



II. C.

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Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Architectural Review Board Staff Report

Project Type: Amended Site Development Plan

Meeting Date: November 10, 2011

From: Justin Wyse, AICP *SW*
Senior Planner

Location: Mobil at Baxter and Clayton

Applicant: Civil and Environmental Consultants, Inc.

Description: **Mobil on the Run at Baxter and Clayton:** An Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architects Statement of Design for a 1.72 acre tract of land zoned "PC" Planned Commercial District located on the west side of Baxter Road, north of Clayton Road.

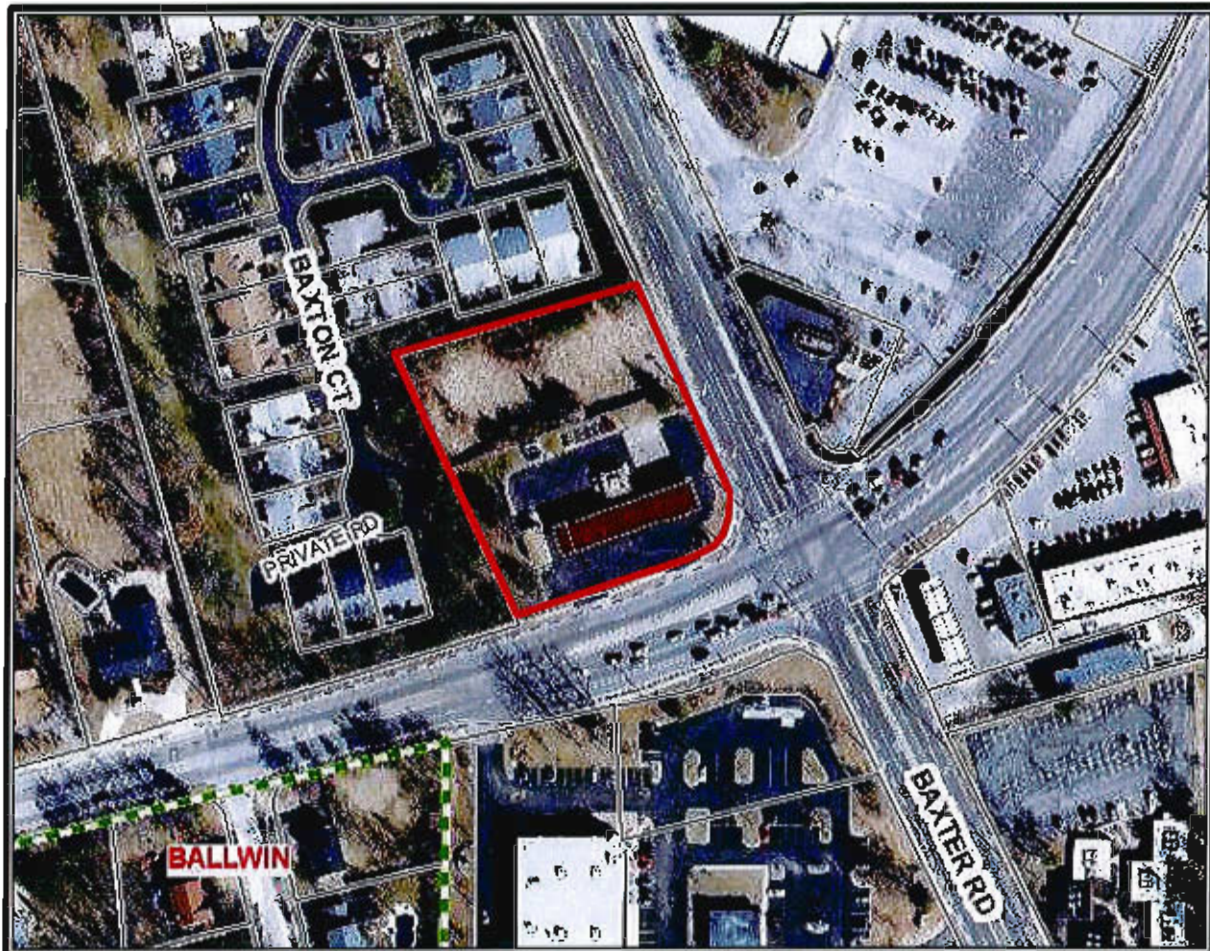
PROPOSAL SUMMARY

The request is for a 3,786 square foot convenience store, a 1,152 square foot car wash and a 6,000 square foot canopy with eight pump islands located at 14905 Clayton Road. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 1803. The exterior building materials will be comprised of base courses of split face block with a brick veneer. The sloped roof is proposed to be a shingle roof GAF Timberline Cool Weathered Wood to provide a transition between the adjacent commercial and residential areas.

HISTORY OF SUBJECT SITE

On June 4, 2001, the City of Chesterfield approved Ordinance 1750, which zoned the subject site from a "C8" Planned Commercial District to a "PC" Planned Commercial District. Ordinance 1750 authorized the change of zoning with a filling station, including emergency towing and repair services, a fast food restaurant, and a vehicle washing facility. On October 15, 2001, Ordinance 1793 was approved. This provided for an increase in the square footage of the convenience store and in the height of the canopy. On December 3, 2001, the City approved Ordinance 1803, which provided the current standards of development of the site. Each of the Ordinances was approved during discourse of litigation against the City by Arch Energy.

Following the passage of Ordinance 1803, a Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations were submitted to the City of Chesterfield. These plans were approved by City Council, as required by Ordinance 1803, on June 4, 2007.



STAFF ANALYSIS

General Requirements for Site Design:

A. Site Relationships

Addressed As Written Addressed with Modification Not Applicable

The subject site is located between a more densely commercial area and a residential area. The proposed design seeks to provide a transition between the two areas.

B. Circulation System and Access

Addressed As Written Addressed with Modification Not Applicable

The proposal includes changes to the access of the site from both Clayton Road and Baxter Road. A traffic study is being prepared to identify any operational or safety concerns with the proposed plans for

access. Additionally, the site will provide ADA compliant sidewalks along the frontage (both Baxter and Clayton Road) of the site.

C. Topography

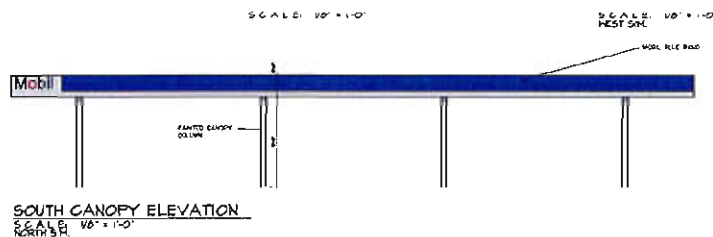
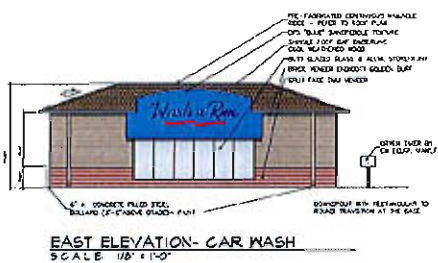
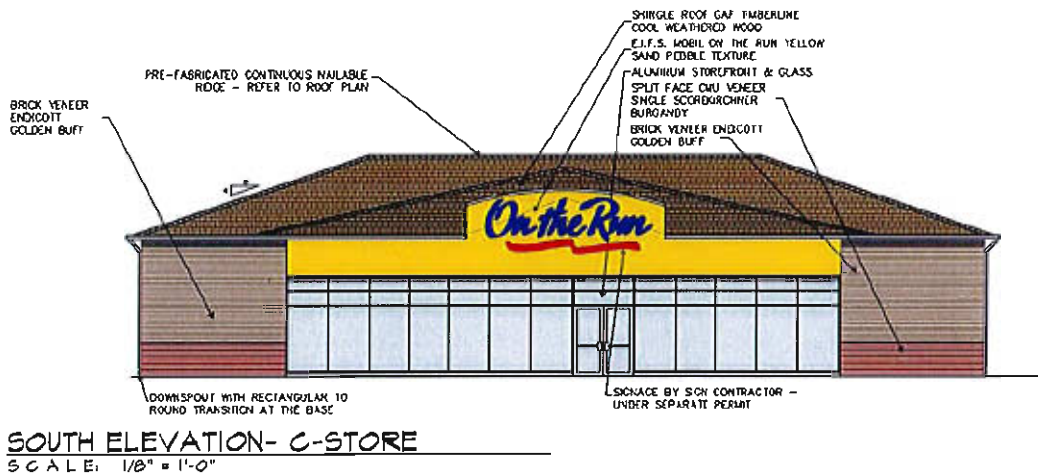
Addressed As Written Addressed with Modification Not Applicable

The proposed redevelopment of the site seeks to utilize tiered retaining walls with landscaping as an amenity to provide enhanced buffering between the proposed convenience store and the residential properties to the north of the site. The proposed rain garden has also been located on the site to take advantage of the natural drainage patterns while providing a visual amenity.

D. Retaining Walls

Addressed As Written Addressed with Modification Not Applicable

As mentioned above, retaining walls are proposed for the site to enhance the buffer between the residential properties to the north and will include landscaping to help soften the appearance of the walls.



General Requirements for Building Design:

A. Scale

Addressed As Written Addressed with Modification Not Applicable

The proposed convenience store and car wash are slightly smaller than previously approved structures on the site providing a more consistent scale with the residential development.

B. Design

Addressed As Written Addressed with Modification Not Applicable

The overall design of the building seeks to provide a transition from the residential development to the north / west of the site to the more dense commercial development located east of the site. Mechanical equipment will be ground mounted and a sloped roof is proposed to further assist in this transition.

C. Materials and Color

Addressed As Written Addressed with Modification Not Applicable

The proposed buildings are identical in material and color as to that approved in 2007. No changes to the materials are being proposed.

D. Landscape Design and Screening

Addressed As Written Addressed with Modification Not Applicable

Landscaping is proposed throughout the site. The proposal includes maintaining the existing trees and planting new trees along the western portion of the site. A heavily planted rain garden is proposed along the northern portion of the site. All ground mounted mechanical equipment and the trash enclosure also include landscaping and screening to provide a more pleasing site.

E. Signage

Addressed As Written Addressed with Modification Not Applicable

Signage is not submitted for approval at this time.

F. Lighting

Addressed As Written Addressed with Modification Not Applicable

Lighting will adhere to the requirements in City of Chesterfield Ordinance 1803. This includes maximum heights of lighting standards along the western and northern sides of the convenience store and car wash.

Use Type: Commercial and Industrial Architecture

Access: Service areas are located in the rear of the development and screening is proposed to minimize the visual impact of the development on the residential properties to the north/west.

Exterior Elements: addressed above in the Requirements for Building Design

Landscaping and Screening: Building equipment is being located in the rear of the building. Screening is proposed for all equipment. Screening materials were chosen based on the need for air movement while ensuring the maximum buffer between the adjacent residential developments.

Scale: addressed above in the Requirements for Building Design.

Site Design: Building equipment is being located in the rear of the building.

DEPARTMENT INPUT

Per governing ordinance 1803, the architectural elevations for the subject site shall be reviewed in "conjunction with the Architectural Review Board recommendations at its December 14, 2000 meeting." Staff has attached those recommendations for the Board's use during its review. For additional details, see attached ARB Design Review Checklist.

Staff has reviewed the Amended Site Development Plan, Landscape Plan, Lighting Plan and Architectural Elevations. An initial comment letter has been sent to the applicant regarding Staff issues. Action is requested on the Amended Site Development Plan for Mobil on the Run at Clayton and Baxter.

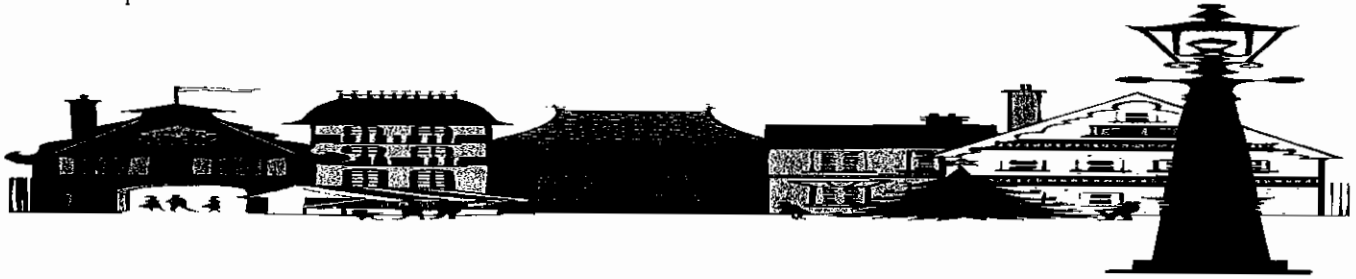
MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for Mobil on the Run at Clayton and Baxter, as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, and Architectural Elevations for Mobil on the Run at Clayton and Baxter, to the Planning Commission with the following recommendations..."

Attachments

1. Architectural Review Packet Submittal
2. Meeting summary from December 14, 2000 Architectural Review Board meeting



**THE CITY OF CHESTERFIELD
ARCHITECTURAL REVIEW BOARD
MEETING SUMMARY
DECEMBER 14, 2000**

A meeting of the Architectural Review Board was held at 7:00 p.m. Thursday, December 14, 2000. The following individuals were in attendance:

Mr. Bob Boland, Chairman
Mr. Bryant Conant
Mr. Bud Gruchalla
Dr. M. L. Hirsch, Jr.
Mr. David Whitfield
Mr. Bud Wardlaw, Planning Commission Liaison
Mr. Dan Hurt, Chairman, Planning Commission
Mr. Matt Brandmeyer, Project Planner, City of Chesterfield, Planning Department
Mr. Tom Blanchard, Project Planner, City of Chesterfield, Planning Department
Mr. Mike Hurlbert, Project Planner, City of Chesterfield, Planning Department
Ms. Kathy Lone, Executive Secretary, City of Chesterfield, Planning Department

7:00 p.m. - Mr. Bob Boland, Chairman, calls the meeting to order.

I. PROJECT PRESENTATIONS-

The following projects were presented to the Architectural Review Board:

II-A. MOBIL MART: Request for Input on the Design of a Service Station at the Northwest corner of Baxter and Clayton Roads

The following issues were discussed:

- Mr. Wallace Perkins, Project Manager, representing Mobil Mart, makes a presentation to the ARB.
- Mr. Steve Quigley, with The Clayton Engineering Company, was also present at meeting.
- Mr. Matt Brandmeyer, Project Planner, City of Chesterfield, present at meeting.

Mobil Mart ARB Recommendations:

1. Design and maintain the surface detention area so it appears as a landscape feature, not a mechanical basin. It is further a concern that the area between the residents to the north and west be maintained in a professional manner including grass cutting, reseeding, plant and tree maintenance and replacement.
2. The retaining wall at the south edge of the detention area shall be stepped back and be a wall to receive integral ground cover planting helping to break down the mass of the wall. Supplemental trees and shrubs should also help to break down the mass of the wall.
3. Provide a minimum of a three-foot planting strip along the east side of the retail building. More area is encouraged if available.
4. Provide a 6' high solid fence along the north and west drive to the wash building and along the rear of the retail building to reduce visual and audible impact to the neighbors. Maintain the existing fence to the north and west. If a portion is removed for construction replace and repair the area affected.
5. We would encourage a generous planting program for the north and west buffer areas. This would include a mixture of evergreen and deciduous trees and shrubs. We also recommend that the deciduous trees be a mixture of 3" to 5" caliper material and the evergreen trees be in a range of 8' to 12' in height.

Building:

6. The building should predominantly incorporate brick as an exterior building material although we would accept a mixture of brick with split face architectural block accents. We would recommend that no more than one-third of the masonry be block. The materials should be used to create interest in the building faces in the absence of any building articulation. All the buildings should match in design, detailing and materials.
7. The brick selected should be of a residential tone to blend with the residential neighborhood.
8. Color field of the sign facing Clayton Road should be changed to a more neutral, compatible color with the rest of the building. The proposed orange is not a compatible color.

9. Provide more consistency with the signage on the project. Signage should match in style and colors, and be reduced to a minimum. All signage should follow the city guidelines and appear as a cohesive development.
10. We recommend a change in the roof design to be similar on all facades and to increase the low roof slope shown. The sloped roof, mansard design, should create the screening of the roof top mechanical equipment and create a consistent appearance on all facades.
11. All downspouts or other equipment mounted on the building shall match the color of the wall they are attached to.

Lighting:

12. Two eight-foot pole lights are proposed on the north side of the retail building. These lights should be no taller than eight feet, be a shoebox style and include screening to the residents to the north and west. No wall packs or other surface fixtures shall be placed on the north or west side of the buildings.
13. Any other pole lights or other general lighting shall not intrude upon the residential area to the north or west. Any other pole lights shall also include screening toward the residents.

II-B. Founders Bank: Request for Alteration of Building Design and Materials.

As a requirement of the City's site development plan review procedures, the ARB is requested to review the above items for compliance with the Design Guidelines adopted by the ARB and the Planning Commission.

The following issues were discussed:

- Mr. Craig Conway, President, Founders Bank, made a presentation to the ARB.
- Mr. Matt Brandmeyer, Project Planner, City of Chesterfield, present at meeting.

No changes are to be made to the Site Plan or the materials other than the illumination of materials.

Had to change overhang for MSD purposes, but will still have 3 drive-up lanes.

Major change – they eliminated the green steel roof and went to a straight roof where the HVAC equipment drops down inside the building.

The footprint stays the same at 3500 square feet. Picked up two 5 by 25 equipment rooms inside for the HVAC equipment and makes the roof more functional.



Architecture Engineering Planning Construction Management
www.osmarchitecture.com

October 31, 2011

Mr. Justin Wyse, AICP
Senior Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, Missouri, 63017

Dear Justin,

Wallis Companies and Arch Energy, LLC are proposing to upgrade and update their existing facility at this Chesterfield location. The location is 14905 Clayton Road, at the Northwest corner of Baxter and Clayton. This new facility is proposed to include a Convenience Store and an automatic Car Wash along with 8 double sided fuel islands.

Architects Statement of Design:

General Requirements for Site Design:

A. **Site Relationships:**

This facility is on a prominent corner served by several commercial properties across the street and backing to residential property. The scale and architecture of the proposed buildings blends both commercial and residential features to achieve a successful transition with the surrounding community.

Pedestrian Movement:

Clearly marked pedestrian access has been provided to safeguard pedestrian movement across the street entrances and from the street through the site.

Public Areas:

Areas of green space have been provided throughout the site and along the perimeter. These areas soften the impact of the hard surfaces and provide a buffer to the surrounding properties.

Outdoor Spaces:

Along with the green spaces provided, terraced retaining walls and a rain garden are proposed to provide functional and aesthetic focal point for the adjacent residents.

Climate:

The selected landscaping, building location and terraced retaining walls allow light into the Northern edges of the property.

B. Circulation System and Access:

Bicycle Access:

Racks will be provided near the front door.

Pedestrian Circulation:

As previously indicated the circulation paths are clearly marked and provide access from several points on the site.

Vehicular Access:

Two points of access into the site are provided. The distance from the fueling islands to the parking immediately in front of the Convenience Store allows vehicular traffic to navigate the site freely. Additionally the Car Wash access will be from the rear of the Convenience Store and has an individually marked lane for stacking.

Parking:

Several locations are designated along the front and side of the Convenience Store.

Pedestrian Orientation:

The overhanging portion at the Convenience Store entry provides a covered walkway.

C. Topography:

1. Topography will be used for screening and buffering along the North and West edges.
2. Existing topography will be used as much as possible in order to appear natural.
3. Rounded grading will be incorporated in the transition from the retaining walls.

D. Retaining Walls:

1. The height has been minimized.
2. The retaining wall materials will be similar to the building finishes.
3. Terraced retaining walls are proposed.
4. Textured concrete block retaining wall material is proposed.
5. No timber is proposed.

General Requirements for Building Design:

A. Scale:

The proposed materials have been selected to add to that variety while blending with the existing colors. The overall scale of the building and the roofline helps the transition from the adjacent residential to the more dense adjacent commercial uses. The delineation of storefront glass brings the scale down to a more human scale. The base courses of split face block along with the brick veneer above will provide a more modern appearance and compliment the adjacent facilities.

B. Design:

1. The proposed colors and materials are similar to the other Chesterfield locations owned and operated by this Client.
2. The linear appearance of the masonry is broken by the entry storefront as a focal point.
3. The building is not a corporate sign.

4. The contrast of rough surface and smooth surface masonry provide architectural detail.
5. Exterior and interior materials will be of high quality and add to the customer experience.
6. High efficiency equipment, lighting and plumbing fixtures are proposed.
7. Most of the building products will be manufactured within a 500 mile radius of the site and will be low VOC.
8. As previously stated, the entry will have an overhang.
9. No temporary walls are planned.
10. Trash dumpsters and ground mounted condensing units will be screened.
Additionally, a masonry screen wall will be provided to cut down headlight glare to the adjacent property.

C. Materials and Color:

Compatible colors have been selected with respect to the surrounding developments. The materials incorporate integral color and are durable. Pedestrian access is fully paved and marked.

D. Landscaping:

As indicated previously, landscape areas have been provided throughout the site as buffers from the street and as buffers from the surrounding residential property. Terraced retaining walls are proposed along the West and North edges with varied landscaping to soften the retaining walls and provide a rain garden focal point. Additional light screening is provided by a masonry screen fence in the Car Wash area. Exposed utility and waste receptacles are also screened.

E. Signage:

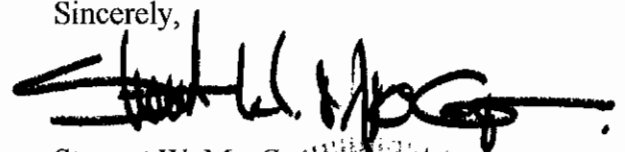
1. The signage has been integrated into the focal point of each building.
2. Not Applicable.

F. Lighting:

The proposed lighting will comply with the City of Chesterfield Code.

I believe this submittal meets the Chesterfield Architectural Guidelines for the reasons stated above.

Sincerely,



Stewart W. MacGregor
President/CEO
OSM, Inc.





