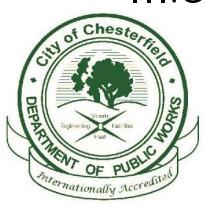
# III.G.

## Memorandum Department of Public Works

TO:	Michael O. Geisel, PE <i>City Administrator</i>
cc:	James A. Eckrich, PE Director of Public Works / City Engineer
	Justin Wyse, AICP, PTP Director of Planning
FROM:	Zachary S. Wolff, PE
DATE:	November 7, 2023
RE:	Public Street Acceptance Fienup Farms – Plats 1 and 3



Public Works staff recently conducted an inspection of Plats 1 and 3 of the Fienup Farms subdivision. As part of the inspection, we have determined that the following streets meet the City of Chesterfield's design and construction standards for acceptance as public streets:

(1) Harvester Drive (Plat 1):	Approximately 1,037 feet; from Wild Horse Creek Road to Pine Summit Dr. / Fienup Lake Drive Book 367 Pages 125-130
(2) Pine Summit Drive (Plat 1):	Approximately 899 feet; from Fienup Farms Boulevard to Harvester Drive Book 367 Pages 125-130
(3) Fienup Lake Drive (Plat 1):	Approximately 951 feet; from Harvester Drive to 645 feet south of Patchwork Fields Book 367 Pages 125-130
(4) Deer Antler Court (Plat 1):	Approximately 310 feet; from Fienup Lake Drive to the cul-de-sac of Deer Antler Court Book 367 Pages 125-130
(5) Patchwork Fields (Plat 1):	Approximately 40 feet; from Fienup Lake Drive to 40 feet north of Fienup Lake Drive Book 367 Pages 125-130
(6) Fienup Farms Boulevard (Plat 3):	Approximately 2,037 feet; from Wild Horse Creek Road to and including the round-a bout Book 367 Pages 134-140

A draft ordinance and a map showing the locations of the above referenced streets and the associated record plat exhibits are attached. Please note that this is the fourth of multiple street acceptance recommendations required for Fienup Farms. The Fienup Farms subdivision includes 11 plats. All streets in Fienup Farms have been completed and are in use. At this time only Plats 4 and 10 remain to be accepted.

### Action Recommended

I recommend forwarding the acceptance of the above-referenced streets and associated sidewalks to the Planning and Public Works Committee for its consideration. If the Planning and Public Works Committee recommends approval, the matter should be forwarded to City Council for consideration.

BILL NO.

## ORDINANCE NO. \_\_\_\_\_

## AN ORDINANCE PERTAINING TO THE ACCEPTANCE OF HARVESTER DRIVE, PINE SUMMIT DRIVE, DEER ANTLER COURT, FIENUP FARMS BOULEVARD, AND PORTIONS OF FIENUP LAKE DRIVE AND PATCHWORK FIELDS IN FIENUP FARMS AS PUBLIC STREETS IN THE CITY OF CHESTERFIELD

WHEREAS, the City of Chesterfield has approved the construction of Fienup Farms; and

WHEREAS, the streets in Fienup Farms were intended to be public streets and were therefore constructed to the design standards of the Department of Public Works of the City of Chesterfield; and

WHEREAS, McBride Fienup Farms LLC and Wild Horse Residential LLC have completed required street improvements in Plats 1 and 3 of Fienup Farms.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, AS FOLLOWS:

<u>Section 1</u>. The following streets are hereby accepted by the City of Chesterfield for future care and maintenance:

(1) Harvester Drive:	Approximately 1,037 feet; from Wild Horse Creek Road to Pine Summit Dr. / Fienup Lake Drive Book 367 Pages 125-130	
(2) Pine Summit Drive:	Approximately 899 feet; from Fienup Farms Boulevard to Harvester Drive Book 367 Pages 125-130	
(3) Fienup Lake Drive:	Approximately 951 feet; from Harvester Drive to 645 feet south of Patchwork Fields Book 367 Pages 125-130	
(4) Deer Antler Court:	Approximately 310 feet; from Fienup Lake Drive to the cul-de-sac of Deer Antler Court Book 367 Pages 125-130	
(5) Patchwork Fields:	Approximately 40 feet; from Fienup Lake Drive to 40 feet north of Fienup Lake Drive Book 367 Pages 125-130	
(6) Fienup Farms Boulevard:	Approximately 2,037 feet; from Wild Horse Creek Road to and including the round-a bout Book 367 Pages 134-140	

Section 2. This Ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this \_\_\_\_\_\_ day of \_\_\_\_\_\_, 2024.

PRESIDING OFFICER

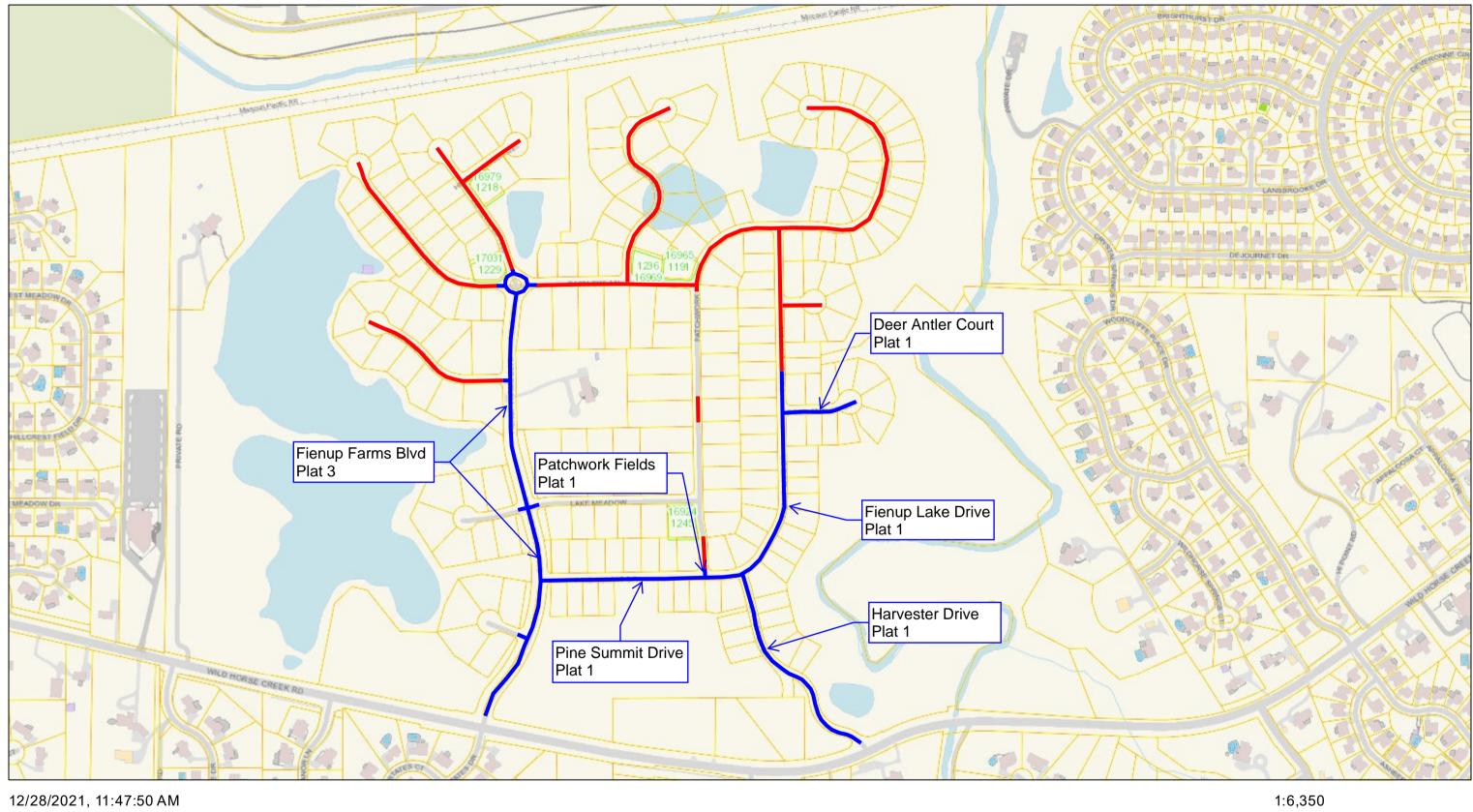
MAYOR

ATTEST:

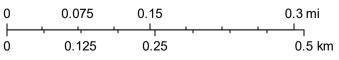
FIRST READING HELD:

