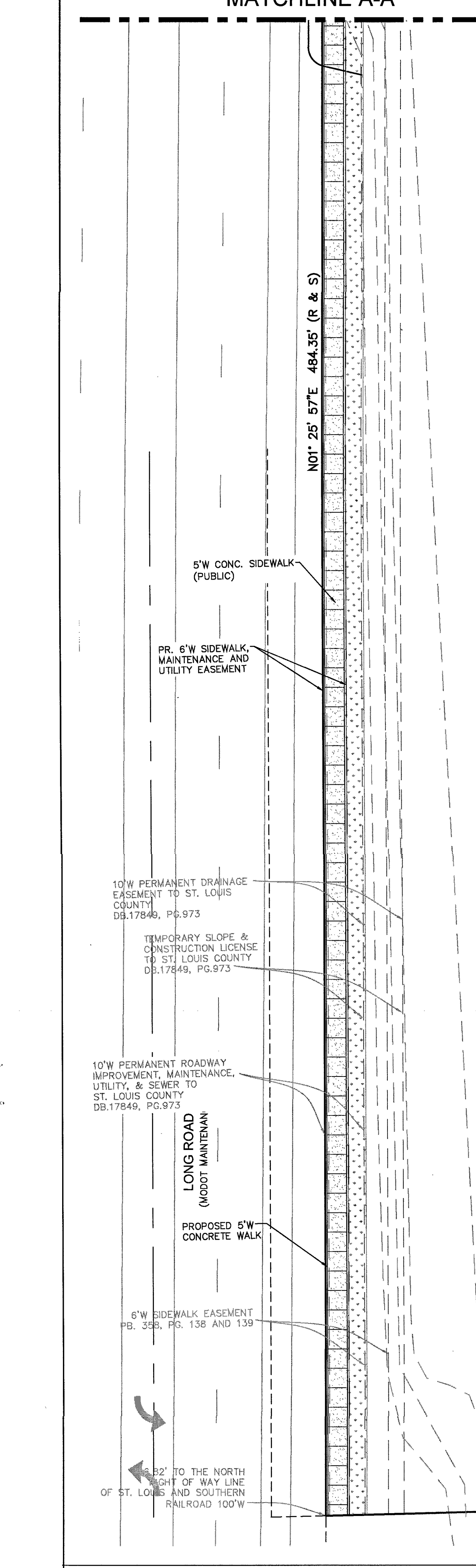
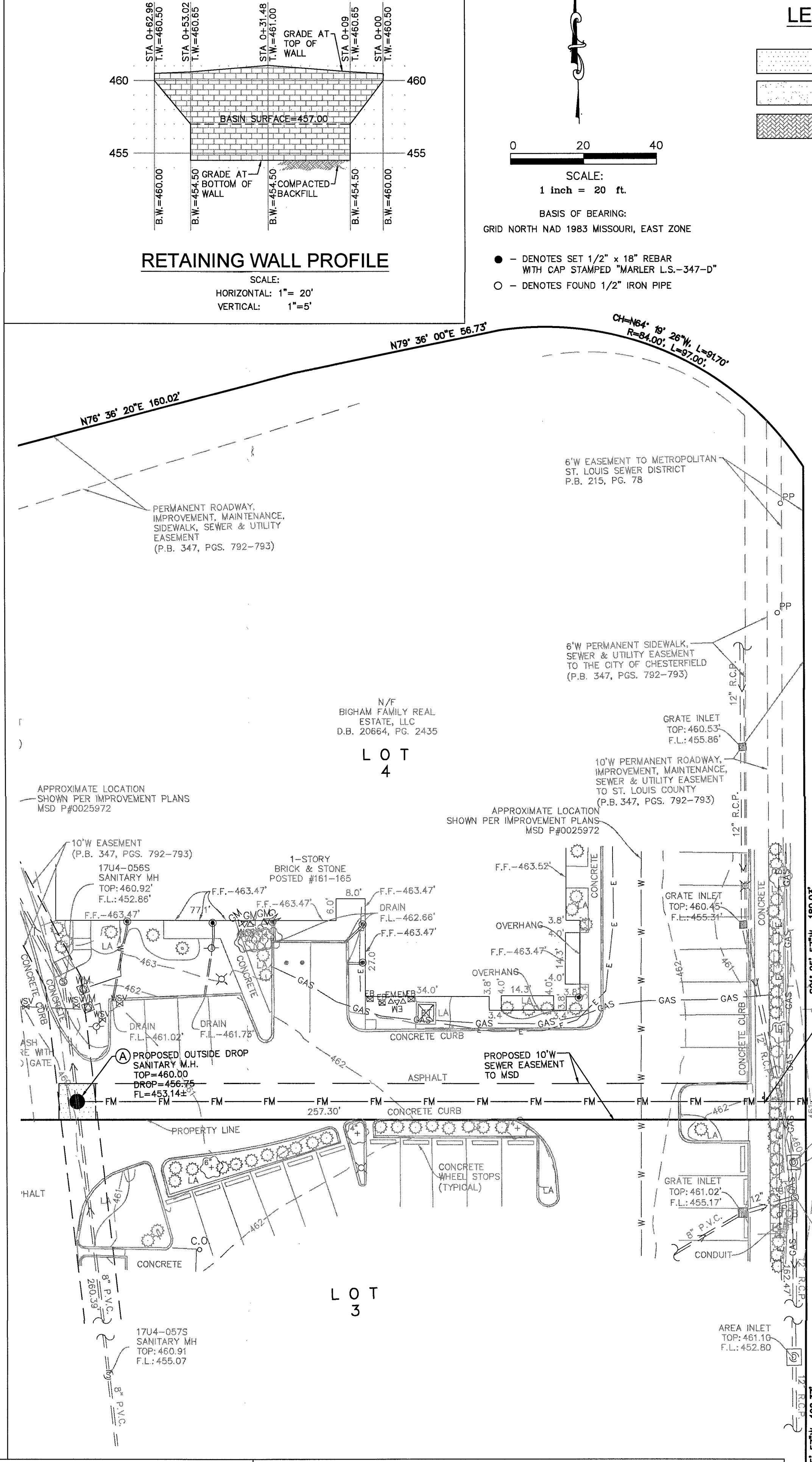
**LEGEND**

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PERMEABLE PAVERS

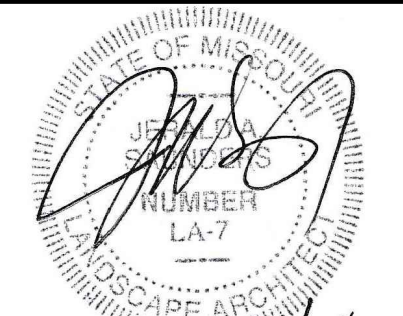
SCALE: 1 inch = 20 ft.  
 BASIS OF BEARING:  
 GRID NORTH NAD 1983 MISSOURI, EAST ZONE

**RETAINING WALL PROFILE**

SCALE:  
 HORIZONTAL: 1" = 20'  
 VERTICAL: 1" = 5'



