

Memorandum Department of Planning

To: Planning and Public Works Committee
From: Mike Knight, Assistant City Planner *jmk*
Date: November 19, 2020



RE: **Downtown Chesterfield Category C, Lot A (WILDHORSE) Sign Package:**
A request for a Sign Package to establish sign criteria for a 7.3 acre tract of land located northeast of the intersection of Wild Horse Creek Road and Old Chesterfield Road.

Summary

Great Lakes Capital has submitted a request for a Comprehensive Sign Package for a 7.3 acre tract of land located northeast of the intersection of Wild Horse Creek Road and Old Chesterfield Road. In accordance with the Unified Development Code (UDC), if approved, the proposed Sign Package would serve as the site specific sign regulations for the property.

The purpose of a sign package is to provide comprehensive and complementary signage. City Code states that “in order to encourage superior design, quality and character, comprehensive sign packages allow for specialized review of signs and flexibility from standard signage requirements.” The Unified Development Code in Section 405.04.050 defines a series of permitted signs in which city staff can approve for a development within the City. In the event a development would like to seek flexibility from standard signage requirements as stated above, they may submit a request for a sign package in accordance to Section 405.04.050.

The project was reviewed by the City of Chesterfield Planning Commission on Monday November 9, 2020. At that meeting, the Commission made a motion to approve the sign package as submitted by the applicant. The motion passed by a vote of (7 to 1).

Power of Review was called in accordance to Section 405.02.200 of the Unified Development Code on November 10, 2020. After review by the Planning and Public Works Committee, a final recommendation is forwarded to the City Council. The City Council will then take appropriate action relative to the proposal.

The sign package submittal contains sign criteria for one 7.3 acre lot that has one mixed-use building. The building contains 188 multi-family units, a 15,462 square foot restaurant and 11,813 square feet of retail. The building has frontage on both Wild Horse Creek Road and I-64 (Figure 1).

The request contains both wall signage and a free standing monument sign. The wall signage in the request is categorized by each use within the mixed-use building (commercial, restaurant, and residential). All wall signs will be internally lit signs on

an aluminum raceway. If approved, an amendment to the approved Amended Site Development Section Plan would be required to facilitate the placement of the monument sign, the associated grading and potential necessary easements. A full description of the applicant's request, site history, and staff analysis pertaining to how the request relates to the standard signage in the City's Unified Development Code may be found in the November 9th Planning Commission report attached to this document.

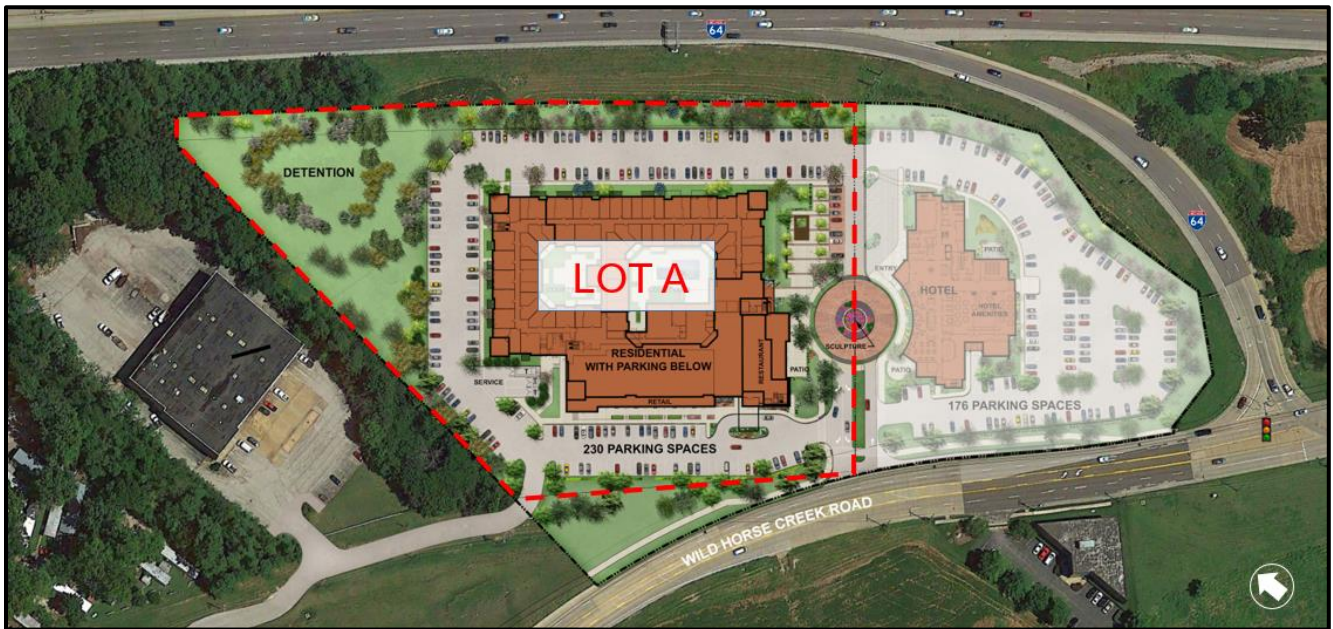


Figure 1: Subject Site Aerial

Attachments: November 9, 2020 Planning Commission Staff Report
Sign Package Submission



VILA

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Project Type: Sign Package

Meeting Date: November 9, 2020

From: Mike Knight, Assistant City Planner *mk*

Location: A 7.3 acre tract of land located northeast of the intersection of Wild Horse Creek Road and Old Chesterfield Road.

Description: **Downtown Chesterfield Category C, Lot A (WILDHORSE) Sign Package:** A request for a Sign Package to establish sign criteria for a 7.3 acre tract of land located northeast of the intersection of Wild Horse Creek Road and Old Chesterfield Road.

PROPOSAL SUMMARY

Great Lakes Capital has submitted a request for a Comprehensive Sign Package for a 7.3 acre tract of land located northeast of the intersection of Wild Horse Creek Road and Old Chesterfield Road. In accordance with the Unified Development Code (UDC), if approved, the proposed Sign Package would serve as the site specific sign regulations for the property.

The purpose of a sign package is to provide comprehensive and complementary signage. City Code states that “in order to encourage superior design, quality and character, comprehensive sign packages allow for specialized review of signs and flexibility from standard signage requirements.” The Unified Development Code in Section 405.04.050 defines a series of permitted signs in which city staff can approve for a development within the City. In the event a development would like to seek flexibility from standard signage requirements as stated above, they may submit a request for a sign package in accordance to Section 405.04.050. The following report discusses the history of the subject site requesting the sign package, an overview of the applicant’s request, followed by staff analysis on how this submission relates to the standard signage requirements in the City’s Unified Development Code.

SITE HISTORY

On March 19th, 2008, the City of Chesterfield City Council approved Ordinance 2449. This ordinance amended the previous governing zoning ordinance of the City of Chesterfield by changing the boundaries of multiple zoning districts into one 99 acre "PC&R" Planned Commercial & Residence District known as Downtown Chesterfield.

City of Chesterfield Ordinance 2449 created one PC&R district that defined specific development criteria into three specific categories. The three categories were labeled as Category A, Category B, and Category C. They were also defined by location having specific category standards.

On November 5th, 2018, City Council approved Ordinance 3023. This ordinance amendment had two main objectives. The first was to incorporate and re-zone a 0.4 acre Non-Urban “NU” parcel to the “PC&R” District. The second was to amend the development criteria of the governing ordinance in which separate Concept Plans would be submitted by defined Category vs. for the entire District. It essentially allows for 2 phases of development within Downtown Chesterfield.

In February of 2019, the Site Development Section Plan for Lot A of Category C was approved which allowed for a development of a mixed-use building containing residential units, retail, and a restaurant. Lot A is seeking a comprehensive sign package within this request.

Most recently in August of 2020, the City of Chesterfield City Council approved Ordinance 3114 which is the current governing ordinance for the subject site.

Below is an aerial of the subject site (Figure 1), that identifies Lot A (in red) with an overlay of the color site plan that was approved in February of 2019. The site plan contains the one mixed-use building that is currently under construction.