CITY CLERK

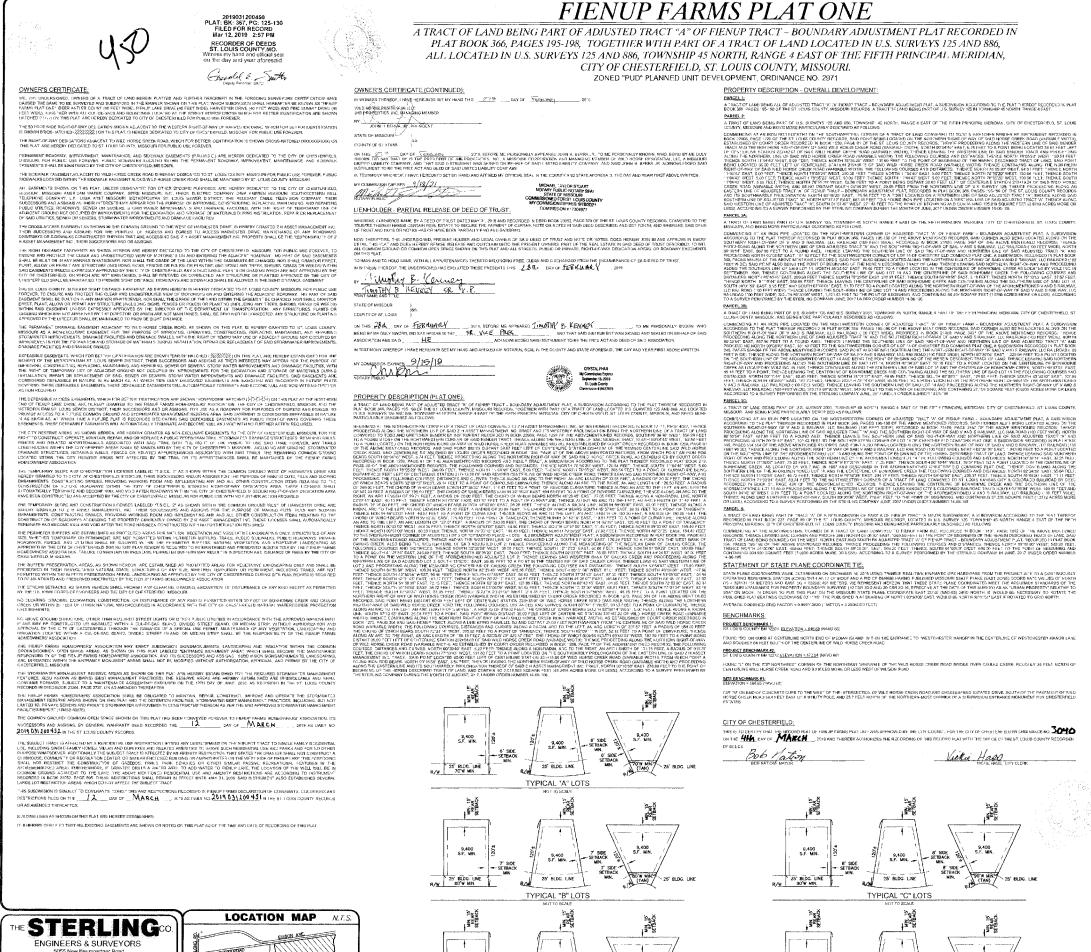
## Fienup Farms Public Street Acceptance



- Parcels
- Preliminary Parcels
  - Previously Accepted Streets
  - Streets Recommended for Acceptance







9,400 S.F. MIN.

25' BLDG. LINE R/W 100'W MIN

8' SIDE SETBACK MIN.

9,400 S.F. MIN.

TOO'W MIN 25' BLOG. LINE

8' SIDE - SETBACK - MIN,

8' SIDE Setback Min.

9,400 S.F. MIN. ...

25' BLDG. LINE

TYPICAL "D" LOTS

9,400 S.F. MIN.

R/W 25 BLDG. LINE 110 W MIN.

8' SIDE - SETBACK







#### SURVEYOR'S NOTES

THIS PLAT CONTAINS 2 118 205 SC WAR FEET VIENMA CRES MORE OR LESS, AND 37 14170-JEET WIDE LIGHTS

ALL DISTANCES AND BEARINGS ARE RECORD (R) AND SURVEYED (S) UNLESS NOTED OTHERWISE.

THE SUBJECT TRACT IS LOCATED WITHIN ZIP CODE 6/005 ACCORDING TO ST. LOUIS COUNTY, MISSOURI 6/5

BASIS OF BEARINGS THE WESTERN LINE OF TRACT 14" OF THE "FIENUP TRACT" A SUBDIVISION FIELD FOR RECORD IN PLAT BOOK 219, PAGE 48 OF THE ST LOUIS COUNTY, MISSOURI RECORDS.

амира, съ незоват в страна и следана учирана и реда от или вност насто съ незовата, насноят на восне коото нере насто следе ворина, ца, следано учира на следана учирана и насто насто насто за следана на восне коото нере тер сербена и насто насто на следана учирана на насто на следана на следана на насто за следана на восне коото наст насто насто насто насто на следана учирана на насто на следана на следана на насто на следана учирана на насто на следана на насто на насто на насто насто насто насто насто насто насто насто на насто насто насто насто насто насто на насто наст Насто THE SURJECT TRACT IS CURRENTLY ZONED PUDY PUDVIED UNIT DEVELOPMENT UNDERGT PER CITY OF CRESTERFIELD ORDINANCE NO 28/1, DATED AUGUST 21 2017 SEE TYPICAL LOT DIAGRAMS FOR NOMINAL LOT ZONNE RESTRICTIONS

THE SUBJECT PARCEL SHOWN I JEREON IS DETERMINED TO BE LOCATED IN ARPA'S DESIGNATED AS IN PLOOD ZONF 'X 'AND ZONE' AE', ACCORDING TO THE NATIONAL, L'IYOD I ROMANCE, RATE MARS FOR ST. LOUIS COUNTY INSSOUND AND INCORFORMED ARRAE, PARLE LIVIUTOR, 'BO OF AM, LIVIUME' 21 PROCINSE, INTERCTIVE DATE FORMANY, AUX AND PARLEL INUMERTI SOL I BAS, MAN MARRIE ASTROCTIVE LIVIE TREVAINT AUX ZONE 'X' IS DEFINED AS AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD.

ZONE THET IS DEFINED AS AREAS WITH BASE FLOOD ELEVATIONS DETERMINED, AND STRUED TO A 1% CHANCE ANNUAL FLOOD

NOTE, NO DEVELOPABLE LOTS CREATED BY 1HIS PLAT ARE LOCATED WITHIN THE FLOODWAY AT THE TIME OF RECORDING.

PERMANENT MONUMENTS WILL BE SET IN ONE YEAR FROM DATE OF RECORDING OR WHEN FINAL GRADING IS COMPLETE. SEMI-WILL BE SET IN ONE YEAR FROM DATE OF RECORDING OR WHEN PAYEMENT IS "NSTALLED. ALL FUTURE DEVELOPMENT AREAS ARE TO BE PLATIED AT A LATER DATE AS PART OF FUTURE PLATS. THESE APEAS ARE STILL SUBJECT TO ANY EASENJENTS AND RESTRICTIONS OREATED BY THIS MAT.

1 FOR EASEMENTS ON ORIGINAL TEACT W, THE STEALING COMPANY HAS USED, EXCLUSIVELY A PRO-FORMA FOLLOY FURNISHED BY OLD REPUBLIC 1 THE CONTRAVY OR 51, LONG NIC, WITH & COMMINIMENT FUE NUMBER OF TOMSS WITH AN EFFECTIVE FAILE OF MAY 33, 2018. THE NOTES RECARD NG SCHEPOLE 6, SECTION TO F HA ROAVE OF UV ARE OUTLINED BELOW. ITEM NO. 1-2 INTENTIONALLY DELETED BY TITLE COMPANY.