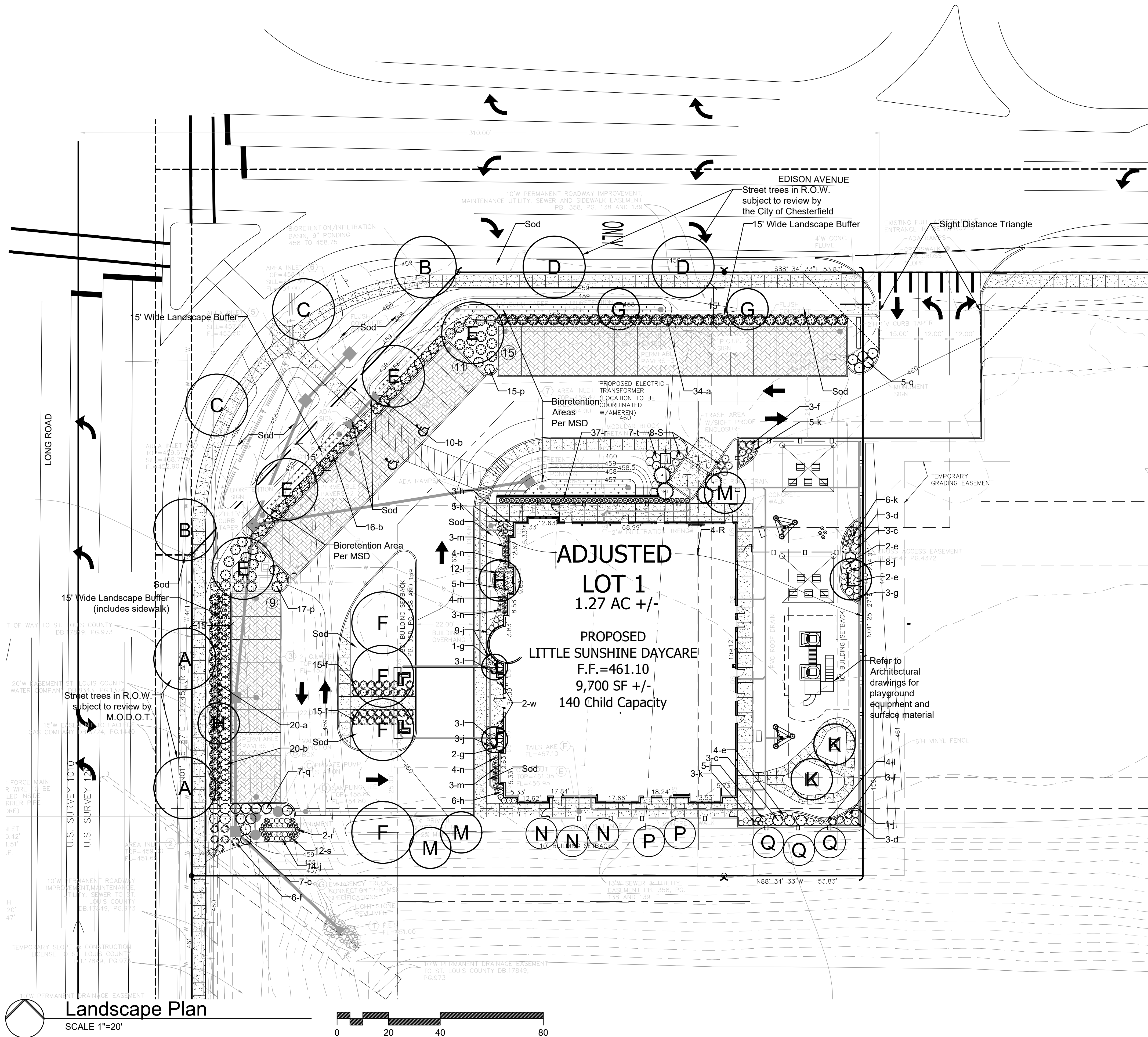




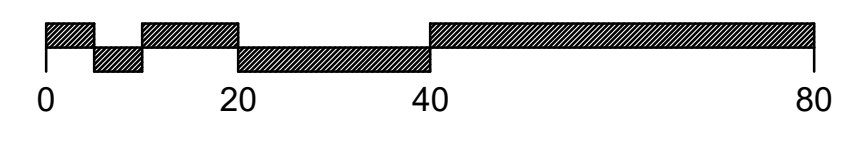
Jerald Saunders, Landscape Architect  
MO License # LA-688

Consultants:

PLANTING SCHEDULE									
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SIZE/GROWTH RATE	ILCOWMEDIAT BROWTH RATE		
<b>CANOPY-SHADE TREES</b>									
A	2	Acer x freemanii 'Armstrong'	Armstrong Maple	2.5" cal	B&B	Lg/Fast			
B	2	Acer x freemanii 'Jeffersred' Autumn Blaze	Autumn Blaze Red Maple	2.5" cal	B&B	Lg/Fast			
C	2	Acer rubrum 'Franksred' Red Sunset	Red Sunset Maple	2.5" cal	B&B	Lg/Fast			
D	2	Acer rubrum 'October Glory'	October Glory Red Maple	2.5" cal	B&B	Lg/Fast			
E	4	Quercus bicolor	Swamp White Oak	2.5" cal	B&B	Lg/Med	8.3%		
F	4	Gleditsia triacanthos f. inermis 'Skycole'	Skyline Honeylocust	2.5" cal	B&B	Lg/Fast			
<b>UNDERSTORY-ORNAMENTAL TREES</b>									
G	2	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	2.5" cal	B&B	Med/Fast			
H	2	Amelanchier arborea	Downy Serviceberry	2.5" cal	B&B	Med/Slow-M	4.1%		
J	2	Prunus cerasifera 'Cripoizam'	Crimson Pointe Plum	2.5" cal	B&B	Small/Med	4.1%		
K	2	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2.5" cal	B&B	Small/Med	4.1%		
L	1	Magnolia 'Butterflies'	Butterflies Magnolia (Cucumber Tree hybrid)	2.5" cal	B&B	Small/Med	2%		
M	3	Chionanthus virginicus	Fringe Tree	2.5" cal	B&B	Small/Med	6.2%		
<b>EVERGREEN TREES</b>									
N	3	Picea abies	Norway Spruce	6' h.	B&B	Med/Med	6.2%		
P	2	Picea pungens	Colorado Blue Spruce	6' h.	B&B	Med/Med	4.1%		
Q	3	Juniperus virginiana	Eastern Red Cedar	6' h.	B&B	Med/Med	6.2%		
R	4	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper	6' h.	B&B	Med/Med	8.3%		
S	8	Thuja occidentalis 'Yellow Ribbon'	Yellow Ribbon Arborvitae	6' h.	B&B	Small/Slow	16.6%		
<b>SHRUBS-GRASSES-PERENNIALS-ANNUALS-GROUNDCOVER</b>									
a	54	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	24"	Container				
b	46	Itea virginica	Itea	24"	Container				
c	13	Abelia 'Rose Creek'	Rose Creek Abelia	18"-24"	Container				
d	6	Physocarpus opulifolius 'SMPOTW' Tiny Wine	Tiny Wine Ninebark	18"-24"	Container				
e	8	Hypericum kalmianum	Kalm's St. John's Wort	18"	Container				
f	42	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Abelia	18"	Container				
g	6	Viburnum opulus 'Nanum'	European Cranberrybush	12"-18"	Container				
h	14	Buxus microphylla 'Green Pillow'	Green Pillow Boxwood	12"-18"	Container				
j	40	Leucanthemum x superbum 'Crazy Daisy'	Crazy (Shasta) Daisy	2 qt.	24" o.c.				
k	19	Coreopsis verticillata 'Moonbeam'	Moonbeam Coreopsis	2 qt.	24" o.c.				
l	22	Aster 'Wood's Pink'	Wood's Pink Aster	2 qt.	24" o.c.				
m	10	Heuchera 'Amethyst Myst'	Amethyst Myst Coral Bells	2 qt.	24" o.c.				
n	11	x Heuchera 'Quicksilver'	Quicksilver Foamy Bells	2 qt.	24" o.c.				
p	32	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	12"-18"	Container				
q	12	Juniperus horizontalis 'Plumosa'	Plumosa Juniper	1 gal.	Container				
r	39	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal.	Container				
s	12	Sporobolus heterolepis	Prairie Dropseed	1 gal.	Container				
t	7	Miscanthus 'Purpurascens'	Flame Grass	3 gal.	Container				
w	2	Buxus sempervirens 'Monrue'	Green Tower Boxwood	3 gal.	Container				
						Total	70.2%		