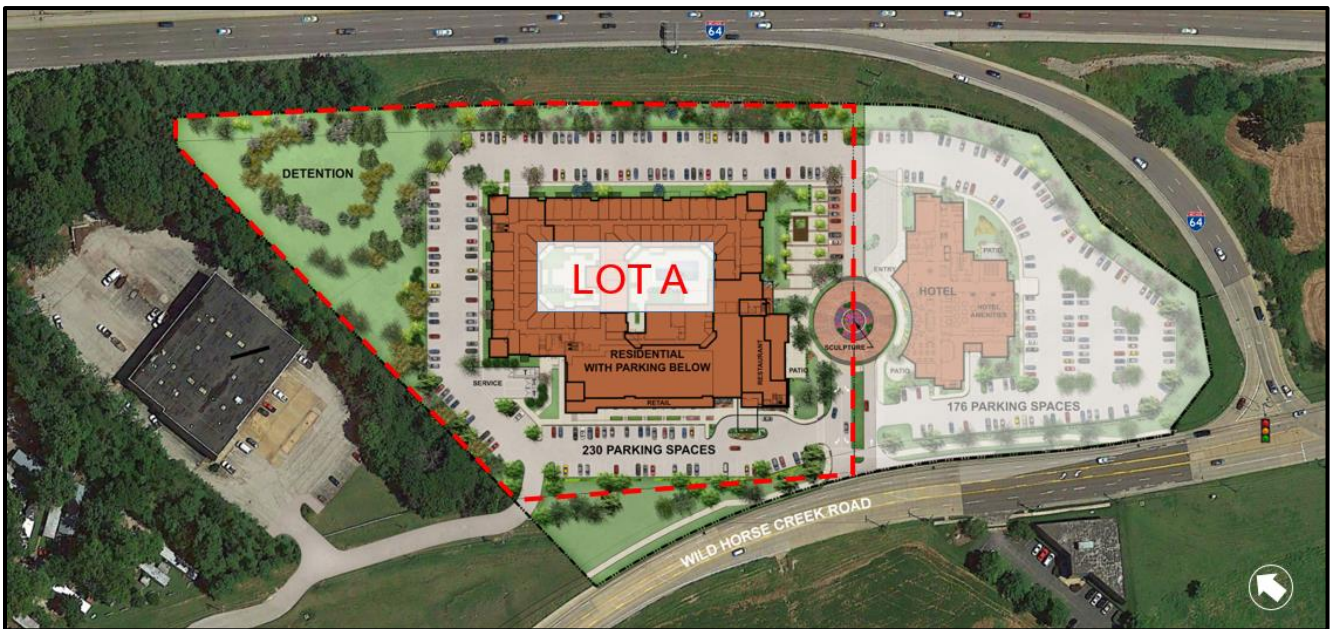


Figure 1: Aerial Site Photo

SUBMITTAL OVERVIEW

The sign package submittal contains sign criteria for one 7.3 acre lot that has one mixed-use building. The building contains 188 multi-family units, a 15,462 square foot restaurant and 11,813 square feet of retail. The building has frontage on both Wild Horse Creek Road and I-64 (Figure 1).

The request contains both wall signage and a free standing monument sign. The wall signs in the request are categorized by each use within the mixed-use building (commercial, restaurant, and residential). All wall signs will be internally lit signs on an aluminum raceway.

Commercial: Wall Signs

This request includes signage for all of the individual commercial tenants facing Wild Horse Creek Road. There are currently 6 commercial spaces. The sign criteria established within the sign package is that each commercial tenant space would be allowed one sign in which the outline area of each sign shall not exceed (5%) of the wall area of the business on which the sign is attached. Below is a table of what the 5% calculation would be for each tenant space in the current configuration.

Tenant	Quantity	Wall Area (SF)	5% Calculation (SF)
Suite 101	1	1,033	52
Suite 102	1	588	29
Suite 103	1	584	29
Suite 104	1	584	29
Suite 105	1	584	29
Suite 106	1	1,189	59
Total	6	4,562	228

Important Note:

The table represents current conditions, thus if Suite 102 and 103 became 1 tenant space they would solely be permitted (1) sign that is 5% of the combined total wall area.

Table 1: Commercial Wall Signage

Eastern End Cap Tenant (Restaurant): Wall Signs

The end cap tenant of the mixed-use building is currently a restaurant. The sign package is requesting three signs for this specific tenant. The sign criteria established for the restaurant space would be for one (94) SF sign to be on a specific location on the north façade of the mixed-use building, one (94) SF sign located on the east façade, and one sign to be located on the south facade not to exceed (5%) of the wall area of which the sign is attached to. Below is a table displaying the requested restaurant signs.

Façade	Quantity	Wall Area (SF)	Sign (SF)
North	1	NA	94
East	1	NA	94
South	1	1,116	56
Total	3	NA	244

Important Note:

Wall size is "NA" as the designated signs are not located on the restaurant wall area. Discussed more in Staff Analysis.

Table 2: Eastern End Cap Tenant (Restaurant) Signage

Residential: Wall Signs

One sign is being requested for the multi-family building. The sign outline area is 66 SF and located above the office of the multi-family building on the eastern façade.

Mixed-Use Building: Monument Sign

There is one free standing monument sign being proposed for the mixed-use building. The outline area of the sign is 240 SF attached to a stone retaining wall facing Interstate 64. The sign is at maximum 10' above grade and 120' in length. The sign will be illuminated by ground mounted LED light fixtures with foundation plantings consisting of perennials.

Below is an image staff created to understand the location of all 11 proposed signs for Lot A within Category C of Downtown Chesterfield.

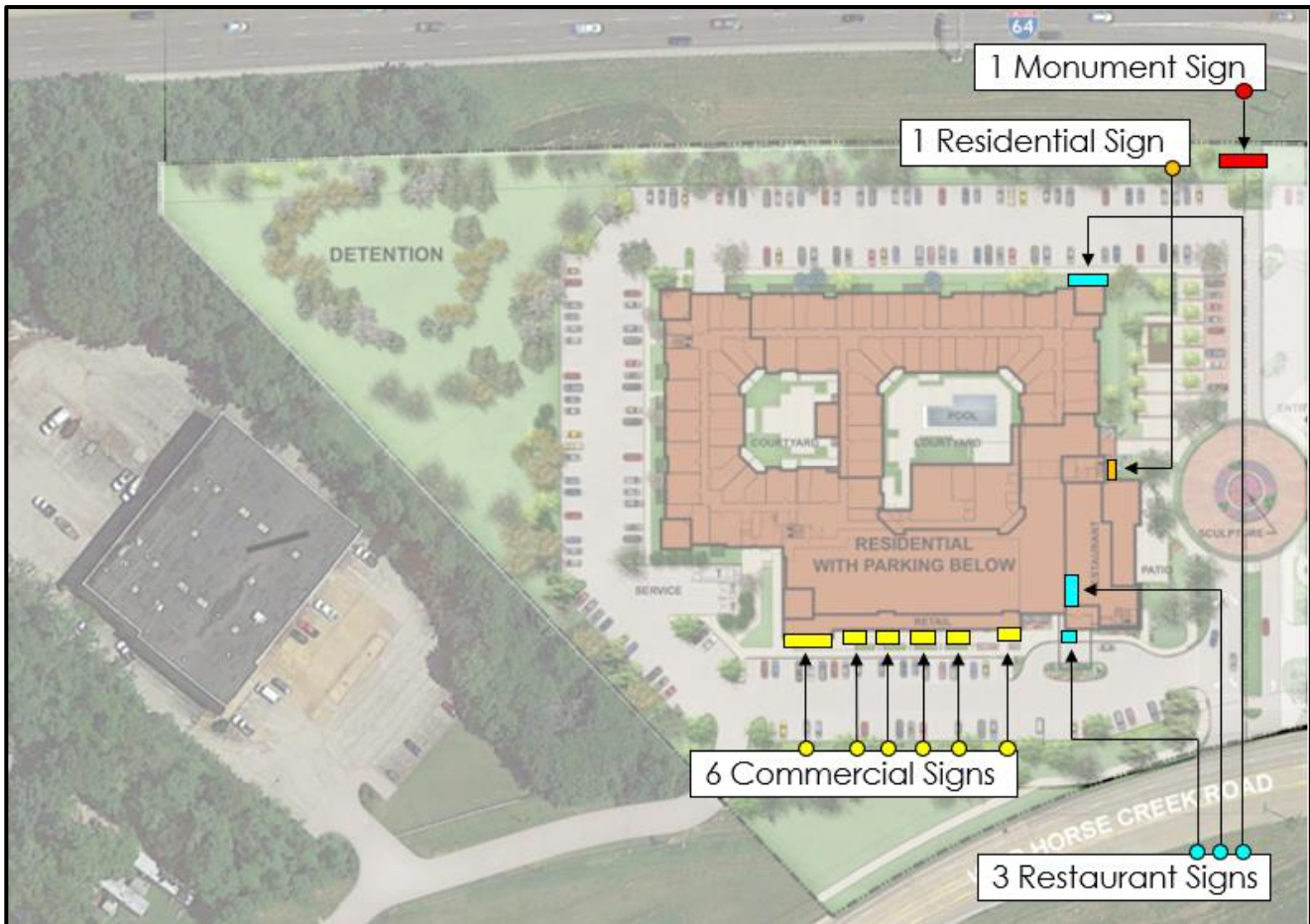


Figure 2: Proposed Signage Location for Lot A (Location purposes only, not scale of individual signs)

STAFF ANALYSIS

Section 405-01-050 of the Unified Development Code states: Consideration of flexibility in sign criteria is based on a number of review factors, including, but not limited to, the physical impact of the proposed comprehensive sign package, the quality of the proposed comprehensive sign package, and mitigation of unfavorable conditions such as excessive signs, light spillover from signs, height, and other related conditions and potentially negative impacts.

