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## Planning Commission Staff Report

**Project Type:** Residential Addition

**Meeting Date:** November 23, 2009

**From:** Annissa McCaskill-Clay, AICP *agmc*  
Lead Senior Planner

**Location:** 1215 Walnut Hill Farm Drive (Walnut Hill Farms Subdivision)

**Applicant:** Lauren Strutman Architects on behalf of Tim and Diane Schoen

**Description:** 1215 Walnut Hill Farm Dr. (Walnut Hill Farms Subdivision): A request for a residential addition to the western side of an existing home zoned "NU" Non-Urban District and located at 1215 Walnut Hill Farm Dr., in the Walnut Hill Farms Subdivision.

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### PROPOSAL SUMMARY

Lauren Strutman Architects, on behalf of Tim and Diane Schoen, has submitted a request for a residential addition in excess of 500 square feet for your review. The Petitioners propose to add a 973 square foot addition above the garage of their 3,220 square foot split level home. Exterior building materials for the addition are to match the existing brick veneer, fascia board, and architectural shingles of the residence.

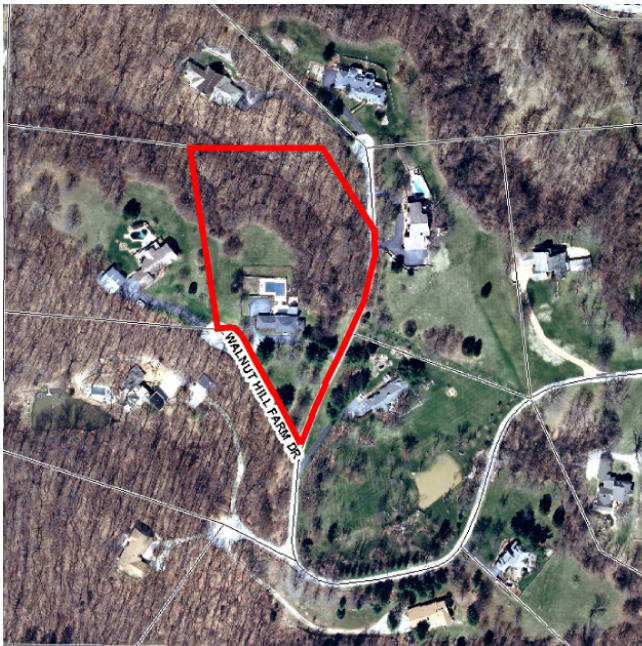
### LAND USE AND HISTORY OF SUBJECT SITE

Walnut Hill Farms Subdivision was zoned "NU" Non-Urban District by St. Louis County prior to the incorporation of the City of Chesterfield. The front yard setback for structures in this district is fifty (50) feet from any roadway right of way line. The Schoen residence was constructed in 1971, prior to construction of Walnut Hill Farms Drive. When the street was constructed, adequate distance from the residence was not allowed and an encroachment was created. The Schoens discovered the issue when they started planning for this addition and applied to the Board of Adjustment for a variance to allow their existing structure to maintain a 45 foot front yard setback. On October 26, 2009 the Planning Commission approved a detached two-story structure with 1,680 square feet of floor area adjacent to

the pool on the premises. Following this approval, the Board of Adjustment granted a variance to the front yard setback which would permit this second addition on the Schoen's property.

### Land Use and Zoning of Surrounding Properties

The property is located in the Walnut Hill Farm subdivision and is surrounded by other residential properties of like sized structures and lots.



Aerial view of the site



Looking north at the addition location

## **STAFF ANALYSIS**

### Process

Section 1003.126B "Residential Additions" states that any addition greater than five hundred (500) square feet shall be approved by the City of Chesterfield Planning Commission. The proposed addition is 973 square feet. This section also states, "Residential additions, including the height of all additions, shall be harmonious and compatible with the existing residential dwellings." The proposed height of the addition is 25.6 feet, and slightly lower shorter than the height of the existing two-story home and the residential structures located on adjacent properties.

### Architectural Elevations

As previously stated, materials for the addition are to match the existing brick veneer, fascia board, and architectural shingles of the residence. A copy of the proposed elevations is provided for your review.

### Landscaping and Tree Preservation

The property has not submitted a Tree Stand Delineation as they are not disturbing any tree masses, as defined by the Tree Preservation and Landscape Requirements. Section III. Exceptions, B. 2. states that single family residential properties greater than one acre are not required to submit a Tree Preservation Plan or Tree Stand Delineation if, "No Tree Mass, as defined in Section IV of this ordinance, is being disturbed."

### **DEPARTMENTAL INPUT**

Staff has reviewed the submittal and has found the application to be in conformance with the Comprehensive Plan, Zoning Ordinance and all other requirements and standards.

### **MOTION**

The following options are provided to the Planning Commission relative to this application:

1. "I move to approve (or deny) the residential addition for 1215 Walnut Hill Farm Dr., located in the Walnut Hill Farms Subdivision."
2. "I move to approve the residential addition for 1215 Walnut Hill Farm Dr., located in the Walnut Hill Farms Subdivision with the following conditions (Conditions may be added, eliminated, altered or modified)."