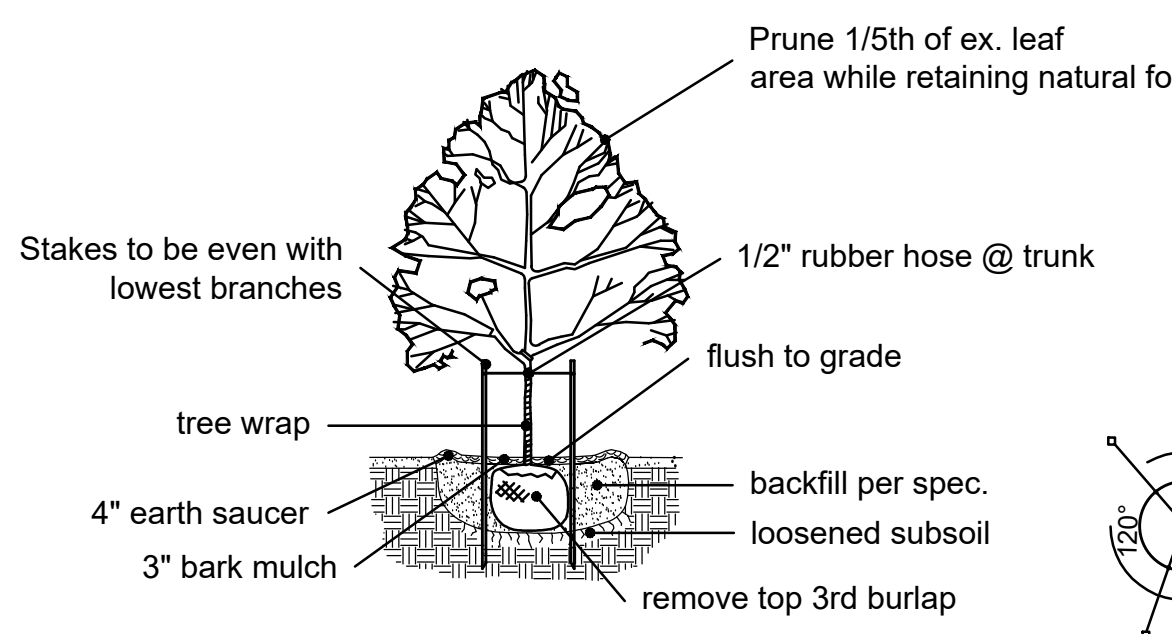
**Landscape Plan**  
SCALE 1"=20'