Section 405-01-050 of the Unified Development Codes also states the standard monument sign criteria for mixed use subdivisions with (10 units) or more. This section of code also states the standard wall signage for multi-tenant buildings. The following is a summary of both monument and wall signage in accordance to the UDC followed by staff input on how the request relates to the standard sign criteria.

Monument: Mixed-Use Building

The Unified Development Codes states *“Mixed use subdivisions of ten 10 units or more that are less than twenty (20) acres shall be permitted a subdivision identification sign at each main entrance to the*

subdivision. Such sign shall not exceed fifty (50) square feet in outline area per face, nor extend more than six (6) feet above the average existing finished grade at the base of the sign or elevation of the adjacent street, whichever is higher. A mixed use subdivision identification sign shall be located within an easement on any platted lot or on common ground of subdivision.”

Monument: Mixed-Use (Staff Input)

As outlined above, the lot is permitted one monument/ identification sign to not exceed 50 square feet in outline area and not to exceed 6 feet in height, located at the main entrance to the site. The proposed sign is 240 square feet and shall not exceed 10 feet in height, located facing Interstate 64. It is important to note that the base on which the sign is attached is being proposed at 120’ in length with a variable height being constructed into the grade of the site. Below (Figure 3) is an image of the sign. The base is constructed out of natural stone boulders and illuminated by ground mounted LED light fixtures.

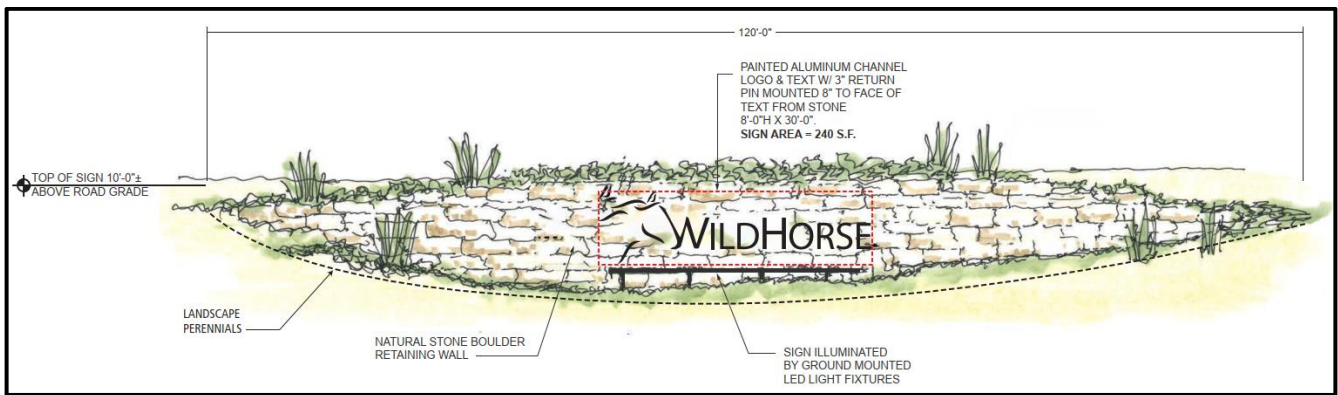


Figure 3: Proposed Monument Sign

If Planning Commission were to approve the sign package with the monument as presented, the applicant would be required to amend the approved Site Development Section Plan to include the sign and amend the approved Landscape Plan as it depicts plantings in the same location.

The monument sign is being proposed along Interstate 64. This is the first mixed-use building in the City of Chesterfield that includes both residential and non-residential occupancies. Staff completed an inventory via a recent field inspection of the existing monument signs along Interstate 64. Although there are numerous commercial signs that front the Interstate, there are only two residential subdivision signs designed to be seen (Schoettler Village Apartments and Delmar Gardens) from the Interstate.

Wall Signs: Commercial

The Unified Development Code states: *“Each business occupying a tenant space have no more than one (1) attached business sign on any two (2) walls of a building that are exterior walls of the particular building or tenant space. The outline area of each sign shall not exceed five percent (5%) of the wall area of the business on which said sign is attached. No business sign shall exceed three hundred (300) square feet in outline area.”* As previously stated, there are currently 6 commercial spaces in which sign criteria is established within the sign package.

Wall Signs: Commercial (Staff Input)

The request by the applicant is essentially the same as what is stated above in code. There are currently 6 suites in which signage could be located above the door of each tenant space not to exceed 5% of the wall area of the tenant space. Below (Figure 4) is an image depicting the current tenant configuration and the allowable tenant signage.

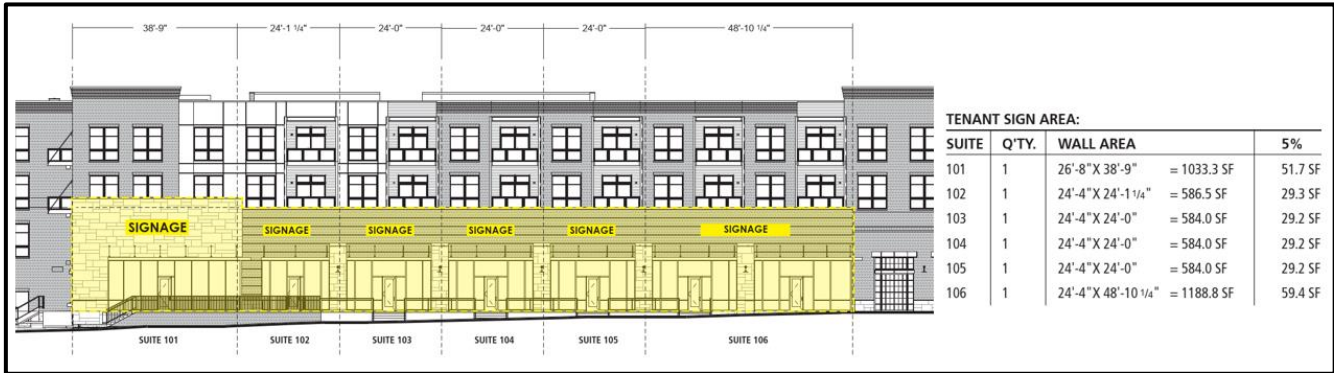


Figure 4: Proposed Commercial Signs

Wall Signs: Restaurant

The Unified Development Code states: *“Each business occupying a tenant space have no more than one (1) attached business sign on any two (2) walls of a building that are exterior walls of the particular building or tenant space. The outline area of each sign shall not exceed five percent (5%) of the wall area of the business on which said sign is attached. No business sign shall exceed three hundred (300) square feet in outline area.”*

Wall Signs: Restaurant (Staff Input)

To comply with the standard signage within the Unified Development Code above, the restaurant could have up to (2) signs, one on the tenant space wall area of the south elevation and one on the tenant space wall area of the east elevation. The maximum outline area of the sign on the south elevation would be 55.8 SF and the maximum outline area of the sign on the east façade would be roughly 175 SF.

The applicant is requesting 3 signs (south, east, and north elevations) that can be used solely by the restaurant end cap tenant space. The south elevation sign is to be located on the tenant wall no more than 5% of the tenant wall area that the sign is on. The east and north elevation signs are both located not on the restaurant’s wall area, but on the multi-family residential building wall facades. The allowable signage is not a percentage of wall area, but is being requested at no more than 94 SF in outline area.

Staff is unaware of any other building currently within the City of Chesterfield in which a restaurant sign is located on another tenant’s wall area.

Figure 5 on the following page provides the specific locations for signage on the east and north facades of the multi-family building dedicated to the end cap tenant restaurant. Also on Figure 5 is the wall

area of the south facade of the restaurant in which the end cap tenant restaurant would be allowed 5% of the wall area to have one sign.