ARCHITECTURAL REVIEW BOARD
Project Statistics and Checklist



Date of First Comment Letter Received from the City of Chesterfield _____

Project Title: Mobil - Clayton & Baxter Location: 14905 Clayton Road

Developer: Walke Companies Architect: DSM, Inc Engineer: Civil & Environmental Consultants, Inc (CEC)

PROJECT STATISTICS:

Size of site (in acres): 1.746 Total Square Footage: 76,050 Building Height: C-store = 22'-7"
Car Wash = 17'-10"

Proposed Usage: Same use as existing; Gas Station; Convenience Store with Car Wash

Exterior Building Materials: Split faced block/brick veneer, EIFS, Glass

Roof Material & Design: Hip Roof with Architectural Shingles

Screening Material & Design: fencing; significant landscaping

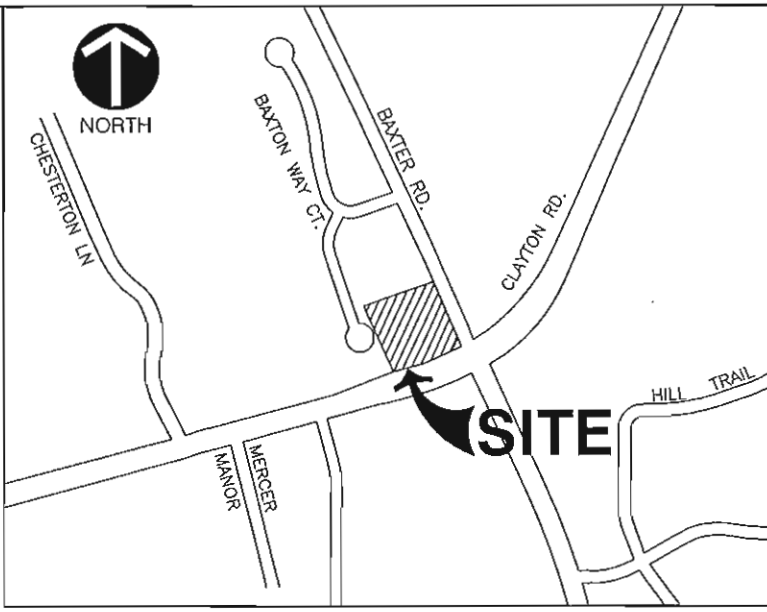
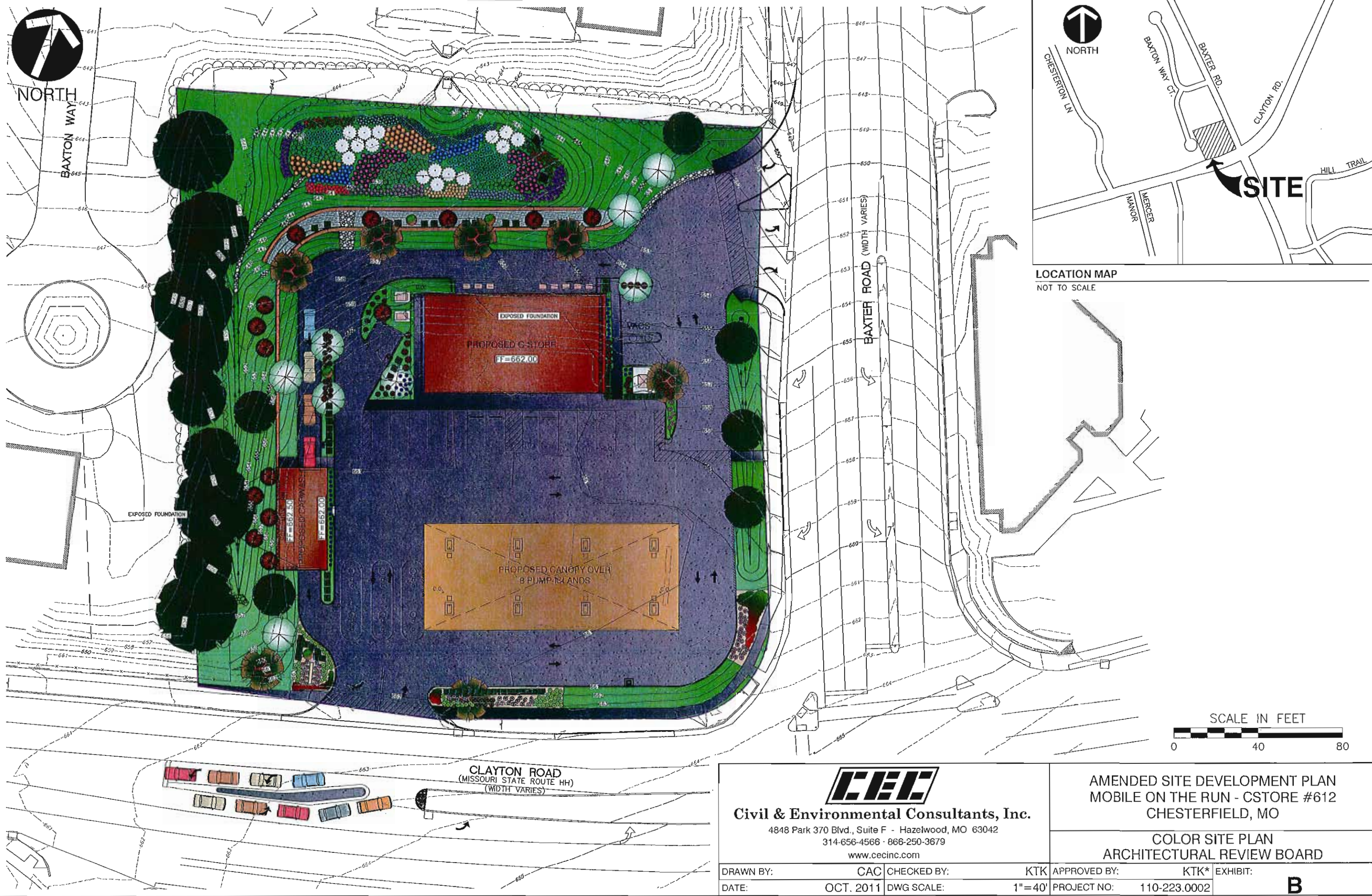
Description of art or architecturally significant features (if any): Extend roof overhang at entry to break up entry facade by adding depth to the elevation.

ADDITIONAL PROJECT INFORMATION:

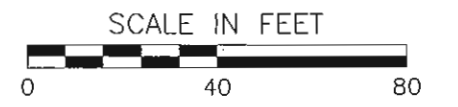
Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- Details of screening, retaining walls, etc.
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
- Landscape Plan.
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be brought to the ARB meeting)
- N/A Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.

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LOCATION MAP
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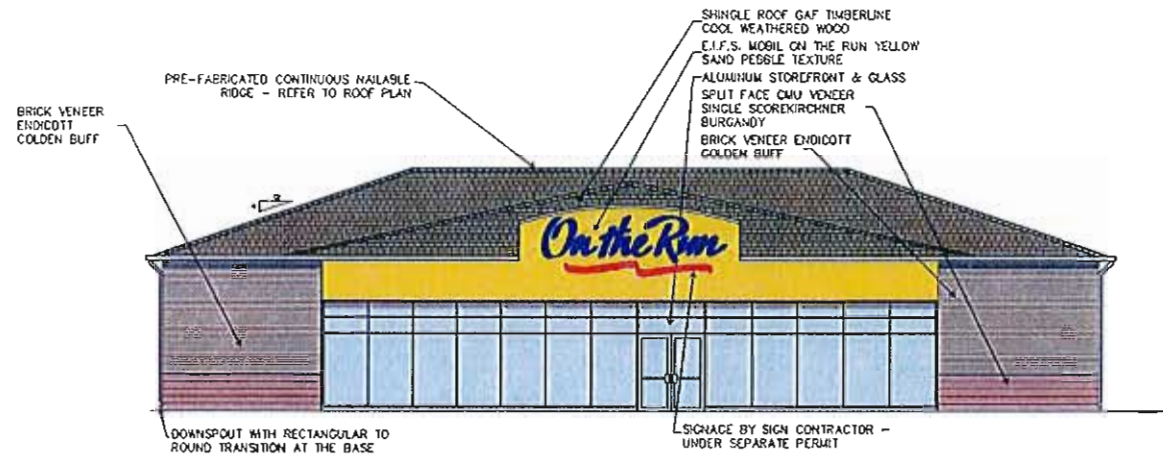
CAC
Civil & Environmental Consultants, Inc.
 4848 Park 370 Blvd., Suite F - Hazelwood, MO 63042
 314-656-4566 · 866-250-3679
 www.cecinc.com

DRAWN BY:	CAC	CHECKED BY:	KTK
DATE:	OCT. 2011	DWG SCALE:	1" = 40'

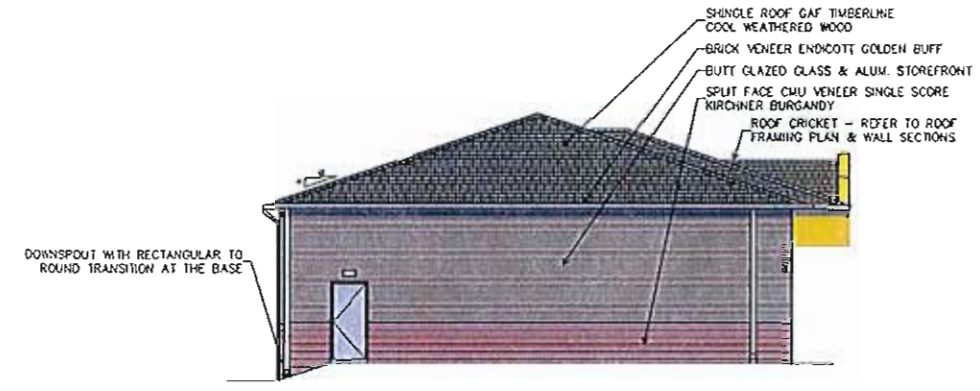
AMENDED SITE DEVELOPMENT PLAN
 MOBILE ON THE RUN - CSTORE #612
 CHESTERFIELD, MO

COLOR SITE PLAN
 ARCHITECTURAL REVIEW BOARD

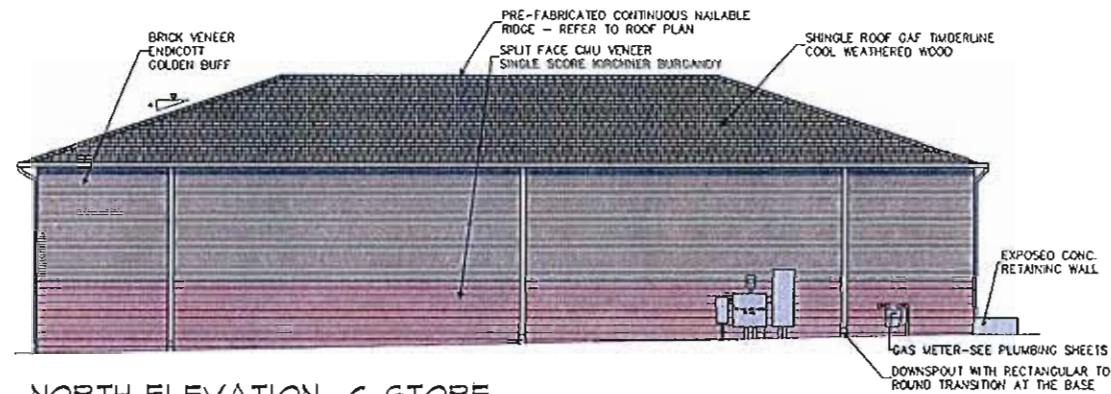
APPROVED BY:	KTK*	EXHIBIT:	B
PROJECT NO:	110-223.0002		