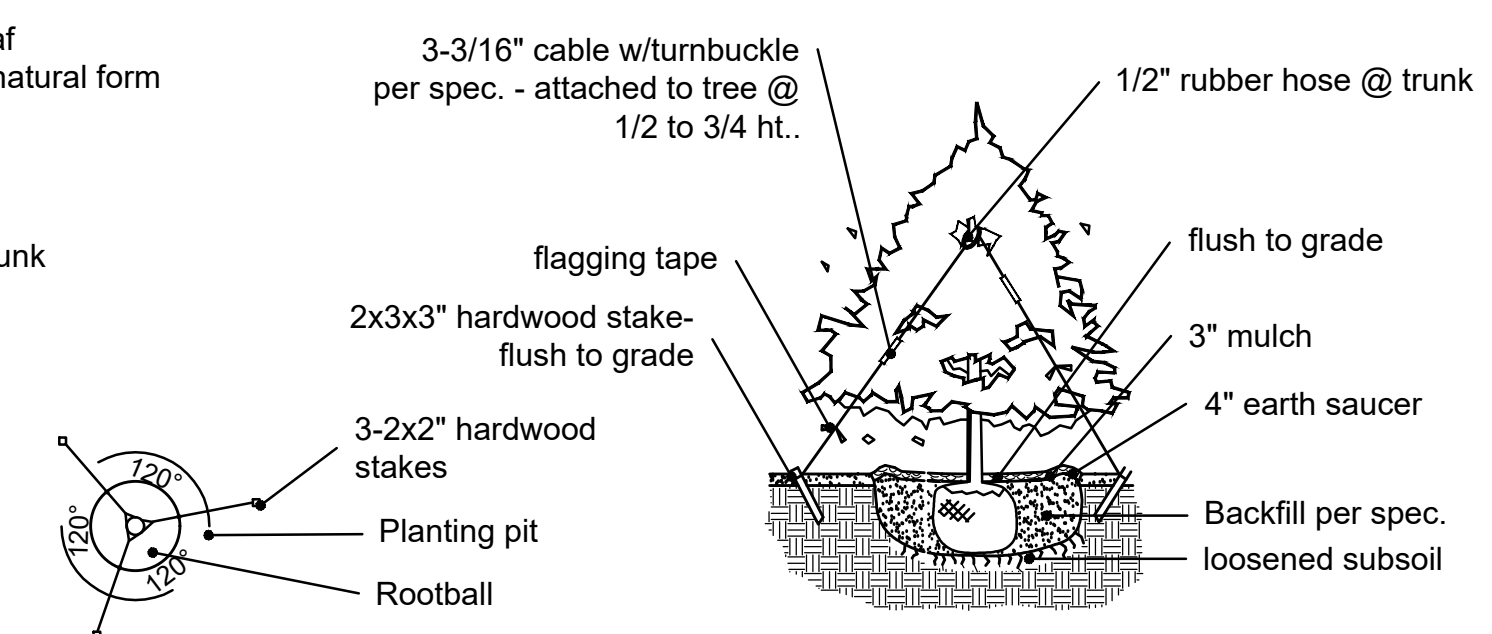
Open Space: 49%

**Note:**

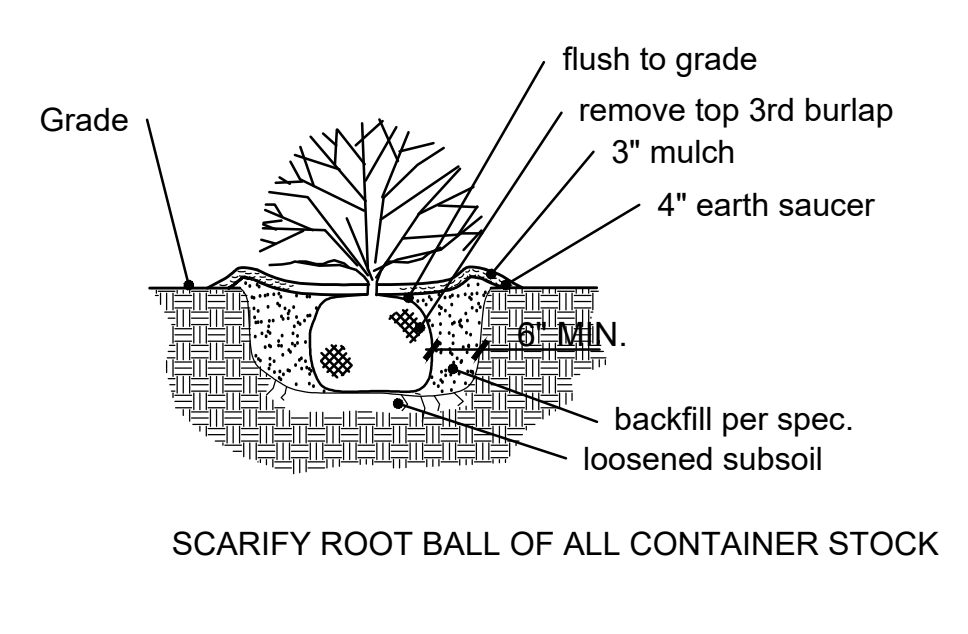
- All new landscape shall be irrigated with an automatic underground sprinkler system per the City of Chesterfield Unified Code Section 04-02.
- No proposed street trees shall be planted closer than three (3) feet to any curb per UDC.
- No proposed street trees shall be planted closer than twenty-five (25) feet of streetlights, street signs, and intersections per UDC.
- No street trees shall be planted within ten (10) feet of street inlets or manholes per UDC.



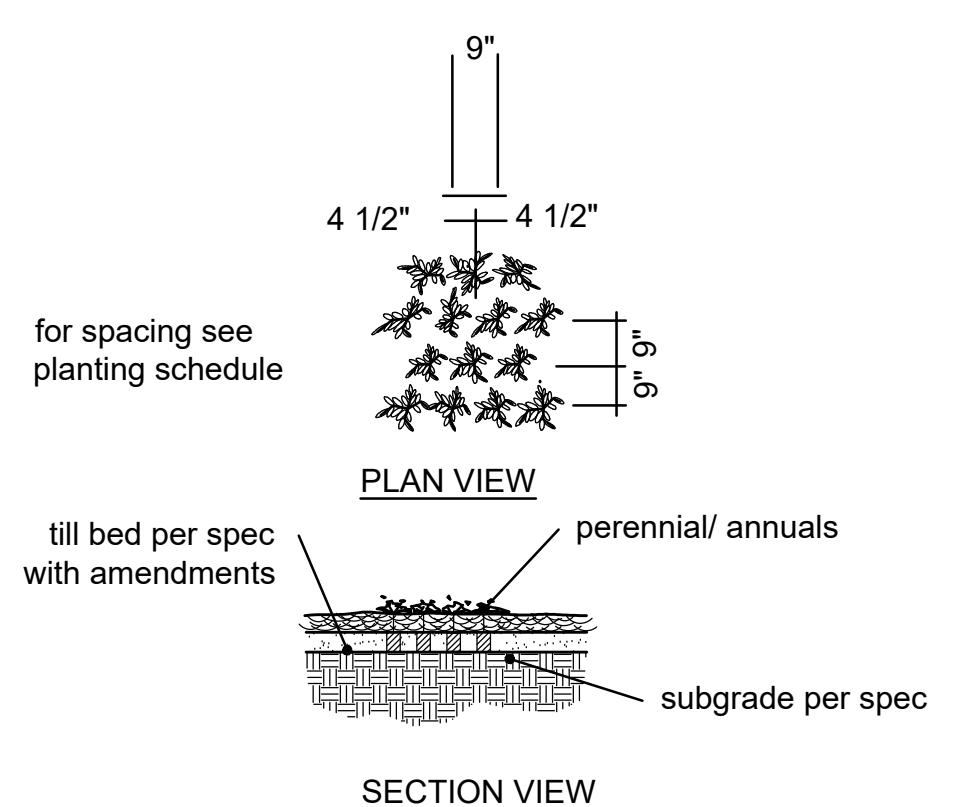
**CANOPY TREE PLANTING**



**TYPICAL EVERGREEN PLANTING**



**TYPICAL SHRUB PLANTING**



**TYPICAL PERENNIAL PLANTING**

Revisions:		
Date	Description	No.
10/17/18	City Comments	1
11/5/18	City Comments	2
11/27/18	City Comments	3

Drawn: KP  
Checked: RS

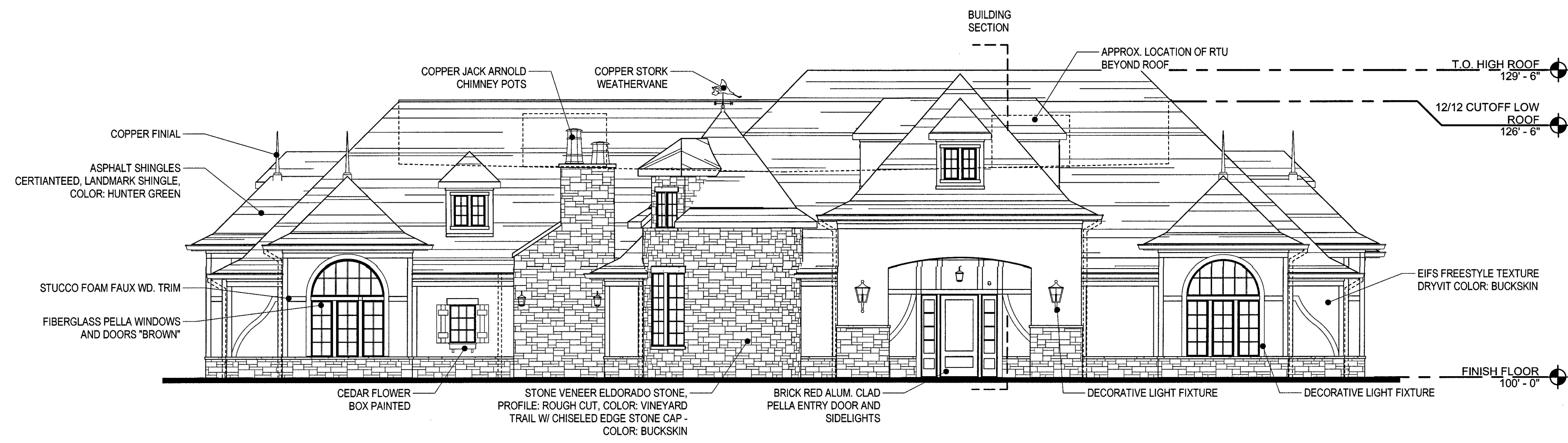
**Loomis Associates**  
Landscape Architects/Planners  
2000 N. Lindbergh Blvd., Suite 100  
St. Louis, MO 63114  
Phone: 314.963.8800  
Fax: 314.963.8801  
www.loomisassociates.com

