



III.A

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690 Chesterfield Pkwy W • Chesterfield MO 63017-0760  
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

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## Architectural Review Board Staff Report

**Project Type:** Site Plan

**Meeting Date:** November 8, 2018

**From:** Mike Knight, Planner *mk*

**Location:** A 12.6 acre tract of land located on the south side of Old Chesterfield Road, northwest of the intersection with Wild Horse Creek Road.

**Description:** **Aventura at Wild Horse Creek (Above All Development)**: A Site Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 12.6 acre tract of land located on the south side of Old Chesterfield Road, northwest of the intersection with Wild Horse Creek Road.

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### **PROPOSAL SUMMARY**

This request is to allow for development of two apartment buildings containing a total of 176 units. Other significant features within the site include a clubhouse, pool, cabana, maintenance building with carwash, trash compactor with recycle center, and multiple carport structures. The exterior materials primarily range from thin set manufactured stone, cement fiber siding, cement fiber stucco board siding, and asphalt shingles. The subject site is currently zoned "R-6AA" Residence District. This is a conventional zoning district that has a minimum lot size of 3,000 square feet per unit. The area is designated Urban Core within the City of Chesterfield's Comprehensive Land Use Plan. The site will have prominent views from both Wild Horse Creek Road and Old Chesterfield Road.

On Thursday July 12<sup>th</sup>, 2018, the Aventura at Wild Horse Creek (Above All Development) project was reviewed by the Architectural Review Board. Based on discussion at this meeting, the applicant requested that no action be taken on the project in order to allow time to address issues raised and bring the project back to the ARB at a future meeting.

On Thursday August 9<sup>th</sup>, 2018, the project was reviewed by the ARB. At this meeting, the applicant requested that no vote be taken but the applicant wanted to show the ARB substantial changes they have made and receive comment/direction to move forward.

On Thursday September 13<sup>th</sup>, 2018, the project was reviewed by the ARB. At that time the Board made a motion to forward the Site Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design for Aventura at Wild Horse Creek (Above All Development) to Staff with a recommendation to approve with conditions.

The applicant fulfilled the recommendation from the ARB and addressed all comments from Staff. Power of Review was called in accordance to Section 31-02-20 of the Unified Development Code on October 10, 2018.

On October 18, 2018, the project was reviewed by the Planning and Public Works Committee. The Committee expressed the desire for the applicant to revise the plan to position the entrance of the development to align with the Burkhardt Place curb cut. A motion was made to forward the updated plan of Aventura at Wild Horse Creek to the Architectural Review Board for review and comment, and then return it to the Planning and Public Works Committee. The motion passed by a voice vote of 4-0. The applicant has since revised the Site Plan with the entrance of the development to align with the Burkhardt Place curb cut and reduced the number of buildings from 3 to 2.

**HISTORY OF SUBJECT SITE**

In February of 2018, the City of Chesterfield approved Ordinance 2991 which was petitioned by the same applicant for this Site Plan. The ordinance amended the Unified Development Code by changing the boundaries of a “PC&R” Planned Commercial Residential District, a “C8” Planned Commercial District and a “LLR” Large Lot Residential District to one “R-6AA” Residence District. The areas amended were previously zoned “PC&R” in 2008, “LLR” in the early 2000s, and “C8” by St. Louis County prior to the City’s incorporation. The area is currently zoned “R-6AA” Residence District.



Figure 1: Aerial Site Photo

**STAFF ANALYSIS**

**General Requirements for Site Design:**

The proposed site is to construct 2 buildings that are 4 stories in height located northwest of the intersection of Old Chesterfield Road and Wild Horse Creek Road and roughly 900 feet from Interstate 64. Given that Old Chesterfield Road is classified as a minor arterial and Wild Horse Creek Road is classified as a major arterial according to the City’s functional classification system, all facades will be highly visible from a large number of users. This site is surrounded by mostly undeveloped properties, however the mobile home park is located directly to the north. The area is designated Urban Core within the City of Chesterfield’s Comprehensive Land Use Plan.

**A. Site Relationships**

The Unified Development Code outlines specific desirable and undesirable practices within site relationships. Below is a table outlining the applicable desirable site practices within the UDC and how this Site Plan relates to them.

Desirable Practices	Site Plan
Provide safe pedestrian movement between elements	Sidewalks connect throughout the site between the buildings, parking, and pool area and extend to WHCR. They do not extend down the entrance boulevard.
Provide public plazas, courtyards, assembly areas, etc.	The site has pedestrian access to both a pocket park and pet park
Incorporate scenic views, fountains, public art, etc.	Public art to be located south of the pocket park

Table 1: Desirable Practices

Below in Figure 2 is a color Site Plan for the Aventura at Wild Horse Creek project including amenities such as a trail shelter, bike lane, and proposed public art.