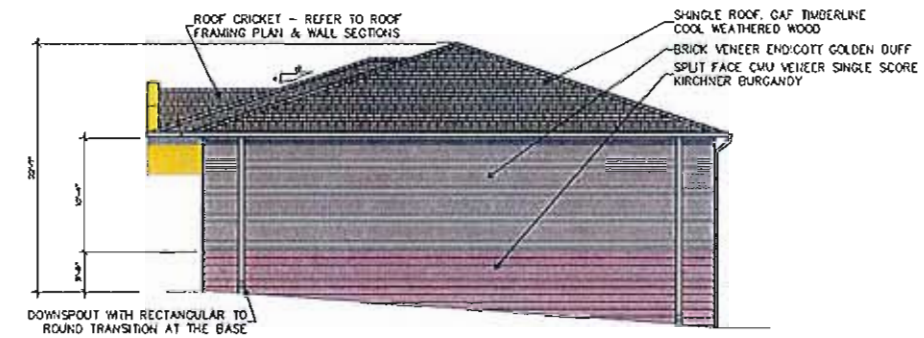
SOUTH ELEVATION- C-STORE



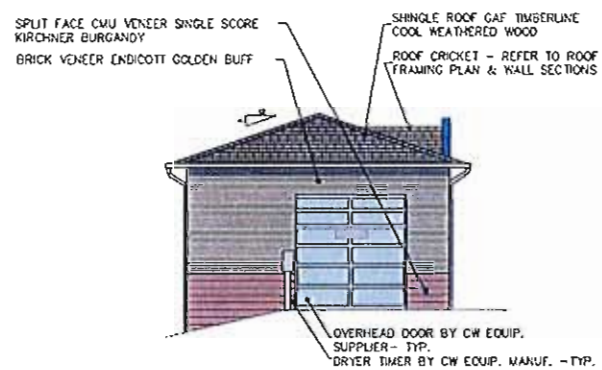
WEST ELEVATION- C-STORE



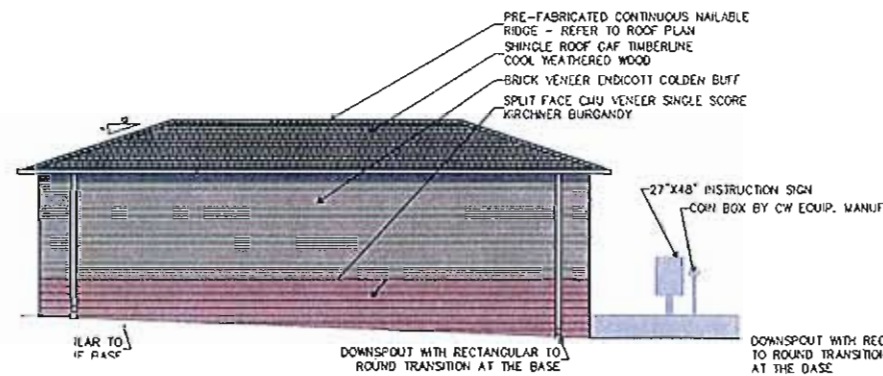
NORTH ELEVATION- C-STORE



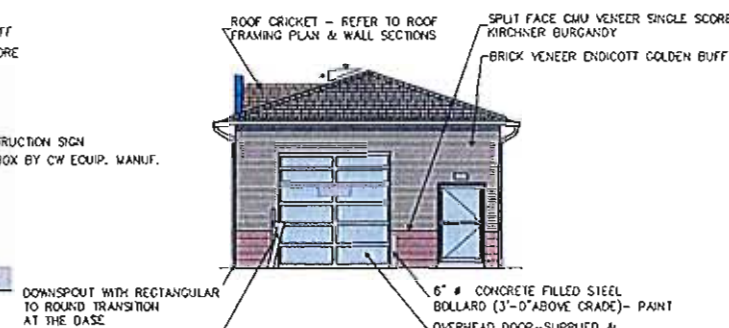
EAST ELEVATION- C-STORE



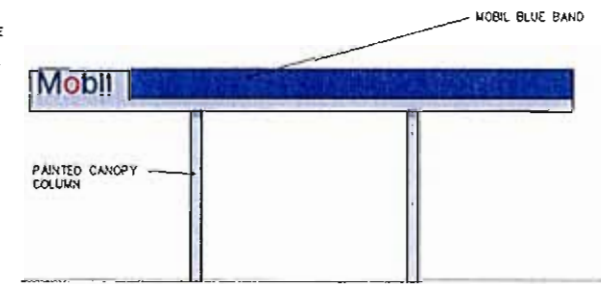
SOUTH ELEVATION- CAR WASH



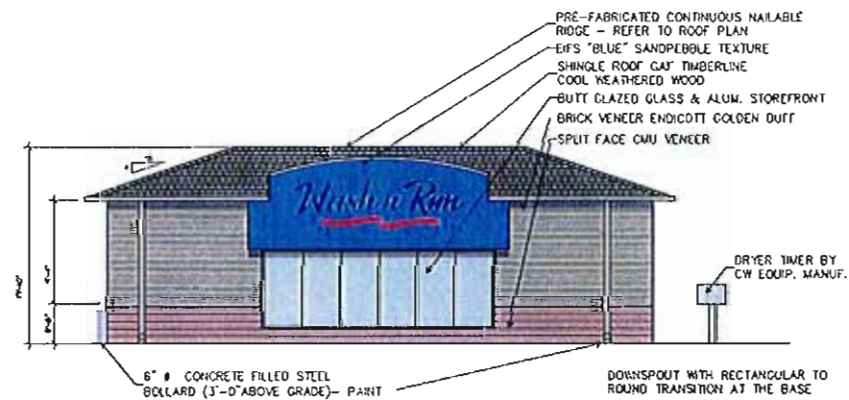
WEST ELEVATION- CAR WASH



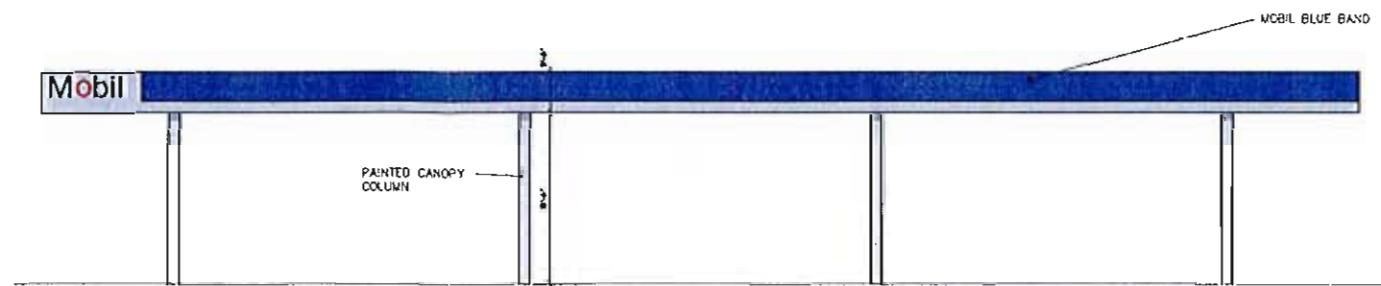
NORTH ELEVATION- CAR WASH



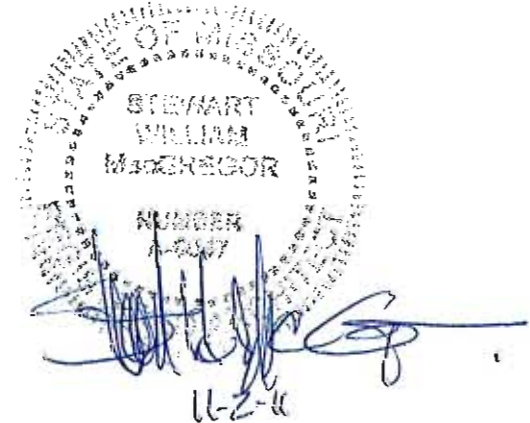
EAST CANOPY ELEVATION



EAST ELEVATION- CAR WASH



SOUTH CANOPY ELEVATION



MOBIL ON THE RUN, STORE #612
14905 CLAYTON RD.
CHESTERFIELD, MO 63017

EXHIBIT C
ADJACENT USES/SITES

01



02



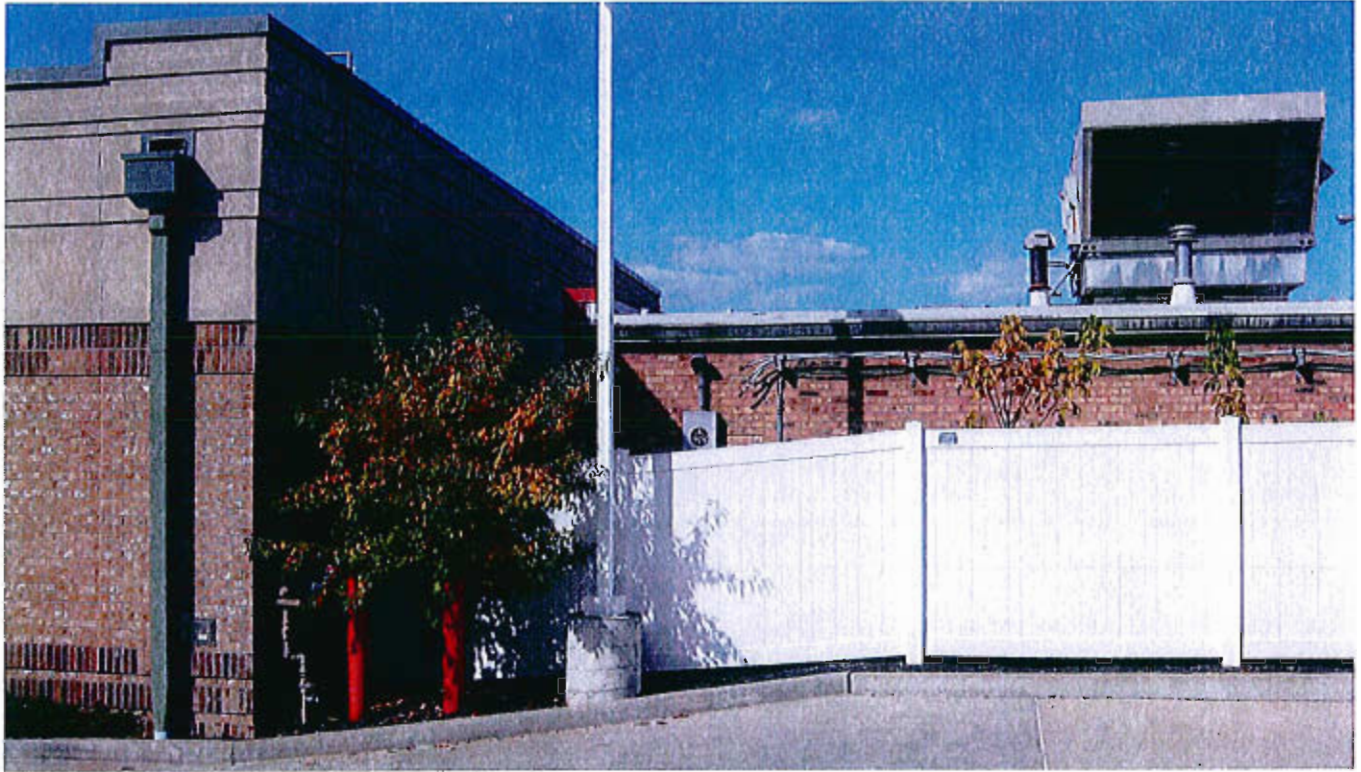
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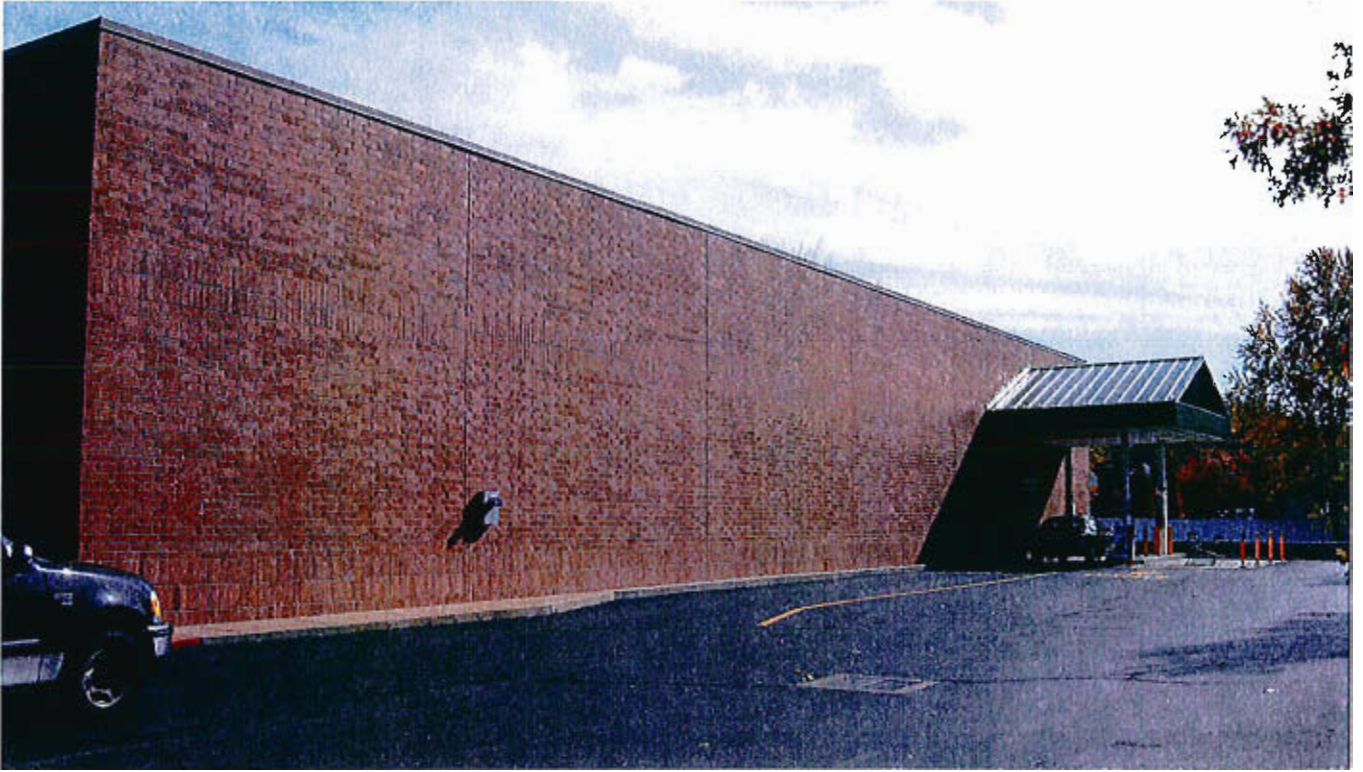
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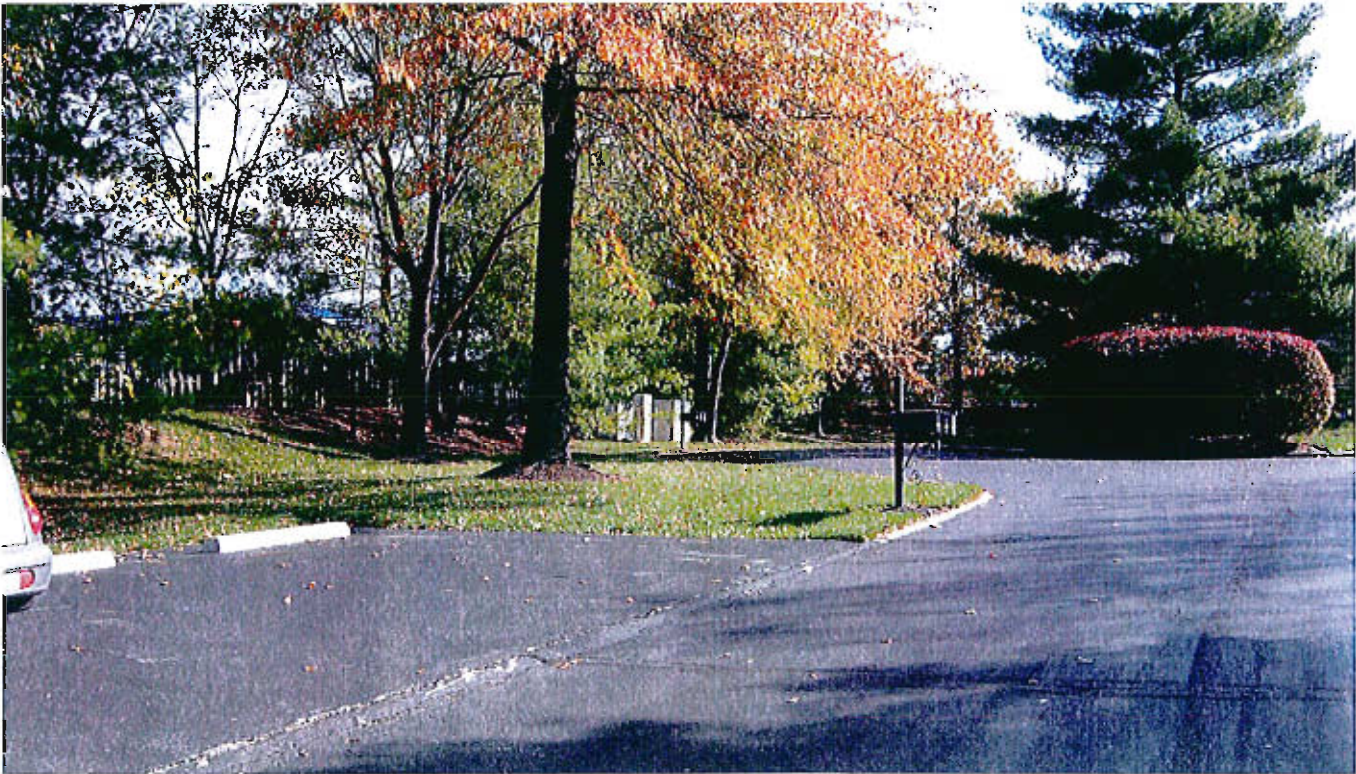
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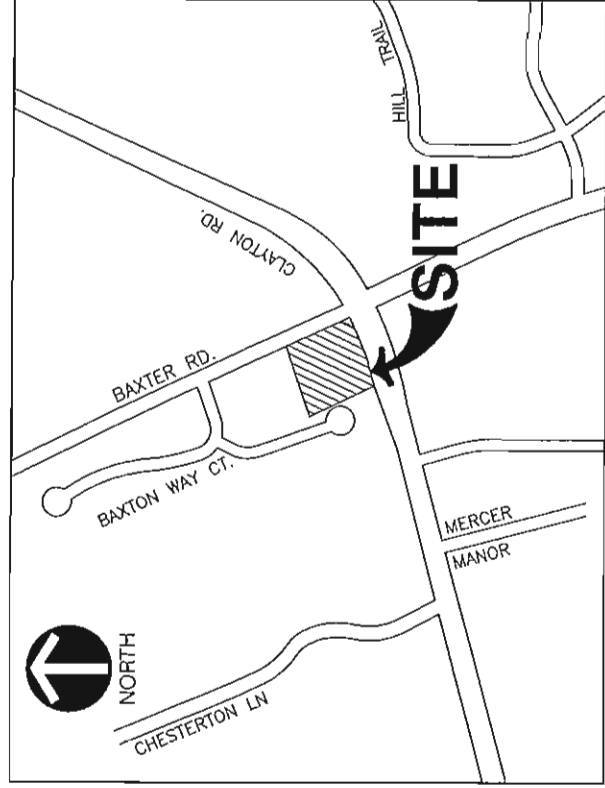


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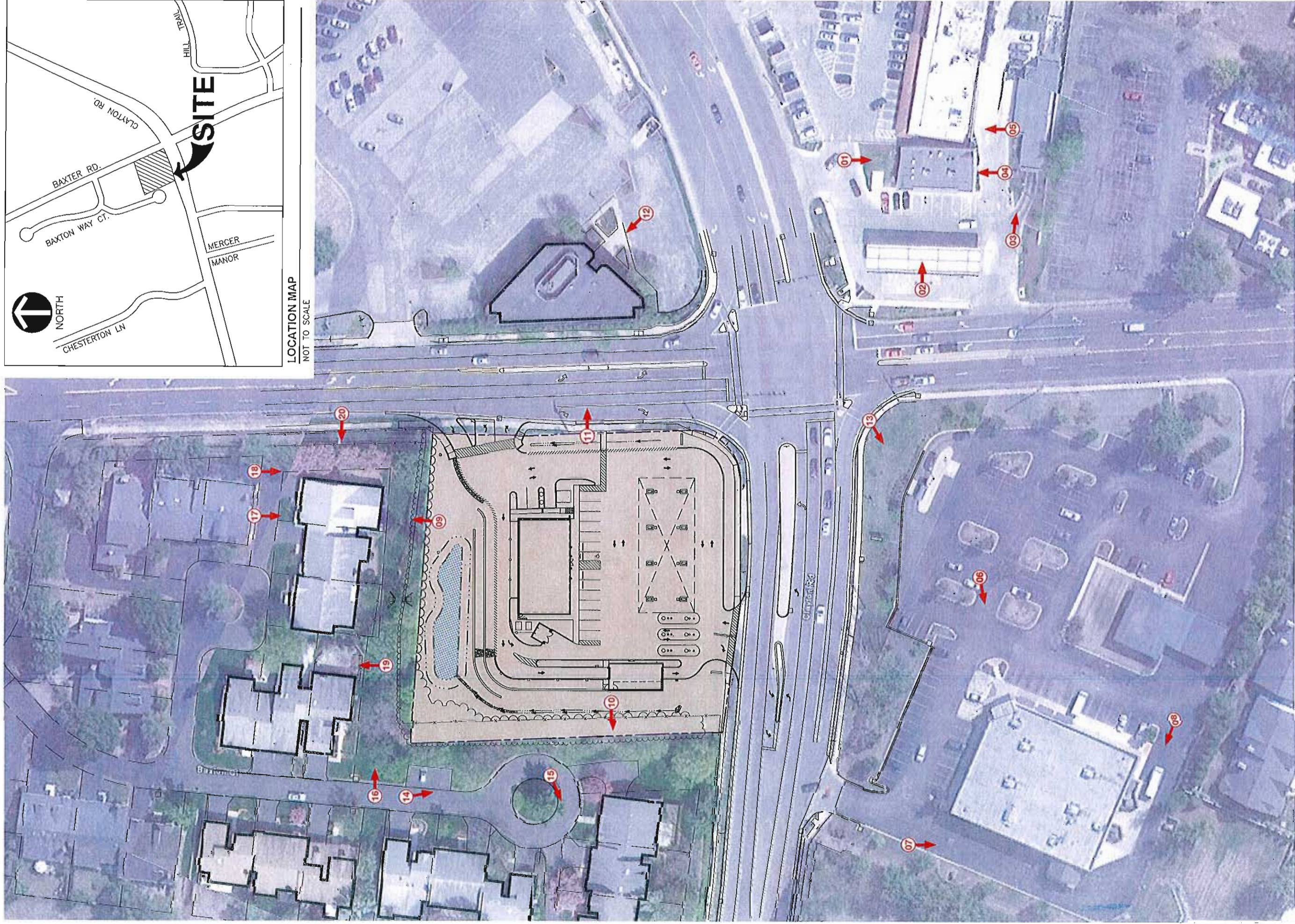


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LOCATION MAP
NOT TO SCALE



NORTH
SCALE IN FEET



Civil & Environmental Consultants, Inc.

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314-656-4566 • 866-250-3679
www.cecinc.com

AMENDED SITE DEVELOPMENT PLAN
MOBILE ON THE RUN - CSTORE #612
CHESTERFIELD, MO

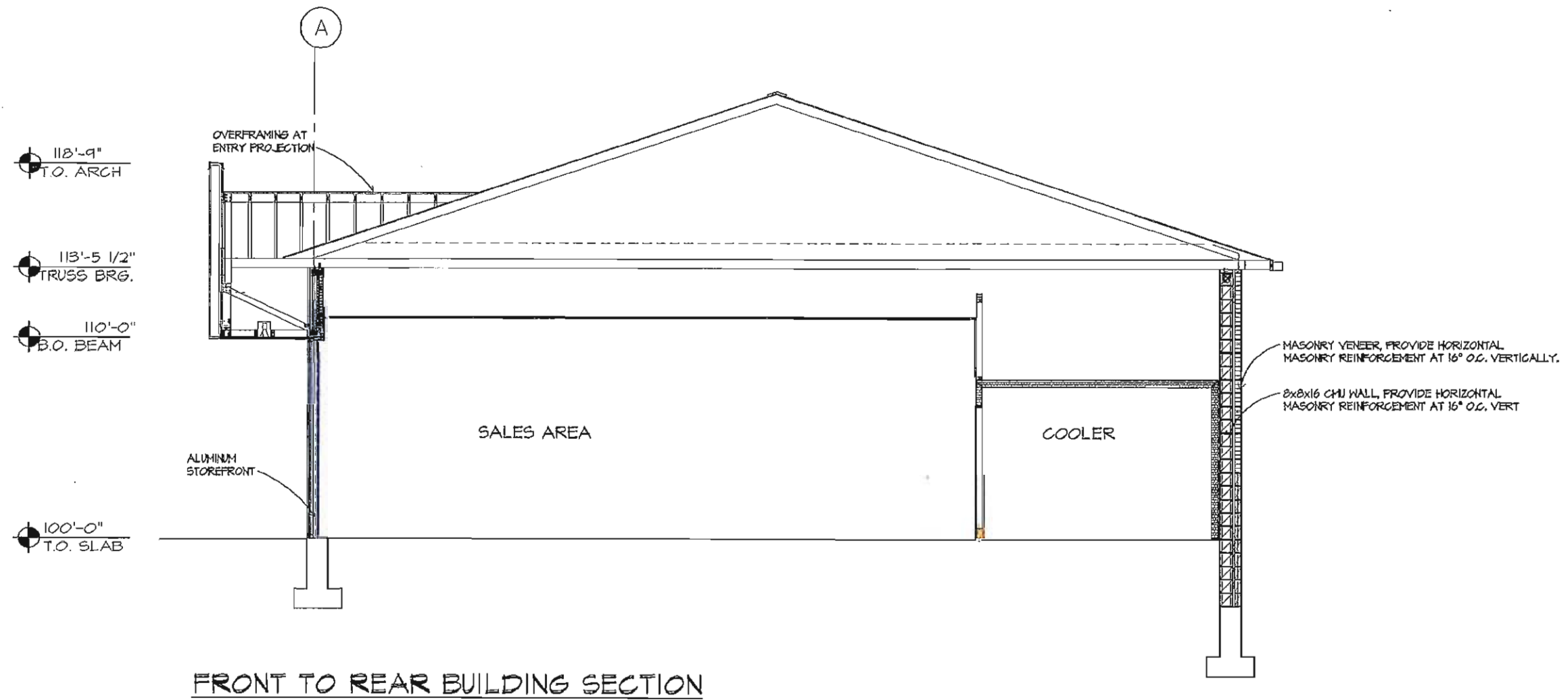
PHOTO KEY
ARCHITECTURAL REVIEW BOARD

DRAWN BY: CAC CHECKED BY: KTK APPROVED BY: KTK* EXHIBIT:

DATE: OCT. 2011 DWG SCALE: 1" = 80' PROJECT NO: 110-223.0002

C

PRELIM ELEVATIONS



FRONT TO REAR BUILDING SECTION

ExxonMobil
On the Run
CONVENIENCE STORE
 14806 CLAYTON ROAD
 CHESTERFIELD, MISSOURI 63077

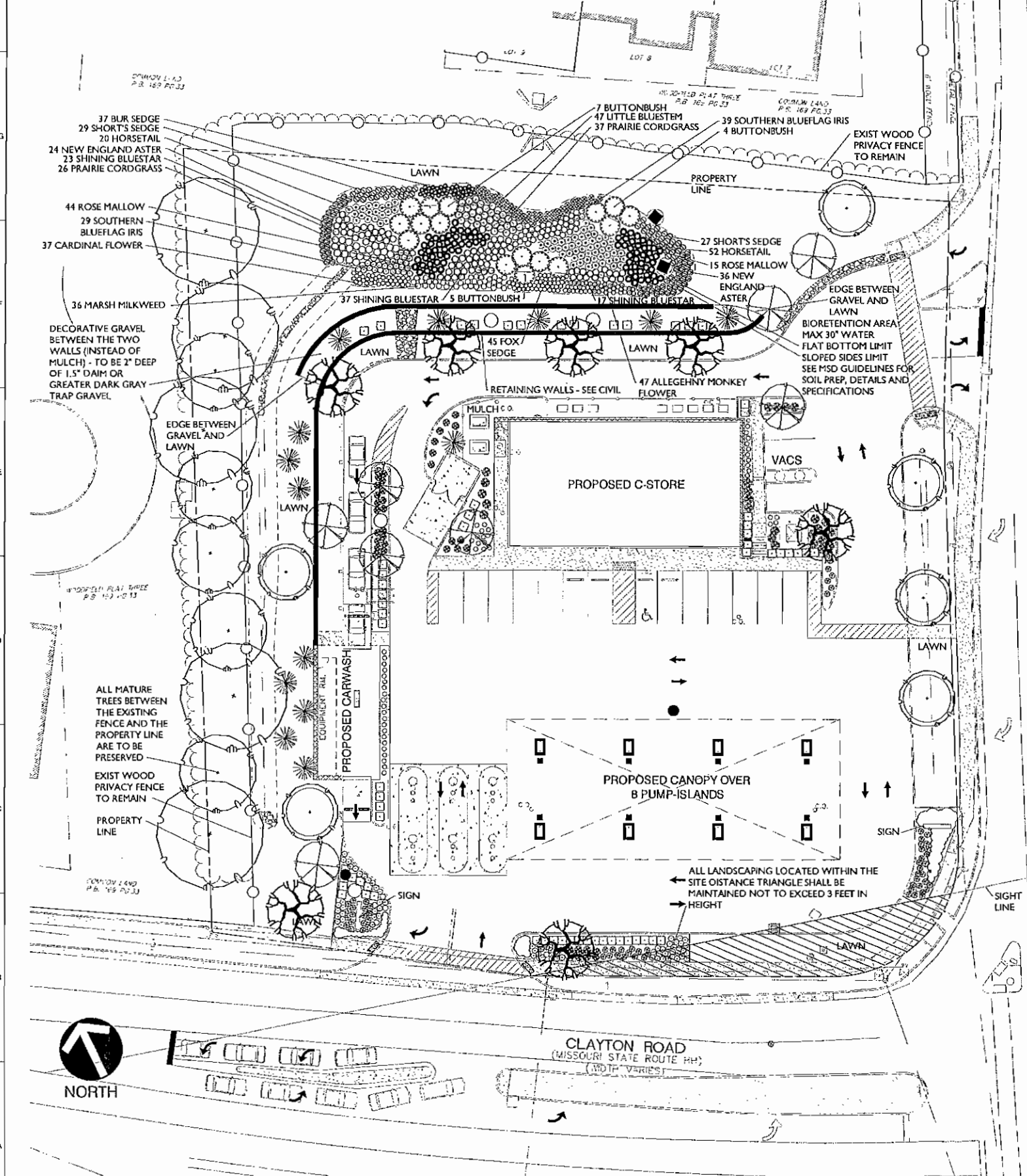
PROJECT NUMBER	1115
DATE	10-21-11
DRAWN BY	SHM
CHECKED BY	SHM
REVISION	

STATE OF MISSOURI
 STEWART
 WILLIAM
 MacGREGOR
 NUMBER
 A-0047
 11-2-11

SCHEMATIC SECTION

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LANDSCAPE PLAN



PLANT LIST

- KEY**
- QUANTITY / COMMON NAME / LATIN NAME / SIZE / QUANTITY
 - 7 RED OAK / QUERCUS RUBRA / 3" GAL
 - 6 GINKGO / GINKGO BILOBA 'AUTUMN GOLD' (ALL MALE CULTIVAR - NO FRUITING) / 3" GAL
 - 8 JAPANESE TREE LILAC / SYRINGA RETICULATA 'IVORY SILK' OR 'SUMMER SNOW' / 1.5" CAL
 - 14 AMERICAN HOLLY / ILEX OPACA / 8' TALL
 - 65 DENSE YEW / TAXUS X MEDIA 'DENSIFORMIS' / 24" TALL
 - 4 CREPE MYRTLE / LAURUSTROBILUS INDICA 'RED SIREN' / 3 GAL
 - 67 OAKLEAF HYDRANGEA / HYDRANGEA QUERCIFOLIA 'PEE WEE' / 2 GAL
 - 69 CROUND COVER ROSE / ROSA 'FLOWER CARPET RED' / 2 GAL
 - 48 SIBERIAN IRIS / IRIS SIBERICUS 'CAESARS BROTHER' / GAL
 - 71 CATMINT / NEPETA 'WALKERS LOW' / GAL
 - 380 TOTAL ANNUAL BEGONIAS / BEGONIA 'BRONZE SCARLET' OR OTHER RED FLOWERED, RED LEAF FIBROUS BEGONIA / 4" POT PLANTED IN SPRING OR EARLY SUMMER - DIVIDE TOTAL NUMBER OF SPECIFIED ANNUALS INTO THE THREE ANNUAL BEDS ACCORDING TO SPACE AVAIL.