ITEM NO. 3-4.	GENERAL EXCEPTIONS WITHING COMMENT BY SURVEYOR
NEMINO 5	NTENTIONALLY DELETED BY TITLE COMPANY.
ITEM NO. 6	THE FOOT EASEMENT CRAFTED TO UNDER FERCIEUSH: AND POWER COMMANY, ACCORDING TO INSTRUMENT RECORDED IN PROX 1007 IAUE 2778 REFERENCE DIVINGTRUMENT RECORDED IN BOOK 25501 PAGE 357 OF THE AT LOUIS CONVEY, MISSOURI REDOMINS AND NO LONGER AFFECTS THE SUBJECT TRACT
FIEM NO 7	EASEMENT GRANTED TO URIGH GLECTRIC COMPANY, ACCORDING TO INSTRUMENT RECORDED IN BOOK 2066 PAGE 62 AND BOOK 2120 PAGE 100 DO NOT AFET OT THIS SUBJECT TRACT
ITEM NO 8-9.	INTENTIONALLY DELETED BY TITLE COMPANY.
ITEN NC 19.	EASEMENT GRANTED TO THE METROPOLITAN ST, LOUIS SOWER DISTRICT BY THE INSTRUMENT RECORDED IN DOOR 7933 PAGE 884. DOES NOT AFFECT THE SUBJECT TRACT
ITEM NO. 11.	RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS. N AND "D. THE FREE AND UNDESTRUCTED FLOW OF WATER OF THE BUNNOUNE DREEK AND CARLS CREEK EX FUNDING THROUGH "HE LAND. WITHOUT DIMILITION (AFFECTS PARCLS." AND 3C RESPECTIVELY) DOES NOT AFFECT AND CLIS CREATER BY HIS NAT.
TTEM NO: 12:	INTENTIONALCY DELETED BY TITLE COMPANY.
ITEM NO. 13	BE AS JON LEGRAF & THAMTAWORD BHT FO W ENCLOYED CENTRATE CENTRATING AND
ITEM NO. 14+15	INTENTIONALLY DELETED BY TITLE CONFRANT.
ITEM NO. 15;	EASEMENT GRANIEC TO UNION PLECTRIC COMPANY BY THE INSTRUMENT RECORDED IN BOOK 7550 PAGE 94C AND IN BOOK 7660 PAGE "765, DO NOT APPECT THE SUBJECT TRACT.
ITEM NC. 17.	EASEMENT GRANTED FOR WATER PIPE IC ST. LOUIS COUNTY WATER COSIPANY BY THE INSTRUMENT RECORDED IN BOOK \$444 PAGE 1935 APPECITS SUBJECT PROPERTY AS SHOWN HEREON, IATRECTS THE SOUTHEAST CORNER OF PARCEL 3 DUES NOT ALLET ANY LOUIS (REVELOEV FIRSTING).
ITEM NG: 18	INTENTIONALLY DELICTED BY THRE COMPANY.
ITEM NO 19	PERMANENT EASEMENTS FOR CONSTRUCTION AND MAINTEMANCE OF DRAINAGE CONTROL AND INCLUDING A TEMPORARY EASEMENT

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TEM NO. 22 EASEMENT FOR INGRESS AND CORPSS GRANTED TO ELAINE K. VAVARSO PER THE INSTRUMENT RECORDED ANEWED BY THE INSTRUMENT RECORDED 35 ACCESSION ACCESSION AND THE SUBJECT THREE STRUCT TRACK LIEMNO 28

ITEMINO 24

TEMPORARY EASEMENT FOR INSRESS AND EGRESS GRAVIED TO MARY ANN SMYTHE (OWNER OF BY THE INSTRUMENT RECORDED IN BOOK 2006/PAGE 1568, DOES NOT APELCY THE SUBJECT TRACT LIEM NO. 2028 INTENTIONALLY DELETID BY CITLE COMPANY

ITEM NO. 29: BUILDING UNES, FASSMENTS, COVENANTS AND RESTRICTIONS ESTABLIS (=D. BY, THE BOUNDARY ADJ/STMENT TRACT PLAT RECORDED IN PLAT RECKLORE, PAGES 105-108 (AFE)CTS PARCEL 1). THIS BOUNDARY ADJUSTMENT PLAT ONLY ADJUSTS A COMMON PROPERTY LINE. AT THE NORTHWEST CORNER IN NOT CREATE ANY NEW EASEMENTS OR BUILDING UNES.

ANY INCONSISTENDES IN THE EQUINDAR ES OF THE SUBJECT PROPERTY BY REARON OF ANY AGGREFONS. AVAILSIONS, RELICTIONS, BY THE MEMORENOS OF BONICAMES CREEK AND CAUKE CREEK. SONIMAME CREEK HAS BEEN RECHANNELED AND SHOULD CANCERA FRECT THE PROPERTY FOUNDARY LIVES, MARCH, IS AN EPECTED BY THE AFORESAN FORSINE CHANGES BY CAUKES CREEK INTENTIONALLY DELETED BY TITLE COMPANY

ANY ASSESSMENTS FOR MAINTENANCE OF SEWER SYSTEM, NO COMMENT BY SURVEYOR (19M NO 33 ITEM NO. 34 ANY SEWER LATERALLINE SURCHARGE, NO COMMENT BY SURVEYOR

ITEM NO. 35: INTENTIONALLY DELETED BY TITLE COMPANY.

ITEM NO. 38

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NOTE

THE METROPOLITAN ST. LOUIS SEWER DISTRICT EASEMENT GRANTED BY INSTRUMENT RECORDED IN BOOK 23120, PAGE 357 RECORDED AF IER THE EFFECTIVE DATE OF THE ABOVE MENTIONED TITLE COMMITMENT AND AFFECTS THE SUBJECT TRACT AS 3

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SURVEYOR'S CERTIFICATION

DRDER NUMBER: 14-08-198 THE STERLING COMPANY 5055 NEW BAUMGARTNER F 57. LOUIS, MISSOLIN 43-29 PHONE. (314) 487-0440

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25' BLOG. LINE

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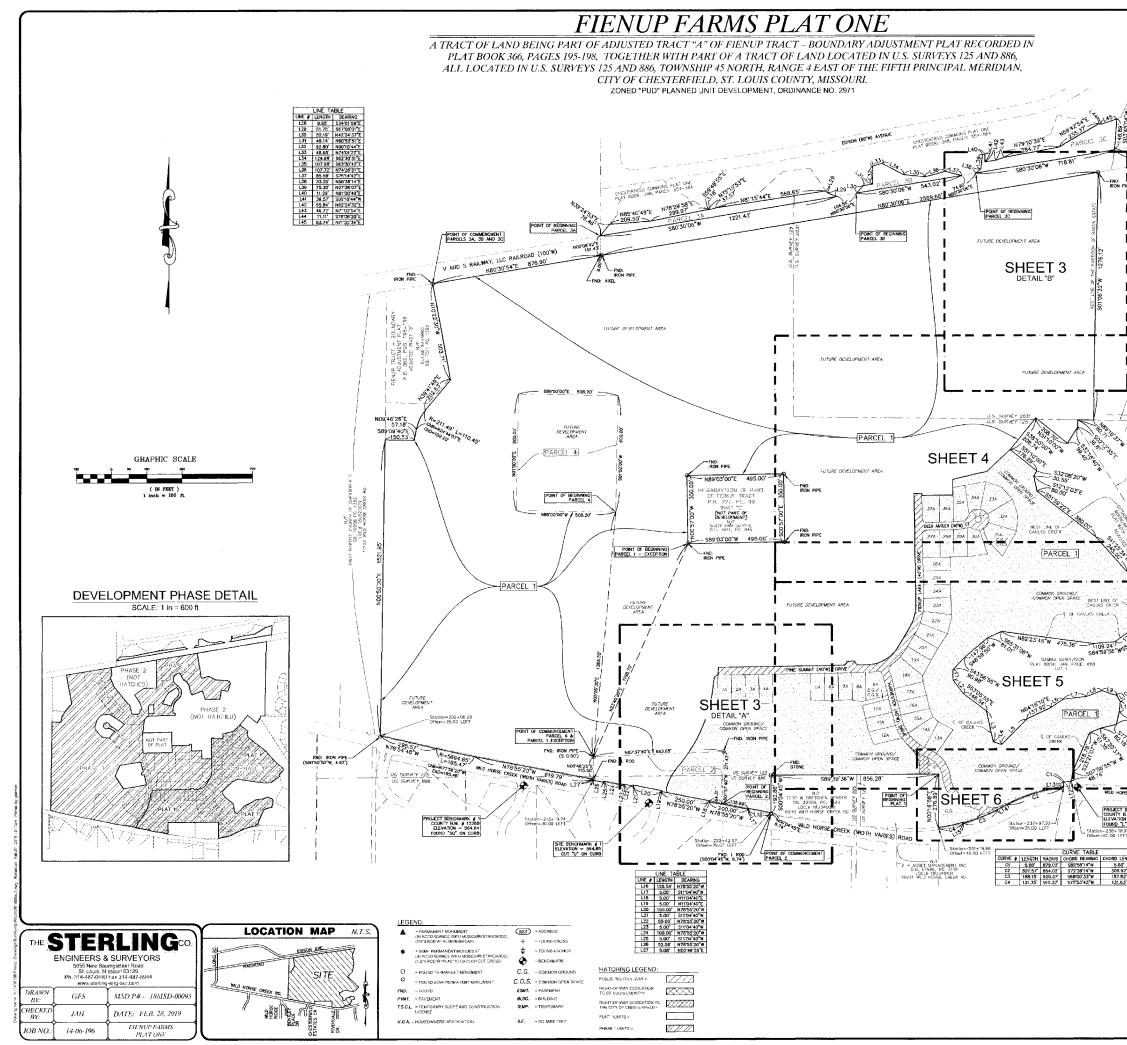
25' BLDG. LINE