Cc: City Administrator  
City Attorney  
Department of Planning and Public Works

Attachments: Plot Plan  
Architectural Elevations

**GENERAL NOTES:**

- DIMENSIONS SHALL BE TAKEN FROM FACE OF STUDS OR CONCRETE FOUNDATIONS. NUMERICALLY NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT SO ALL FIXTURES, EQUIPMENT, ETC. WILL FIT. DO NOT SCALE DRAWINGS.
- SURVEY INFORMATION HAS BEEN TAKEN FROM DRAWINGS SUPPLIED BY OTHERS AND IS NOT THE RESPONSIBILITY OF THE ARCHITECT.
- SUBSURFACE CONDITIONS SHALL NOT BE THE RESPONSIBILITY OF THE ARCHITECT SINCE NO SOIL TESTS, BEYOND STANDARD PERCOLATION TESTS HAVE BEEN DONE. CONTRACTOR SHALL PLACE ALL FOOTINGS ON VIRGIN SOIL, MIN. 30" BELOW GRADE. THERE WILL BE NO EXTRAS FOR OVERDIGGING AND EXTRA FILLING.
- UNDERGROUND PIPES, TANKS, SERVICES, ETC., SHALL BE LOCATED BY THE CONTRACTOR WHO SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THEIR PROTECTION.
- FINISH GRADES SHALL BE 8" MIN. BELOW TOP OF FOUNDATION AND MUST SLOPE AWAY FROM THE BUILDING A MIN. 6" DROP WITHIN THE FIRST 10'-0" OR TO A SWALE. ALL AREAS SHALL BE SLOPED TO LOWER ELEVATIONS OF DRAINAGE STRUCTURES OR ON NEAR SITE.
- SHORING AND BRACING SHALL BE DESIGNED AND PROVIDED AS NEEDED TO PREVENT UNWANTED MOVEMENT, SETTLEMENT, OR COLLAPSE DURING WORK.
- MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED, CONNECTED, OR ERRECT AS PER MANUFACTURER'S RECOMMENDATIONS, UNLESS SPECIFIED DIFFERENTLY IN THE CONTRACT DOCUMENTS.
- WARRANTIES AND GUARANTEES SHALL BE FURNISHED TO THE OWNER IN WRITING.
- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE:  
2500 PSI - BASEMENT SLABS  
3000 PSI - BASEMENT WALLS, FOUNDATION WALLS, AND FOOTINGS.  
3500 PSI - PORCHES, WALKS, PATIO, STEPS, GARAGE AND CARPORT FLOOR SLABS AND DRIVEWAYS. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED ACCORDING TO 2003 I.R.C. (INCLUDES FOUND. / BASEMENT WALLS, & GARAGE SLAB)
- POLY VAPOR BARRIER - 6 MIL POLY VAPOR BARRIER IS REQUIRED UNDER BASEMENT SLABS WITH JOINTS LAPPED A MIN. OF 6".
- BASEMENT WALLS AND FLOORS OF HABITABLE AND OCCUPIED SPACE ARE TO BE WATER TIGHT AND PROPERLY REINFORCED TO WITHSTAND WATER PRESSURE AS NECESSARY.
- INSTALL A MINIMUM OF 2 - #5 REINFORCING BARS AROUND ALL WINDOW AND DOOR OPENINGS IN CONCRETE FOUNDATIONS AND BASEMENT WALLS. BARS SHALL EXTEND A MINIMUM OF 24" BEYOND THE CORNERS OF THE OPENINGS.
- BASEMENT AREA W/ DRAINS AND FOUNDATION DRAIN TILES ARE NOT TO BE CONNECTED TO A SANITARY SEWER.
- ANCHORS, BOLTS, HANGERS, AND ACCESSORIES SHALL BE AUTOMATICALLY INSTALLED AS REQUIRED. IF INADEQUATE SUBSTRATE EXISTS, PROVIDE APPROPRIATE BLOCKING OR ANCHORAGE.
- STRUCTURAL LUMBER SHALL HAVE A FIBER STRESS OF 975 P.S.I. MIN. ON 2" X 12" S, AND 1050 P.S.I. MIN. ON 2" X 10" S, AND A MODULUS OF ELASTICITY OF 16 MILLION P.S.I. MIN. UNLESS SPECIFIED OTHERWISE IN THE DRAWINGS.
- STRUCTURAL COLUMNS OR POSTS SHALL RUN OR BE BLOCKED CONTINUOUSLY FROM THE POINT OF BEARING TO THE CONCRETE FOUNDATION OR FOOTING.

- FRAMING HEADERS SHALL BE A MINIMUM OF TWO (2" X 10") S UNLESS OTHERWISE CALLED OUT IN THE CONSTRUCTION DOCUMENTS.
- DOUBLE FLOOR JOISTS SHALL BE INSTALLED BELOW PARALLEL PARTITIONS, UNDER BATHTUBS, AND AT STAIR AND FLOOR OPENINGS. (THIS DOES NOT APPLY ON LOWER LEVELS OR WHERE STRUCTURE IS CONSTRUCTED ON A SLAB.)
- STUD FRAMING WALLS - TOP AND BOTTOM OF ALL CONVENTIONAL, DOUBLE STUD, SLEEPING ROOF AND STAGGERED STUD FRAMING WALLS SHALL BE FIREBLOCKED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0".
- ALL FLOOR FRAMING SHALL BE DESIGNED TO SUPPORT THE FOLLOWING MINIMUMS:  
FLOOR AREAS OTHER THAN SLEEPING ROOM --- LIVE LOAD: 40# / SQ. FT.  
SLEEPING ROOMS --- LIVE LOAD: 30# / SQ. FT.  
BALCONY (EXTERIOR) LESS THAN 100 S.F. --- LIVE LOAD: 60# / SQ. FT.  
DECKS --- LIVE LOAD: 60# / SQ. FT.
- NAILING MUST COMPLY WITH THE 2003 I.R.C. CODE  
CUTTING, NOTCHING, AND / OR BORING HOLES ON WOOD BEAMS, JOISTS, OR STUDS SHALL NOT EXCEED THE LIMITATIONS NOTED IN SECTIONS R502.8 OF THE 2003 I.R.C.  
REINFORCEMENT / FASTENING OF STUDS SHALL BE DONE IN ACCORDANCE WITH R602.
- DROPPED CEILING BELOW WOOD JOISTS OR ATTACHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE DRAFT STOPPED AT 1000 S.F. INTERVALS AND PARALLEL TO FRAMING MEMBERS. A 2" X 30" MINIMUM ACCESS OPENING IS REQUIRED FOR ATTIC AREAS WHICH HAVE A CLEAR HEIGHT OF AT LEAST 30". ACCESS DOORS IN DRAFT STOPPING SHALL BE SELF-CLOSING AND OF APPROVED MATERIALS.
- SOFFITS AND DROPPED CEILING SHALL BE FIRESTOPPED.
- EXPOSED MATERIALS FOR PORCHES, SOFFITS, OVERHANGS, ETC., SHALL BE APPROVED EXTERIOR GRADE MATERIALS.
- FLASHING - CORROSION RESISTANT FLASHING IS REQUIRED AT THE TOP AND SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS, ALL WALL AND ROOF INTERSECTIONS, CHANGES IN ROOF FLOOR OR DIRECTION, AROUND ALL ROOF OPENINGS, INTERSECTION OF CHIMNEYS, INTERSECTION OF EXTERIOR WALLS AND PORCHES AND DECKS. VALLEY FLASHING SHALL BE INSTALLED PER R905.2.2.
- ROOF OVERHANGS - 2 LAYERS OF #15 FELT (TYPE I PER ASTM D226) CEMENTED TOGETHER FROM EAVE TO 2'-0" INSIDE EXTERIOR WALL.
- DOWNSPOUTS ARE NOT TO BE CONNECTED TO SANITARY SEWER. DOWNSPOUTS SHALL BE DIRECTED AWAY FROM FOUNDATION.
- CAULKING AND SEALANTS - EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL CAVITIES AND WINDOW OR DOOR FRAMES, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS AT ROOFS AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN AN APPROVED MANNER.
- INSULATION - CONTRACTOR SHALL STUFF FIBERGLASS BATT INSULATION SOLIDLY AROUND WINDOWS AND DOORS SO THAT NO AIR FLOWS IN AROUND WINDOWS AND DOORS. FILL VIDS COMPLETELY AND INCLUDE FACING IF NECESSARY TO HOLD BATT IN PLACE. ALL CORNERS AND HEADERS IN FRAMING SHALL BE COMPLETELY FILLED WITH INSULATION.
- VAPOR RETARDER (SEE SPEC'S. FOR TYPE) SHALL BE STAPLED TO INTERIOR OF ALL EXTERIOR WALLS, AND FASTENED CLOSELY TO FLOOR. SEAL WITH DUCT TAPE OR TREMCO ACQUACULOUS SEALANT # LAPPED AREAS OF VAPOR RETARDER SHEETS.
- DRYWALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE GYPSUM ASSOC. RECOMMENDED PRACTICES AS TO THICKNESS, NAILING, AND TAPING ON CORRECT STUD SPACING.
- WATER RESISTANT GYPSUM BACKER BOARD IS REQUIRED IN ALL BATHTUB AREAS, SHOWER AREAS AND ALL WALLS WITH PLUMBING PENETRATIONS.
- FIRE RATED DRYWALL ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS OF APPROVED TEST ASSEMBLY.
- FIREBLOCKING REQUIRED BETWEEN STAIRWAY STRINGERS AT THE TOP AND BOTTOM OF THE RUN.