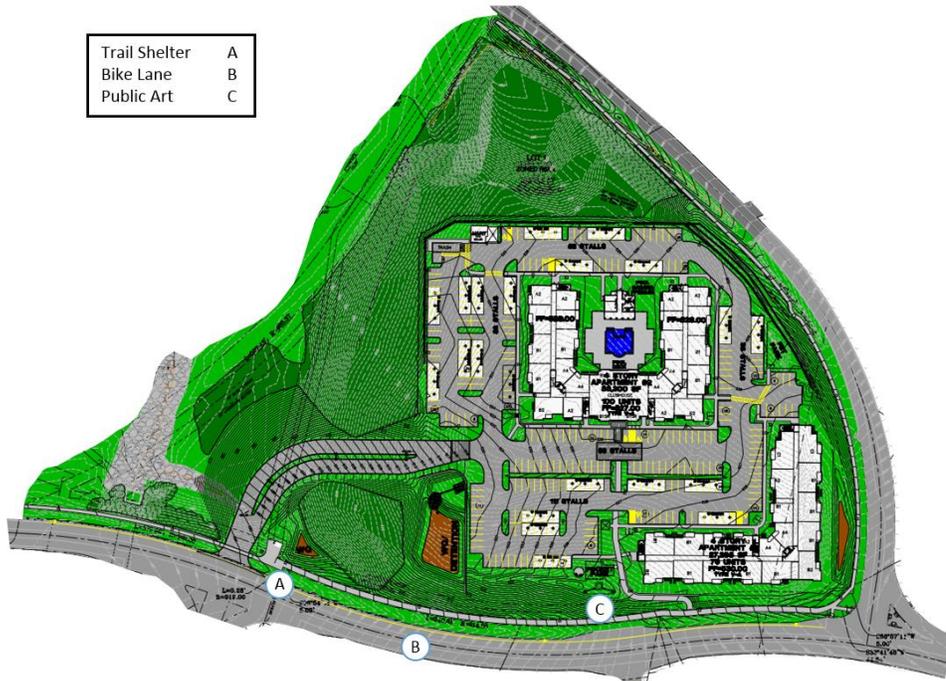


Figure 2: Color Site Plan

**B. Circulation System and Access**

The subject site will be served by one point of full access off of Wild Horse Creek Road (WHCR) which is a major arterial roadway, owned and operated by St. Louis County, and currently has a speed limit of 40 MPH. There will be on-street bicycle accommodations designated along WHCR. A sidewalk is proposed along both WHCR and Old Chesterfield Road (OCR). There is one pedestrian entrance by a sidewalk along WHCR. Internally there is pedestrian infrastructure that connects all the buildings, pool, trash, pocket park, pet park, and BBQ areas.

To the western edge of the site is a dedicated easement for the future Riparian Trail. This can be seen on Figure 2 directly above the “A”. The “A” is referencing a future Trail Shelter. This shelter will contain seating, a bike rack, and an overhang to provide shelter from some of the elements. This also contributes to the multi-modal component referenced in the Urban Core Land Use designation. The Site Plan is currently under review in which the interaction of the Riparian Trail and the entrance to the development will have to enable safe pedestrian access across WHCR that currently is not depicted on the Site Plan.

Parking exists mostly between the buildings and near the entrance/ southeastern portion of the site. There are carports totaling 120 of the proposed 342 total spaces or roughly 35% of the overall. The total required parking for the site is 308 spaces. The UDC parking requirements do not have a maximum parking requirement for multi-family developments. Figure 3 depicts updated carports with pitched roofs and asphalt shingles similar to the proposed buildings.

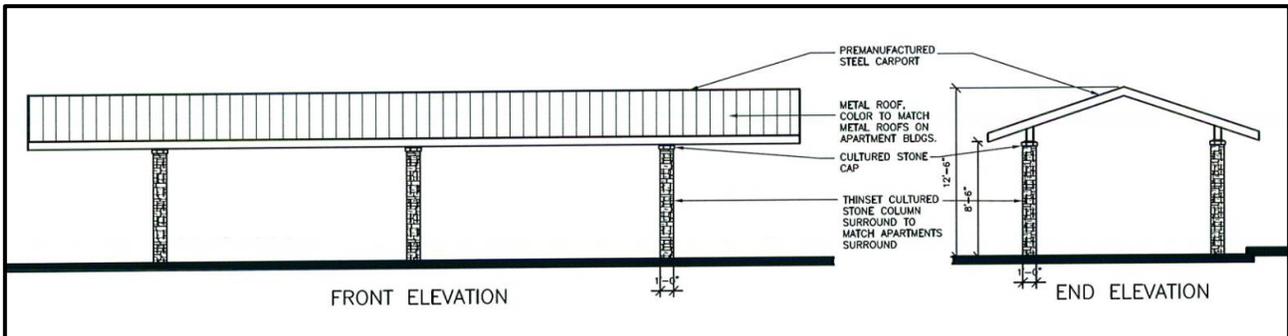


Figure 3: Carport

Given the proximity within the Urban Core and the emphasis of pedestrian connectivity, the Board gave direction during the July ARB meeting that the front entry to the proposed development should be celebrated to create a stronger sense of place, with a specific focus on the connection from Wild Horse Creek Road.