TYPICAL "E" LOTS

1/2./10 2-27-19



SHEET 1 OF 6





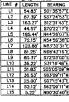
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T	313352,145	241480.764
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AA	313594.575	241593.247
AB	313596.096	241601.620
AC	313630.495	241638.062
AD	313596.661	241679.801
AE	313588.794	241674.821
AF	313564.945	241679.892
AG	313493.315	241770.898
AH	313437.159	241820.112
AL	313400.934	241860.904
АJ	313389.971	241861.338
AK	313367,550	241842.069
A'L	313359.717	241843.974
AN	313328.363	241800.642
AN	313325.574	241767.465
A0	313345.235	241523.927
AP	313335.081	241501.422
AQ	313305.611	241567.290
AR	313285.713	241547.977

NOTE: SEE SHEETS 3 THROUGH 6 FOR I AND ASSOCIATED REPERENCED LABEL

STATE PLANE COORDINATES

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AX	313207.862	241663.23
AY	313225.959	241701.:72
AZ	313238.527	241719.214
BA	313242.646	241756.744
88	313251.553	241779.848
BC	313243.924	241803.125
BD	313234.471	241808.824
BE	313218.743	241807.370
ÐF	313198.372	241802.387
BG	313192.832	241777.962
BH	313185.688	241760.683
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BQ	313045.983	241563.914
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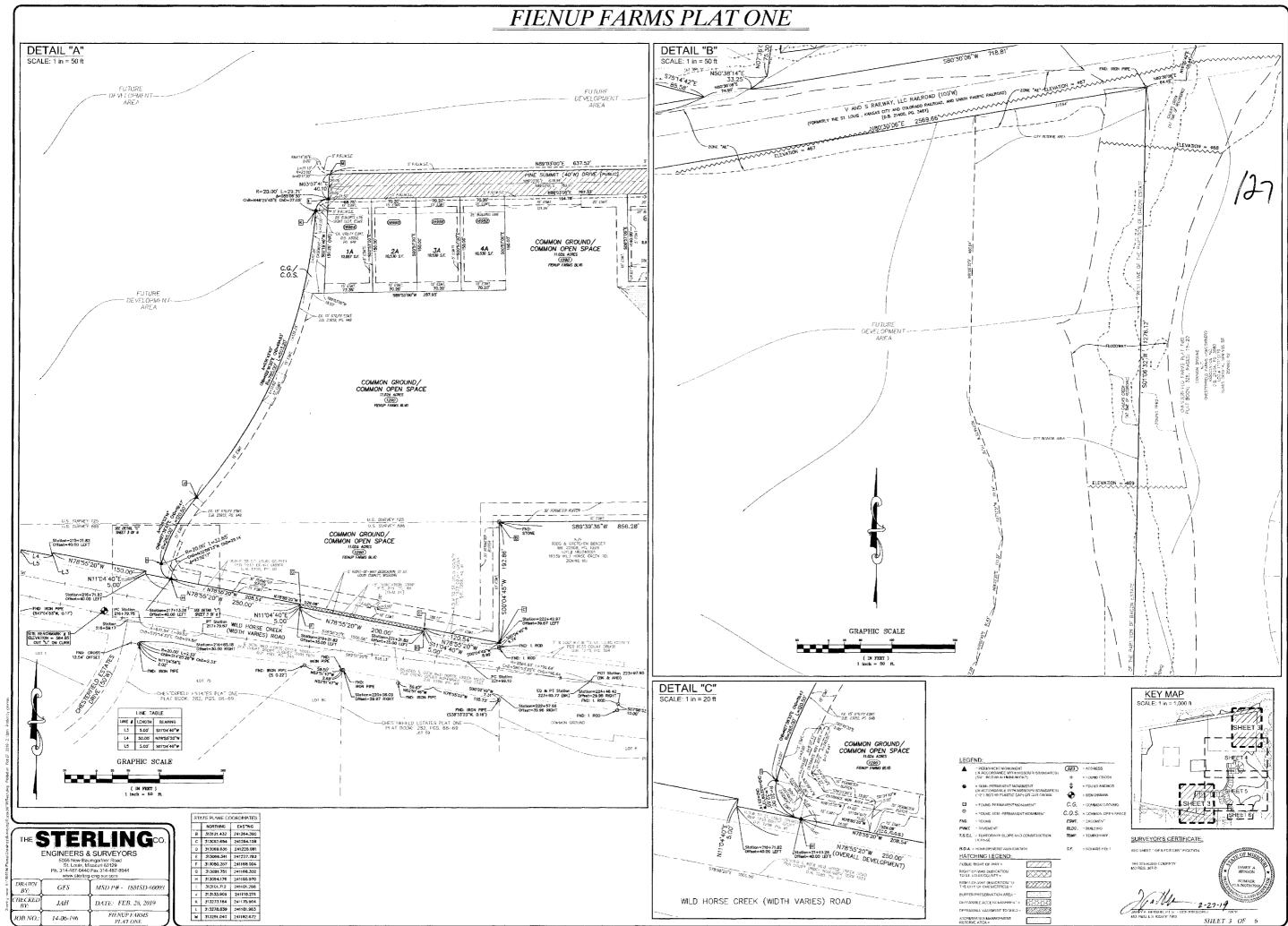
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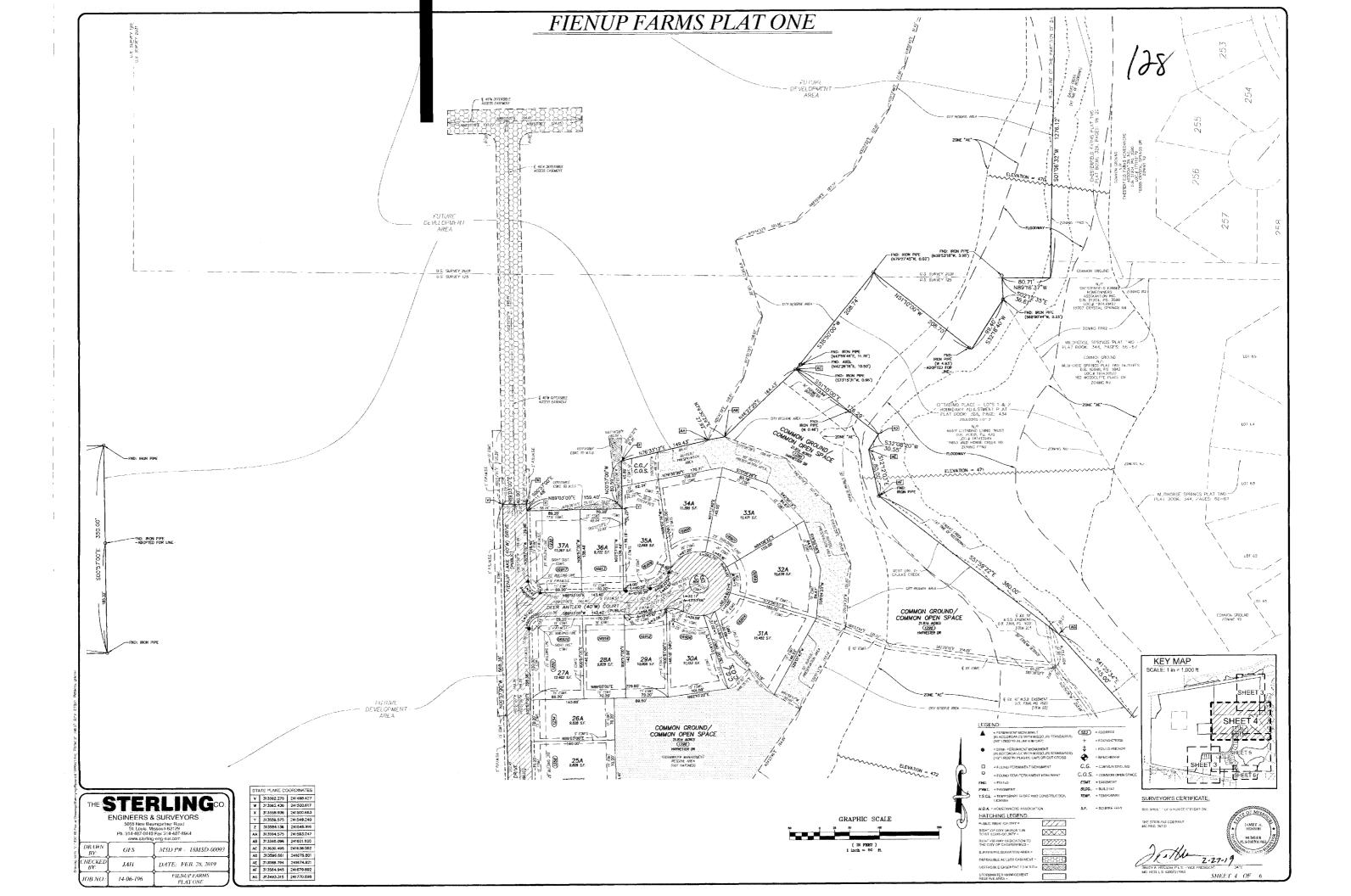