Sheet Title:	Landscape Plan
Sheet No.:	L-1

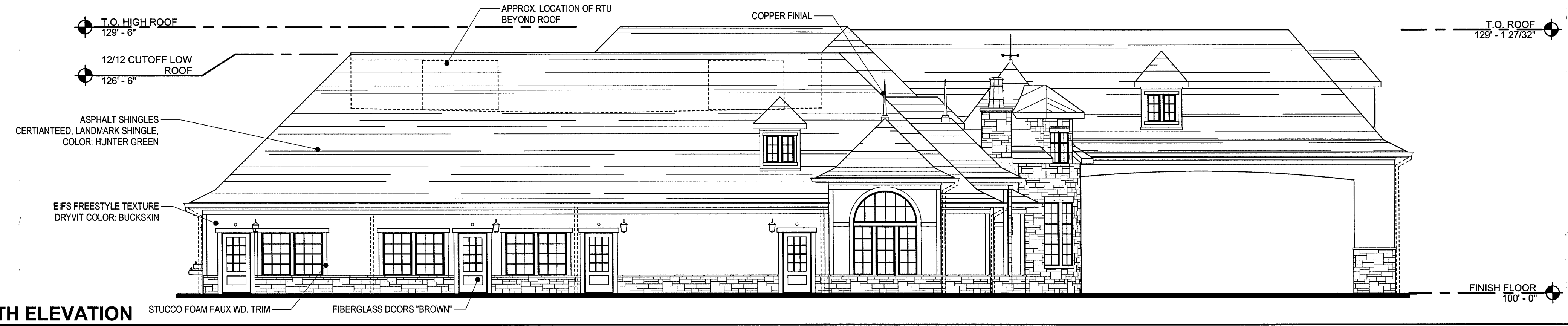
Date: 9/14/18  
Job #: 584.018

Little Sunshine Daycare  
Chesterfield, Missouri





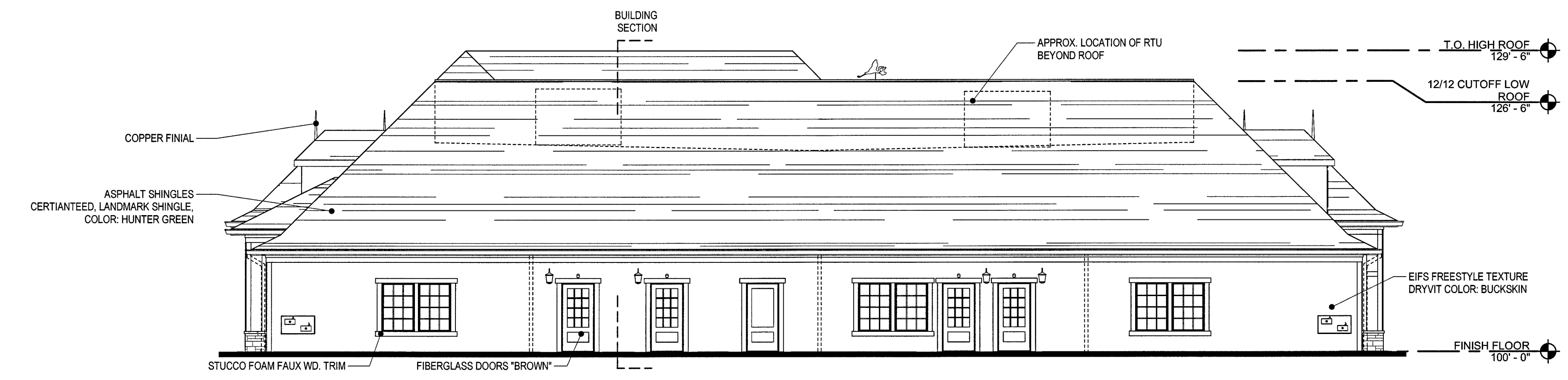
**1 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



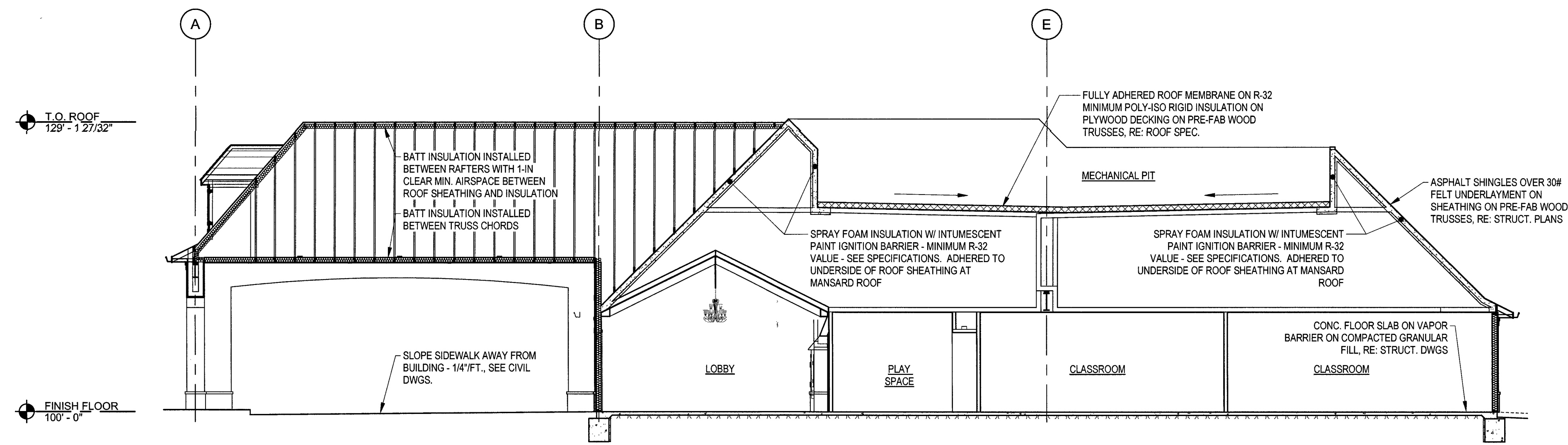
**2 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