- INTERIOR FINISH MATERIALS SHALL NOT HAVE A FLAME SPREAD RATING EXCEEDING 200. BATT INSULATION INCLUDING THE VAPOR RETARDER, SHALL NOT BE LEFT EXPOSED IN BASEMENTS UNLESS THE MATERIAL HAS A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS. FOAM PLASTIC INSULATION SHALL BE SEPARATED FROM THE INTERIOR OF THE BUILDING BY 1/2" GYPSUM WALL BOARD, OR 3/8" GYPSUM WALL BOARD WHERE LOCAL CODES GOVERN AND FLAME/SPREAD RATING PER 2003 I.R.C. SECTION R314.1.1.
- SHOWER AND BATHTUB / SHOWER ENCLOSURES SHALL HAVE WALLS CONSTRUCTED OF SMOOTH, NONCORROSIVE, NONABSORBENT, AND WATERPROOF MATERIALS TO A HEIGHT OF NOT LESS THAN 5'-0" ABOVE THE ROOM FLOOR LEVEL. SHOWER FLOOR SURFACES TO BE SMOOTH, NONCORROSIVE, NONABSORBENT, AND WATERPROOF MATERIALS.
- HAND AND GUARDRAILS SHALL BE SECURED TO WITHSTAND A FORCE OF 200#/LF VERTICALLY AND HORIZONTALLY.
- AIR INFILTRATION RATE FOR WINDOWS SHALL NOT EXCEED 0.5 CFM PER FOOT OF SASH TRACK. DOORS SHALL NOT EXCEED 0.5 CFM PER SQUARE FOOT OF DOOR AREA.
- WINDOWS SHALL BE DOUBLE GLAZED. (SEE SPEC'S.) THE INTERIOR LAYER OF SKYLIGHT GLAZING SHALL BE LAMINATED GLASS WITH A MINIMUM 0.015" POLYVINYL BUTYRAL INTERLAYER. WIRED GLASS OR APPROVED LASTIC MATERIAL. AN APPROVED SCREEN TO PROTECT OCCUPANTS IS REQUIRED IF HEAT STRENGTHENED OR TEMPERED GLASS IS USED AS THE INTERIOR LAYER OF GLAZING. WINDOWS SHALL HAVE A U-VALUE OF .49 MAXIMUM.
- DOORS SHALL BE WEATHERSTRIPPED AND SHALL HAVE A U-VALUE OF .49 MAXIMUM.
- SMOKE DETECTORS SHALL BE A.C. POWERED, U.L. APPROVED WITH BATTERY BACKUP AND INSTALLED PER NFPA 72-99. DETECTORS SHALL BE INTERCONNECTED SO THAT ALL UNITS GO OFF SIMULTANEOUSLY.
- BATHROOMS REQUIRE 50 CFM MINIMUM EXHAUST FROM VENT TO THE ATTIC. (IT IS NOT PERMISSIBLE TO DISCHARGE EXHAUST TO THE EXTERIOR. IF AN AIR TO AIR HEAT EXCHANGER IS USED INSTEAD OF AN EXHAUST FAN, THIS PROVIDES MORE THAN THE MINIMUM REQUIRED EXHAUST.)  
KITCHENS REQUIRE 100 CFM MINIMUM EXHAUST FROM VENT TO EXTERIOR. (IT IS NOT PERMISSIBLE TO DISCHARGE EXHAUST TO THE ATTIC.)
- CLOTHES DRYERS SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS, AND EXHAUST SHALL BE TO THE EXTERIOR.
- GAS PIPING SHALL BE IDENTIFIED AT INTERVALS OF NO MORE THAN 25 FEET IN CONCEALED LOCATIONS AND NOT MORE THAN 90 FEET IN EXPOSED LOCATIONS.
- EACH GAS APPLIANCE SHALL HAVE A GAS SHUTOFF VALVE AND GROUND JOINT UNION. A SEDIMENT TRAP IS REQUIRED AT EACH APPLIANCE OR GROUP OF APPLIANCES.
- LEAD - FREE SOLDER IS REQUIRED ON ALL COPPER WATER SUPPLY PIPING.
- ENTRY DOOR LOCK MAY HAVE EITHER THUMB TURN ON INSIDE OR INSIDE KEY OPERATION IF KEY CANNOT BE REMOVED FROM LOCK WHEN DOOR IS LOCKED FROM THE INSIDE.
- FOOTING, SUMP PUMP AND DOWNSPOUT DRAINAGE SHALL NOT BE DISCHARGED CLOSER THAN 10'-0" FROM PROPERTY LINE. CONTRACTOR SHALL INSTALL SPLASH BLOCKS AT ALL NEW DOWNSPOUT LOCATIONS.