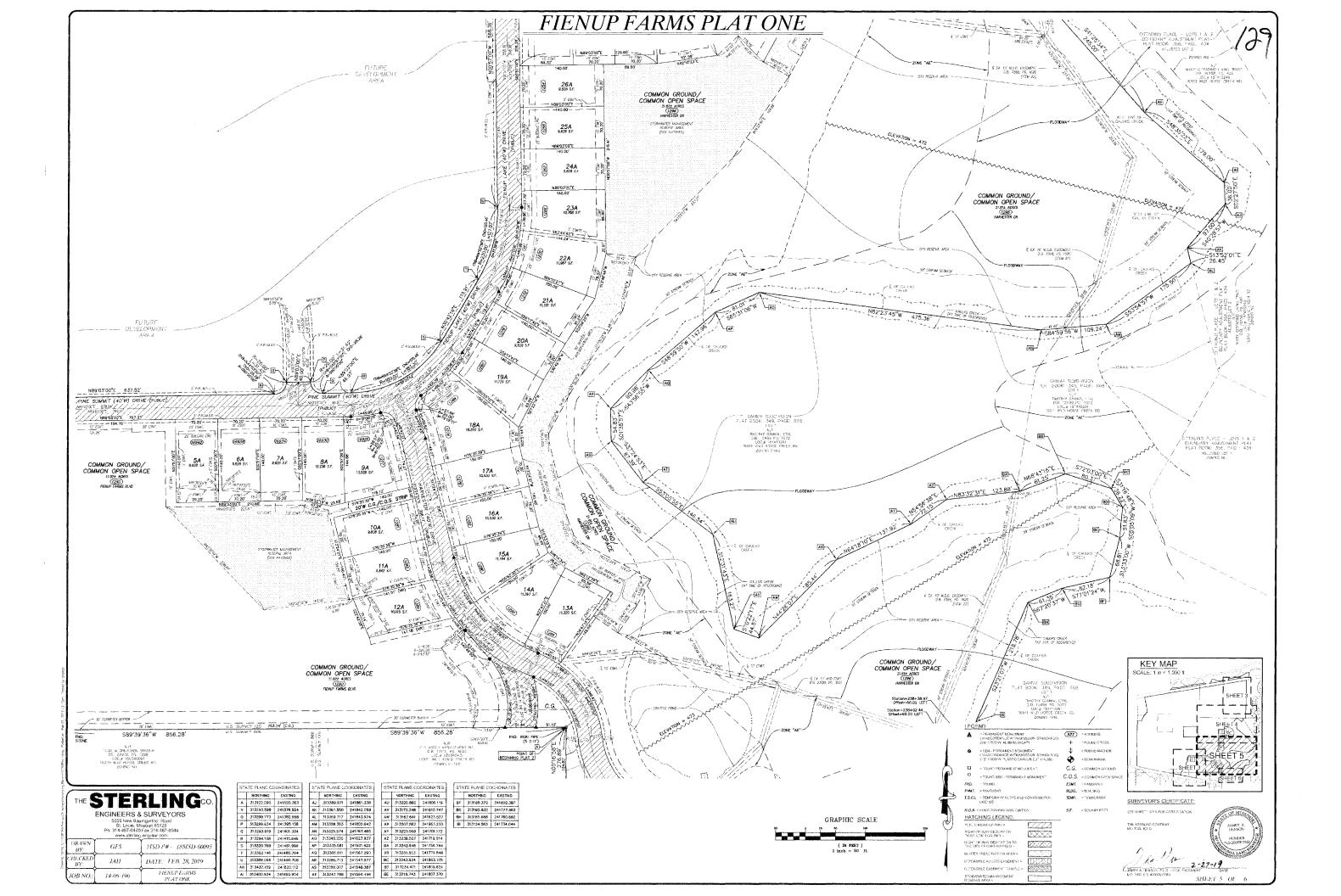
SURVEYOR'S CERTIFICATE: SEE SHEET 1 OF 6 FOR CERTIFICATION.