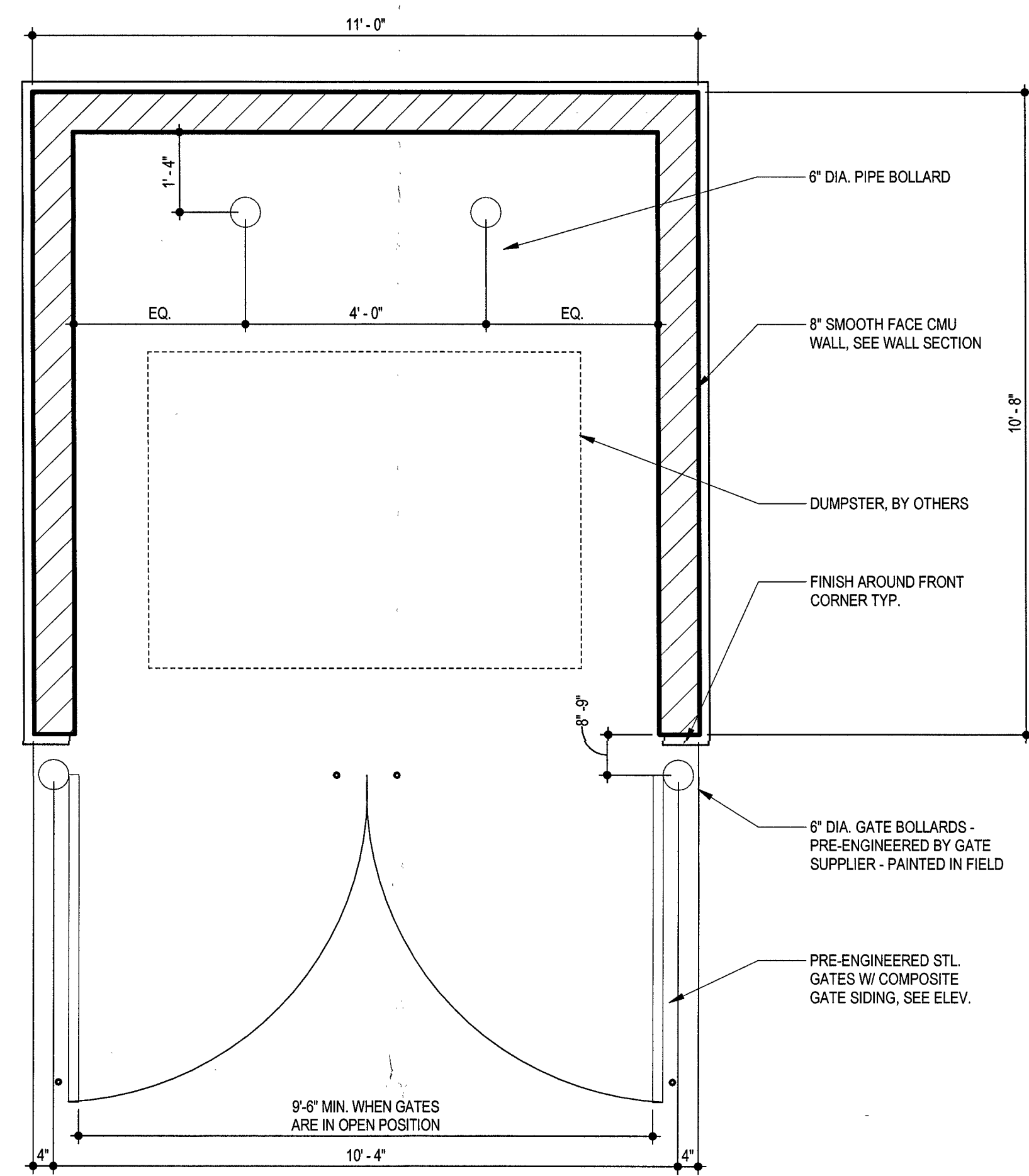
**3 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



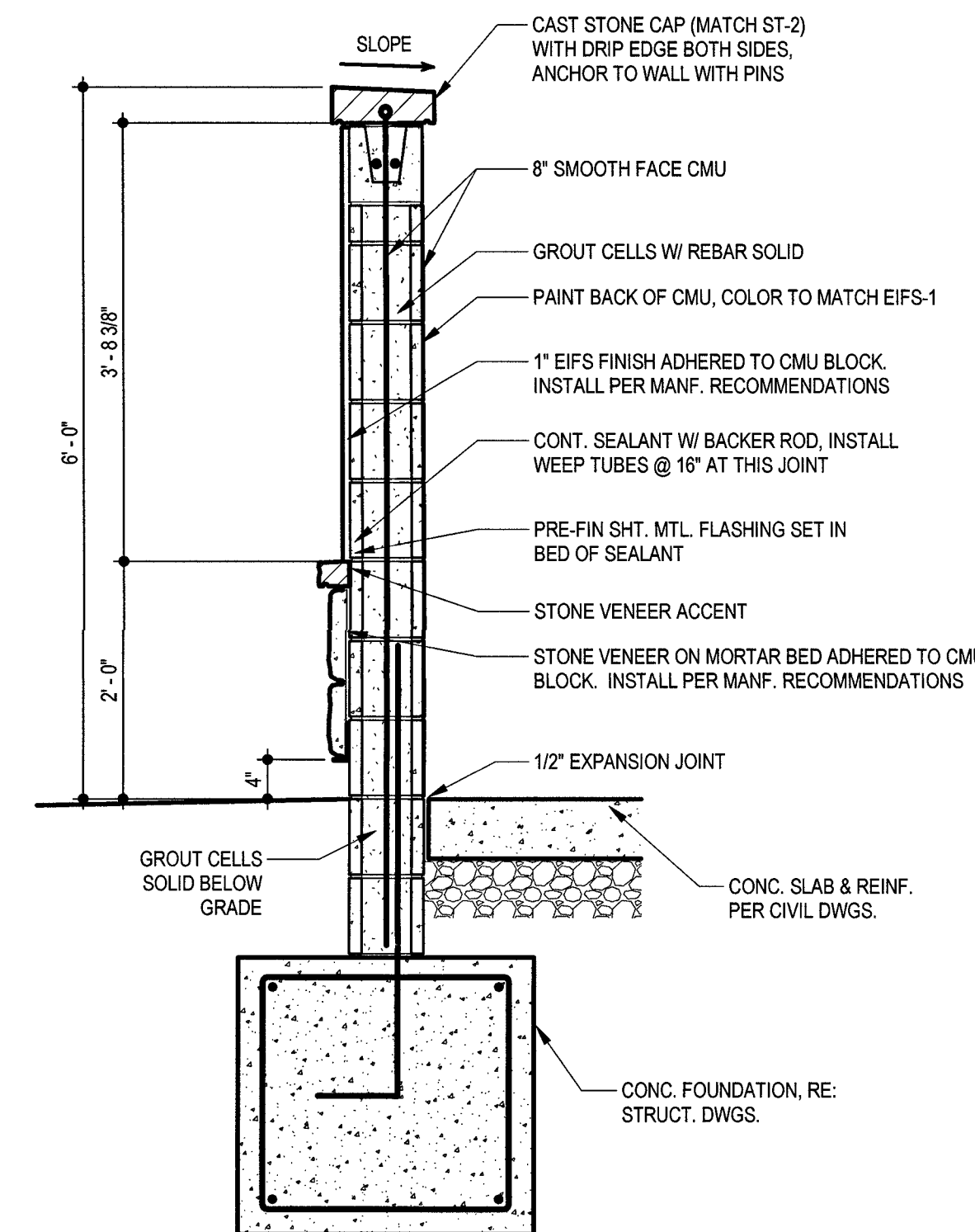
**4 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