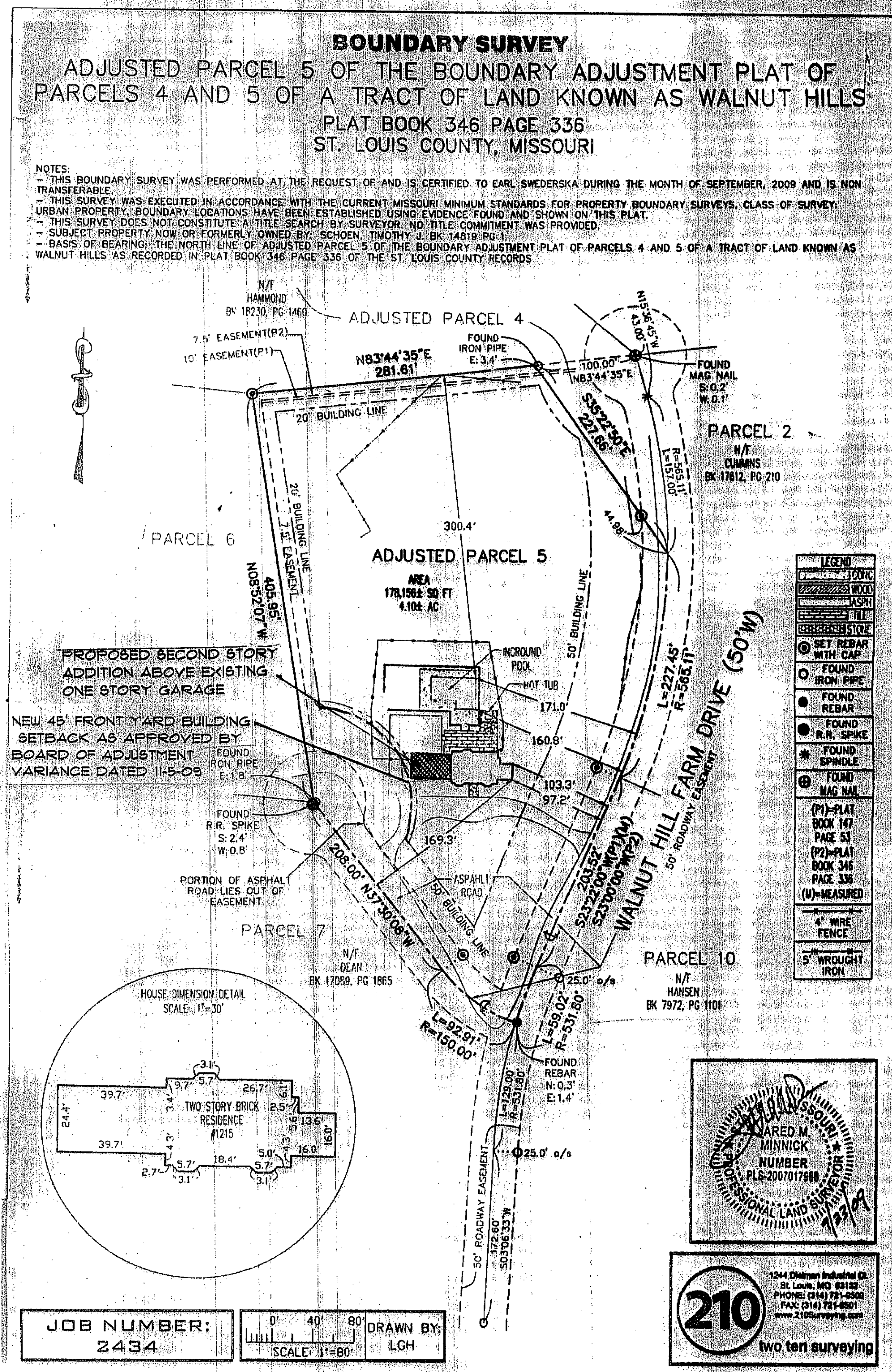
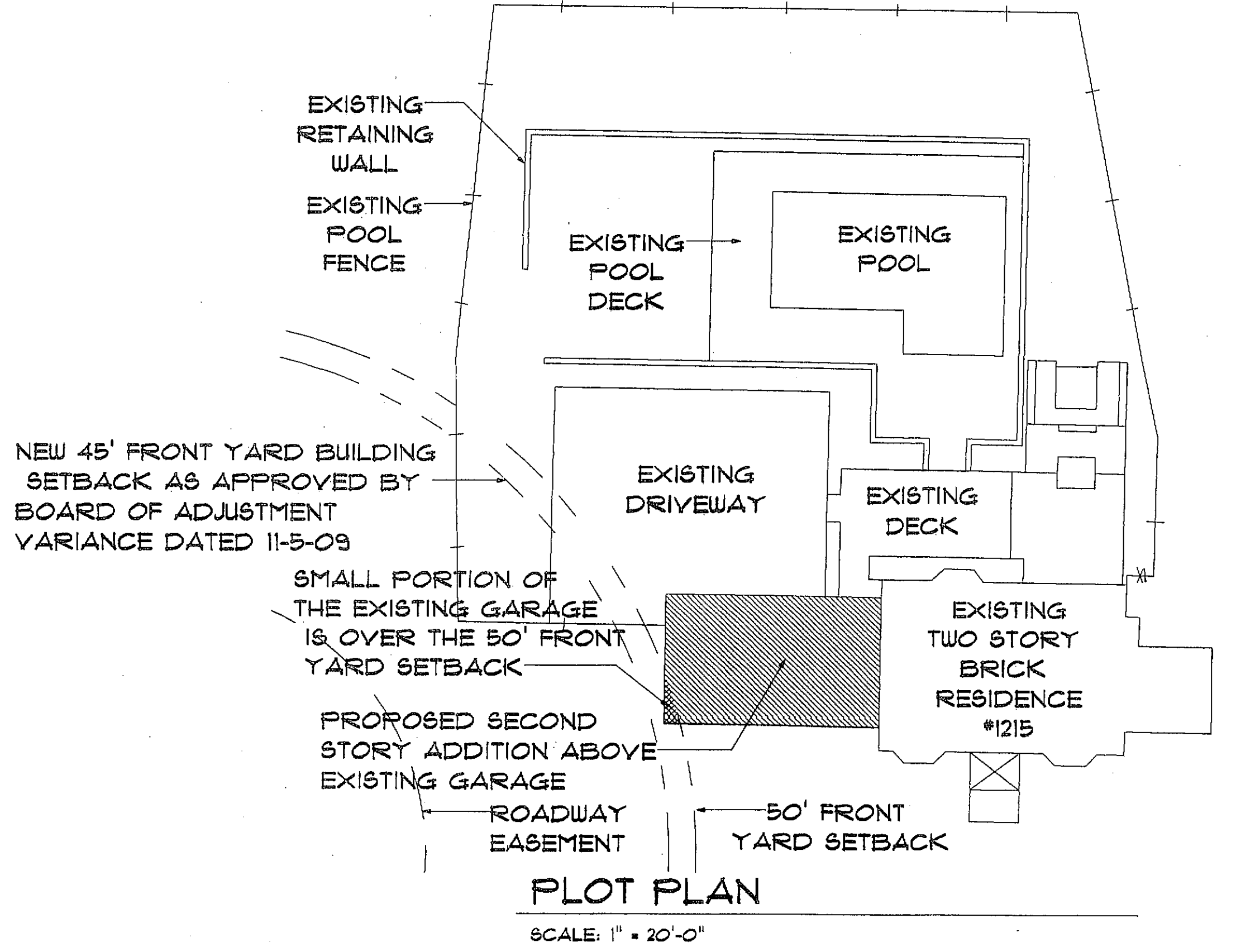
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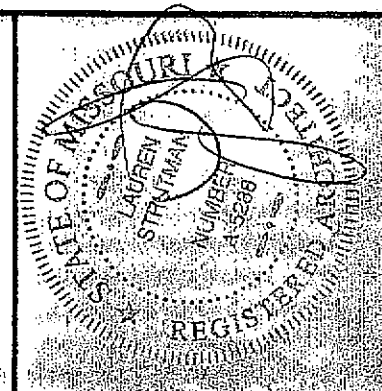
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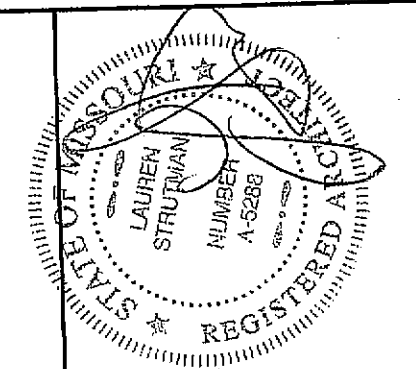
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ADDITION AND RENOVATION FOR:  
**TIM AND DIANE SCHOEN**  
#1215 WALNUT HILL FARM DRIVE  
CHESTERFIELD MO, 63005