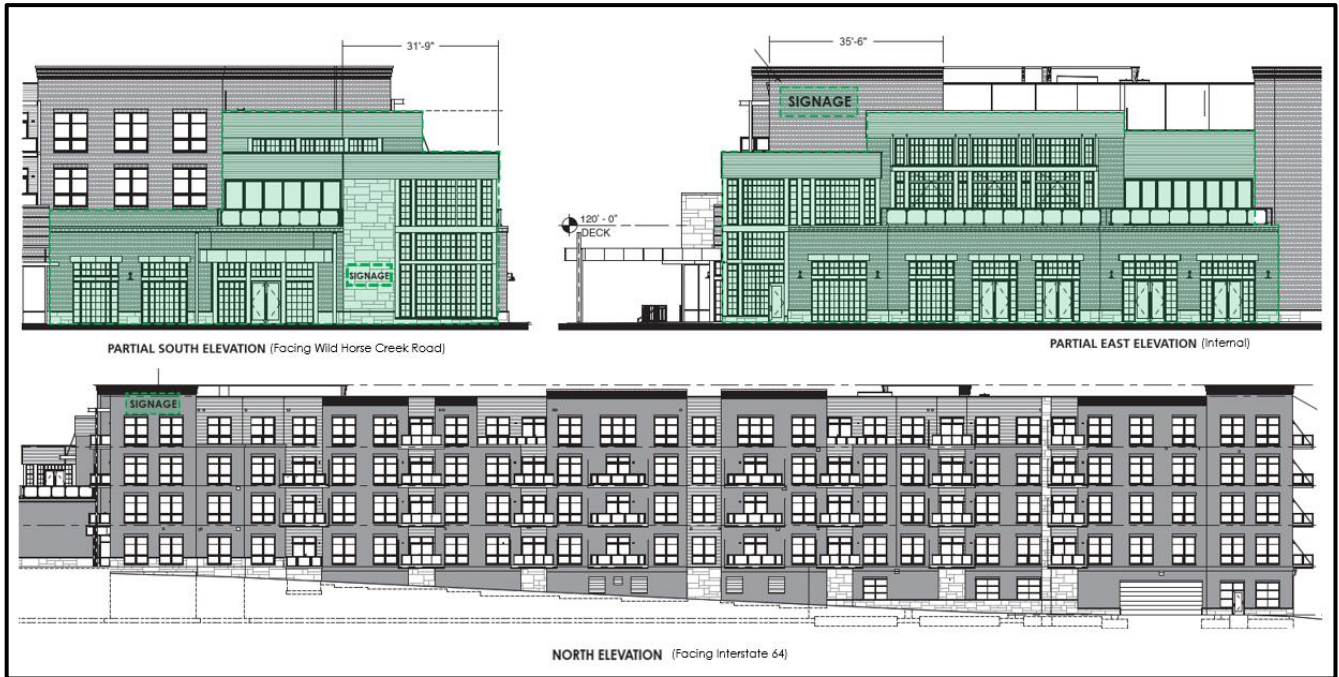


Figure 5: Proposed End Cap Restaurant Signs

Wall Signs: Residential (Staff Input)

The applicant is requesting one sign be allowed above the office on the east façade of the multi-family residential building. The Unified Development Code does not have standard wall signage for residential buildings. The applicant is requesting one sign that is 66 square feet in the location directly above the office door as seen below (Figure 6).



Figure 6: Residential Wall Sign

Category C Signage Concept Plan

In February of 2019, a Signage Concept Plan was approved for Category C of Downtown Chesterfield. The concepts proposed within the signage concept plan are intended to promote a consistent approach to signage. It is important to note that the signage concept plan does not provide a conceptual location or quantity of signs, but provides consistency in the construction of the signs themselves. There are four examples of potential signs (2 wall and 2 site signage) that can be used (Figure 7). The applicant’s proposal conforms to the Category C Signage Concept Plan.

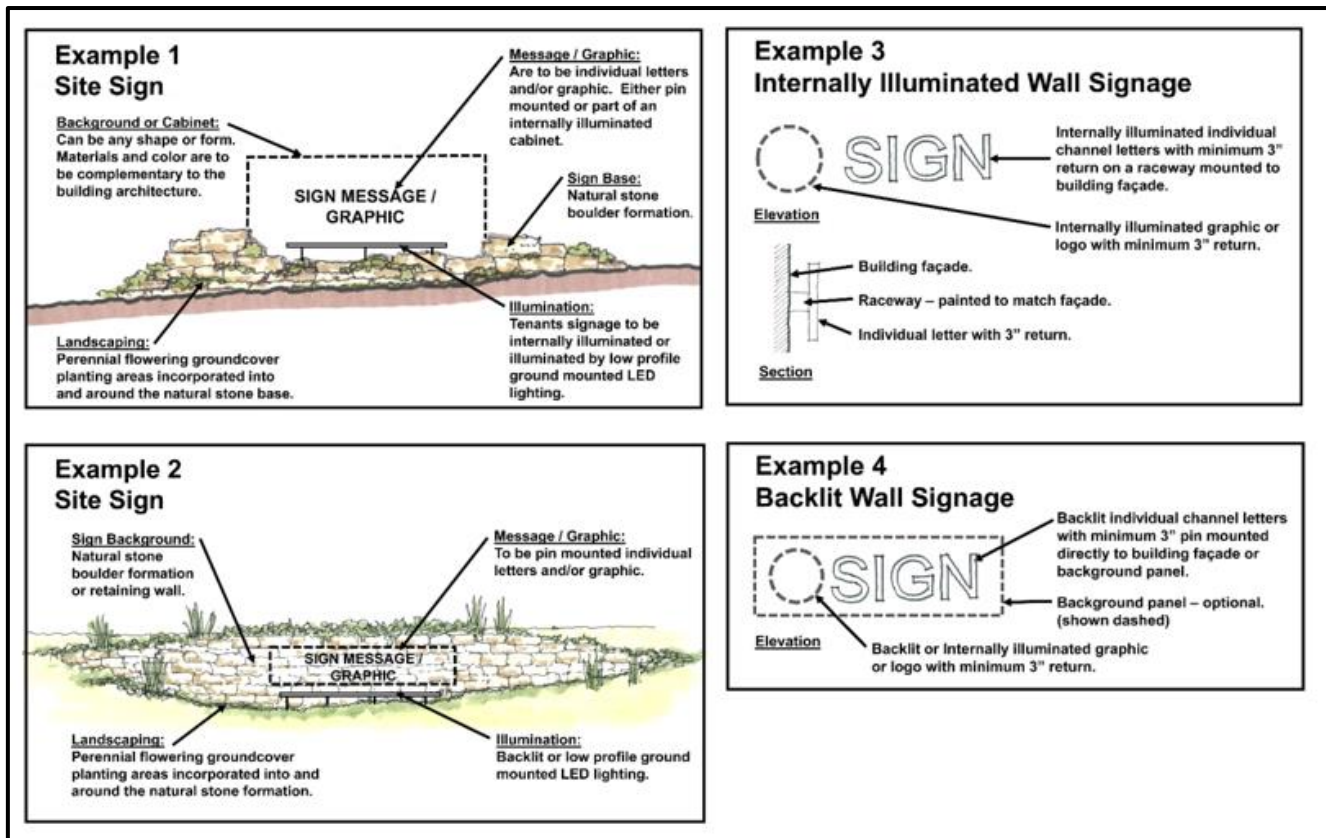


Figure 7: Examples in Category C Signage Concept Plan

NARRATIVE STATEMENT

The applicant provided the required narrative statement in conjunction with the sign package. Within the narrative, the applicant states that all signage within the development shall be in conformance with the comprehensive sign package. It states that all tenants, businesses, and owners within the development shall receive a copy of the Comprehensive Sign Package from the owner at the time of lease/sale, and any signage not specifically identified within the Comprehensive Sign Package shall conform to the Unified Development Code.

STAFF RECOMMENDATION

Staff has reviewed the Sign Package request and found that it meets the requirements to be presented to the Planning Commission for review, and staff recommends action. Please note, any amendments to the provisions of the approved Sign Package would require review and approval by the Planning Commission.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the sign package for Downtown Chesterfield Category C, Lot A (WILDHORSE).
- 2) "I move to approve the Sign Package for Downtown Chesterfield Category C, Lot A (WILDHORSE) with the following conditions ..." (Conditions may be added, eliminated, altered or modified).

Attachments: Proposed Sign Package

To Whom It May Concern:

The purpose of the sign program is to give a consistent and uniformed feel for the building and tenants. The feel of the property is one of class. All signage will fall into the guidelines laid out here in the sign program. All non-conforming signage will be removed and tenant's expense.

General Notes - General Notes:

1. This Master Sign Criteria shall be strictly enforced, and any non-conforming signs installed by Owner shall be removed by the Owner or its contractor at Owner's sole cost and expense within ten (10) days of Owner's receipt of written notice from the Board of Directors or the City of Chesterfield.
2. All signage within the development shall be in conformance with the Comprehensive Sign Package
3. All tenants, businesses, owners within the development shall receive a copy of the Comprehensive Sign Package from the owner at the time of lease/sale
4. Each Owner shall submit to the Board of Directors and the City of Chesterfield, for approval, two (2) copies of the detailed shop drawing of Owner's proposed sign, in conformance with this Master Sign Criteria. Such submittals shall include, but not be limited to, pertinent dimensions, details and color callouts.
5. The tenant shall submit to owner for review and approval all drawings and descriptions relating to tenant signs. Tenant at tenant's sole cost and expense, shall submit all plans to all governmental authorities for approval and permitting.
6. Tenant's sign contractor must: (1) must have a current, in-force license from the State of Missouri to fabricate signs, (2) must carry current, in-force general liability insurance of not less than \$1 million and (3) must carry current, in-force workman's compensation insurance. Tenant is to be named as additional insured for both general liability and workman's compensation insurance. All work shall be of excellent quality. The City of Chesterfield and/or the ownership reserves the right to reject any work determined to be of inferior quality by the City of Chesterfield and/or the ownership or the project architect, in their sole and absolute determination.
7. Ownership in its sole and absolute discretion, reserves the right to disapprove any sign that may conflict with the overall appearance of the building.
8. Any Signage not specifically identified in the Comprehensive Sign Package shall conform to Section 04-05 of the Unified Development Code.