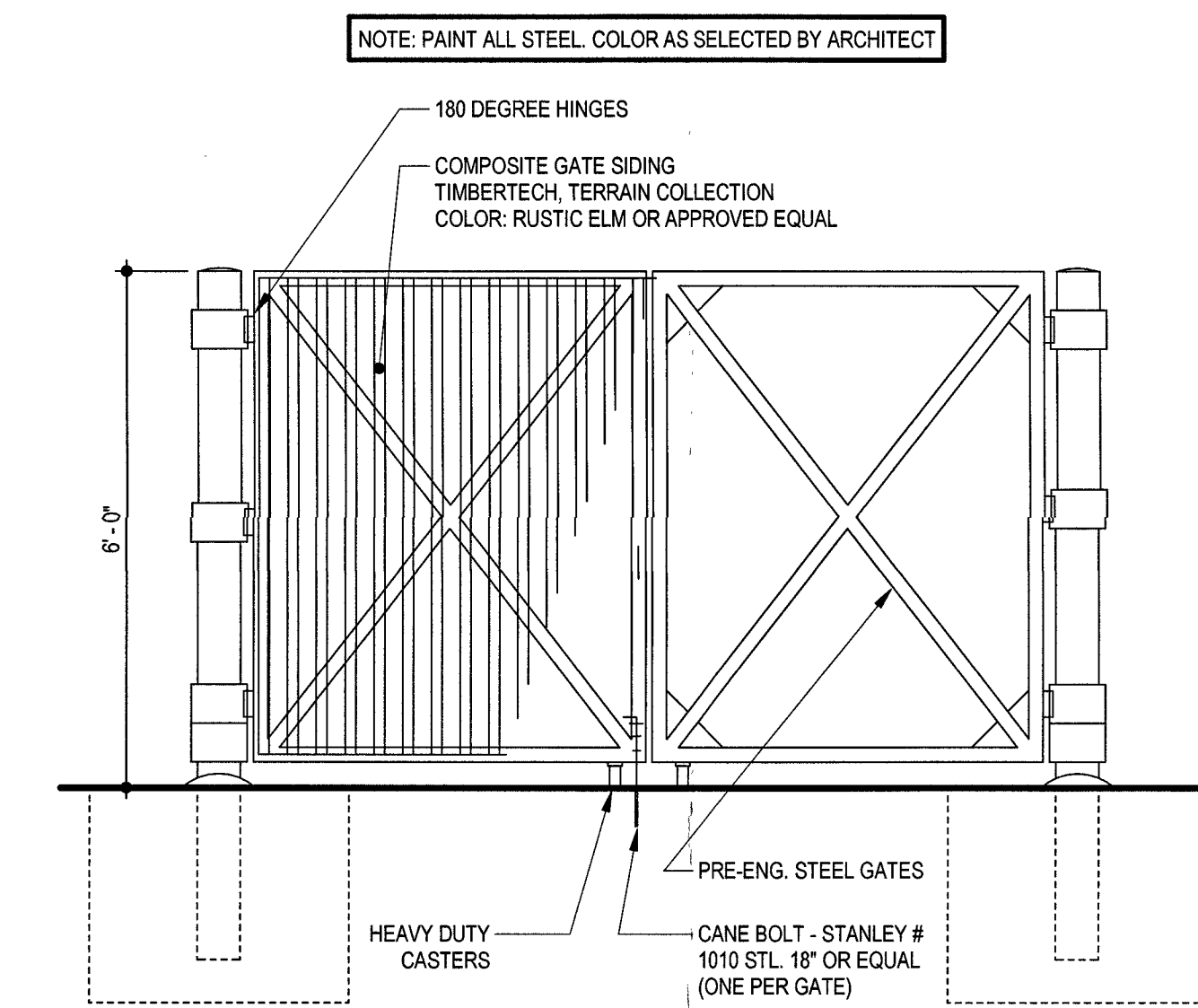
**1 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**2 TRASH ENCLOSURE PLAN**  
SCALE: 1/2" = 1'-0"