BMP AREA/BIORETENTION PLANT LIST

QUANTITY / % OF PLANT COUNT (GRASSES/FORBES ONLY) / COMMON NAME / LATIN NAME / SIZE

- GRASSES / SEDGES**
- 37 / 5% / BUR SEDGE / CAREX GRAYII / QUART
 - 63 / 9% / PRAIRIE CORN GRASS / SPARTINA PECTINATA / QUART
 - 56 / 8% / SHORT'S SEDGE / CAREX SHORTIANA / QUART
 - 45 / 6% / FOX SEDGE CAREX VULPINODEA / QUART
 - 47 / 6% / LITTLE BLUESTEM / SPOROBOLUS HETEROLEPIS / QUART
- FORBES**
- 36 / 5% / MARSH MILKWEED / ASCLEPIAS INCARNATA / QUART
 - 84 / 12% / ROSE MALLOW / HIBISCUS LASIOCARPUS / QUART
 - 60 / 8% / NEW ENGLAND ASTER / ASTER NOVAE-ANGLIAE / QUART
 - 77 / 11% / SHINING BLUESTAR / AMSONIA ILLUSTRIS / QUART
 - 68 / 9% / SOUTHERN BLUEFLAG IRIS / IRIS VIRGINICA / QUART
 - 72 / 10% / HORSETAIL / Equisetum HYEMALE / QUART
 - 47 / 6% / ALLEGHENY MONKEY FLOWER / MIMULUS RINGENS / QUART
 - 37 / 5% / CARDINAL FLOWER / LOBELIA CARDINALIS / QUART

TOTAL PLANT COUNT - GRASSES AND FORBES = 729

- SHRUBS**
- 16 / NA BUTTONBUSH / CEPHALANTHUS OCCIDENTALIS / 3 GAL

PERCENTAGES MAY NOT ADD UP TO 100% DUE TO ROUNDING

SITE CALCULATIONS:

- TOTAL LOT SIZE = 76,050 SQ.FT. (1.746 ACRES)
- TOTAL GREEN SPACE = 35,524 SQ.FT. (46.7%) (ALL LANDSCAPE AREAS PLUS WALKS)
- TOTAL PAVEMENT = 35,413 (46.6%)
- TOTAL BUILDINGS = 5,112 SQ.FT. (6.7%)
- TOTAL OPEN SPACE = 70,938 (93.3%) (TOTAL AREA LESS BUILDINGS)

NOTES:

1. CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES. CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER SITE FEATURES CAUSED BY ANY MEANS OF THE LANDSCAPE CONTRACTOR OR LANDSCAPE SUBCONTRACTORS.
2. ALL MULCHED BEDS AND PLANTING AREAS TO BE FLUSH GRADED WITH SURROUNDING GROUND (SEE CIVIL PLAN FOR CONTOURS) TO ENSURE SHEET FLOW ACROSS ALL GROUND SURFACES.
3. ALL LANDSCAPED AREAS, INCLUDING ISLANDS, SHALL BE PROVIDED WITH MECHANICAL, IN GROUND IRRIGATION.
4. ALL SUBSTITUTIONS NEED TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. SOD LAWN ALL AREAS OUTSIDE OF PLANTING BEDS.
6. ALL PLANTING BEDS TO HAVE SPADE CUT EDGE.
7. NO TREES SHALL BE STAKED.
8. ALL PLANTING BEDS TO HAVE 2" - 3" SHREDDED HARDWOOD MULCH, AND ALL ISOLATED TREES OR SHRUBS TO HAVE 3" DIAM MULCH RING 3" DEEP.
9. DECORATIVE GRAVEL MULCH (LOCATED ONLY IN BED BETWEEN THE TWO RETAINING WALLS) SHALL BE DARK GRAY TRAP GRAVEL WITH A MINIMUM DIAMETER OF 1.5"
10. SEE CIVIL PLANS FOR GRADING, DETAILS OF THE BIORETENTION (INCLUDING SURFACE TREATMENT AND EROSION CONTROL).

LANDSCAPE ARCHITECT
 Mary Francis Dewessa
 19 Forrester Dr.
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 (636) 394-0255
 www.acornlandscapes.com

ACORN
 LANDSCAPES

NO.	DATE	REVISION	DESCRIPTION

WALLIS COMPANIES
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 PHONE: (636) 549-1600
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MSD MAP# 21-R

AMENDED SITE DEVELOPMENT PLAN
 MOBIL ON THE RUN - STORE #612

PLANTING PLAN
 DATE: SEPTEMBER 2011
 DRAWN BY: MFD
 DIMS SCALE: (AS NOTED)
 CHECKED BY: MFD
 PROJECT NO. 110-742
 APPROVED BY: MFD

DRAWING NO. **LA-1**

SHEET OF

NOTES:
ALL SUBSTITUTIONS NEED TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

SOD LAWN ALL AREAS OUTSIDE OF PLANTING BEDS.

ALL PLANTING BEDS TO HAVE SPADE CUT EDGE.

NO TREES ON THIS PLAN ARE TO BE STAKED

ALL PLANTING BEDS TO HAVE 3" SHREDDED HARDWOOD MULCH.
AND ALL ISOLATED TREES OR SHRUBS TO HAVE 3" DIAM MULCH RING 3" DEEP.

CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES. CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER SITE FEATURES CAUSED BY ANY MEANS OF THE LANDSCAPE CONTRACTOR OR LANDSCAPE SUBCONTRACTORS.

SEE PLANTING DETAILS AND SPECIFICATIONS

Sod Lawn

PART 1 - GENERAL

1.1 SCOPE OF WORK

- A. **Install:** In accordance with Contract Documents, provide all equipment, materials, and labor to install and lawn in new lawn areas as shown on drawings.
- B. **Workmanship:** All work described to be executed in first class workmanship manner.
- C. **Cleanup:** Upon completion of work, Contractor to leave premises clean and ready for use.

SUBMITTALS

- A. When requested by the owner or owner's representative, submit samples of sod to the owners designated representative for approval.

1.3 SEASONS FOR SODDING

- A. The season for sodding shall be from March 1 to May 15 and August 15 to October 30. The actual sodding of lawns shall be done, however, only during periods within this season which are normal for each work as determined by weather conditions and by accepted practice in the locality of the project and which are approved by the Architect. Only upon written instructions by the Architect may planting begin earlier or continue later than the dates specified.

- B. The preparation of lawn areas to be sodded may begin as soon as the area is designated by the Architect.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. **Compost/Fertilizer:** shall meet the following requirements:
 1. Shall be a complete fertilizer containing in available form by weight a minimum of 10% nitrogen, 10% phosphoric acid and 10% potash, a minimum of 50% of nitrogen to be derived from natural organic materials in a slow release form, of a neutral character.
 2. The fertilizer shall be delivered to the site in the original unopened containers which shall bear the manufacturer's guaranteed statement of analysis. Fertilizer shall be stored in a weatherproof place in such a manner that it shall be kept dry and its effectiveness will not be impaired.
- B. **Compost:** well composted mature "Bramble Brand" from St. Louis Composting.
- C. **Water:** the contractor will furnish water at the project site as required for the execution of all work until all work has been completed.
- D. **Sod:**
 1. Tall turf (Fescue Sod): Sod shall be ninety five (95%) percent Jaguar Tall Turf Fescue or approved equal and five (5%) percent impure Kentucky Bluegrass, evenly mixed, not less than 2 years old and free of pernicious weeds. It shall be mowed to a height of two to two and one half (2 - 2.5) inches before lifted and shall be of a uniform thickness with an over one and one half (1 - 1.5) inches, not less than one (1) inch of soil.
 2. Sod shall be cut in rectangular sections as required, varying in length up to six (6) feet, uniform in width not to exceed eighteen (18) inches.
 3. All sod must be delivered to the job within twenty four (24) hours after being cut.
 4. Any sod permitted to dry out or may be rejected. If, in the judgment of the Architect, its survival after planting is doubtful, no payment will be made for rejected sod.

PART 3 - EXECUTION

3.1 PREPARATION OF SOD BEDS

- A. After final grading, the soil shall be plowed to a depth of 3" and then thoroughly disc with disc harrow. Fertilizer shall then be spread as follows:
 - a. Apply Compost to a depth of one (1) inch and 10-10-10 elemental fertilizer at the rate of fifteen (15) pounds per thousand (1000) square feet.
- B. The amendment materials shall then be thoroughly incorporated into the soil to a depth of 4 inches, and the area brought to a smooth, true and even grade by hand raking or mechanical means. The surface shall be cleaned of stones or other objects larger than one inch in maximum dimension and of all roots, brambles, wire, grade stakes, and other objects.

Bed Preparation for Mulched Bed Areas

PART 1 - GENERAL

1.1 Scope of Work

- A. Work shall include all tools, equipment, labor and supervision necessary for amending the soil and installing in the designated Mulched Bed areas.

PART 2 - PRODUCTS

2.1 Materials

All materials for bed prep and topsoil additions shall be Dennis's Best Compost available at St. Louis Composting.

PART 3 - EXECUTION

3.1 Placing Soil Amendments

- C. After approval by the Owner's Representative of excavation and filling to subgrade of planting areas, contractor shall place compost to a minimum depth of three (3) inches in areas for all mulched beds.
- D. Use compost in relatively dry state. Place during dry weather.
- E. Till compost one to two (2) inches. Fine grade amended soil, eliminating rough and low areas to ensure positive drainage. Minimize tracks, ruts and contours of subgrade.
- F. All mulched and amended beds shall have 3" shredded bark mulch.

END OF SECTION

LANDSCAPING - TREES SHRUBS AND PERENNIALS

PART 1 - GENERAL

1.1 SCOPE OF WORK

- A. **Install:** This section shall include furnishing labor, equipment, materials, and service necessary for the planting of all trees, shrubs, and evergreens shown on the plans and in the manner hereinafter specified.
- B. **Workmanship:** All work described to be executed in first class workmanship manner.
- C. **Cleanup:** Upon completion of work, Contractor to leave premises clean and ready for use.

1.2 PLANTING SEASONS

The seasons for planting shall be as follows:

Plant Material	Season	Planting Period
Deciduous Trees & Shrubs	Fall	Sept 1 to Nov. 15
	Spring	March. 1 to May 15
Perennials	Fall	Sept. 1 to Oct. 30
	Spring	Apr. 1 to May 15

The actual planting shall be done, however, only during periods within the seasons which are normal for such work as determined by weather conditions and by accepted practice in the locality of the project and which are approved by the Project Construction Manager. Only upon written instructions by the Project Construction Manager may planting begin earlier or continue later than the dates specified.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. **Surface Mulch:** Shall be shredded bark mulch, the chips or chunks to range from 1" to 2-1/2" long or the same in diameter.
- B. **Mycorrhizae Inoculant:** Shall be either Alyx's brand (available at Greencape Gardens, St. Louis, MO) or M-roots brand (available at Blumbers - Earth City MO). Applied as specified by manufacturer on ALL plants.
- C. **Soil Amendments:** Shall be "Garden Mix" available at St. Louis Composting.
- D. **Water:** The Contractor will furnish water at the project site as required for the execution of all work until all work has been completed.
- E. **Fertilizer:** Shall be 12% nitrogen, 12% phosphorus, and 12% potash; minimum of 50% of nitrogen derived from natural organic material in a slowly release form, and of a neutral character.
- F. **Plant Material:**
 - 1. All plants must conform in size, proportion, size of rootball, and in general character to standards outlined in the publication "American Association of Nurserymen, Inc." or as shown on the plant list of the plan.
 - 2. **Deciduous Shade Trees:**

Caliper	Min. Height	Minimum Diameter of Ball	Height	Minimum Diameter of Ball
1/2" - 3"	10'	2 1/4"	18 - 24"	10"
2" - 2 1/2"	12'	2 1/4"	2 - 3'	12"
2 1/2" - 3"	13'	2 3/4"	3 - 4'	13"
3 - 3 1/2"	14'	3 1/4"	4 - 5'	14"
3 1/2" - 4"	15'	3 3/4"	5 - 6'	15"
4" - 5"	16'	4 1/4"	6 - 7'	16"
5" - 6"	18'	5 1/4"	8 - 10'	22"

Flora size requirements as outlined in American Standard for Nursery Stock as follows:

- a. **Deciduous Shade Trees:**
- b. **Flowering Trees & Shrubs:**

3.2 MAINTENANCE

- A. **Watering:** Contractor shall begin immediately after sodding and continue until final acceptance, but not less than thirty (30) calendar days. The sodded turf areas shall be watered daily for the next 10 days after installation to keep soil moist. Then reduce watering to 2-3 days per week until turf is well established. Any sod not surviving the first month shall be replaced with new sod from the same source.
- B. **Mowing of sod lawns:** Is the responsibility of the Contractor and final acceptance. The first mowing will not be attempted until the lawn is 4 inches high and thick enough to receive its first mowing. Mow to a height of 3" retaining clippings to the lawn. Never mow off more than 1/3 of the grass leaves.
- C. **Roll surface:** to remove minor depressions or irregularities.
- D. **Control growth of weeds:** Apply herbicides in accordance with Manufacturer's instructions. Remedy damage resulting from improper use of herbicides.
- E. **Immediately replace sod** to areas which show deterioration or bare spots.
- F. **Protect sodded areas** from traffic during maintenance period.

3.4 GUARANTEE

- A. The contractor shall guarantee the visible establishment of the sodded areas acceptable to the Owner's Representative. All repair and re-sodding are to be done as part of this contract and at no extra cost to the Owner.

3.5 EVALUATION AND ACCEPTANCE:

- A. when sod work is completed, including maintenance, Landscape Architect may upon request, make an on site evaluation to determine acceptability.

END OF SECTION

All plants shall conform to the varieties specified in the plant list. No substitutions will be permitted unless approved in writing by the Project Construction Manager and then only if the material is unavailable to the extent that the completion of the project would be materially delayed.

1. Quality:

- a. All plants shall be grown under climatic conditions as nearly approaching the site as possible. All plants shall have a normal habit of growth and shall be sound healthy and vigorous, be free of disease, insects and larvae, and defects such as knots, eye, soil, abrasions or discolorations.
- b. All plants shall be nursery grown stock freshly dug. Heeled in stock or stock from gold storage shall not be accepted.
- c. Plants shall not be planted prior to being delivered except as authorized by the Project Construction Manager. Plant material shall be symmetrical, typical for the variety and species.
- d. All Plants marked II & B shall be balled and burlapped or grown in containers according to standard modern practice. No plants shall be accepted when the ball of earth surrounding its roots has been cracked or broken prior to or during the process of planting. When balled plants cannot be planted immediately on delivery, set on the ground and cover the balls well with soil, manure or other acceptable materials.
- e. Specimen plants shall be approved by the Project Construction Manager prior to planting. Bid prices should permit using specimen stock which is better than average nursery stock material, particularly for large deciduous material and evergreen trees. The quality of the plant material as it relates to the ability to make a good dense plant foliage screen will be the criteria for approval of plants along with size qualifications. Evergreen plants, by their dense growth, shall show the results of pruning during their growth years in the nursery.
- f. Measurements: Plants shall conform to the measurements shown on the plant list. The caliper of tree trunks shall be the diameter of the trunk measured six (6) inches above the natural surface of the ground.
- g. All plants subject to inspection and approval or rejection by the Project Construction Manager. Rejected plants to be removed and replaced at Contractor's expense.

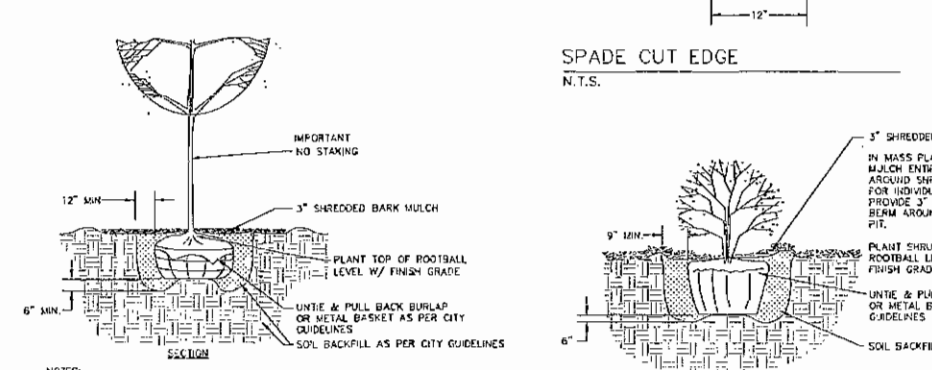
PART 3 - EXECUTION

3.1 PLANTING PROCEDURES

- A. **Trees and Shrubs:**
 - 1. Remove underground debris or other obstructions encountered, lower subgrade and check for drainage. Notify Project Construction Manager of all soil and drainage conditions which the Contractor considers detrimental to plant growth.
 - 2. Plants to be located as shown on plan or as directed by Project Construction Manager. Stake out location for all plants and confirm location and utilities as directed. If pits or areas for planting are prepared and backfilled with soil to grade prior to commencement of planting process, they can be readily located.
 - 3. Dig holes for individual shrubs and trees circular with vertical sides and sufficient depth to provide for backfill soil below ball of roots.
 - 4. Mycorrhizae inoculant to be applied directly to root ball at manufacturer's specified rate.
 - 5. Set plants so that after settling, the crown of the plant is at same level or one inch higher, as surrounding finished grade. Deep plantings are not acceptable. Place each plant in center of an individual pit unless otherwise directed. Set plants vertically.
 - 6. Backfill soil and removal of burlap or metal basket to be handled as per the City's specifications.
 - 7. Starter Fertilizer: Before placing backfill, install fertilizer pellets into planting hole at recommended rate.
 - 8. Thoroughly water each plant as follows: Do not compact earth by tamping or by watering. Each planting is best done by water alone, thereby effectively saturating the soil the same day of planting. Finish off the grade leaving a basin around each plant, depth and size of basin to be in proportion to plants. Plants to be vertical when planted, watered, and fully settled.
 - 9. Trees and shrubs shall be pruned on the site in accordance with standard practice. Prune to remove damaged branches, improve natural shape, thin out structure and remove not more than 15% of branches. Remove horizontal or low hanging branches of trees and parking lot trees to a height of 6', 6". Shrubs shall not be pruned by severely thinning all branches to an even height or globular shape.

Guying: Trees: no tree on this plan require making or guying.

PLANTING DETAILS



NOTES:
1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
2. DO NOT DISTURB ROOT BALL WHEN PLANTING OR STAKING.
3. WATER THOROUGHLY FOLLOWING PLANTING.

TREE PLANTING

N.T.S.

SHRUB PLANTING

N.T.S.

GROUNDCOVER & PERENNIAL PLANTING

N.T.S.



NOTES:
1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
2. WATER THOROUGHLY FOLLOWING PLANTING.

- 11. **Excavate Material:** All excess material from tree or shrub pit excavations shall be hauled off site and disposed of in a responsible manner.

A. Personal Data

- 1. See soil amendment specifications for depth and material to be used in all planting areas.
- 2. Apply specified fertilizer to bed area at manufacturer's recommended rate.
- 3. Mycorrhizae inoculant to be applied directly to root ball at manufacturer's specified rate.

B. Mulching

- 2. After planting in any bed, pit or trench area is completed and approved, spread a layer of specified surface mulch on trees and over the entire shrub bed to a depth of two to three inches.
- 3. Thoroughly moisten mulch by sprinkling.

1.2 CLEAN UP

- A. Upon completion of the work, clean ground of all debris, superfluous materials and equipment and remove them from the premises.

1.3 PROTECTION AND MAINTENANCE

- A. Protection and maintenance shall begin immediately following the planting of each plant and shall continue until final inspection with the following requirements:
 - 1. All plants shall be kept in a healthy, growing condition by watering, weeding, cultivating, fertilizing, pruning, removal of dead material, spraying, retreating plants to proper grades or upright positions and restoration of the planting area and any other necessary operations.
 - 2. Planting areas and plants shall be protected at all times against trespassing and damage of all kinds for the duration of the maintenance period. If any plants become damaged or injured, they shall be treated or replaced as directed by the Project Construction Manager at no additional cost to the Owner.

1.4 INSPECTIONS

- A. The Project Construction Manager will make inspections upon request by the owner with or without notification to the Contractor.
- B. The Contractor shall notify the Project Construction Manager for final inspection. The request shall be in written form and received at least 10 (ten) calendar days before the anticipated date of inspection.

1.5 GUARANTEE AND REPLACEMENT

- A. The Contractor shall provide a 100% guarantee for all plants outlined in this contract for a full twelve (12) months. The guarantee period shall begin at the date of the final acceptance.
 - B. The Contractor shall, replace as soon as weather conditions permit and within a specified planting period, all dead plants and all plants not in a vigorous, thriving condition as determined by the Project Construction Manager or the Owner during and at the end of the guarantee period. The plants shall be free of dead or dying branches and branch tips shall bear foliage of a normal density, size and color. Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in this specification.
 - C. The Contractor shall make all necessary repairs due to plant replacements. Such repairs shall be done at no extra cost to the Owner.
 - D. The Contractor shall make as many periodic inspections as necessary, at an extra cost to the Owner during the guarantee period, to determine what changes, if any, should be made to the Owner's maintenance program. Submit, in writing, to the Owner any recommended changes.