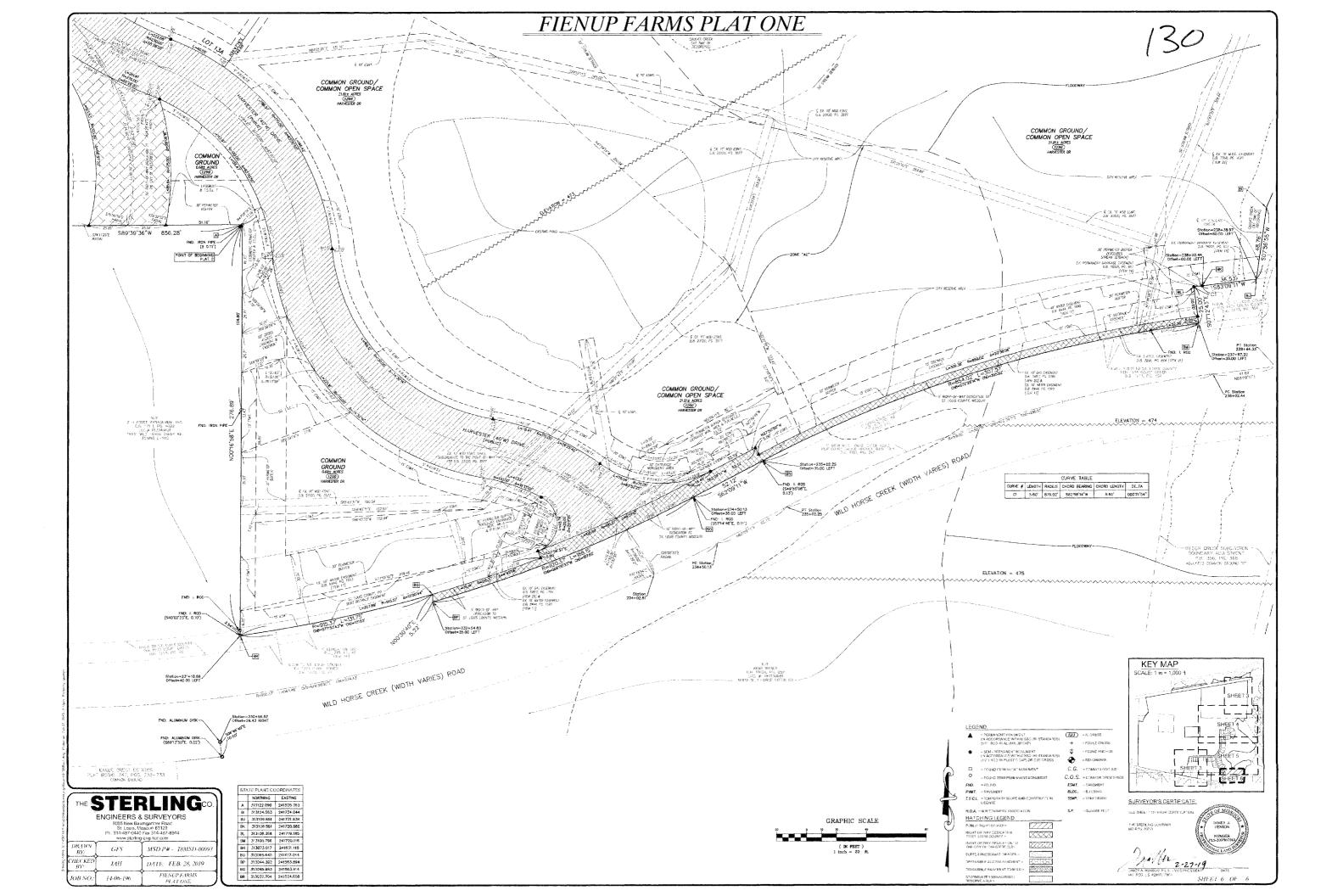
THE STERLING COMPAN MO REC. 307-0

2-27-19 SHEET 2 OF C











#### OWNER'S GERTIFICATE:

т II КОНТОРИЛУ БЕЛОРИЧИИ И НОЧТОК ВЕНТЕН ШЕМТЕЦАНОМ III СНОМ ОХОВЕНИТОНО (УУУХАХАЖИ ОЛ ТРУЛИТ АЛЕ МАТЕРУ ОДОШАТЕ 51 ГОТИКОЛЬКУК МОЗОЛЯТ ОДИНЕСТИ ИХНИМИ К

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PUBLIC SERVICES AND VENTION OF DEPORTS CREEK ROLD STALL OF VIND VINCTORY OF LOUIS COUNTY, INSURVICE

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CITY OF CHESTERFIELD

OR NO

14.06.198

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FIENUP FARMS PLAT THREE

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### PROPERTY DESCRIPTION - OVERALL DEVELOPMENT:

PROPERTY DESCRIPTION (PLAT THREE):