MASTER SIGN PROGRAM
16511 Wild Horse Creek Road, Chesterfield, Missouri 63017

The purpose of this Master Sign Criteria is to establish the minimum sign standards necessary to ensure coordinated proportional exposure for all tenants.

General Notes:

- A) This Master Sign Criteria shall be strictly enforced and any non-conforming signs installed by Owner shall be removed by the Owner or its contractor at Owner's sole cost and expense within ten (10) days of Owner's receipt of written notice from the Board of Directors or the City of Chesterfield.
- B) All Owners signage shall be consistent with ordinances and sign criteria required by the city of Chesterfield.
- C) Each Owner shall submit to the Board of Directors and the City of Chesterfield, for approval, two (2) copies of the detailed shop drawing of Owner's proposed sign, in conformance with this Master Sign Criteria. Such submittals shall include, but not be limited to, pertinent dimensions, details and color call-outs.
- D) The tenant shall submit to owner for review and approval all drawings and descriptions relating to tenant signs. Tenant at tenant's sole cost and expense, shall submit all plans to all governmental authorities for approval and permitting.
- E) Tenant's sign contractor must: (1) must have a current, in-force license from the State of Missouri to fabricate signs, (2) must carry current, in-force general liability insurance of not less than \$1 million and (3) must carry current, in-force workman's compensation insurance. Tenant is to be named as additional insured for both general liability and workman's compensation insurance. All work shall be of excellent quality. The City of Chesterfield and/or the ownership reserves the right to reject any work determined to be of inferior quality by the City of Chesterfield and/or the ownership or the project architect, in their sole and absolute determination.
- F) All signs and their installation must comply with all local building and electrical codes and any government authority which has jurisdiction over signs. Tenant and tenant's contractor shall independently investigate all local or City of Chesterfield sign ordinances. Owner shall not be liable to tenant for any requirements not covered in this Master Sign Criteria.
- G) Ownership in its sole and absolute discretion, reserves the right to disapprove any sign that may conflict with the overall appearance of the building.
- H) The City of Chesterfield, in its sole and absolute discretion, reserves the right to disapprove any sign that may conflict with the overall appearance of the building.

Doorway & window Signage:

- A) Tenant is allowed to have door and window signs for business hours, tenant name and address, not to exceed 4 sq. ft. of glazing area. Lettering not to exceed six (6) inches in letter height.

Business front Signage:

- A) Tenants are to have Halo-lit or Face-lit channel logo/letters mounted on aluminum raceway for business frontage wall signs.
- B) Cabinet sign & Blade signs:
Cabinet signs and blade signs are allowed within Section Area "C" pending review and approval by the City of Chesterfield through the Concept Sign Package process. Unique design, superior quality and appropriateness of the proposed cabinet or blade sign will be the primary consideration.
- C) The City of Chesterfield and /or owner may require reduction of any sign based upon aesthetics of the building elevation, and upon the sole discretion of the City of Chesterfield and/or the owner.

Tenant ID sign restrictions:

Sign Type:	Description:	Sign Area:
"C"	Identification ID Sign.	240 sq. ft.
"E.1"	Building Tenant ID Signage.	66 sq. ft.
"F.1"	Restaurant Tenant Wall Signage.	94 sq. ft.
"F.2"	Restaurant Tenant Wall Signage.	Per City Ordinance Section 31-04-05f3 (a)-
"G"	Commercial Tenant Wall Signage.	Per City Ordinance Section 31-04-05
"K"	Door Graphics.	4 sq. ft.

Tenant Sign Content and colors:

All tenants signage shall consist solely of Tenant's trade name, logo and recognition trademark insignia. Tenants will be permitted to use their corporate colors. The landlord encourages the tenants to consider these colors when choosing design colors; Sign colors should be selected to provide sufficient contrast against building background colors and/or should be compatible with and complement building background colors. The owner and/or the City of Chesterfield reserves any and all rights to deny any color(s).

Prohibited Signs:

- No sign shall project above or below the sign-able area as defined herein.
- Wall signs may not project above the top of a parapet, the roof line at the wall, or roof line.
- Sign painted directly on a building surface will not be permitted.
- No animated, flashing or audible signs are permitted.
- Exposed skeleton neon applied directly to fascia element.
- No exposed tubing or lamps are permitted.
- No cabinet signs will be allowed in this center. Logo module boxes may be permitted with owner and City of Chesterfield approval only.
- Sign contractor shall provide necessary fastening and bracing to securely install sign (for wind loads, etc.) to conform to local and City of Chesterfield building codes.

**Great Lakes
Capital -**

MASTER SIGN PROGRAM

Project Location:
 16511 Wildhorse Creek Road
 Chesterfield, Missouri 63017

Project No.: **200450-10**

Salesman: **Aaron Clippinger**

Designer: **Arnulfo Melchor**

Date: **February 20, 2020**

Scale: **as noted**

Revision:

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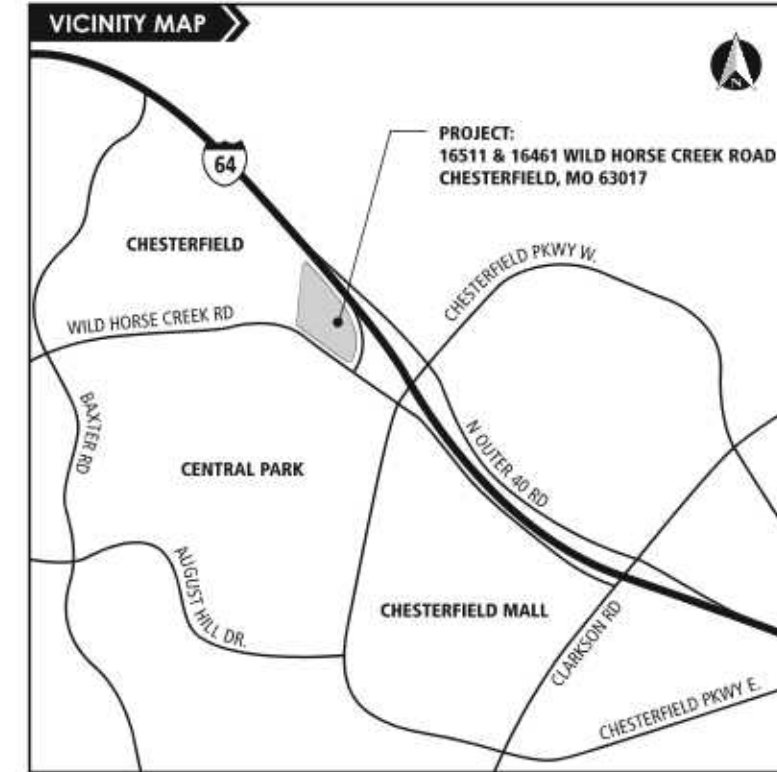
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16511 WILD HORSE CREEK ROAD
CHESTERFIELD, MISSOURI 63005

LEGAL DESCRIPTION:
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18T640215, 18T640303, 18T640314,
18T640325
ZONING: "PC&R" PLANNED COMMERCIAL &
RESIDENCE (ORD. #3023)
LOT SIZE: 7.306± ACRES
SUBDIVISION: WILDHORSE
COUNTY: SAINT LOUIS

PROPERTY OWNER:
WILD HORSE HOTEL, LLC
9333 N. MERIDIAN ST.
INDIANAPOLIS, IN 46260

ADDRESS:
16461 WILD HORSE CREEK ROAD
CHESTERFIELD, MISSOURI 63005

LEGAL DESCRIPTION:
APN#: 18S430248, 18T640095, 18T640204,
18T640215, 18T640303, 18T640314,
18T640325
ZONING: "PC&R" PLANNED COMMERCIAL &
RESIDENCE (ORD. #3023)
LOT SIZE: 3.474± ACRES
SUBDIVISION: WILDHORSE
COUNTY: SAINT LOUIS