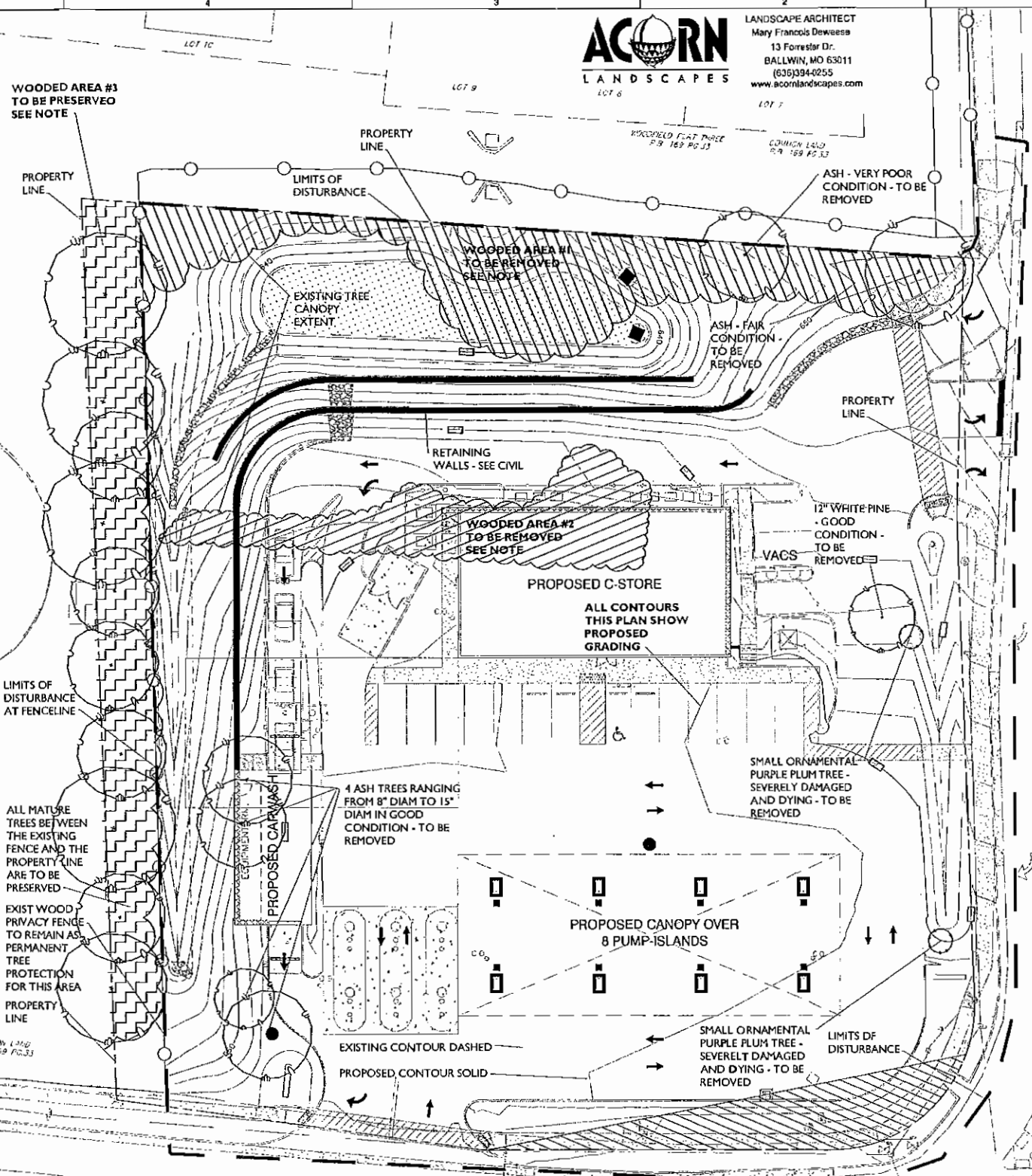
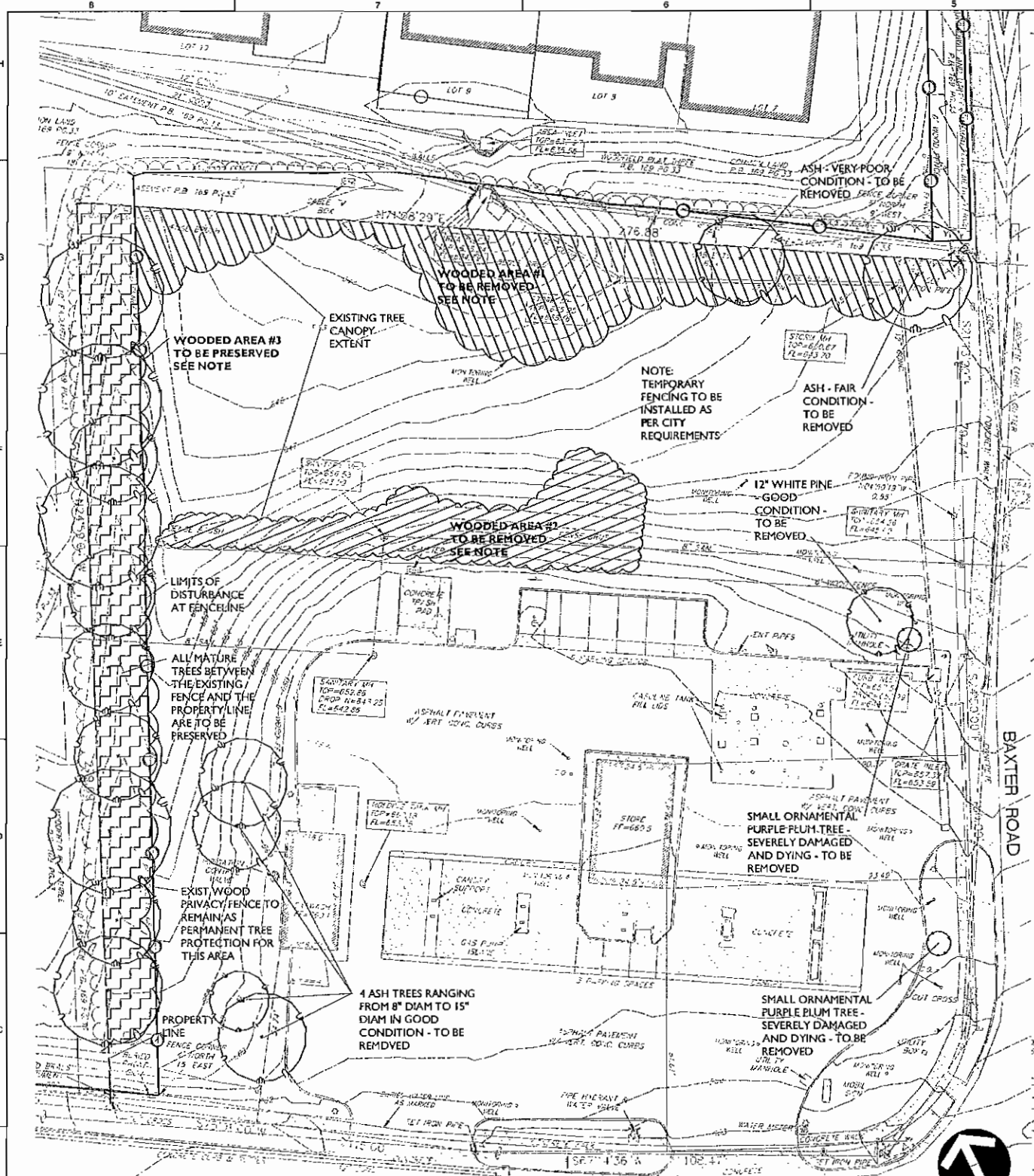
NO.	DATE	BY	DESCRIPTION

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DATE	BY	DESCRIPTION

DRAWING NO: **LA-2**
SHEET OF



TREE PRESERVATION AND DELINEATION OVER EXISTING CONDITIONS

WOODED AREA #1 4258 SF
THIS PORTION OF EXISTING VEGETATION WILL BE ENTIRELY REMOVED. IT IS ALMOST ENTIRELY DENSE INVASIVE WEED SPECIES, MOSTLY BUSH HONEYSUCKLE AND INVASIVE VINES THAT HAVE COVERED AND SMOOTHED THE UNDERLYING VEGETATION. WITHIN THE PROPERTY BOUNDARY THERE ARE ONLY TWO TREES OF ANY SIZE WITHIN THIS TANGLE OF DENSE INVASIVE VEGETATION. THESE TWO TREES ARE BOTH ASH TREES AND IN FAIR TO VERY POOR CONDITION AND WILL BE REMOVED. THE LOCATION OF THESE TWO TREES ARE NOTED ON THE DRAWING WITHIN THE HATCHED REMOVAL AREA #1.

WOODED AREA #2 TO BE REMOVED 2963 SF
THIS PORTION OF EXISTING VEGETATION WILL BE ENTIRELY REMOVED. IT CURRENTLY CONSISTS OF APPROX. THREE DEAD OR VERY NEARLY DEAD TREES COMPLETELY COVERED BY INVASIVE GRAPE VINE AND OTHER INVASIVE AND NOXIOUS SPECIES SUCH AS BUSH HONEYSUCKLE AND POISON IVY.

WOODED AREA #3 TO BE PRESERVED 6319 SF
THIS PORTION OF EXISTING VEGETATION WILL BE PRESERVED IN ITS ENTIRETY. THE AREA IS LOCATED BETWEEN AN EXISTING WOOD PRIVACY FENCE THAT IS TO REMAIN, AND THE WESTERN PROPERTY LINE. THE WOOD PRIVACY FENCE IS AN EFFECTIVE AND SUBSTANTIAL TREE PROTECTION BARRIER. NO GRADING, DISTURBANCE, OR CONSTRUCTION ACTIVITY IS PROPOSED AT ALL IN THIS AREA. THE INDIVIDUAL TREES HAVE BEEN NOTED ON THE DRAWING WITHIN THE HATCHED AREA TO SHOW THEIR APPROXIMATE LOCATION AND CANOPY COVERAGE SPREAD. THERE ARE APPROXIMATELY 10 TREES LOCATED IN THIS AREA, A MIXTURE OF PINE, ASH, OAK AND PEAR.

INDIVIDUAL TREES TO BE REMOVED (THOSE NOT WITHIN A WOODED AREA) ARE NOTED ON THE DRAWING WITH THEIR APPROXIMATE LOCATION AND SIZE INDICATED BY THE TREE SYMBOL. TOTAL COVERAGE OF THESE TREES = 1995 SF



TREE PRESERVATION AND DELINEATION OVER PROPOSED CONTOURS AND SITE DEVELOPMENT

TREE STAND DELINEATION AND PRESERVATION TABLE

TOTAL SITE AREA	76050 SF
EXISTING TREE CANOPY COVERAGE	15,535 SF
TREE CANOPY COVERAGE PROPOSED FOR REMOVAL	= 9216 SF (59%)
TREE CANOPY COVERAGE PRESERVED	6319 SF (41%)

TREE DELINEATION AND PROTECTION SUMMARY

ALL TREES WITHIN THE SITE WILL BE REMOVED EXCEPT FOR THE LARGE WOODED AREA ON THE WEST SIDE OF THE PROPERTY WHICH CONTAINS THE ONLY STAND OF TREES ON THE SITE NOT DEGRADED BY INVASIVE AND EXOTIC SPECIES.

NO MONARCH TREES ARE LOCATED ON THE SITE.

CLEARING LIMITS SHALL BE ROUGH STAKED OR MARKED BY THE APPLICANT'S SURVEYOR IN ORDER TO FACILITATE THE LOCATION FOR TRANCHING AND FENCING INSTALLATION.

THIS AREA WILL BE PROTECTED FROM ALL GRADING AND CONSTRUCTION ACTIVITIES ON THE SITE BY AN EXISTING SOLID 6' TALL WOOD PRIVACY FENCE WHICH IS ALREADY IN PLACE.

NO CLEARING OR GRADING SHALL BEGIN IN AREAS WHERE TREE TREATMENT, PRESERVATION, AND PROTECTION MEASURES HAVE NOT YET BEEN COMPLETED.



NO.	DATE	REVISION	DESCRIPTION

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AMENDED SITE DEVELOPMENT PLAN
MOBIL ON THE RUN - STORE #612

TSD AND TPP PLAN

DATE: SEPTEMBER 2011
DRAWN BY: MFD
DWG SCALE: (AS NOTED)
PROJECT NO: 110742
CHECKED BY: MFD
APPROVED BY: MFD

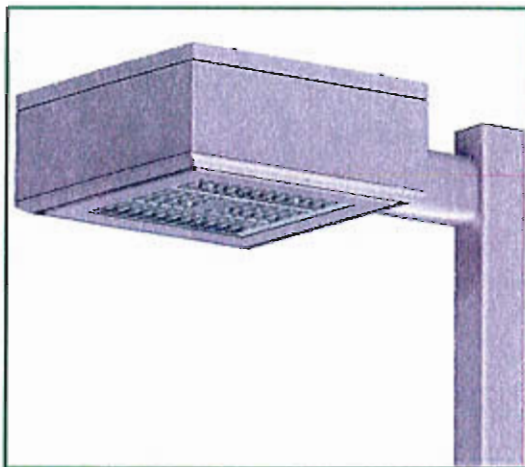
DRAWING NO: **LA-3**

SHEET OF

GENERATION 3 LED AREA LIGHTS - XGB3



US patent 0574994 & 7,828,456 and MX patent 29631 and US & Int'l. patents pending



SMARTTEC™ THERMAL CONTROL - Sensors in both optical unit and driver enclosure reduce drive current when ambient temperatures exceed 50°C. Current is lowered in imperceptible 5% increments every 5 minutes until safe operating temperature is reached.

EXPECTED LIFE - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

LEOS - Select high-brightness LEDs. 5300°K color temperature (nominal). 70 CRI (nominal).

DISTRIBUTION/PERFORMANCE - Types 5, FTA, FTA-L and FTA-R. Exceptional uniformity with full cutoff creates bright environment at lower light levels. Improved backlight cutoff minimizes light trespass. FTA-L and FTA-R allows for D180° mounting configurations with factory set optics for front row automotive applications.

HOUSING - Square, die-formed aluminum. Fully enclosed weather tight housing contains factory prewired driver and field connections.

TOP-ACCESS COVER - Tethered top-access cover provides ease of installation and allows for easy driver access. Four captive stainless-steel fasteners secure the top-access cover to the housing.

OPTICAL UNIT - Clear tempered optical grade flat glass lens sealed to aluminum housing creates an IP67 rated, sealed optical unit. Pressure stabilizing breather allows super-tight IP67 protection while preventing temperature cycling from building up internal pressures and vacuums that can stress optical unit seals and components. Patented integral single-blade heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

MOUNTING - 2-1/2" x 5-3/8" x 12" extruded aluminum arm mounting bracket shipped standard. 8" bracket available for single or D180 configurations, but must be ordered from the Options column of ordering chart. Use with standard (non-Crossover) steel round, square and round tapered poles. Round Pole Plate (RPP2) required for mounting to 3"-5" round poles. (See Accessory Ordering Information chart.)

ELECTRICAL - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2, Scenario 1, Location Category C-Medium standards (10KV, 5KA). Available with universal voltage power supply 120-277VAC (UE - 50/60Hz input), and 347-480VAC. Optional button-type photocells (PCI) are also available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified).

DRIVER - Available in 350mA and 450mA drive currents (Drive currents are factory programmed). State-of-the-art driver technology designed specifically for LSI LED light sources provides unsurpassed system efficiency. Components are fully encased in potting material for IP68 moisture resistance. Driver complies with IEC and FCC standards.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F).

FINISH - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling, and is guaranteed for five full years. Standard colors include bronze, black, platinum plus, buff, graphite, satin verde green, metallic silver and white.

WARRANTY - LSI LED fixtures carry a limited 5-year warranty.

PHOTOMETRICS - Application layouts are available upon request. Contact LSI Applications Group at lighting.apps@lsi-industries.com

SHIPPING WEIGHT (in carton) - 36.5 lbs (16.6 kg) fixture; 5 lbs. (2kg) arm

LISTING - ETL listed to U.S. and Canadian safety standards. Suitable for wet locations.

LIGHT OUTPUT - XGB3

	# of LEDs	Lumens (Nominal)		Watts
		Type 5	Type FTA	
350 mA	128	10450	12150	137
450 mA	128	12450	14850	180

This product, or selected versions of this product, meet the standards listed below.

Please consult factory for your specific requirements.



IP67



Intertek Suitable for wet locations



ARRA Funding Compliant

07/28/11

Project Name _____ Fixture Type _____

© 2011 LSI INDUSTRIES INC.

Catalog # _____



GENERATION 3 LED AREA LIGHTS - XGB3

LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XGB3 FTA-L LED 128 350 CW UE WHT PCI120**

Prefix	Distribution	Light Source	# of LEDs	Drive Current	Color Temperature	Input Voltage	Finish	Options
XGB3 ¹ - LED Greenbriar	FTA - Forward Throw Automotive FTA-L - FTA Optic Rotated for Parallel D180 Mount (Left Side) FTA-R - FTA Optic Rotated for Parallel D180 Mount (Right Side) 5 - Type 5	LED	128	350 - 350mA 450 - 450mA	CW - Cool White (5300°K nom.)	UE - Universal Voltage (120-277) 347-480	BLK - Black BRZ - Bronze BUF - Buff GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White	88K - 8" Bracket (S and D180 only) PCI 120 - 120v Button-Type Photocell PCI 208 - 208v Button-Type Photocell PCI 240 - 240v Button-Type Photocell PCI 277 - 277v Button-Type Photocell PCI 347 - 347v Button-Type Photocell TB - Terminal Block

LUMINAIRE EPA CHART² - XGB3

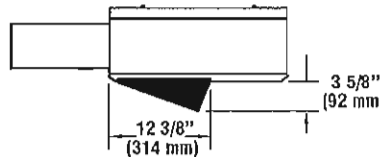
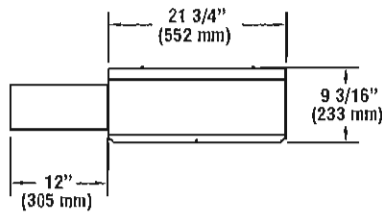
	8" Bracket	12" Bracket
Single	2.1	2.3
D180°	4.3	4.6
D90°	12" Bracket Required	4.1
T90°		6.7
TN120°		6.8
Q90°		8.2

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number
XGB3 FTA HSS - House Side Shield (Black only) ²	465915BLK
RPP2 - Round Pole Plate	162914BLK
BKS-BO-WM-* - CLR - Wall Mount Plate	123111CLR
BKA-BO-RA-8-CLR - Radius Arm	169010CLR
BKU-BO-S-19-CLR - Upsweep Bracket for round or square poles	144191CLR

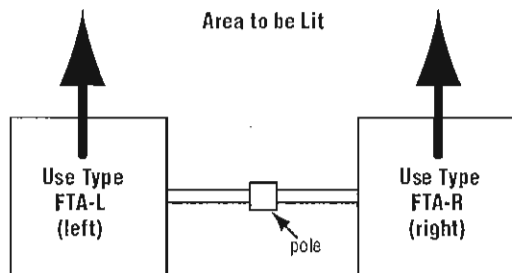
- NOTES:
 1 - Order standard (non-Crossover) LSI bolt-on poles.
 2 - House Side Shield adds to fixture EPA. Consult Factory.

DIMENSIONS



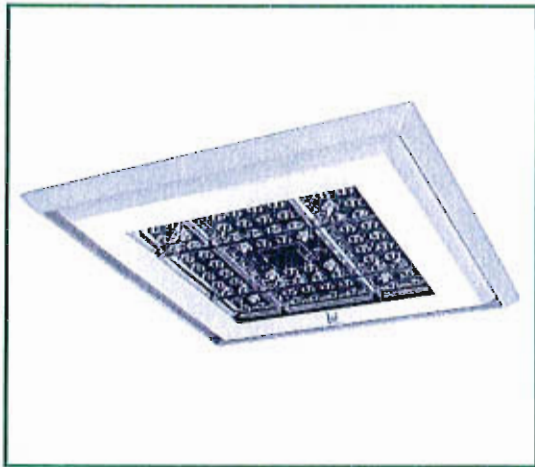
House Side Shield
Type FTA (465915 BLK)

LEFT AND RIGHT VERSIONS OF TYPE FTA REFLECTORS (TOP VIEW)



Note: Distributions are not field-rotatable. For D180 Forward Throw installations specify left (FTA-L) and/or right (FTA-R) side mounting. Orientation is based on standing at the pole looking out at the area to be lit.

LED AMBIENT CANOPY LIGHT (CRS)



May be covered by the following: "US patents D574994, 5997158, 6168300, 6422720, D590100 & D574994 and CN patents 2244607 & 2363919 and MX patents 29631, 30407 & 30408 and US & Int'l. patents pending

SMARTTEC™ ENERGY SAVING FEATURES:

THERMAL CONTROL - Sensor reduces drive current when ambient temperatures exceeds rated temperature.

LEDS - Choose from two array choices, 64 and 84, which feature select high brightness LEDs; 5300°K color temperature, 70 CRI (nominal).

DRIVE CURRENT - 530 mA.

OPTICS / DISTRIBUTION - Available with symmetric (S) and enhanced symmetric (ES) distribution

OPTICAL UNIT - Featuring an ultra-slim 1" profile, housing is die-formed aluminum with a clear tempered glass lens. Unit is water-resistant, sealed to an IP67 rating. Patented integral single blade heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

THE INDUSTRY'S ONLY BREATHABLE SEAL - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

DRIVER - State-of-the-art driver technology provides excellent system efficiency, control and protection. Components are fully encased in potting for IP54 moisture resistance. Complies with IEC and FCC standards.

DRIVER HOUSING - Wet location rated driver/electrical enclosure is elevated above canopy deck to help prevent water entry and to provide easy "knock-out" connection of primary wiring.