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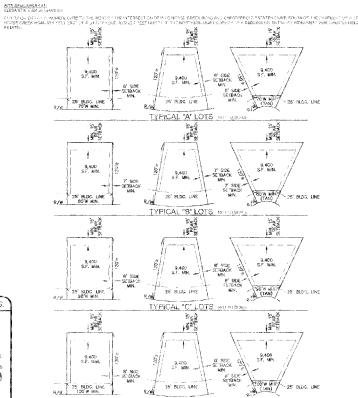
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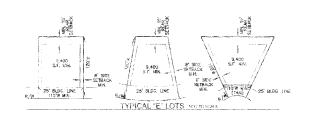
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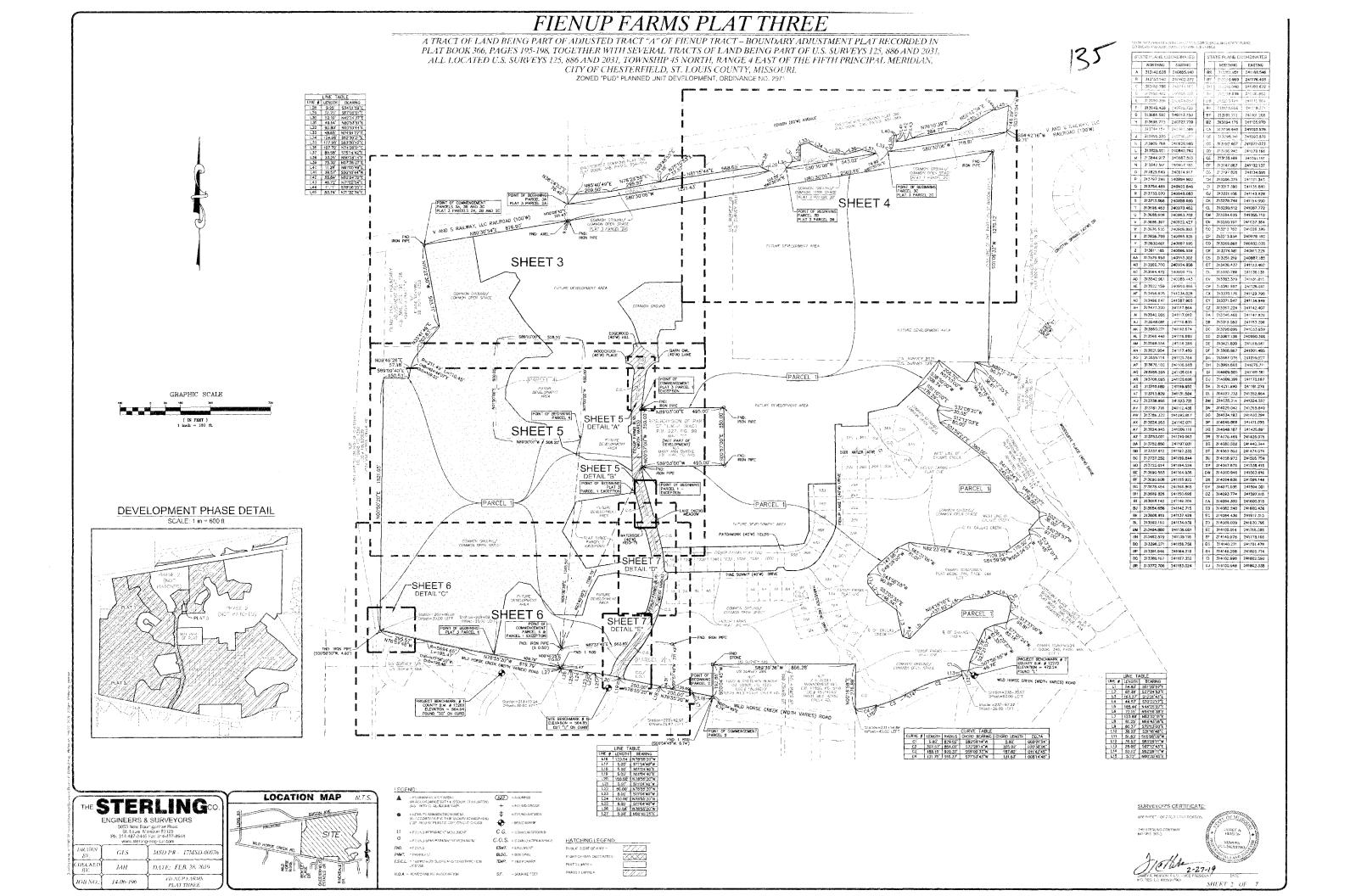
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	VOTE.	THE UASEMENTING ORANDED BY INSTRUMENT RECORDED IN BOOR 2012 PAGE 6 OF THE ABOVE MEMOWED THIS COMMITMENT APPLIET THE SUBJECT TRACE EASEMENTS TO MERSONIN AMERICAN WATER COMPANY DINON ELECT COMMUNICATIONS STRUCTURES SECTOR OF STON BELL TRECHORDET F	19 WHICH WAS RECORDED AFTER THE OFFECTIVE DATS AS SECTIVE HEREON GALE DUCLIVENT STRANTS UT UTY TO COMPANY DUPA AFFEREN MASSOURI CHARTER TO BA ATTANDATION ON DATA AND SAN THE	
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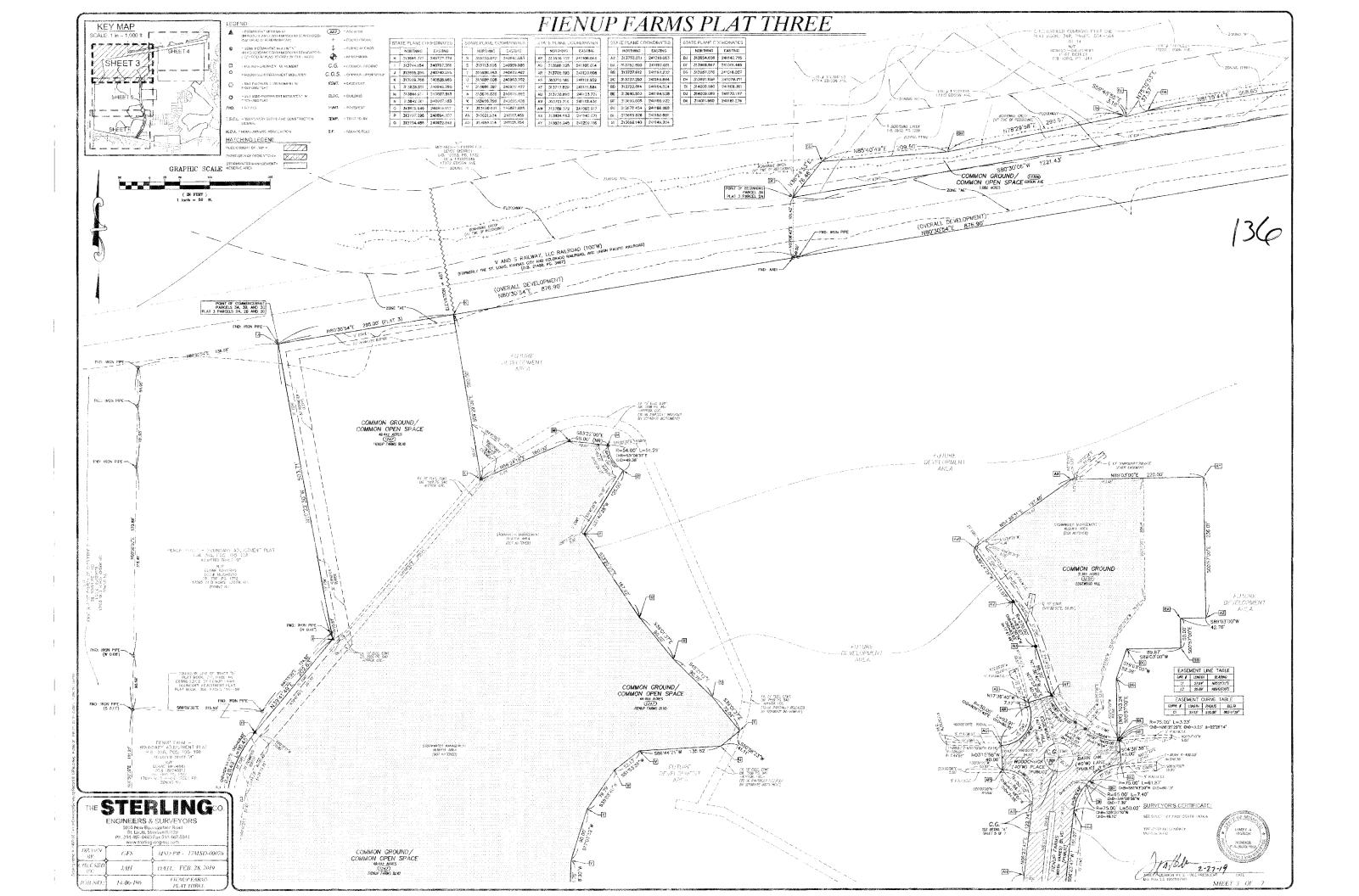
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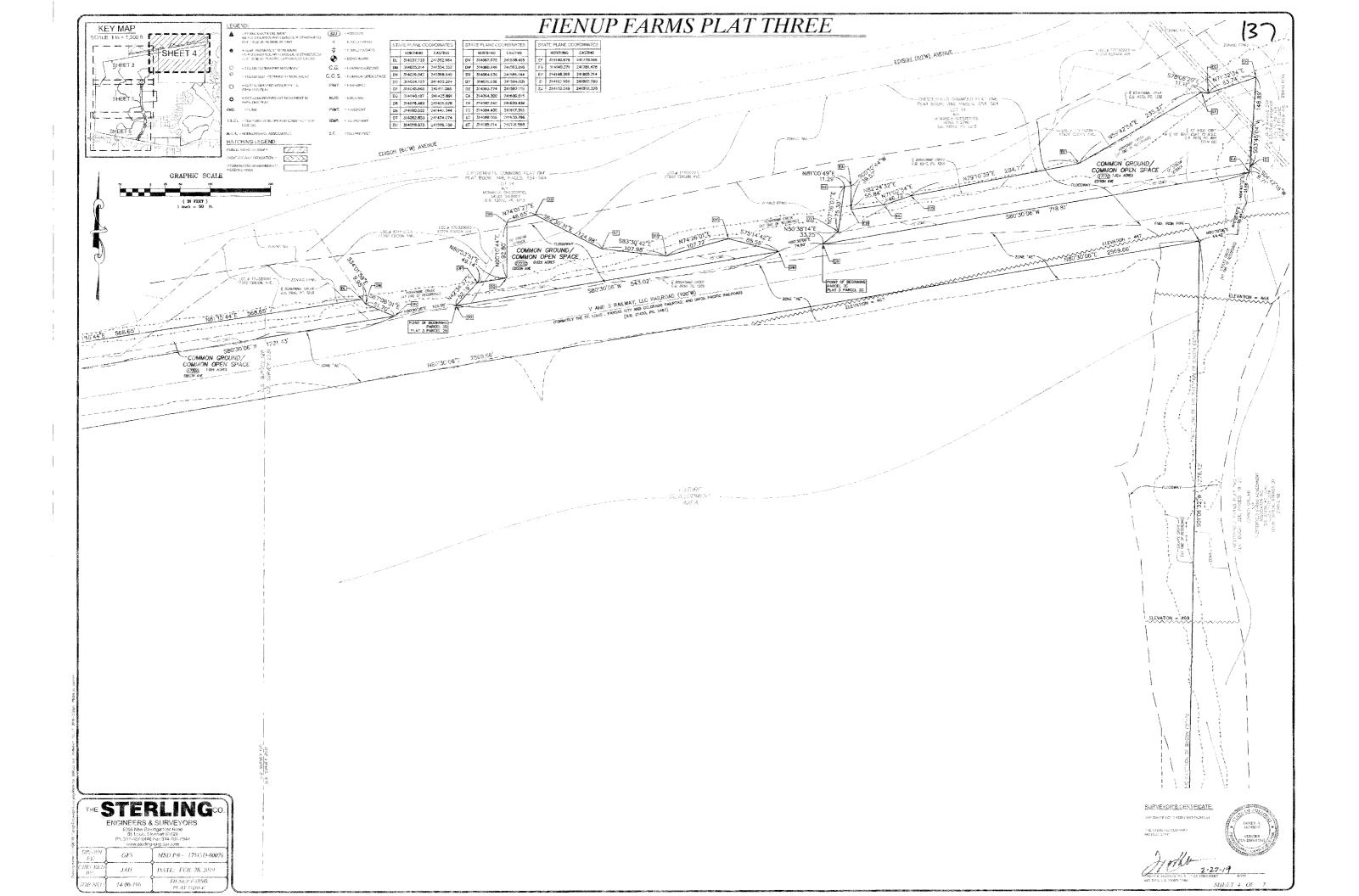
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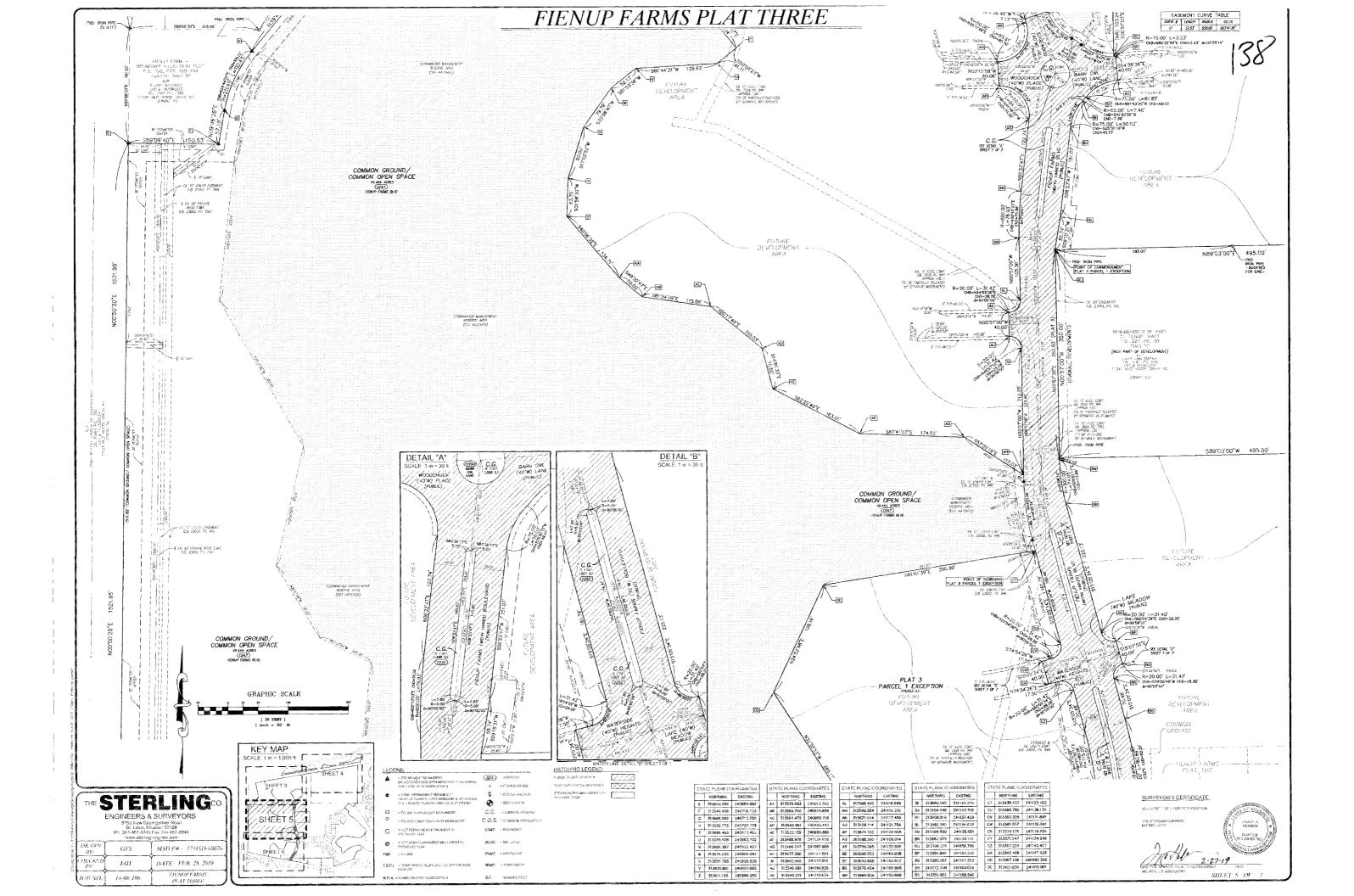