**LAUREN STRUTMAN ARCHITECTS P.C.**  
1244 Chester Industrial Ct.  
St. Louis, MO 63118  
PHONE: (314) 791-8200  
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REVISIONS	

DRAWN BY: **R.T.D.**  
JOB NO.:  
DATE: **11-13-09**  
SHEET: **A-1**



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CHESTERFIELD MO. 63005  
#125 WALNUT HILL FARM DRIVE  
TIM AND DIANE SCHOEN  
RENOVATION FOR:  
ADDITION AND

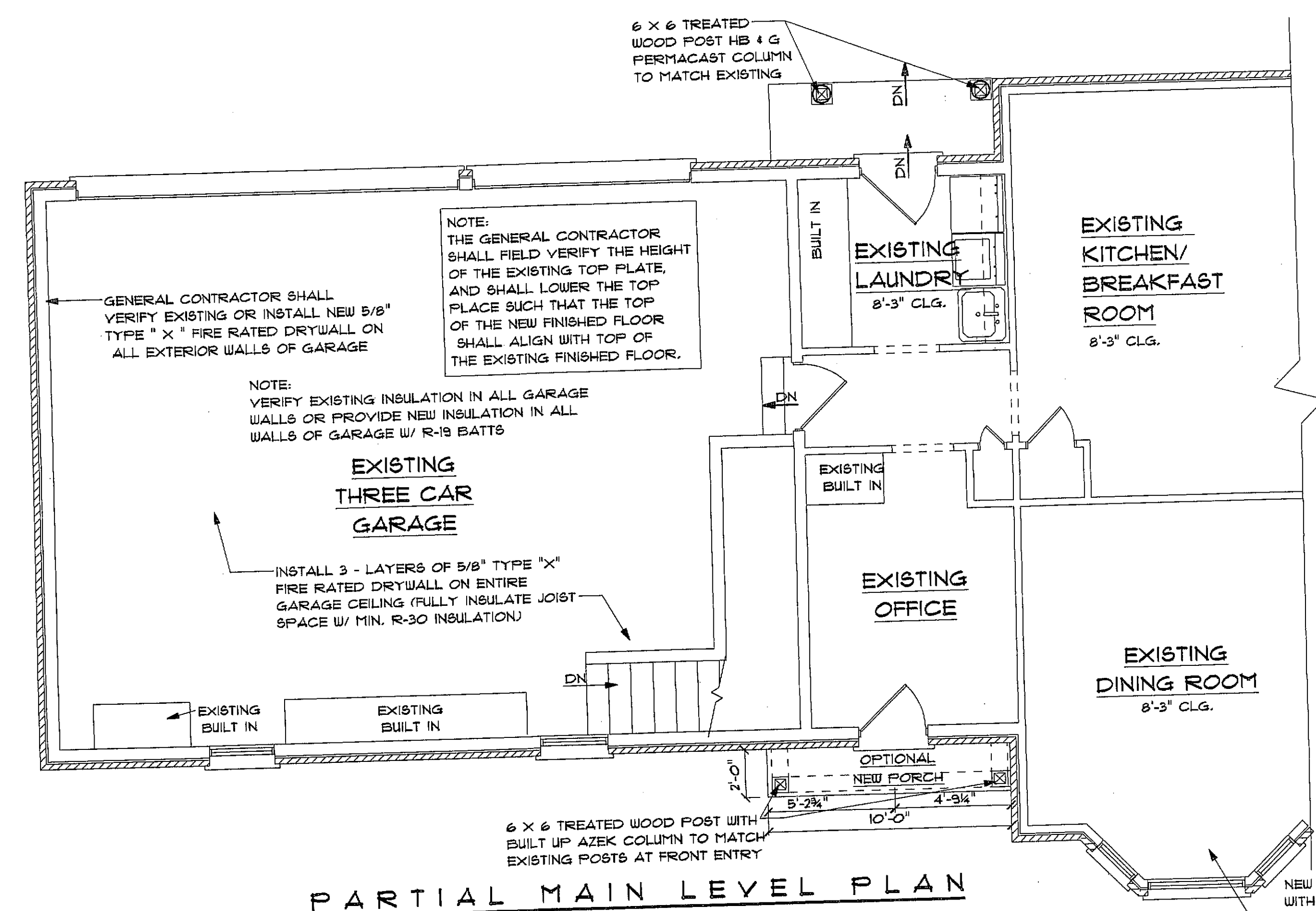
LAUREN STRUTMAN ARCHITECTS P.C.  
166 1/2 OLD CHESTERFIELD RD. CHESTERFIELD MO. 63001  
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REVISIONS

DRAWN BY: R.T.D.  
JOB NO.:  
DATE: 10-20-09  
SHEET:

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2 OF 4

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**PARTIAL MAIN LEVEL PLAN**  
SCALE: 1/4" = 1'-0"