Great Lakes Capital -

MASTER SIGN PROGRAM

Project Location:
16511 Wildhorse Creek Road
Chesterfield, Missouri 63017

Project No.: **200450-10**

Salesman: Aaron Clippinger

Designer: Arnulfo Melchor

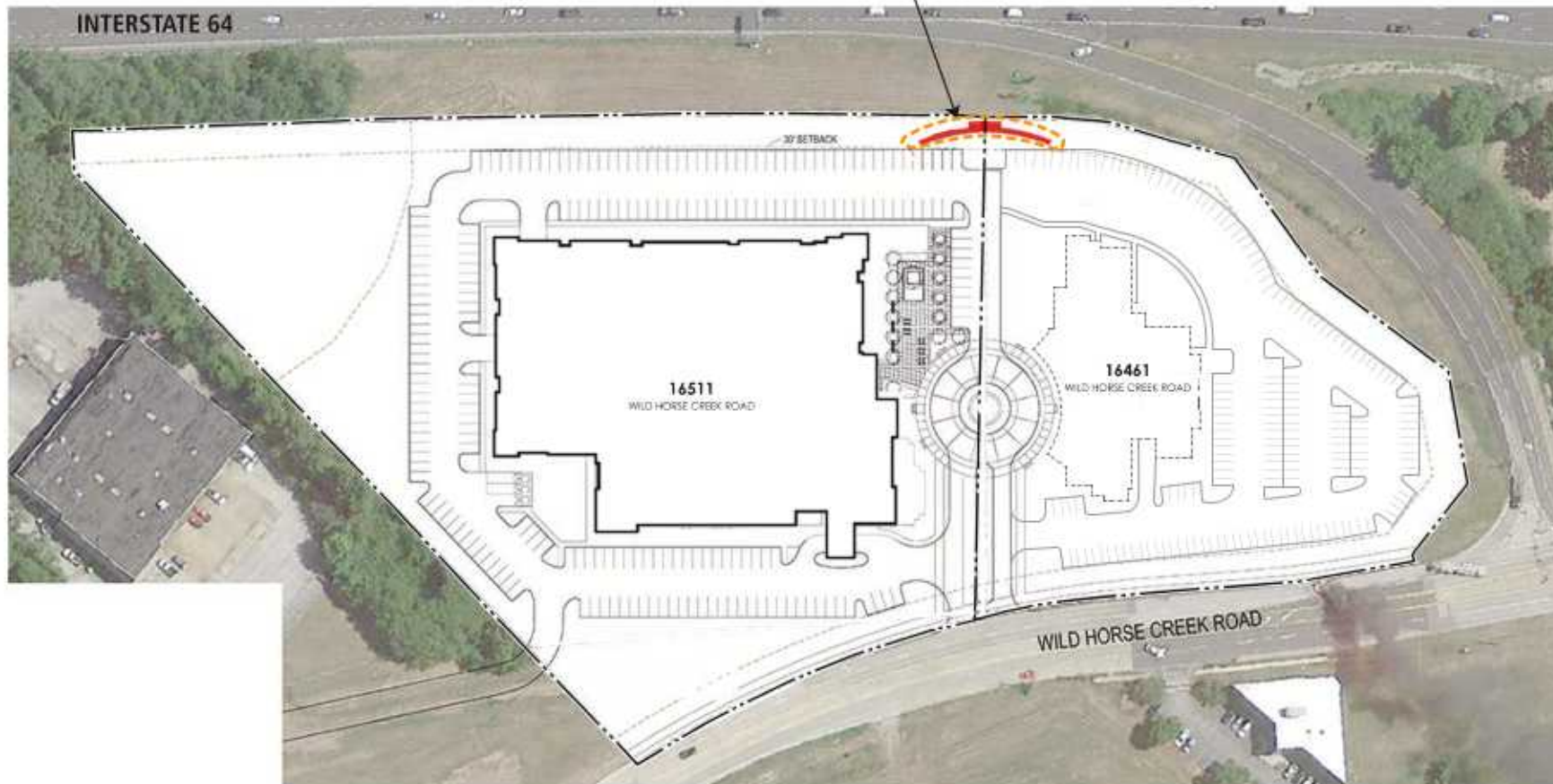
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(C) IDENTIFICATION ID SIGN



LEGEND

SIGNAGE:	SIGN AREA:
(C) IDENTIFICATION ID SIGN.	240 SQ. FT.
(E).1 BUILDING TENANT ID SIGNAGE.	66 SQ. FT.
(F).1 RESTAURANT TENANT WALL SIGNAGE.	94 SQ. FT.
(F).2 RESTAURANT TENANT WALL SIGNAGE.	PER CITY ORDINANCE SECTION 31-04-05F3 (A)-
(G) COMMERCIAL TENANT WALL SIGNAGE.	PER CITY ORDINANCE SECTION 31-04-05
(K) DOOR GRAPHICS.	4 SQ. FT.

KEY - LANDSCAPE PLAN

--- LANDSCAPE PERENNIALS.

SEE NEXT SHT. FOR ENLARGED FLOOR PLAN & SIGNAGE LOCATION.

SITE PLAN

SCALE: 1"=160'-0"



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Great Lakes Capital -

MASTER SIGN PROGRAM

Project Location:
16511 Wildhorse Creek Road
Chesterfield, Missouri 63017

Project No.: **200450-10**

Salesman: **Aaron Clippinger**

Designer: **Arnulfo Melchor**

Date: **February 20, 2020**

Scale: **1"=60'-0"**

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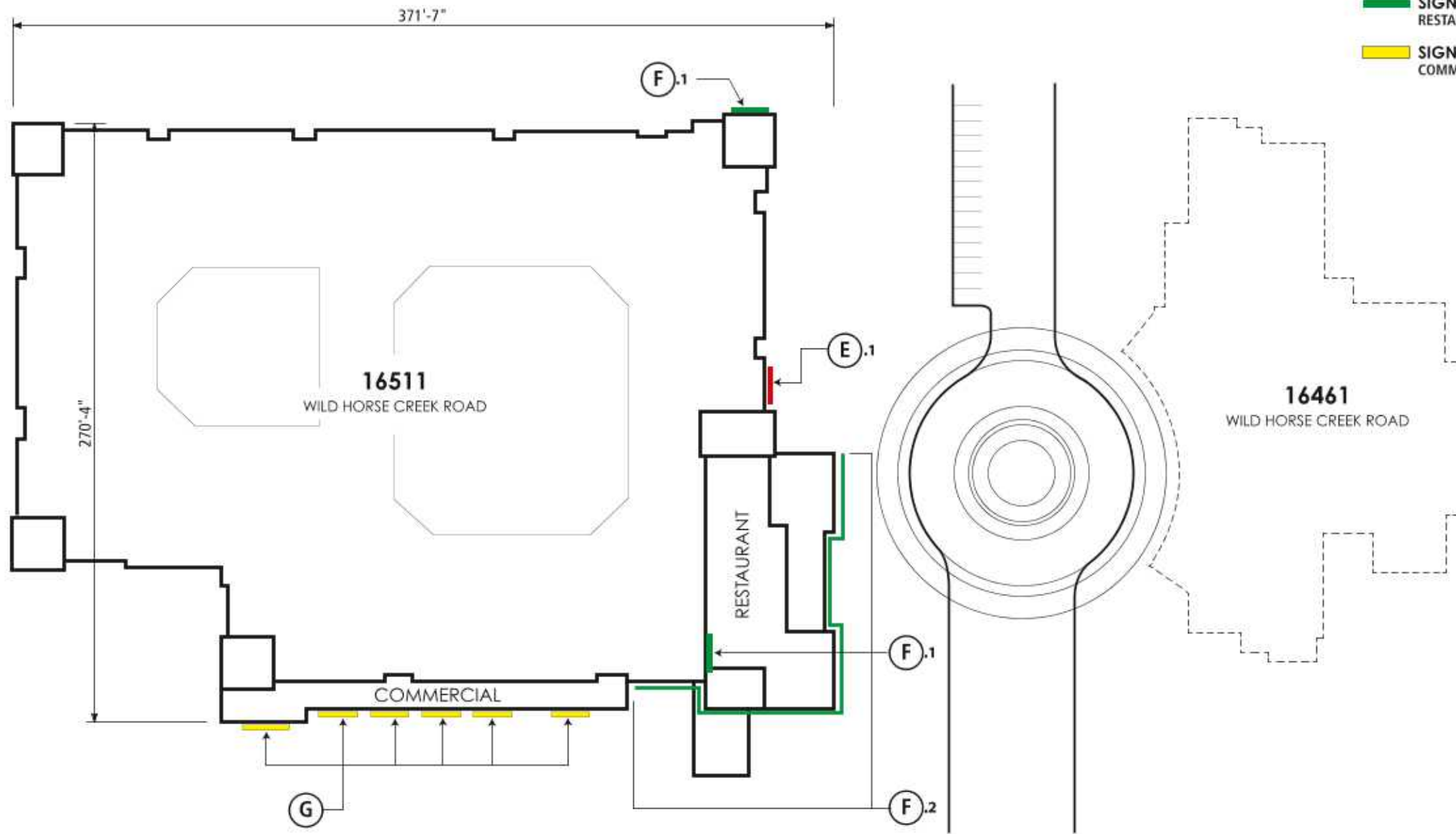
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LEGEND

SIGNAGE:	SIGN AREA:
(C) IDENTIFICATION ID SIGN.	240 SQ. FT.
(E).1 BUILDING TENANT ID SIGNAGE.	66 SQ. FT.
(F).1 RESTAURANT TENANT WALL SIGNAGE.	94 SQ. FT.
(F).2 RESTAURANT TENANT WALL SIGNAGE.	PER CITY ORDINANCE SECTION 31-04-05F3 (A)-
(G) COMMERCIAL TENANT WALL SIGNAGE.	PER CITY ORDINANCE SECTION 31-04-05
(K) DOOR GRAPHICS.	4 SQ. FT.