FINISH - Standard color is white. Finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F)

ELECTRICAL - Universal voltage power supply, 120-277 VAC, 50/60 Hz input. Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C

INSTALLATION - Installs in a 12" or 16" deck pan. Deck penetration consists of 5 drilled holes simplifying installation and water sealing. Unit is designed to retrofit into existing Scottsdale® (4") hole as well as openings for Encore® and Encore® Top Access and to reconnect wiring from the SC/ECTA without having to relocate conduit. Retrofit panels are available for existing Scottsdales and Encores (see back page) as well as kits for recessed and 2x2 installations (see separate spec sheets).

SHIPPING WEIGHT - 9.2 lbs.

EXPECTED LIFE - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

WARRANTY - Limited 5-year warranty.

LISTING - ETL listed to UL1598, UL8750 and other U.S. and International safety standards. Suitable for wet locations.

PHOTOMETRICS - Application layouts are available upon request. Contact LSI Petroleum Lighting or petroleum.apps@lsi-industries.com

LIGHT OUTPUT - CRS

		# of LEDs	Distribution	Lumens	Watts
530 mA	64		S	9400	111
			ES	8650	111
	84		S	12,300	143
			ES	10,800	143



Suitable for damp locations

IP67

RoHS



LED AMBIENT CANOPY LIGHT ()

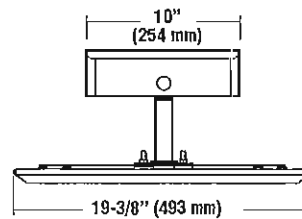
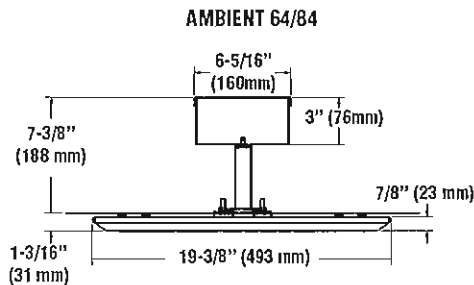
LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **CRS S LED 64 530 CW UE WHT**

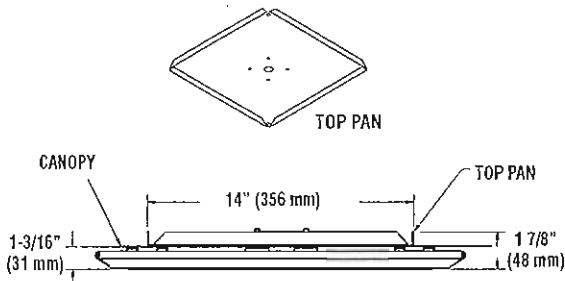
Prefix	Distribution	Light Source	# of LEDs	Drive Current	Color Temperature	Input Voltage	Finish
CRS	S-Symmetric ES - Enhanced Symmetric	LED	64 84	530 - 530mA	CW - Cool White	UE - Universal Voltage (120-277 AC)	WHT - White

ACCESSORY ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
Retrofit Panel - SC to CRS, for 16" Deck Panel	430951
Retrofit Panel - EC / ECTA / SCF to CRS, for 16" Deck Panel	430765
Retrofit Panel - SC to CRS, for 12" Deck Panel	430797
Retrofit Panel - ECTA / SCF to CRS, for 12" Deck Panel	430759
Retrofit 2x2 Cover Panel (w/ centered hole pattern for CRS)	430966
Description	Order Number
Retrofit 2x2 Cover Panel Blank (no holes)	357282
Retrofit RIC Cover Panel Blank (no holes)	354702
Kit - Hole Plugs and Silicone (enough for 25 retrofits) ¹	1320540
¹ Consists of (25) 7/8" hole plugs and (1) 10.3 oz tube of RIV	

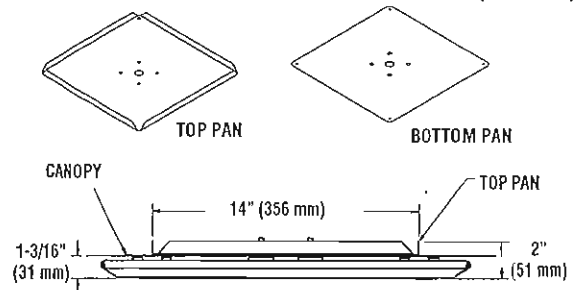
DIMENSIONS



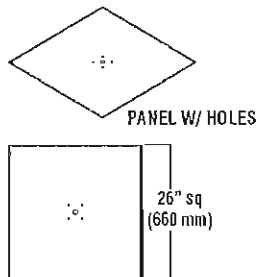
16" DECK RETROFIT PANEL - SC (#430951)



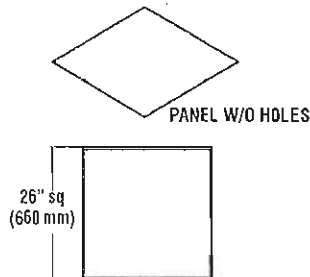
16" DECK RETROFIT PANELS - EC/ECTA/SCF (#430765)



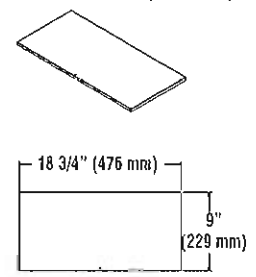
2X2 COVER PANEL W/ HOLES (430966)



2X2 COVER PANEL BLANK (357282)



RIC COVER PANEL (354702)



GENERATION 3 LED PATRIOT WALL SCNCE (XPWS3)



US patents D562491 & 7628456 and US & Int'l. patents pending



SMARTTEC™ ENERGY SAVING FEATURES:

- THERMAL CONTROL** - Sensors in both optical unit and driver enclosure reduce drive current when ambient temperatures exceed 50°C. Current is lowered in imperceptible 5% increments every 5 minutes until safe operating temperature is reached.
- OCCUPANCY SENSING** - Integral sensor (optional) detects movement and activates switching of luminaire to 30% power when no presence is detected. Smart dim slowly lowers light level over a 10-second period.
- LEDs** - Available with 28 or 48 select high-brightness LED's in Cool White (5300°K nominal) or Neutral White (4200°K nominal) color temperature, 70 CRI (nominal).
- DRIVER CURRENT OPTIONS** - Choose from two drive current levels; 350mA and 450mA (Drive currents are factory programmed).
- OPTICS/DISTRIBUTIONS** - Ultra-high efficiency reflectors provide three distributions. Choose from Wide Throw (WT), Forward Throw (FT) or Wall Wash (WW).
- OPTICAL UNIT** - Clear tempered optical-grade flat glass lens sealed to the die-cast aluminum optic housing creates an IP65 rated unit. Pressure stabilizing breather allows super-tight protection while preventing cycling from building up internal pressures and vacuums that can stress optical unit seals.
- DRIVER** - Components are fully encased in potting material for IP68 moisture resistance. Driver complies with IEC and FCC standards. Driver can be easily accessed and removed.
- ELECTRICAL** - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C. Available with universal voltage power supply 120-277VAC (50/60Hz input), 347VAC and 480VAC.
- OPTIONAL INTEGRAL MOTION SENSOR** - Passive infrared motion sensor activates switching of luminaire light levels. High level light is activated when passersby enter target zone and increased to full bright in <1 second. Low light level (30% of maximum drive current) is activated when target zone is absent of motion activity for 5 minutes and is gradually ramped down (10 seconds) to low level. Sensor detection range 110° horizontal x 93° vertical x 10 meters maximum distance.
- EMERGENCY OPTIONS** - Integral emergency battery-back-up options are available. BB option operates in 0°C to 60°C ambient temperature and CWBB operates in -20°C to 60°C ambient temperature. When primary AC power failure occurs, both options operate 10 LEDs for a minimum of 90 minutes. EMR2 option for two external 12 volt circuits for use with 35 watt Halogen lamps (provided) is available.
- HOUSING** - One-piece die-cast aluminum housing is smoothly contoured rectangular shape. Mounting hardware is stainless steel or electro-zinc plated steel. Housing and optical unit are sealed with extruded silicone gasket; supply conductors with molded EPDM bushing.
- OPERATING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F).

Crossover LED Lighting

lighting facts™

A Program of the U.S. DOE

Light Output (Lumens)	4020
Watts	53
Lumens per Watt (Efficacy)	76
Color Accuracy Color Rendering Index (CRI)	67
Light Color Correlated Color Temperature (CCT)	5320 (Daylight)

All results are according to IESNA LM-79 2008 Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label/Reference Guide.

Registration Number: K00N-V0107A
Model Number: XPWS3 FT LED 48 350 CW UE
Type: Outdoor wall pack

LIGHT OUTPUT - XPWS3					
Milliamps	# of LEDs	Distribution/Lumens (Nominal)			
Cool White		Type FT	Type WT	Type WW	Watts
350 mA	28	2300	2280	2580	33
	48	4020	3940	4180	53
450 mA	28	2820	2740	3010	44
	48	4810	4680	4970	68
Neutral White					
350 mA	28	2260	2190	2430	32
	48	3740	3570	3760	52
450 mA	28	2660	2600	2850	41
	48	4420	4180	4450	67

C/F = Consult Factory

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.

IP65

ARRA Funding Compliant | ROHS COMPLIANT | Intertek Suitable for wet locations (downlight only)

- WALL MOUNTING** - Galvanized-steel universal wall mounting plate easily mounts directly to 4" octagonal or square junction box. EPDM gasket is supplied to be installed between mounting plate and junction box, sealing junction box from entrance of water. Universal plate permits fixture to be mounted in uplighting (indoor only) or downlighting position.
- POLE MOUNTING** - XPMA option adds a clean look closure to the back of the housing and includes bracket to allow fixture to be pole-mounted.
- FINISH** - Fixtures are finished with LSI's DuraGrip® polyester powder coat finish process. The DuraGrip finish withstands extreme weather changes without cracking and peeling, and is guaranteed for five full years. See ordering guide for available standard colors.
- SHIPPING WEIGHT (in carton)** - 25 lbs. (11 kg)
- EXPECTED LIFE** - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI website for specific guidance.
- WARRANTY** - Limited 5-year warranty.
- PHOTOMETRICS** - Application layouts are available. Contact LSI Applications at lighting_apps@lsi-industries.com
- LISTING** - ETL listed to ANSI/UL1598, UL8750 and other U.S. and international safety standards. Suitable for wet locations in downlight position. Optional Class 1 Division 2 hazardous location rating is available. (Select HL option)

GENERATION 3 LED PATRIOT WALL SCNCE (XPWS3)



LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XPWS3 FT LED 48 450 CW UE WHT BB**

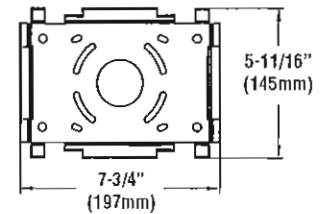
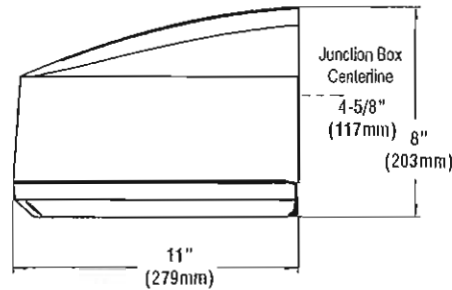
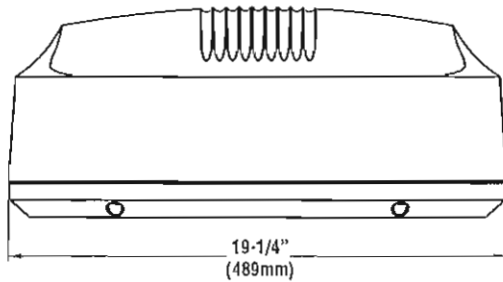
Prefix	Distribution	Light Source	# of LEDs	Drive Current	Color Temperature	Input Voltage	Finish	Options
XPWS3 - LED Patriot Wall Sconce	WT - Wide Throw FT - Forward Throw WW - Wall Wash	LED	28 48	350 - 350mA 450 - 450mA	CW - Cool White NW - Neutral White	UE - Universal Voltage (120-277) 347-480	BLK - Black BRZ - Bronze GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Salin Verde Green WHT - White	BB - Battery Back-up ¹ CWBB - Cold Weather Battery Back-up ¹ IMS - Integral Motion Sensor TP - Tamper Proof EMR2 - Two Emergency 12V Circuit Provisions with (2) 35 Watt Halogen Lamps ^{2,3} PCI 120 - Button Type Photocell PCI 208 - Button Type Photocell PCI 240 - Button Type Photocell PCI 277 - Button Type Photocell PCI 347 - Button Type Photocell HL - Class1, Division2, Hazardous Location Rating ³ XPMA - Pole Mounting Adaptor w/fixture backplate. Drilled for Crossover (C/O) poles ⁴

ACCESSORY ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
XPWS3 Polycarbonate Shield	244657
XPWS3 SW BLK - Surface Wiring Box (Available in black only)	356915BLK
SCDB - Tamper-proof Screwdriver Bit	420908

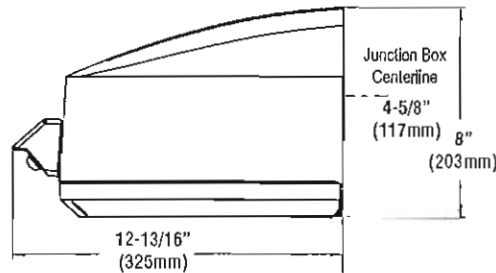
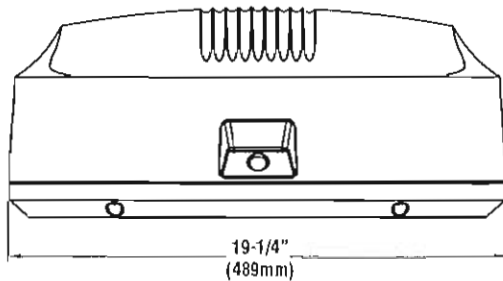
FOOTNOTES:

- 1- Available with UE voltage only.
- 2 - Utilizes G24 sockets. 12 volt separate circuits required.
- 3 - Not available with battery backup or photocell option.
- 4 - Not available with EMR2 option.

DIMENSIONS



Universal Mounting Plate



Shown with IMS Option

08/08/11

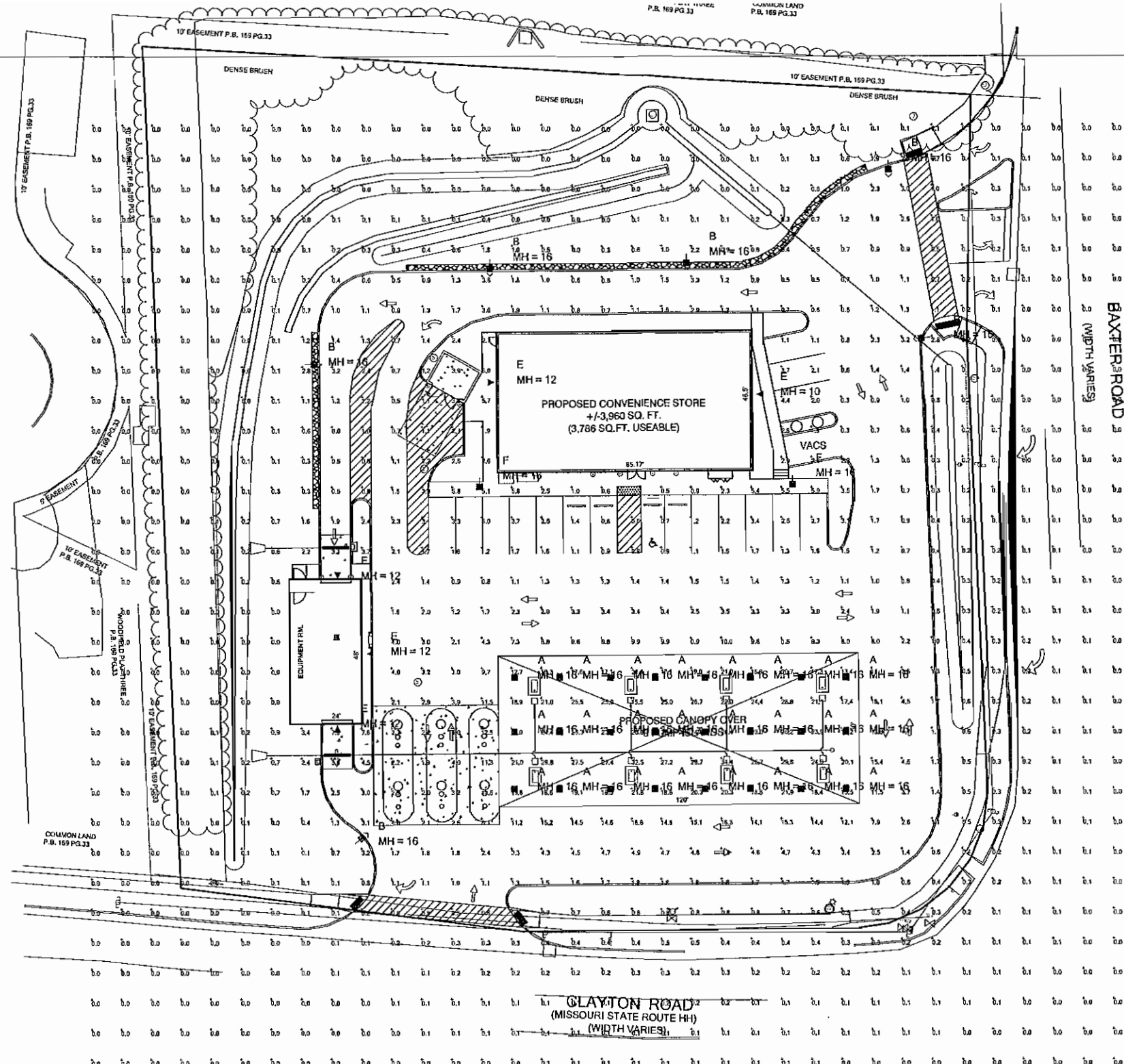
Project Name _____

Fixture Type _____

© 2011
LSI INDUSTRIES INC.

Catalog # _____





XAWS3
LED Crossover Wall Light



XAS3
LEO Crossover Area Light



Crossover
GENERATION 3

THIS IS NOT AN LSI RECOMMENDED LIGHT LAYOUT.
LSI IS NOT RESPONSIBLE FOR SAFETY AND SECURITY RISKS DUE TO INADEQUATE LIGHT LEVELS.

No on-site light standard shall exceed 16 feet in height, and be so situated that light is directly cast on adjoining properties or public roadways.

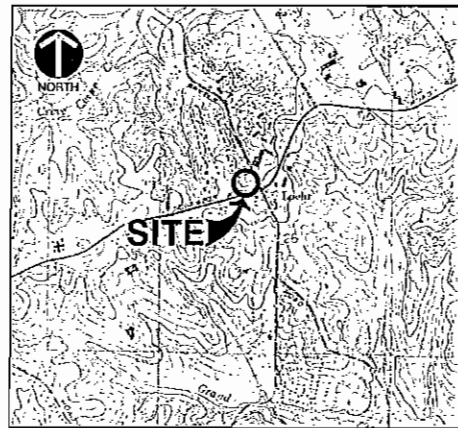
Statistical Area Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
CANOPY SUMMARY	21.93	32.5	12.7	1.73	2.56
LOT SUMMARY	2.10	6.0	0.5	4.20	12.00
PARKING STALL SUMMARY	1.73	3.7	0.6	2.88	6.17

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Description	Total Watts
[Symbol A]	24	A	SINGLE	N.A.	1.000	CR5-ES-LED-64-530-CW-UE	2664
[Symbol B]	6	B	SINGLE	N.A.	1.000	XAS3-3-LED-63-350-CW-UE-HSS8 SINGLE ON 14' POLE + 2' BASE	450
[Symbol E]	5	E	SINGLE	N.A.	1.000	XPWS3-FT-LED-48-350-CW-UE	264
[Symbol F]	2	F	SINGLE	N.A.	1.000	XAS3-2-LED-63-450-CW-UE SINGLE ON 14' POLE + 2' BASE	196

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaires may vary due to variation in electrical voltage, tolerance in lamps, and other variable field conditions.

Rev.	Date	By
Revisions		
LIGHTING PROPOSAL FOR		
MOBIL		
CHESTERFIELD, MO		
DATE: 11/1/21	IO-73897-4	
BY: LLS	SHEET 1 OF 1	



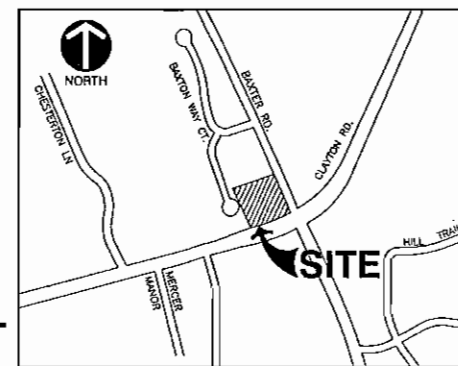
SITE USGS AND LOCATION MAP
U.S.G.S. 7.5 TOPOGRAPHIC MAP, MANCHESTER QUADRANGLE, MISSOURI
DATED 1993, PHOTOREVISED 1999.