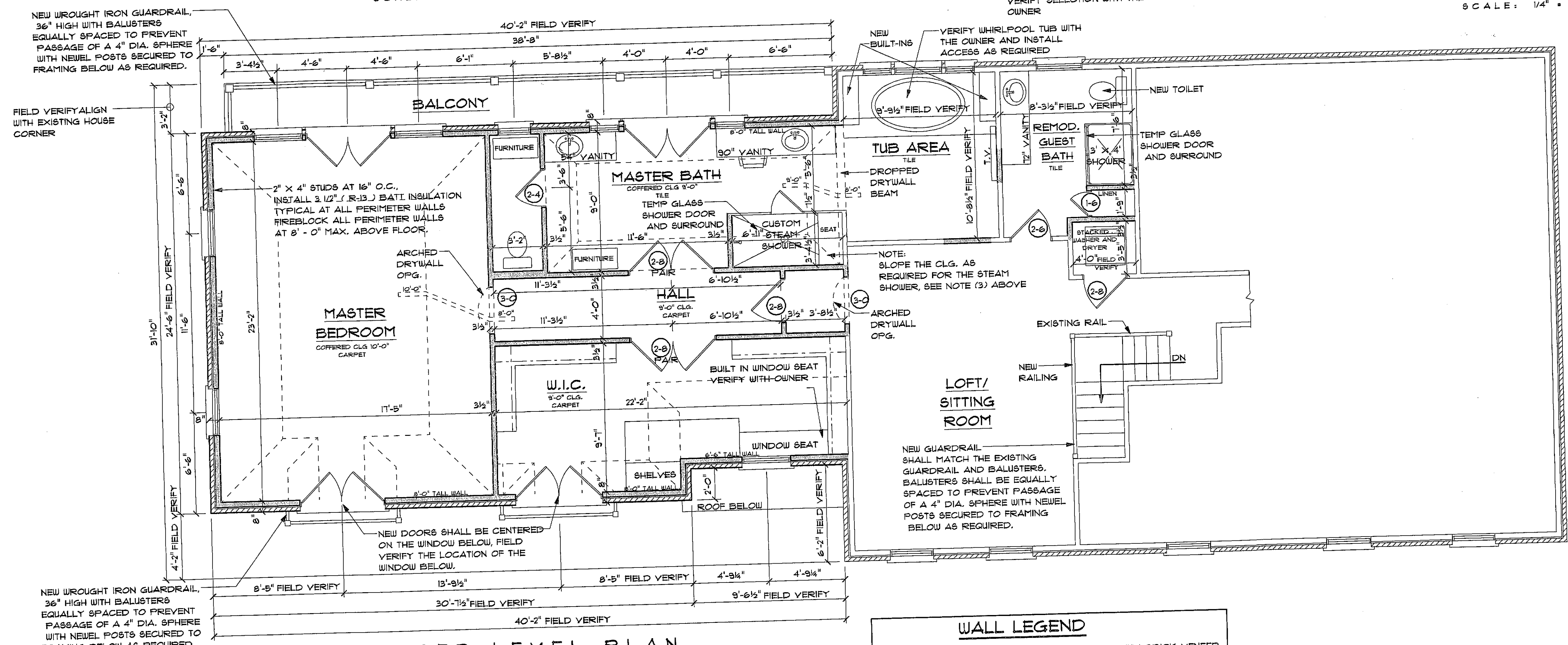
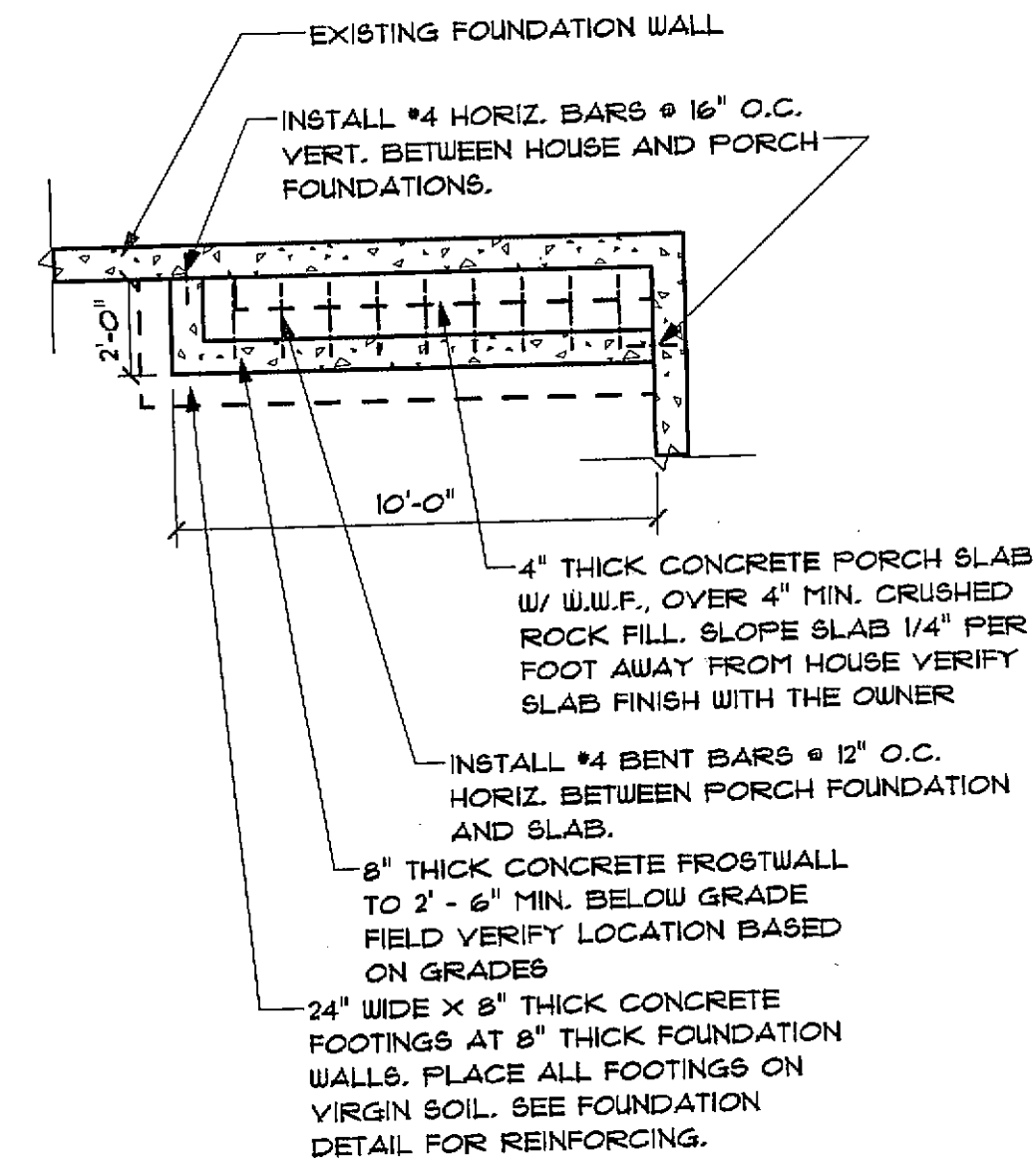
**STEAM SHOWER SPECIFICATIONS:**

CONTRACTOR SHALL COORDINATE THESE DRAWINGS WITH THE STEAM SHOWER SUPPLIER. CONTACT ARCHITECT REGARDING ANY DISCREPANCIES.