KEY

- █ SIGN TYPE E:
ADDITIONAL WALL SIGNS - (SEE SHT. 6)
- █ SIGN TYPE F:
RESTAURANT TENANT SIGN - (SEE SHT. 8)
- █ SIGN TYPE G:
COMMERCIAL TENANT SIGN - (SEE SHT. 9).



FLOOR PLAN

SCALE: 1"=60'-0"



Great Lakes Capital -

MASTER SIGN PROGRAM

Project Location:
16511 Wildhorse Creek Road
Chesterfield, Missouri 63017

Project No.: **200450-10**

Salesman: **Aaron Clippinger**

Designer: **Arnulfo Melchor**

Date: **February 20, 2020**

Scale: **3/32" = 1'-0"**

Revision:

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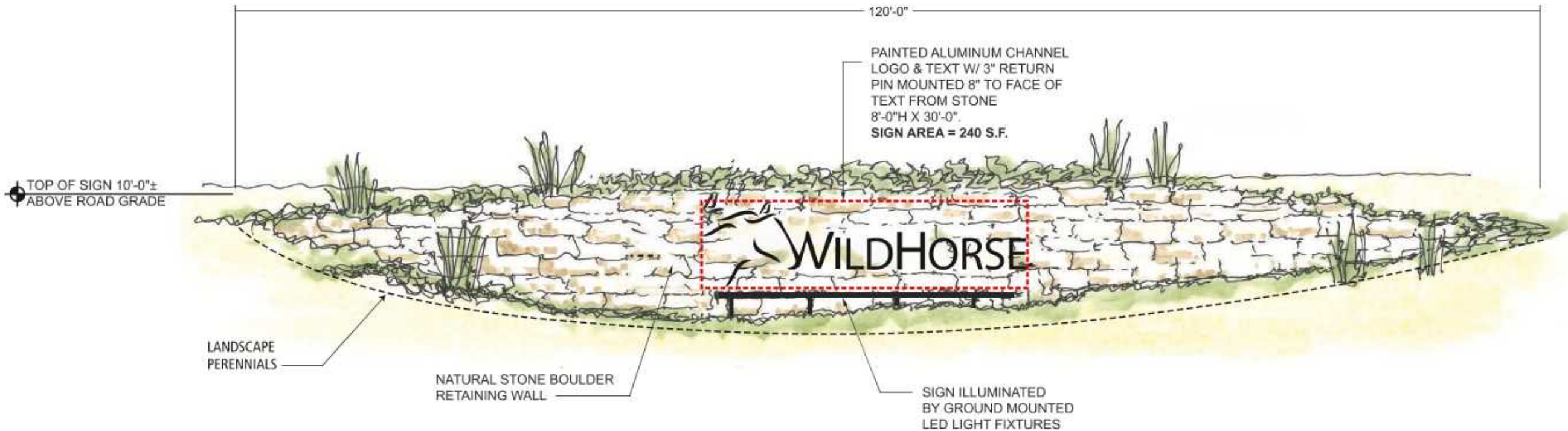
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Sheet No.: **5 / 12**



© **IDENTIFICATION SIGN**
SCALE: 3/32"=1'-0"

Great Lakes Capital -

MASTER SIGN PROGRAM

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Chesterfield, Missouri 63017

Project No.: **200450-10**

Salesman: **Aaron Clippinger**

Designer: **Arnulfo Melchor**

Date: **February 20, 2020**

Scale: **1"=30'-0"**

Revision:

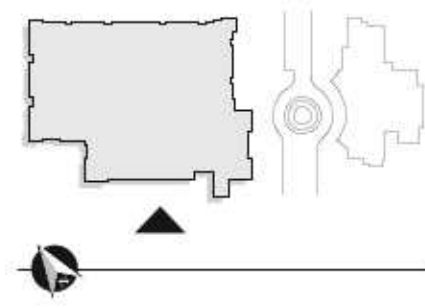
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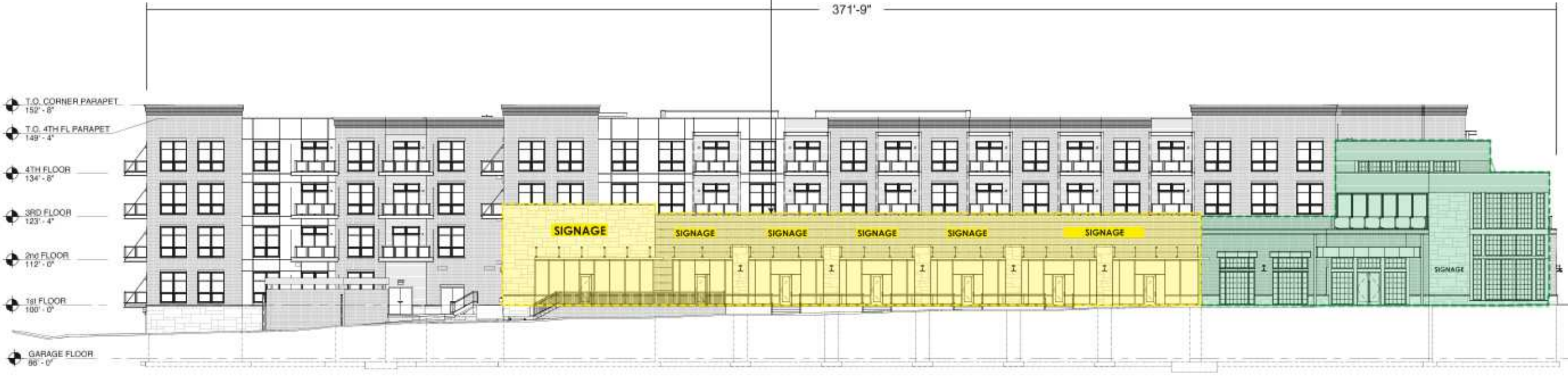
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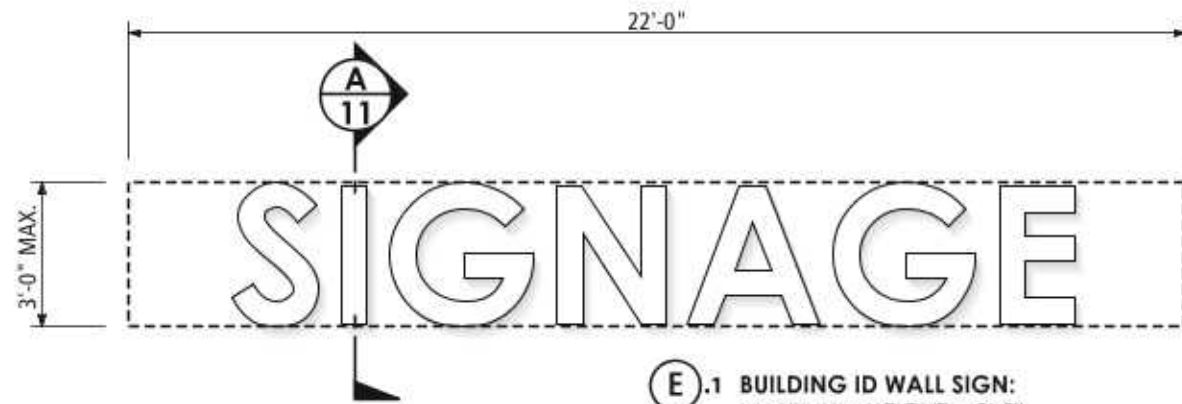
G COMMERCIAL LEASE AREA
SIGNAGE FOR INDIVIDUAL
COMMERCIAL TENANTS
ARE TO COMPLY WITH
THE CITY OF CHESTERFIELD
SIGN CODE - SECTION 31-04-05
SIGN REQUIREMENTS.
(SEE SHT. 9)



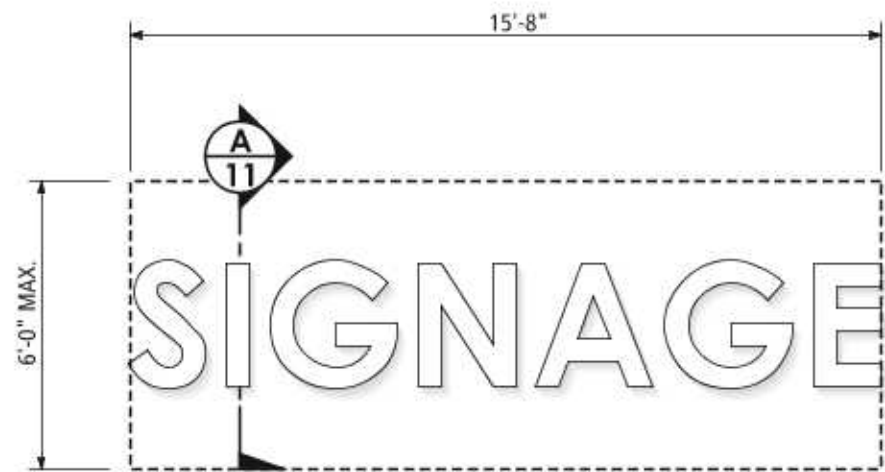
SOUTH ELEVATION

SOUTH ELEVATION

SCALE: 1"=30'-0"