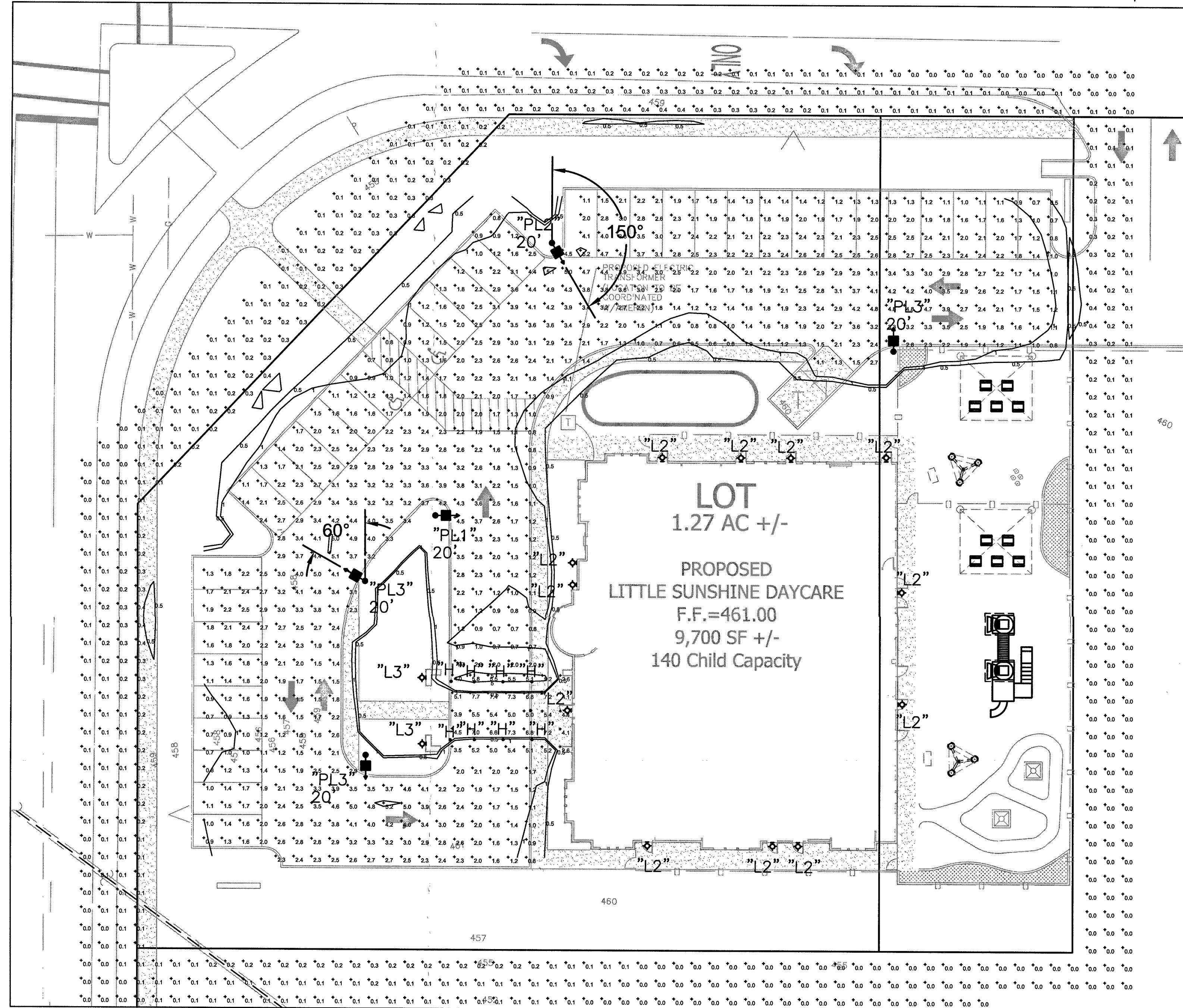


**3 TRASH ENCLOSURE SECTION**  
SCALE: 3/4" = 1'-0"



**4 TRASH ENCLOSURE GATE ELEVATION**  
SCALE: 1/2" = 1'-0"





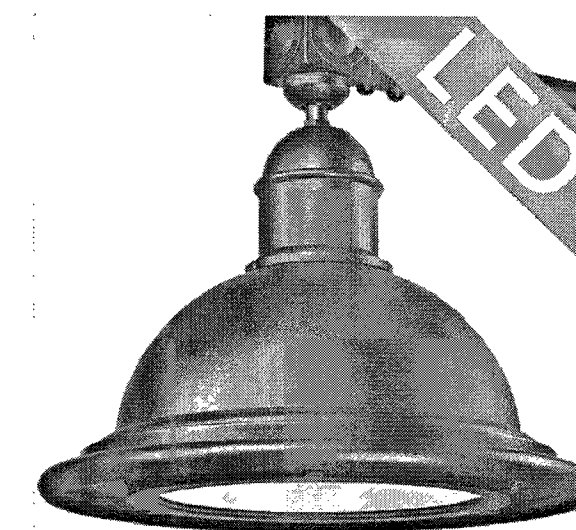
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entry / Overhang	+	5.5 fc	7.9 fc	1.8 fc	4.4:1	3.1:1
Parking	+	2.2 fc	5.2 fc	0.5 fc	10.4:1	4.4:1

1 SITE PLAN  
SCALE: 1" = 20'-0"

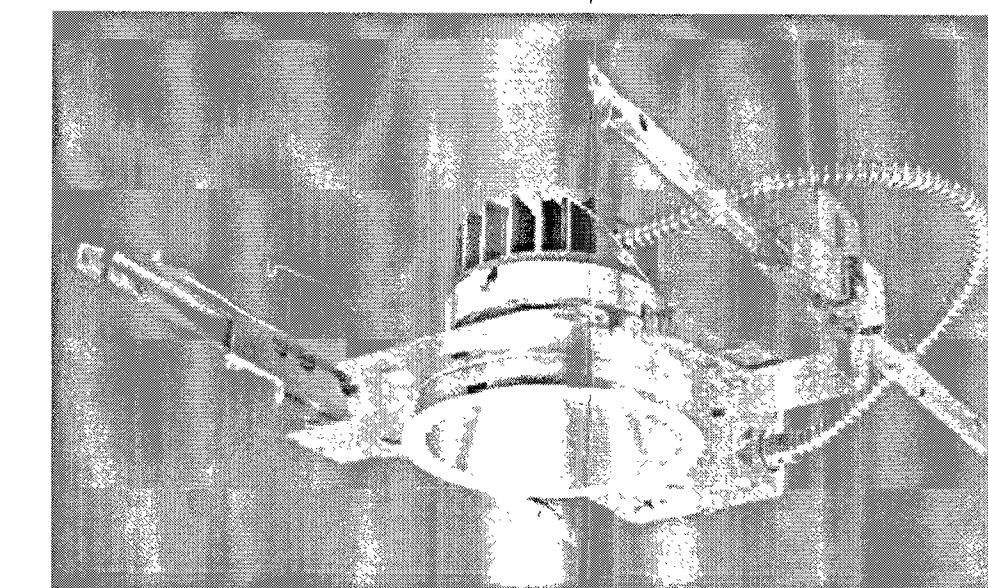
Luminaire Schedule										
Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Pole Height	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
PL1	1	STERNBERG LIGHTING	1A-1531RLED-EZ-FG-4ARC-35-T2-3-MDLO3-DB	1531 OMEGA SERIES LED, TYPE 2 OPTIC, FLAT GLASS (AR)	56 LEDES	20' POLE	1	6105	1	65
PL2	1	STERNBERG LIGHTING	1A-1531RLED-EZ-FG-8ARC-35-T3R-F-MDLO3-DB	1531 OMEGA SERIES LED, TYPE 3R OPTIC, FLAT GLASS (AR)	112 LEDES	20' POLE	1	11730	1	124
PL3	3	STERNBERG LIGHTING	1A-1531RLED-EZ-FG-8ARC-35-T4-3-MDLO3-DB	1531 OMEGA SERIES LED, TYPE 4 OPTIC, FLAT GLASS (AR)	112 LEDES	20' POLE	1	11470	1	124
H	6	MAXILUME	HH6-LED-900L-35K  DIM10-120-MD-40K-6501-CL-SCH	6" ARCHITECTURAL HIGH LUMEN LED  DOWNLIGHT	LED		1	800 lum MAX	1	18.4
L2	12	MINKA-LAVERY	8282-A61	1-LIGHT EXTERIOR WALL SCONCE	14W LED A-19 3500K		1	450	1	60
L3	2	MINKA-LAVERY	8283-A61	1-LIGHT EXTERIOR WALL SCONCE	(1) 14W LED A-19 3500K		1	450	1	60

^ = DIRECTION OPTICS SHALL BE ORIENTED TOWARDS.

FIXTURE PL1, PL2, & PL3



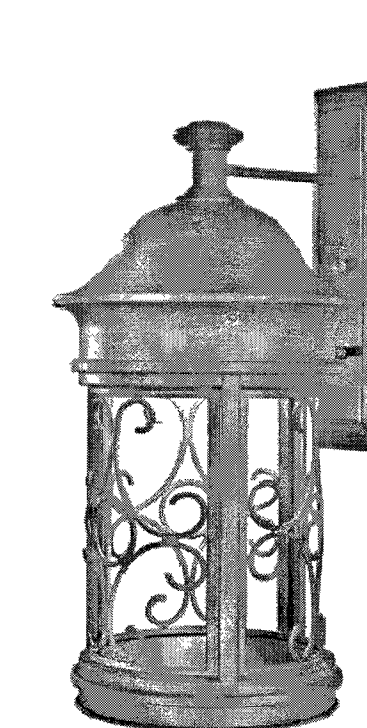
FIXTURE H



FIXTURE L2



FIXTURE L3



**GENERAL LIGHTING CONTROLS NOTE**

ALL EXTERIOR SITE FIXTURE WILL HAVE FULL CUT-OFF AND WILL BE DIRECTED DOWN.

THE PROJECT NEEDS GOOD LIGHTING LEVELS FOR SAFE CHILD PICK UP AND DROP OFF. ALL BUILDING MOUNTED LIGHTING(L2,L3), INCLUDING THE UNDER-CANOPY (H) LIGHTS WILL BE TURNED OFF DURING NON-BUILDING OPERATION HOURS. ALL EMPLOYEES ARE GONE AND BUILDING IS SHUT DOWN BY 7 PM EACH EVENING, MONDAY THRU FRIDAY AND OPERATIONAL ON SATURDAY OR SUNDAYS. THESE LIGHTS WILL ONLY BE OPERATIONS FOR ABOUT 1 HOUR AT THE BEGINNING OF THE DAY AND 2 HOURS AT THE END OF THE DAY DURING THE SHORTEST DAYLIGHT DAY OF THE YEAR. ABOUT HALF THE YEAR THESE LIGHTS WILL NOT TURN ON.