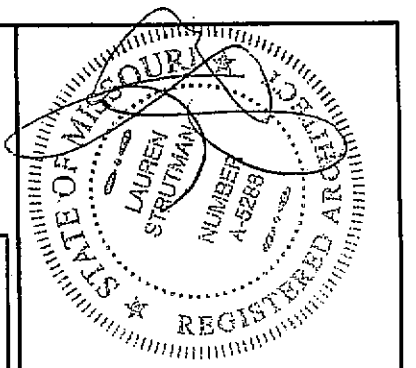
- (1) VERIFY LOCATION OF STEAM SHOWER CONTROL BOX WITH OWNER.
- (2) CEILING HEIGHT SHOULD NOT EXCEED 8'-0".
- (3) CEILING SHOULD BE SLOPED MIN. 2" PER FT.
- (4) SHOWER BENCH SHOULD BE MIN. 16" HIGH AND MIN. 15" DEEP AND SLOPED MIN. 2" PER FT. AWAY FROM WALL.
- (5) VERIFY LOCATION OF RECESSED SOAP AND SHAMPOO HOLDER WITH OWNER.
- (6) VERIFY WITH LOCAL CODES AND ADVISE OWNER IF A BACK FLOW PREVENTOR SYSTEM IS REQUIRED ON THE STEAM SHOWER AND IF IT WILL REQUIRE ANNUAL INSPECTIONS.
- (6) INSULATE ALL SURROUNDING WALLS AND CEILING.
- (7) INSTALL A VAPOR RETARDER ON ALL SURROUNDING WALLS AND CEILING.
- (8) AN OPERABLE TRANSOM SHALL BE INCLUDED IN THE TEMPERED GLASS SHOWER SURROUND

**NOTES:**

1. FOR ALL ATTIC AREAS WITH HEAD HEIGHT OVER 30" INSTALL AN ATTIC ACCESS (MIN. 22" X 30") VERIFY LOCATION WITH OWNER.
2. VERIFY WALLS TO HAVE SOUND BATT INSULATION INSTALLED IN THEM WITH OWNER.
3. INSTALL DRAIN PAN WITH DRAIN AND OVERFLOW SENSOR FOR STACKED WASHER AND DRYER AS REQUIRED.



**NOTE:** GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH AN OPTIONAL PRICE FOR "WARMLY YOURS" HEATED FLOOR IN THE MASTER BATHROOM AND TUB AREA. VERIFY LOCATIONS WITH THE OWNER



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ADDITION AND RENOVATION FOR:  
**TIM AND DIANE SCHOEN**  
 #125 WALNUT HILL FARM DRIVE CHESTERFIELD MO, 63005

**LAUREN STRUTMAN ARCHITECTS P.C.**  
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REVISIONS

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**3 OF 4**

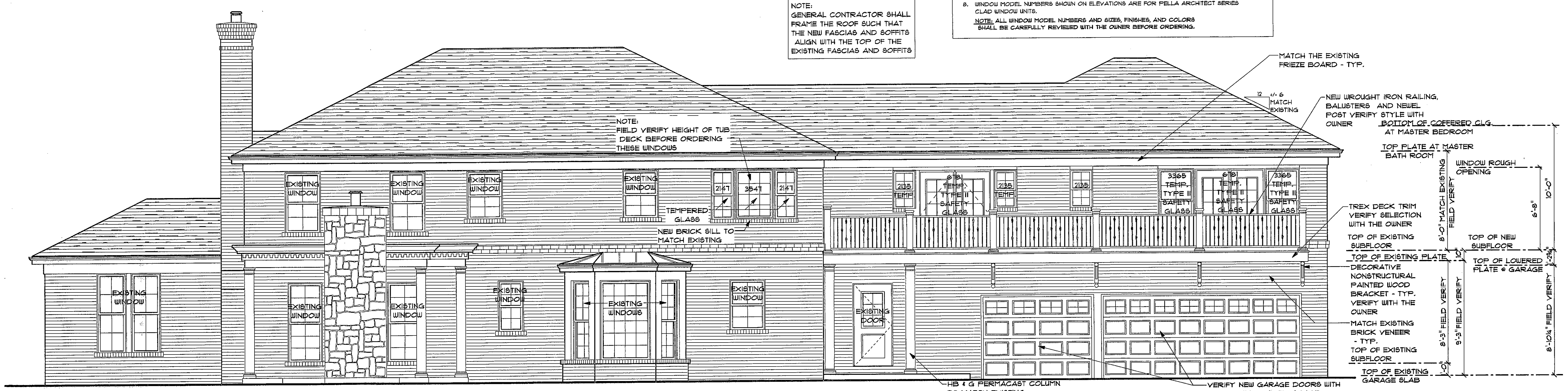
**GENERAL NOTES FOR ELEVATIONS**

- WHEREVER A ROOF ABUTS A VERTICAL WALL, EAVE, OR CHIMNEY, INSTALL ALUMINUM FLASHING WITH A BAKED ON ENAMEL FINISH A MIN. OF 6" UP WALL, AND 6" OUT ONTO ROOF.
- FOR ROOFING MATERIALS AND UNDERLAYMENT SHALL MATCH THE EXISTING
- EXTERIOR FINISH OF HOUSE SHALL BE:  
 ALL MASONRY SHALL MATCH THE EXISTING  
 ALL NEW MASONRY SHALL BE PAINTED TO MATCH THE EXISTING  
 ALL FASCIA'S AND RAKE BOARDS SHALL MATCH THE EXISTING  
 ALL SOFFITS SHALL MATCH THE EXISTING
- INSTALL SEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS WITH A BAKED - ON ENAMEL FINISH, (SEE SPECIFICATIONS). VERIFY LOCATION OF DOWNSPOUTS WITH OWNER AND JAMES ENGINEERING SITE PLAN, AND INSTALL ONE DOWNSPOUT PER 25' (MAX.) GUTTER RUN.
- INSTALL 1/2" PLYWOOD SHEATHING FOR LATERAL BRACING OVER ENTIRE EXTERIOR OF ADDITION.
- ROOFING CONTRACTOR OR GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ROOF VENTS TO PROPERLY VENT ROOF.
- MASONRY VENEER (SEE SPEC'S. FOR TYPE OF BRICK) SHALL BE INSTALLED WITH MIN. 22 GAUGE (1/8" WIDE) GALV. METAL WALL TIES @ 24" O.C. VERT. AND 16" O.C. HORIZ. (MAXIMUM).
- WINDOW MODEL NUMBERS SHOWN ON ELEVATIONS ARE FOR PELLA ARCHITECT SERIES CLAD WINDOW UNITS.  
 NOTE: ALL WINDOW MODEL NUMBERS AND SIZES, FINISHES, AND COLORS SHALL BE CAREFULLY REVIEWED WITH THE OWNER BEFORE ORDERING.