E.1 BUILDING ID WALL SIGN:
 MAXIMUM HEIGHT = 3'-0"
 MAXIMUM LENGTH = 22'-0"
 MAXIMUM TOTAL SIGN AREA = 66 SF



F.1 BUILDING ID WALL SIGN:
 MAXIMUM HEIGHT = 6'-0"
 MAXIMUM LENGTH = 15'-8"
 MAXIMUM TOTAL SIGN AREA = 94 SF

HALO-LIT OR FACE-LIT CHANNEL LOGO/LETTERS ON ALUMINUM RACEWAY

SCALE: 1/4" = 1'-0"

OPTION "A" - FACE-LIT CHANNEL LOGO/LETTERS:

CONSTRUCTION -
 (3" DP.) FABRICATED ALUMINUM CHANNEL LOGO &
 LETTERS W/ 3/16" THK. ACRYLIC FACES & 3/4" TRIMCAP EDGES.
 COLORS -

AS PER CUSTOMER COLOR STANDARDS.

ILLUMINATION -
 LOW VOLTAGE LED ILLUMINATION.

INSTALL -
 LETTERS SURFACE MOUNTED TO ALUMINUM RACEWAY.

RACEWAY:
 .090" THK. FABRICATED ALUMINUM RACEWAY PAINTED TO
 MATCH BUILDING COLOR. MOUNTED TO BUILDING WALL
 (VERIFY METHOD OF ATTACHMENT).

OPTION "B" - HALO-LIT CHANNEL LOGO/LETTERS:

CONSTRUCTION -
 (3" DP.) FABRICATED ALUMINUM REVERSE CHANNEL
 LOGO & LETTERS W/ 3/16" THK. CLEAR
 POLYCARBONATE BACKS.

COLORS -
 AS PER CUSTOMER COLOR STANDARDS.

ILLUMINATION -
 LOW VOLTAGE LED HALO-ILLUMINATION.

INSTALL -
 LOGO/LETTERS PEGGED-OFF FROM ALUMINUM RACEWAY.

RACEWAY:
 .090" THK. FABRICATED ALUMINUM RACEWAY PAINTED TO
 MATCH BUILDING COLOR. MOUNTED TO BUILDING WALL
 (VERIFY METHOD OF ATTACHMENT).

NOTES:

- NO EXPOSED TUBING OR LAMPS.
- LETTERS OR GRAPHICS NOT TO HANG OVERSIDE OF RACEWAY.
- COLORS SUBJECT TO LL APPROVAL.
- CUSTOM LOGO & SECOND LINE OF COPY IS ALLOWED WITHIN ALLOWABLE SIGN AREA GUILINES.
- SIGN CONTRACTOR SHALL PROVIDED NECESSARY.
- FASTENING AND BRACING TO SECURELY INSTALL SIGN (FOR WIND LOADS, ETC.) TO CONFORM TO LOCAL AND CITY OF CHESTERFIELD BUILDING CODES.

CABINET SIGN & BLADE SIGNS:

CABINET SIGNS AND BLADE SIGNS ARE ALLOWED WITHIN SECTION AREA "C" PENDING REVIEW AND APPROVAL BY THE CITY OF CHESTERFIELD THROUGH THE CONCEPT SIGN PACKAGE PROCESS. UNIQUE DESIGN, SUPERIOR QUALITY AND APPROPRIATENESS OF THE PROPOSED CABINET OR BLADE SIGN WILL BE THE PRIMARY CONSIDERATION.

Great Lakes Capital -

MASTER SIGN PROGRAM

Project Location:

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 Chesterfield, Missouri 63017

Project No.: **200450-10**

Salesman: **Aaron Clippinger**

Designer: **Arnulfo Melchor**

Date: **February 20, 2020**

Scale: **1/4" = 1'-0"**

Revision:

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Great Lakes Capital -

MASTER SIGN PROGRAM

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Designer: **Arnulfo Melchor**

Date: **February 20, 2020**

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Revision:

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DOOR GRAPHICS SPECIFICATIONS :

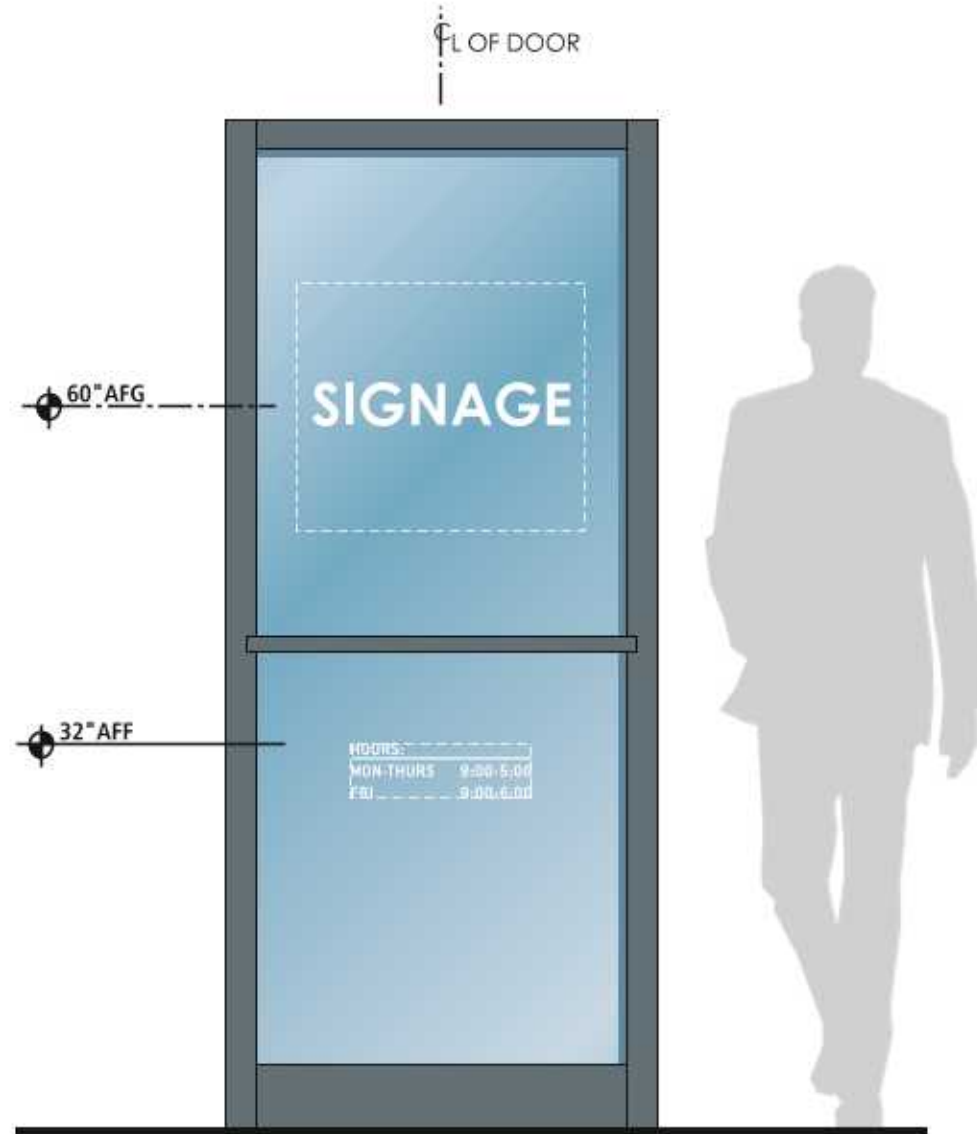
LETTERSTYLE ARE ACCEPTABLE. UPPER OR LOWER CASE COPY IS PERMITTED. ALL TRADEMARKED LOGO WILL BE PERMITTED TO USE THEIR REGISTERED LOGO.

NOTES-

- COLORS SUBJECT TO LL APPROVAL.
- SIGN DESIGN, INCLUDING SIZES, TYPESTYLE, COLOR & LOGOS ARE SUBJECTS TO LANDLORD & CITY APPROVAL.

SIZE RESTRICTION:

- GRAPHICS ON THE DOOR TO BE LIMITED TO 4 SQ. FT.
- LETTERING NOT TO EXCEED 6" IN HEIGHT



(K) DOOR GRAPHICS
SCALE: 3/4" = 1'-0"