AN AMENDED SITE DEVELOPMENT PLAN FOR THE

Mobil On the Run

STORE #612

A TRACT OF LAND BEING PART OF FRACTIONAL SECTION 36, TOWNSHIP 45 NORTH, RANGE 4 EAST
CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI



LOCATION MAP
NOT TO SCALE



Name of Owner _____
In connection with a change of zoning for the following described property from _____ to _____

LEGAL DESCRIPTION
A TRACT OF LAND BEING SITUATED IN FRACTIONAL SECTION 36, TOWNSHIP 45 NORTH, RANGE 4 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE WESTERN RIGHT OF WAY LINE OF BAXTER ROAD, AS WIDENED BY DEED RECORDED IN BOOK 8822, PAGE 1238 OF THE ST. LOUIS COUNTY RECORDS WITH THE NORTHERN LINE OF A TRACT OF LAND CONVEYED TO SOCONY MOBIL OIL COMPANY, BY DEED RECORDED IN BOOK 4924, PAGE 416 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG SAID WESTERN RIGHT OF WAY LINE, SOUTH 21 DEGREES 23 MINUTES 29 SECONDS EAST, 79.74 FEET TO AN ANGLE POINT THEREIN; THENCE SOUTH 24 DEGREES 50 MINUTES 00 SECONDS EAST, 239.00 FEET TO A POINT OF CURVE; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 45.00 FEET AN ARC DISTANCE OF 73.59 FEET CHORD OF SOUTH 22 DEGREES 02 MINUTES 00 SECONDS WEST, 65.66 FEET TO A POINT ON THE NORTHERN RIGHT OF WAY LINE OF CLAYTON ROAD, AS WIDENED BY DEED RECORDED IN BOOK 8202, PAGE 1238 AS AFORESAID; THENCE ALONG SAID NORTHERN LINE, SOUTH 67 DEGREES 14 MINUTES 06 SECONDS WEST, 108.47 FEET TO AN ANGLE POINT THEREIN; THENCE SOUTH 75 DEGREES 00 MINUTES 00 SECONDS WEST, 115.00 FEET TO THE WESTERN LINE OF SAID SOCONY MOBIL OIL COMPANY TRACT; THENCE ALONG SAID WESTERN LINE, NORTH 24 DEGREES 29 MINUTES 04 SECONDS WEST, 279.69 FEET TO THE NORTHWEST CORNER THEREOF; THENCE ALONG THE NORTHERN LINE OF SAID SOCONY MOBIL OIL COMPANY TRACT, NORTH 75 DEGREES 00 MINUTES 29 SECONDS EAST, 275.58 FEET TO THE POINT OF BEGINNING, CONTAINING 76,050 SQUARE FEET.

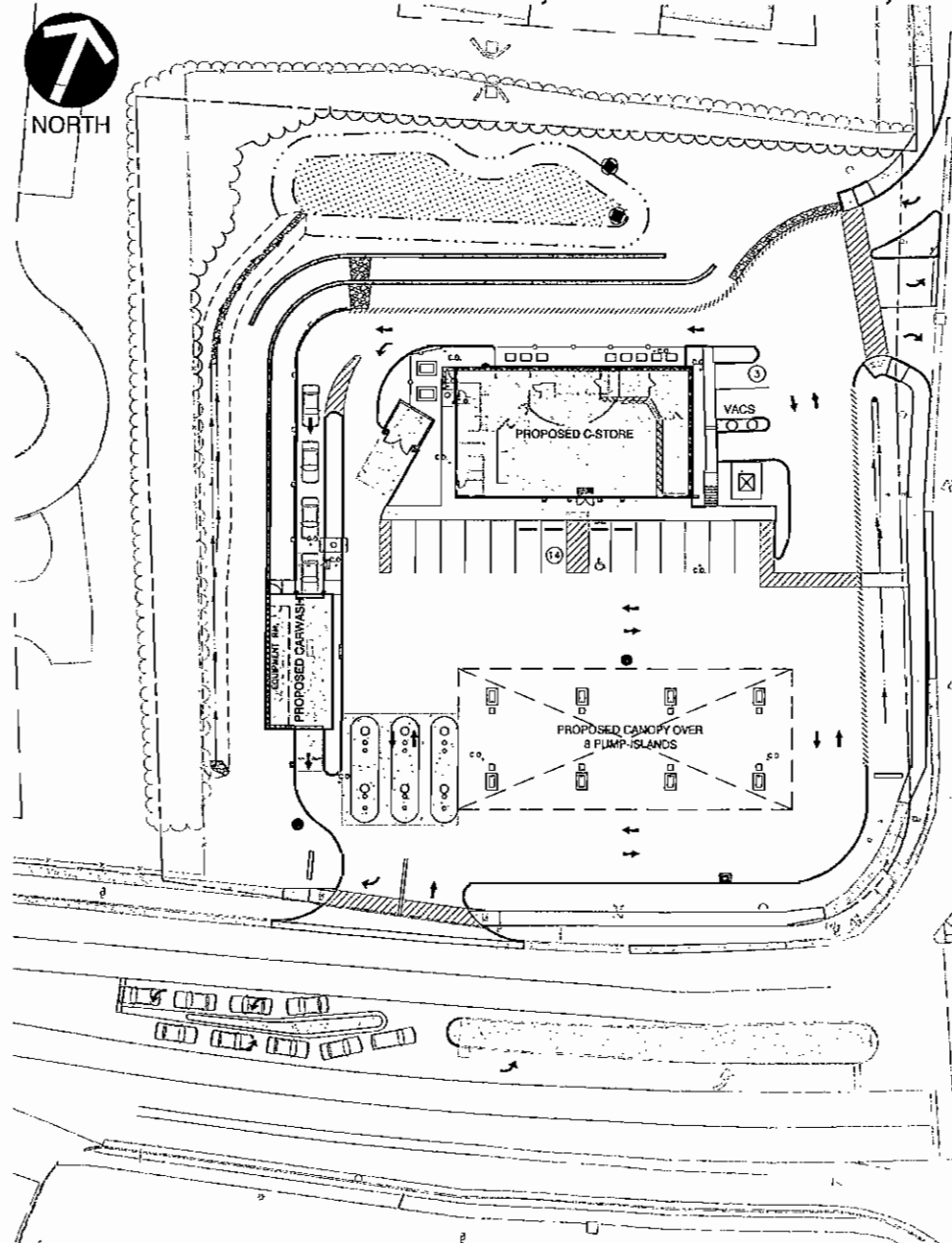
_____, the owner(s) of the property shown on this plan for and in consideration of being granted a permit to develop property under the provisions of Chapter 1003, _____ of City of Chesterfield Ordinance #624, do hereby (applicable subsection) (present zoning) agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the Planning Commission, or voided or vacated by order of ordinance of the City of Chesterfield Council.

State of _____)
County of _____) SS
On this _____ day of _____, A.D., 20____, before me personally appeared _____ (Official of Corporation) that he/she is the _____ of the _____ (Name of Corporation) corporation in the State of _____, and that the seal affixed to the foregoing instruments is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said _____ (Official of Corporation) acknowledged said instrument to be the free act and deed of said corporation.

This Site (Development) Plan was approved by the City of Chesterfield Planning Commission and duly verified on the _____ day of _____, 20____, by the Chairperson of said Commission, authorizing the recording of this Site Plan pursuant to Chesterfield Ordinance Number 200, as stated to by the Planning and Development Services Director and the City Clerk.

Planning and Development Services Director

City Clerk



SITE MAP

REFERENCE

1. TOPOGRAPHIC SURVEY CONDUCTED BY: FRAZIER LAND SURVEYING SERVICES, INC. 705 BALLANTRAE DRIVE, WENTZVILLE, MO. 63385. PHONE: (636) 332-0610. FAX: (636) 332-0710. DATED 08/02/11. DRAWING NAME 11-1045 BAXTER CLAYTON/LOW

BENCHMARK

PROJECT BENCHMARK: "L" ON THE SOUTHWEST CORNER OF THE SOUTH HEADWALL OF A BOX CULVERT, 100' EAST OF THE CENTER LINE OF BAXTER ROAD AND 31' SOUTH OF MANOR KNOWL DRIVE. ELEV. 584.94 (USGS DATUM) AS PUBLISHED IN THE METROPOLITAN ST. LOUIS SEWER DISTRICT ST. LOUIS COUNTY BENCHMARK BOOK (REVISED 6/97) B44 12-89.

SITE BENCHMARK: "L" ON THE WEST CORNER AT NORTH END OF 10" CONCRETE WALL AT THE NORTHEAST CORNER OF BAXTER AND CLAYTON ROADS. 45' EAST OF THE CENTERLINE OF BAXTER ROAD AND 125' NORTH OF THE CENTERLINE OF CLAYTON ROAD. ELEV.=661.29

CIVIL ENGINEER

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
4848 PARK 370 BLVD.; SUITE F
HAZELWOOD, MO 63042
PH: (314) 656-4566
FX: (314) 656-4595
CONTACTS: KEVIN KAMP, PE

DEVELOPER/OWNER

WALLIS COMPANIES
106 E WASHINGTON
CUBA, MO 65453
PHONE/FAX: (636) 549-1602
CELL:
CONTACT: DILL CUTTEY
EMAIL: DillCuttey@wallis.com

LANDSCAPE ARCHITECT

ACORN LANDSCAPES
http://www.acornlandscapes.com
CONTACT: MARY FRANCOIS DEWESE
PHONE: (636) 394-0255
FAX: (636) 527-2928
EMAIL: dewese@acornlandscapes.com

ARCHITECT

OSM, INC.
15510 OLIVE BLVD, SUITE 207
ST. LOUIS, MO 63017
PHONE: (636) 536-7004
FAX: (636) 538-7014
CONTACT: STEWART W. MACGREGOR AA, AIA
EMAIL: stewart@osm.com

LIGHTING SPECIALIST

PEIKER PITCHER ASSOCIATES
ST. LOUIS, MO 63129
CONTACT: RICH HAYDEN
PHONE: (314) 892-4848
EMAIL: rhayden@peiker.com

DEVELOPMENT NOTES:

1. OVERALL AREA OF TRACT: 76,050 SQ. FT. (1.746 ACRES)
2. SITE ADDRESS: 14905 CLAYTON ROAD, CHESTERFIELD, MO 63017 [LOCATOR ID #21R410960]
3. CURRENT ZONING: PC, PLANNED COMMERCIAL DISTRICT (CITY OF CHESTERFIELD) PREVIOUSLY APPROVED UNDER DEC 3, 2001; ORDINANCE #1603/DILL #2031
4. USE: EXISTING USE - CONVENIENCE STORE, CARWASH & GAS SALES. PROPOSED USE - CONVENIENCE STORE, CARWASH & GAS SALES
5. OWNER: ARCH ENERGY, LCA, 105 E WASHINGTON, CUBA, MO 65453
6. REQUIRED BUILDING SETBACKS: (SEE ATTACHED EX11 COLOR-CODED EXHIBIT "A")
7. BUILDING SQUARE FOOTAGES: C-STORE - TOTAL SQ. FT. 3,788 GROSS USEABLE FLOOR AREA. CARWASH - TOTAL SQ. FT. 1152. CANOPY - TOTAL SQ. FT. 5000
8. PARKING CALCULATIONS: GASOLINE FILLING STATION AND CONVENIENCE STORE WITH PUMPS @ 4.5 SPACES PER 1,000 SF OF GFA. SELF-SERVICE DRIVE THRU/AUTOMATED CARWASH @ 1 SPACE IN BAY PLUS 3 ADDITIONAL STACKING SPACES. PARKING REQUIRED = 17 SPACES. PARKING PROVIDED = 17 SPACES
9. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
10. ALL MECHANICAL EQUIPMENT WITH THE EXCEPTION OF EXHAUST FANS, SHALL BE LOCATED ON THE GROUND AND SCREENED.
11. NO ON-SITE LIGHT STANDARD SHALL EXCEED SIXTEEN (16) FEET IN HEIGHT NOR BE SO SITUATED THAT LIGHT IS CAST DIRECTLY ON ADJOINING PROPERTIES AND/OR PUBLIC ROADWAYS, BUT SHALL BE DIRECTED AT BUILDING. LIGHT STANDARDS NORTH AND WEST OF THE NORTH AND WEST BUILDING SHALL NOT EXCEED EIGHT (8) FEET IN HEIGHT AND SHALL BE A SHROUD DESIGN. THE LIGHT STANDARD AT THE WEST ENTRANCE ON CLAYTON ROAD SHALL NOT EXCEED SIXTEEN (16) FEET IN HEIGHT AND SHALL BE A BOX DESIGN (PER ORDINANCE).
12. FLOOD PLAN NOTE: ACCORDING TO THE FLOOD INSURANCE RATE MAP OF ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 251802025H, WITH AN EFFECTIVE DATE OF AUGUST 2, 1995, THIS PROPERTY LIES WITHIN SFHA ZONE X. ZONE X IS DEFINED AS AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.
13. A SPECIAL USE PERMIT SHALL BE OBTAINED FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY PRIOR TO CONSTRUCTION.
14. A COMPLETE SIGN PACKAGE SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING UNDER SEPARATE REVIEW.
15. SITE CALCULATIONS: TOTAL LOT SIZE = 76,050 SQ. FT. (1.746 ACRES). TOTAL GREEN SPACE = 32,261 SQ. FT. (12.64) (ALL LANDSCAPE AREAS). TOTAL PAVEMENT & WALKS = 38,552 (50.7%). TOTAL BUILDINGS = 5,112 SQ. FT. (6.7%). TOTAL OPEN SPACE = 70,938 (93.3%) (TOTAL AREA LESS BUILDINGS)

THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT

- GAS:** LACLEDE GAS, 720 OLIVE ST., ROOM 1409, ST. LOUIS, MO 63101. CONTACT: PHONE: (314) 342-0585
- TELEPHONE:** AT&T, 14780 MANCHESTER RD., BALLWIN, MO 63011. CONTACT: BECKY LOYET, PHONE: 314-963-3816, EMAIL: BLS083@att.com
- FIBER:** CENTURYLINK, 1151 CENTURYLINK DRIVE, BLDG A, WENTZVILLE, MO 63385. CONTACT: MIKE THELICK, PHONE: (636) 987-4752, EMAIL: mick.thelick@lightcore.net
- FIRE PROTECTION:** METRO WEST FIRE PROTECTION DISTRICT, 17065 MANCHESTER ROAD, WILSON, MO 63040. CONTACT: VINCENT T. LOYAL, PHONE: (636) 458-2100, EMAIL: metrowest-fire.org
- WATER:** ST. LOUIS COUNTY WATER COMPANY. CONTACT: PHONE: (314) 342-0585
- SANITARY & STORM SEWER:** METROPOLITAN ST. LOUIS SEWER DIST., 2350 MARKET STREET, ST. LOUIS, MO 63103. CONTACT: MIKE PATEL, PHONE: 314-768-6325, EMAIL: mpatel@slmsd.com
- HIGHWAY:** MISSOURI DEPT. OF TRANSPORTATION, 1550 WOODLAKE DRIVE, CHESTERFIELD, MO 63017. CONTACT: JAMES BODART, PHONE: (314) 340-4318, EMAIL: James.Bodart@mo.gov
- ELECTRIC:** AMEREN MO
- CABLE:** CHARTER COMMUNICATIONS MAPPING & DESIGN DEPT., 914 CHARTER COMMONS TOWN & COUNTRY, MO 63017. CONTACT: JOHN DANOWSKI, PHONE: (636) 387-6657
- ST. LOUIS COUNTY HIGHWAYS & TRAFFIC:** 41 S. CENTRAL AVENUE, 5TH FLOOR, ST. LOUIS, MO 63105. CONTACT: GLEN E. HENNINGER, PHONE: (314) 615-8506, FAX: (314) 615-8156, EMAIL: ghenninger@slouis.com

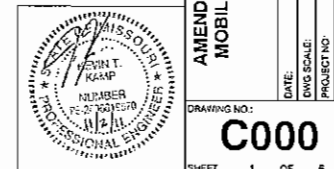
DRAWING INDEX

#	TITLE	DESCRIPTION
1	C000	COVER
2	C200	SITE & UTILITY PLAN
3	C300	GRADING PLAN & SETBACK EXHIBIT
4	C800	DETAILS
5	L0	LIGHTING PLAN



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JULY-20-2011
ISSUED TICKETS: #11852108

NOTE TO CONTRACTOR: PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, BROADBAND, PHONE, SANITARY AND STORM SEWERS. ANY CONFLICT SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND APPROPRIATE AUTHORITIES



DRAWING NO: **C000**

SHEET 1 OF 5

REVISION RECORD

NO.	DATE	DESCRIPTION
1	11/02/2011	ISSUED CONCEPTUAL UTILITY DRAWING
2	11/02/2011	ISSUED FINAL SITE DEVELOPMENT PLAN PERMITS
3	11/02/2011	FINAL SUBMITTAL

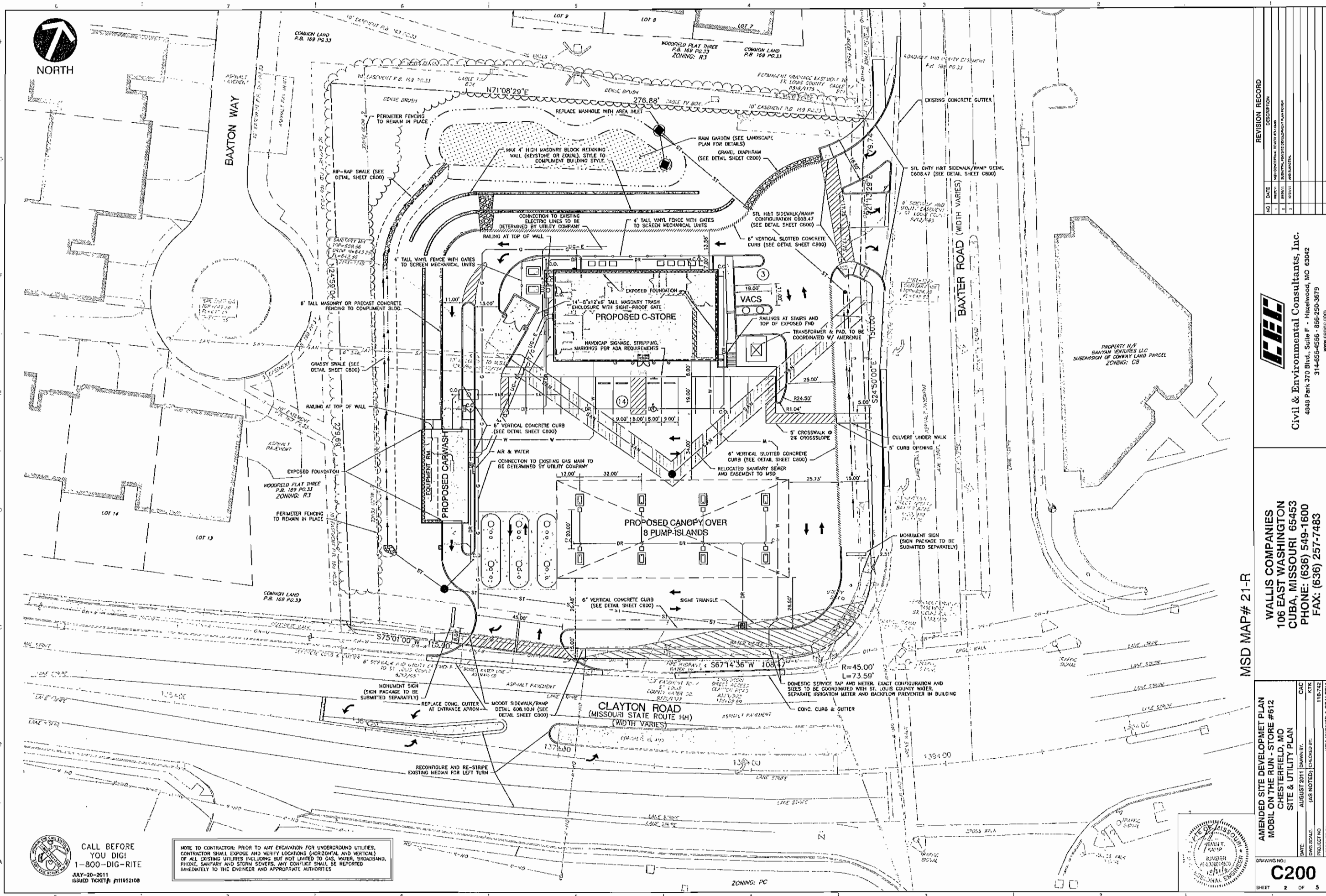
Wallis Companies
Civil & Environmental Consultants, Inc.
4848 Park 370 Blvd., Suite F - Hazelwood, MO 63042
314-656-4566 - 866-250-3679
www.wallis.com

WALLIS COMPANIES
106 EAST WASHINGTON
CUBA, MISSOURI 65453
PHONE: (636) 549-1600
FAX: (636) 257-7483

MSD MAP # 21-R

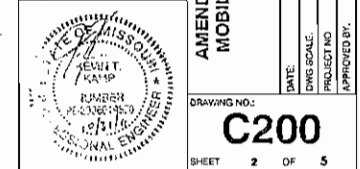
AMENDED SITE DEVELOPMENT PLAN
MOBIL ON THE RUN - STORE #612
CHESTERFIELD, MO
COVER

DATE: AUGUST 2011
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT NO: 110-742
APPROVED BY: [Name]



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 JULY-20-2011
 ISSUED TICKET # 111952108

NOTE TO CONTRACTOR: PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, BROADBAND, PHONE, SANITARY AND STORM SEWERS. ANY CONFLICT SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND APPROPRIATE AUTHORITIES.