**ATTIC VENTILATION NOTE:**

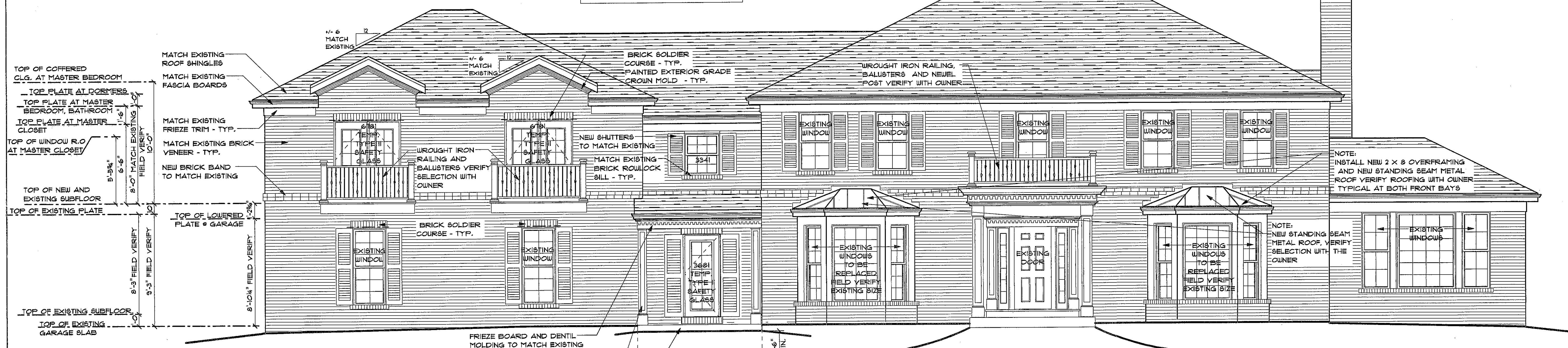
ATTIC AND ENCLOSED RAFTER SPACE VENTILATION ( NET FREE ) AREA SHALL BE MIN. 1/300 OF THE AREA SERVED. TWO REMOTE VENTS REQUIRED FOR EACH ( MINIMUM ), WHERE RIDGE OR GABLE VENTS ARE USED, 1/2 OF THE AREA TO BE PROVIDED BY RIDGE OR GABLE VENTS AND 1/2 BY EAVE OR CORNICE VENTS.  
 EXCEPTION: REQUIRED VENTILATION AREA MAY BE REDUCED TO 1/300 WHERE THE VAPOR RETARDER IS PROVIDED ON THE CONDITIONED SIDE OF THE INSULATION; OR IF THE GABLE OR RIDGE VENTS ARE LOCATED IN THE UPPER 1/3 OF THE ATTIC OR ENCLOSED RAFTER SPACE.  
 INSTALL "AIRHAWK" PVC-1200 POWER VENTILATOR'S ( COLOR TO MATCH ROOFING ), FIELD VERIFY EXACT NUMBER REQUIRED. INSTALL POWER VENTILATORS ON THE REAR ( NORTH SIDE ) OF THE ADDITION.

NOTE:  
 GENERAL CONTRACTOR SHALL FRAME THE ROOF SUCH THAT THE NEW FASCIA'S AND SOFFITS ALIGN WITH THE TOP OF THE EXISTING FASCIA'S AND SOFFITS

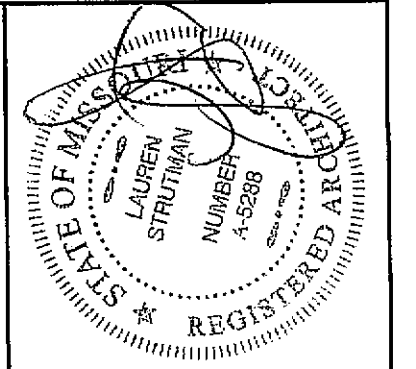


**MODIFIED REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"

NOTE:  
 ALL NEW MASONRY SHALL BE PAINTED TO MATCH THE EXISTING, VERIFY COLOR WITH THE OWNER

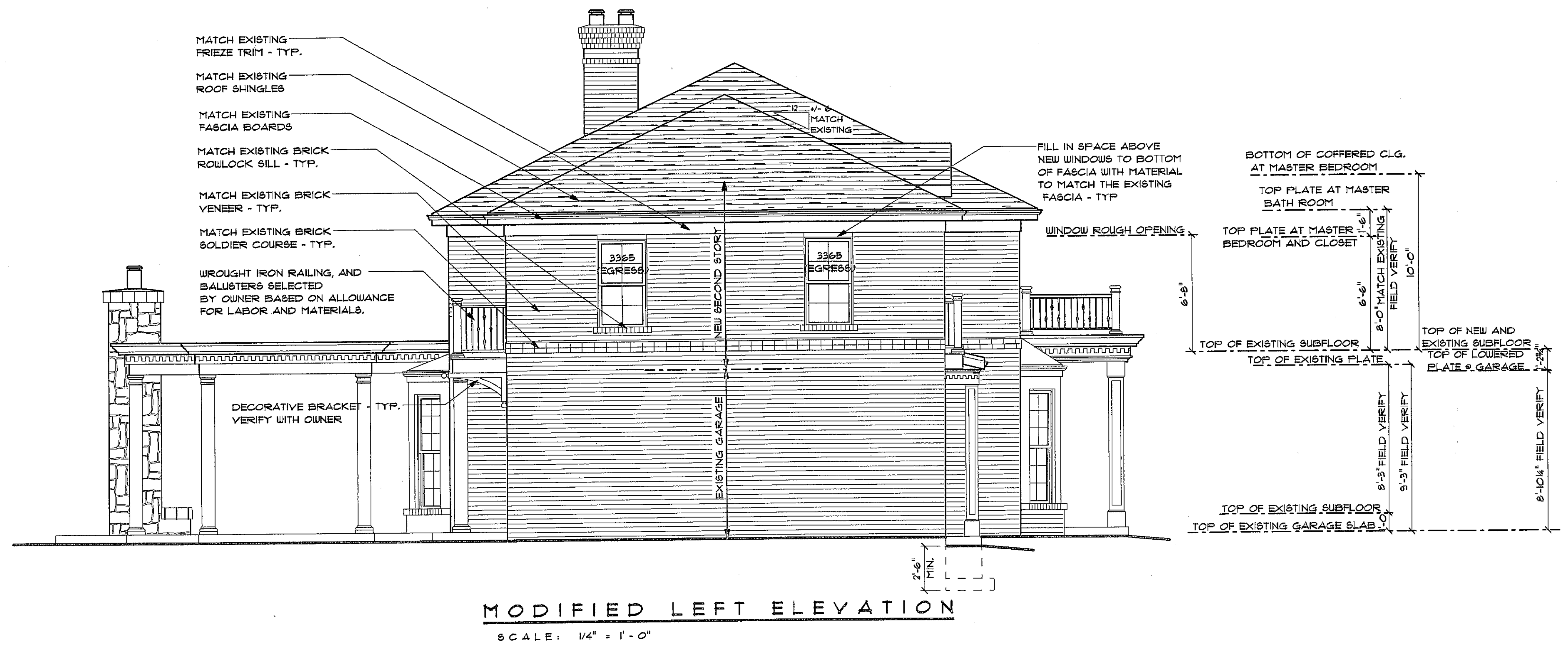


**MODIFIED FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



The professional whose personal seal and signature appears above assumes responsibility only for what appears on this page and disclaims any responsibility for all other plans, specifications, estimates, reports, or other documents or instruments not sealed by the undersigned professional relating to or intended to be used for any part or parts of the project to which this page refers.

ADDITION AND RENOVATION FOR:  
TIM AND DIANE SCHOEN  
#1215 WALNUT HILL FARM DRIVE CHESTERFIELD MO, 63005



**MODIFIED LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

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REVISIONS

DRAWN BY: R.T.D.  
JOB NO. \_\_\_\_\_  
DATE: 10-20-09

SHEET:  
**A - 4**  
**4 OF 4**