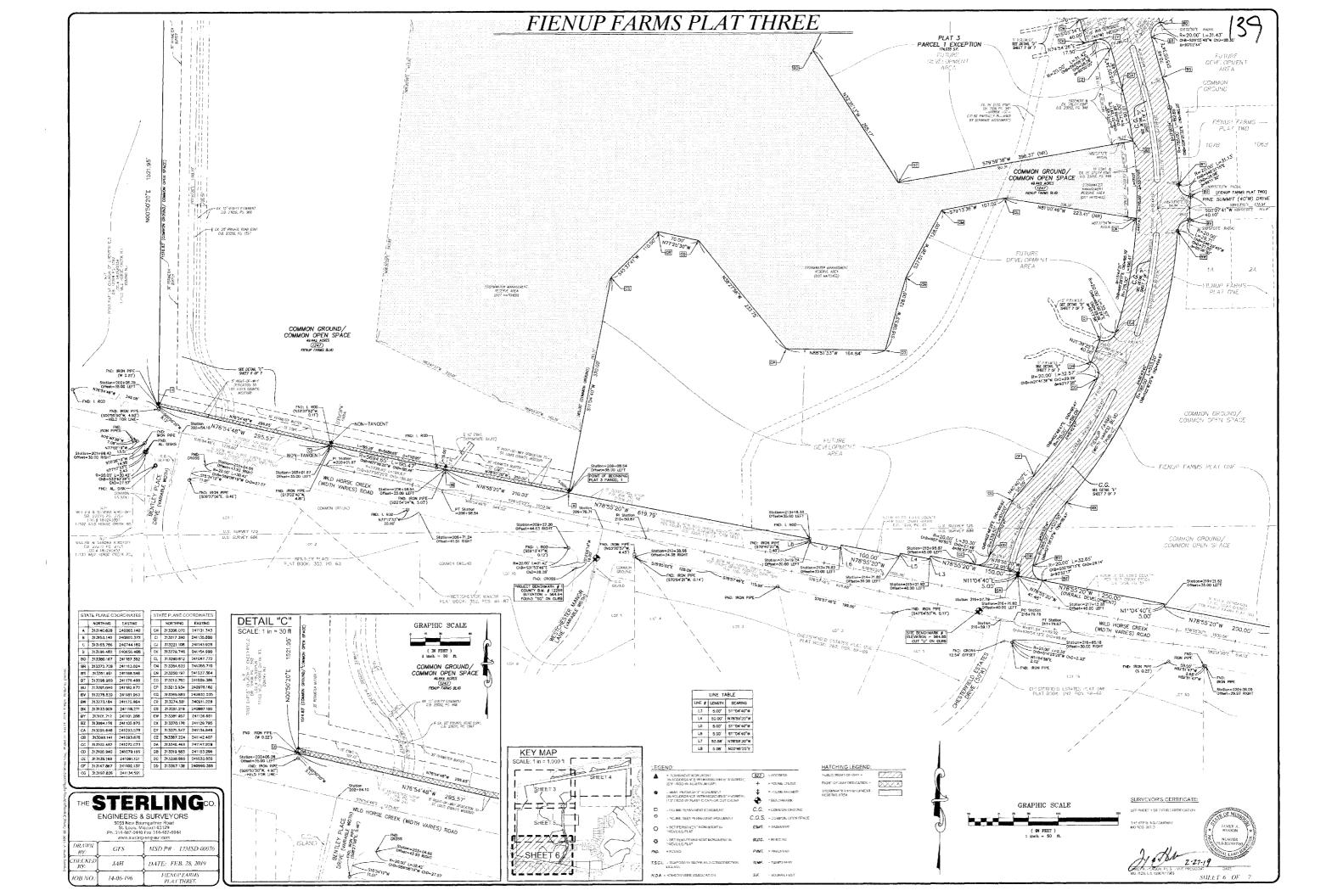
SHEET 1 OF 7



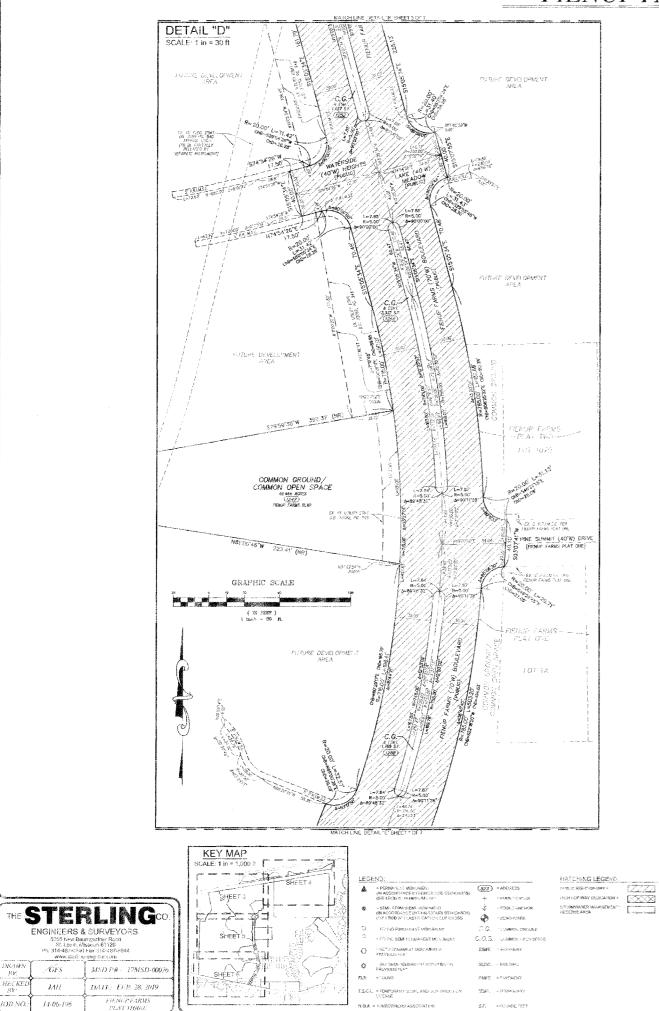








## FIENUP FARMS PLAT THREE



H.Q.A. + KIMEODINERS ASSOCIATER

A.S. ASSOCIATE OF T

14-06-196