REVISION RECORD		
NO.	DATE	DESCRIPTION
1	08/21/11	ISSUED FOR PERMITS
2	08/21/11	REVISIONS TO PERMITS
3	08/21/11	REVISIONS TO PERMITS

Civil & Environmental Consultants, Inc.
 4848 Park 370 Blvd., Suite F - Hazelwood, MO 63042
 314-656-4556 - 866-250-3679
 www.cedcinc.com

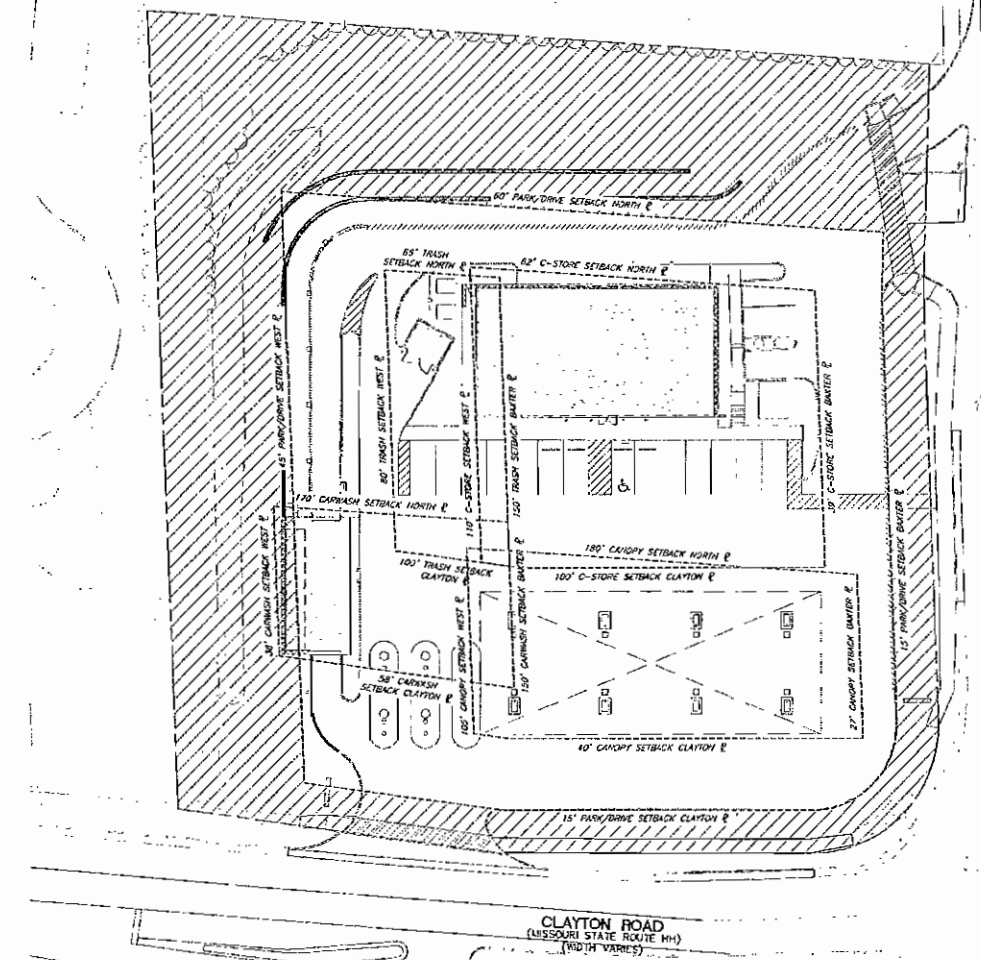
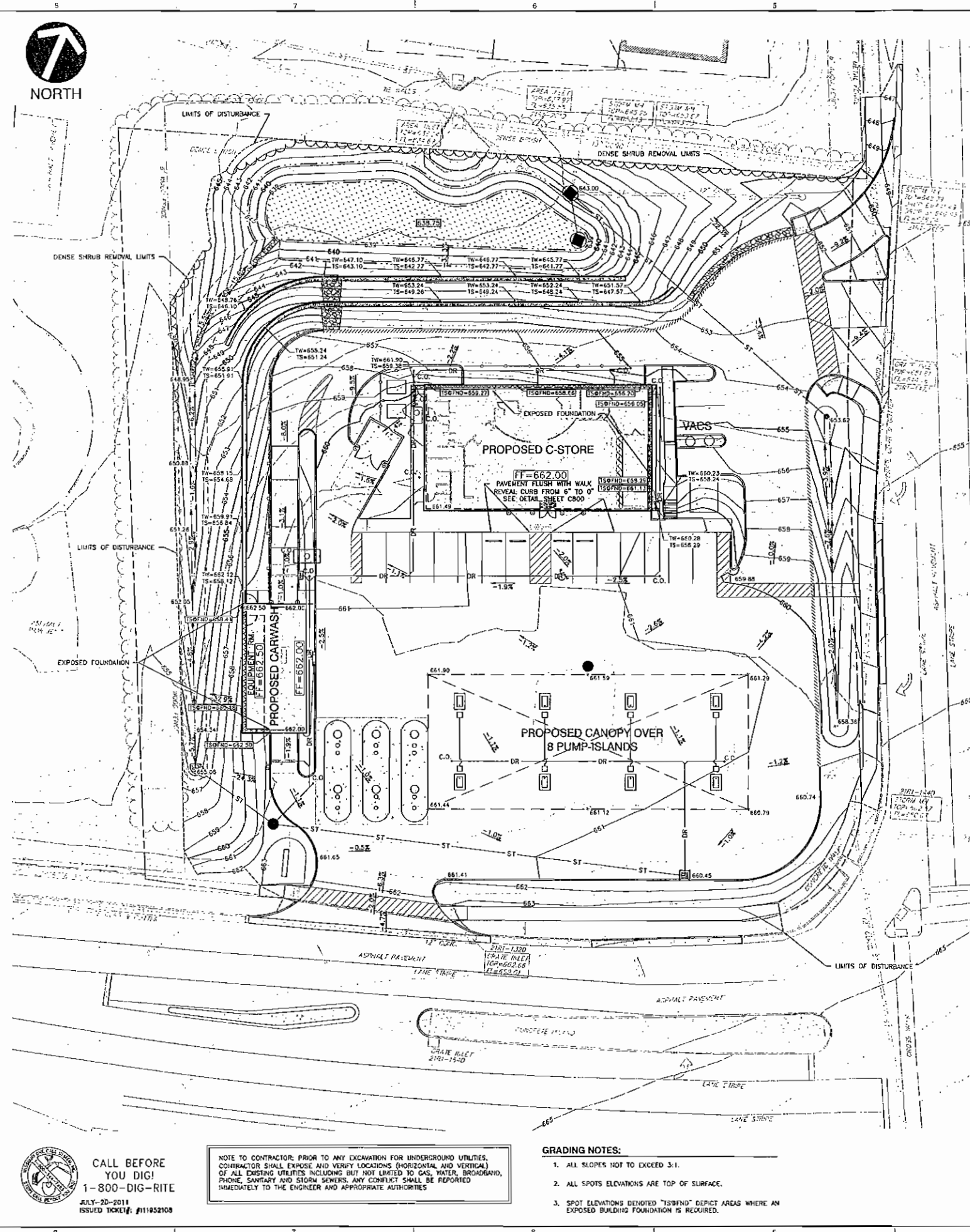
WALLIS COMPANIES
 106 EAST WASHINGTON
 CUBA, MISSOURI 65453
 PHONE: (636) 549-1600
 FAX: (636) 257-7483

MSD MAP# 21-R

AMENDED SITE DEVELOPMENT PLAN
 MOBIL ON THE RUN - STORE #612
 CHESTERFIELD, MO
 SITE & UTILITY PLAN

DRAWING NO: **C200**
 SHEET 2 OF 5

DATE: AUGUST 2011
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: [Number]
 APPROVED BY: [Signature]



SETBACK EXHIBIT

BAXTER ROAD (WIDTH VARIES)

CLAYTON ROAD (MISSOURI STATE ROUTE 88) (WIDTH VARIES)

MSD MAP# 21-R

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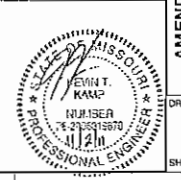
NO.	DATE	DESCRIPTION
1	NOV 11	ISSUE FOR PERMITTING
2	NOV 11	ISSUE FOR DEVELOPMENT PLAN REVIEW
3	NOV 11	ISSUE FOR FINAL REVIEW



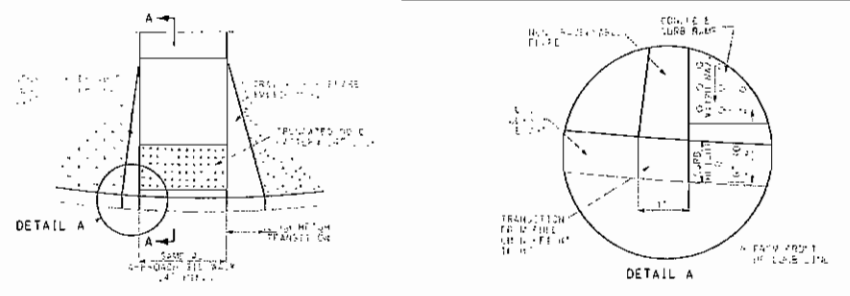
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JULY-20-2011
ISSUED TICKET#: #111952109

NOTE TO CONTRACTOR: PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, BROADBAND, PHONE, SANITARY AND STORM SEWERS. ANY CONFLICT SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND APPROPRIATE AUTHORITIES.

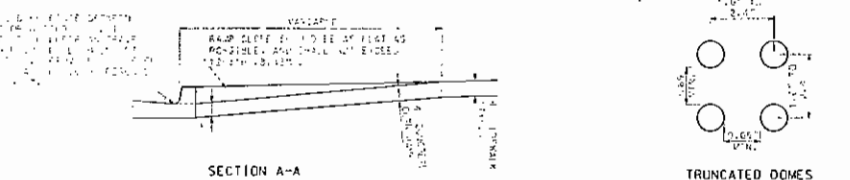
- GRADING NOTES:**
1. ALL SLOPES NOT TO EXCEED 3:1.
 2. ALL SPOTS ELEVATIONS ARE TOP OF SURFACE.
 3. SPOT ELEVATIONS DENOTED "TSBINO" DEPICT AREAS WHERE AN EXPOSED BUILDING FOUNDATION IS REQUIRED.



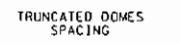
AMENDED SITE DEVELOPMENT PLAN
MOBIL ON THE RUN - STORE #612
CHESTERFIELD, MO
GRADING PLAN & SETBACK EXHIBIT
DATE: AUGUST 2011 (DRAWN BY: CAD)
DRAWN SCALE: (AS NOTED) (CHECKED BY: KTK)
PROJECT NO: 110742
APPROVED BY: KTK (SIGNED & SEALED)
DRAWING NO: C300
SHEET 3 OF 5



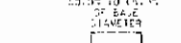
PERPENDICULAR CONCRETE CURB RAMP



SECTION A-A



TRUNCATED DOMES SPACING



TRUNCATED DOMES CROSS SECTION

60' REPAIR NOTICE

THE AREA OF THE REPAIR SHALL BE 6' WIDE BY 60' LONG. THE REPAIR SHALL BE CONCRETE WITH A FINISH TO MATCH THE EXISTING SURFACE. THE REPAIR SHALL BE PLACED AT THE PERPENDICULAR CURB RAMP.

THE REPAIR SHALL BE PLACED AT THE PERPENDICULAR CURB RAMP. THE REPAIR SHALL BE CONCRETE WITH A FINISH TO MATCH THE EXISTING SURFACE. THE REPAIR SHALL BE PLACED AT THE PERPENDICULAR CURB RAMP.

REPAIR ACCESS SHALL BE MAINTAINED AT ALL TIMES. THE REPAIR SHALL BE PLACED AT THE PERPENDICULAR CURB RAMP. THE REPAIR SHALL BE CONCRETE WITH A FINISH TO MATCH THE EXISTING SURFACE. THE REPAIR SHALL BE PLACED AT THE PERPENDICULAR CURB RAMP.

THE REPAIR SHALL BE PLACED AT THE PERPENDICULAR CURB RAMP. THE REPAIR SHALL BE CONCRETE WITH A FINISH TO MATCH THE EXISTING SURFACE. THE REPAIR SHALL BE PLACED AT THE PERPENDICULAR CURB RAMP.

WHEN IT IS NECESSARY TO REPAIR THE CURB RAMP, THE REPAIR SHALL BE PLACED AT THE PERPENDICULAR CURB RAMP. THE REPAIR SHALL BE CONCRETE WITH A FINISH TO MATCH THE EXISTING SURFACE. THE REPAIR SHALL BE PLACED AT THE PERPENDICULAR CURB RAMP.

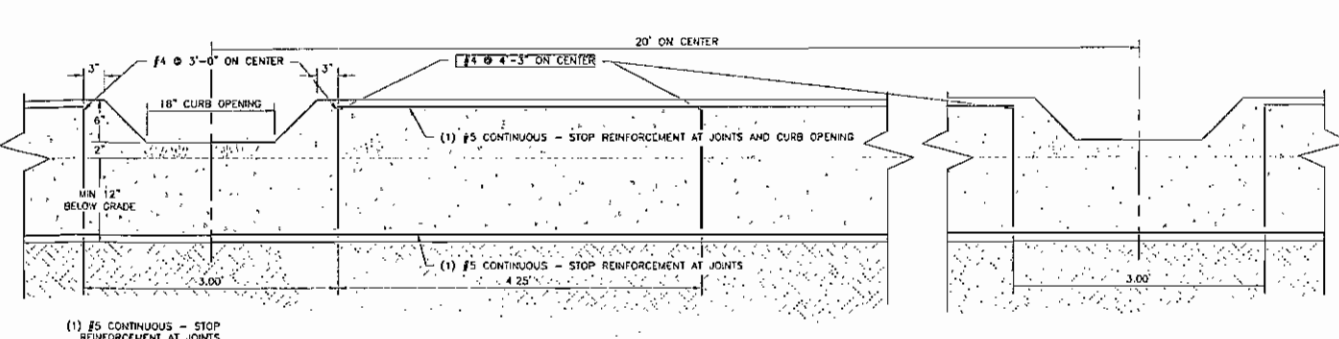
IF A CURB RAMP IS DAMAGED, IT SHALL BE REPAIRED WITHIN 30 DAYS OF THE DAMAGE OCCURRING. THE REPAIR SHALL BE PLACED AT THE PERPENDICULAR CURB RAMP. THE REPAIR SHALL BE CONCRETE WITH A FINISH TO MATCH THE EXISTING SURFACE. THE REPAIR SHALL BE PLACED AT THE PERPENDICULAR CURB RAMP.

MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION
100 WEST CAPITOL
JEFFERSON CITY, MO 64102
1-800-456-WOOD 1-800-255-8644

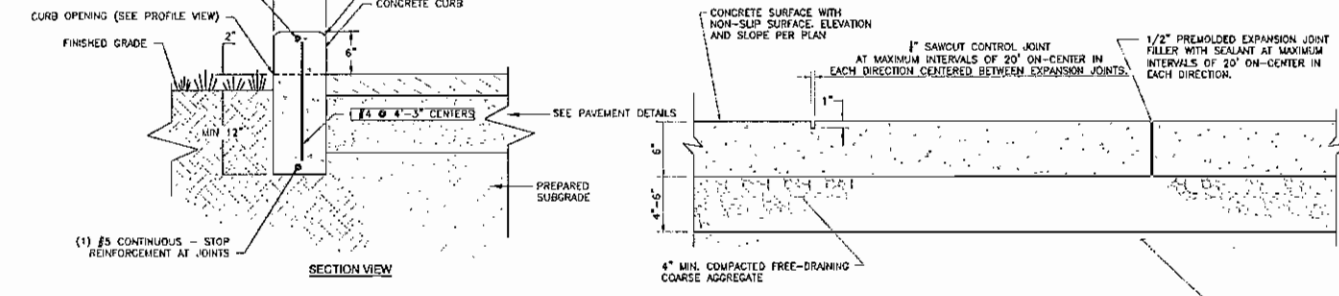
CONCRETE SIDEWALK AND CURB RAMPS

DATE EFFECTIVE: 12/01/2008
DATE PREPARED: 3/25/08

608.10N SHEET NO. 2 OF 4

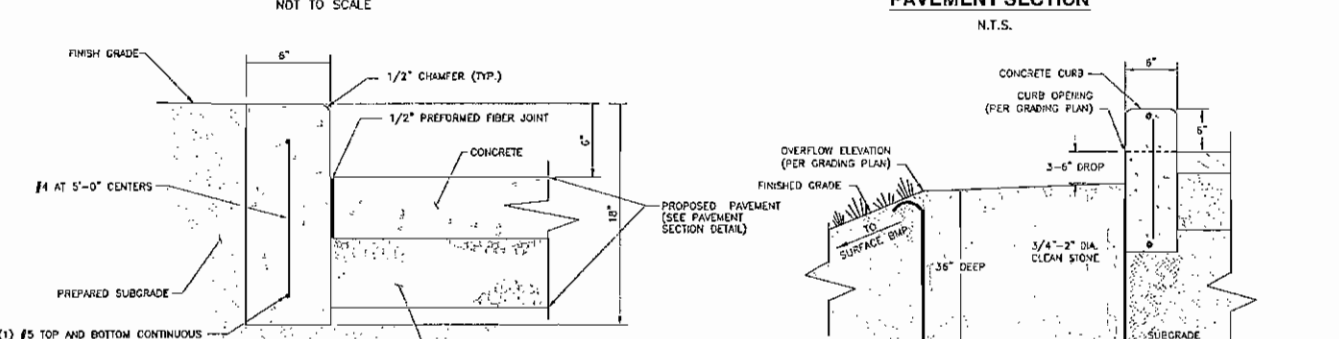


CONCRETE SITE & ENTRANCE PAVEMENT SECTION



6" VERTICAL SLOTTED DRIVE AISLE

NOT TO SCALE



VERTICAL CONCRETE CURB DETAIL [W/ CONCRETE PVTM]

N.T.S.



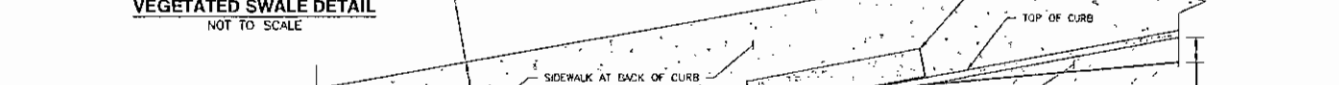
GRAVEL DIAPHRAM

NOT TO SCALE



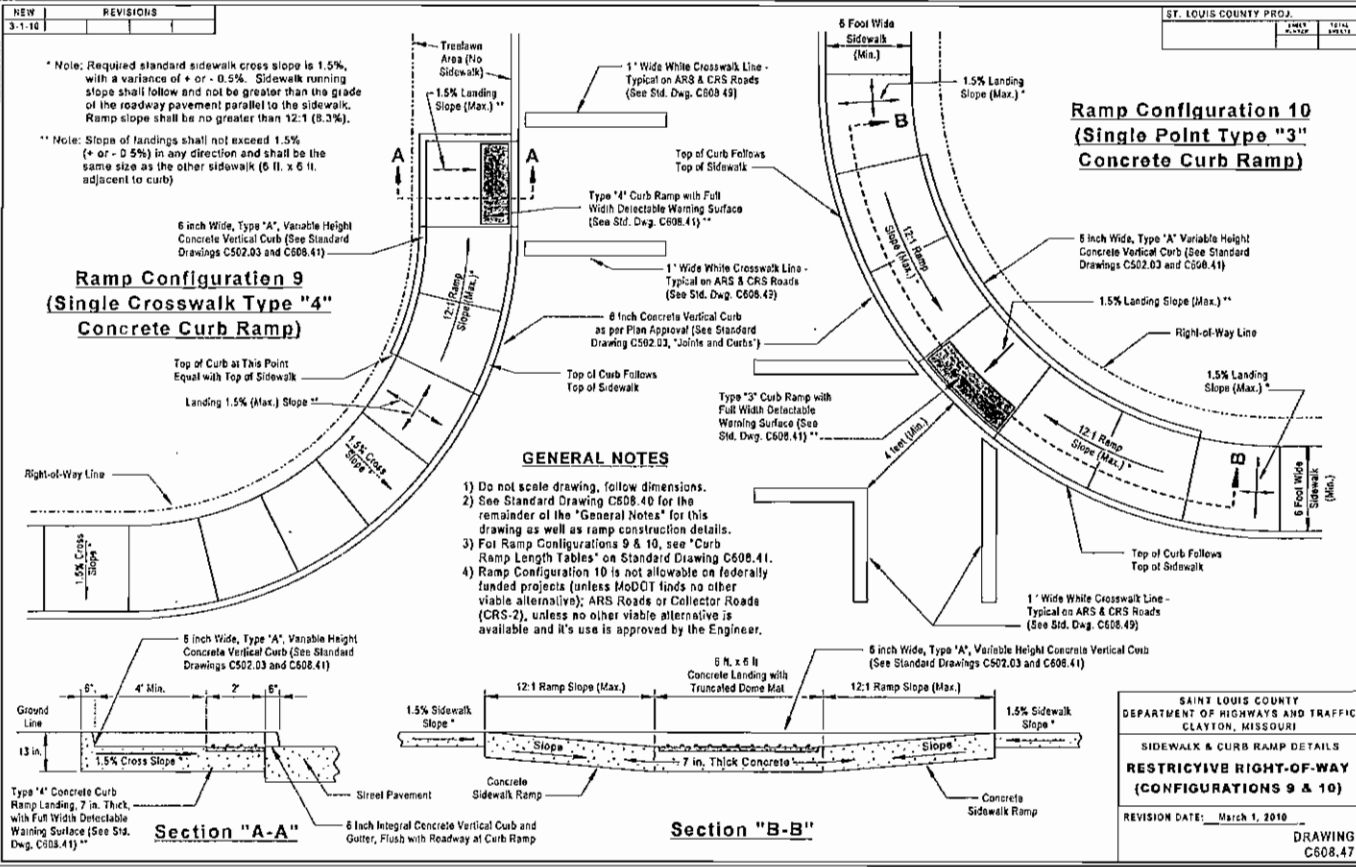
VEGETATED SWALE DETAIL

NOT TO SCALE



REVEAL CURB - FLUSH W/ PAVEMENT

NOT TO SCALE



Ramp Configuration 9 (Single Crosswalk Type "4" Concrete Curb Ramp)

Ramp Configuration 10 (Single Point Type "3" Concrete Curb Ramp)

GENERAL NOTES

SECTION A-A

SECTION B-B

NO.	DATE	DESCRIPTION
1	12/01/2008	ISSUED FOR CONSTRUCTION
2	03/25/08	ISSUED FOR CONSTRUCTION
3	03/25/08	ISSUED FOR CONSTRUCTION

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FAX: (636) 257-7483

AMENDED SITE DEVELOPMENT PLAN
MOBIL ON THE RUN - STORE #612
CHESTERFIELD, MO
DETAILS

DATE: AUGUST 2011
DRAWN BY: CAC
CHECKED BY: KTK
PROJECT NO: 110-742
APPROVED BY: KTK (SIGNED & SEALED)

DRAWING NO: C800
SHEET 4 OF 6

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ISSUED TICKET#: #11052108