The front entrance has now shifted to the west. The current entrance on the Site Plan does not show pedestrian infrastructure along the entranceway. Where the front entry previously existed is an 8' wide sidewalk. An area of stamped concrete is present at the terminus of the walkway at the front of building two, to provide traffic calming and facilitate the pedestrian movement from WHCR into the development.

### C. Topography and Retaining Walls

The site generally consists of one large hill in which there will be an abundance of cut and fill required with the project. There will be multiple retaining walls within this project, some of which will be quite prominent and in the general public's viewpoint when traveling along WHCR and OCR.

Figure 4 to the right demonstrates the current grade of the site. There is approximately anywhere from 28' to 68' in grade change from the perimeter boundaries to the hill's apex. The proposal is to lower the grade of the center of the site creating a flattened area with a finished grade for the parking and structures, which is roughly in between 522'-528'. Every side will have a retaining wall present.



Figure 4: Current Site Grade

The most visible retaining walls will be a triple tiered mosaic block. Along WHCR there is a mosaic wall with a maximum height of 5'. There is also a triple tiered mosaic block retaining wall along OCR with a maximum height of 21'5" (max tier 7'). An example of the mosaic retaining wall can be seen in Figure 5 to the right. The northwest and northeast corners of the site will contain a standard versa-lok retaining wall with a maximum height of 19' located along the tree preservation area. The retaining walls will be constructed of modular block with a stone type finish that will be similar to the stone of the buildings.



Figure 5: Mosaic Retaining Wall

### General Requirements for Building Design:

This request is to allow for development of two apartment buildings containing a total of 176 units. Other significant features within the site include a clubhouse, pool, cabana, maintenance building with carwash, trash compactor with recycle center, and multiple carport structures.

### D. Scale, Design, Materials, and Color

The maximum building height for any building is 60' 10" and that height occurs on building 2. Generally the buildings are 4 stories in height and 58' tall. All of the buildings contain pitched roofs. The building facades employ horizontal banding and material change. Balcony elements and other building offsets occur at each unit, which allows for visual breaks along the building elevations.

The exterior materials for most structures consist of thin set manufactured stone veneer, cementitious fiber siding, stucco board siding, vinyl shutters and roofs consisting of architectural asphalt shingles. The applicant's color palette has changed throughout submittals and updated samples can be seen in the physical packet. A more detailed look at the reasoning or intent behind the color use can be located in the color scheme section of the applicant's attached packet.

Color elevations are attached. Below are two prominent elevations from Building 1 that will be seen from both WHCR and OCR that exhibit the scale, design, materials, and color referenced above. Each building elevation is consistent in material with variation in color.



Figure 6: Building 1 along WHCR and OCR

### E. Multi-Family Architecture

Section 04-01 of the UDC includes specific requirements for multi-family architecture.

Provide an on-site pedestrian system with access to common ground areas – The buildings include sidewalks that connect each building, BBQ area, trash area, and pool area. Additionally, connections are proposed to allow for access to sidewalks along WHCR and OCR.

Express architecturally the individual dwelling units within the building – The proposal includes recessed balconies which help emphasize the individual units within the building.

Utilize color, material, and plane changes to articulate facades. Avoid monotonous or institutional designs – As discussed on pages 5-6, the proposal includes color and material changes to avoid a monotonous design.

Provide functional recreation areas – Integrated among the site are a pool and cabana area, a pocket park, pet park, and BBQ area for gathering.

Provide outdoor space for each dwelling – In addition to common areas, balconies are provided. The balconies provide outdoor space for each unit and also add an element of depth to the proposed buildings.

Provide visual transitions between the street and the dwelling units – Inclusion of heavy buffering provides a break between the residential units and the street. Additionally, sidewalk and landscape areas are provided between the building and parking lot to provide this visual transition.

Primary building material - Primary building material shall be extended and installed so that no more than twelve (12) inches of concrete foundation wall is exposed.

**F. Landscape Design, Screening, and Amenities**

Several different areas of landscaping are proposed in accordance with City Code requirements. These include street trees along the site’s frontage, a 30-foot landscape buffer along WHCR and OCR, and landscaping within the parking lot. Additionally, north of WHCR is the proposed Art Installation which is heavily decorated with small plantings. Note that to the north and west there is minimal landscaping as this is the entire preservation area.

All mechanical units will be on the ground around the buildings and screened by plantings. The screening of these units was discussed at the July ARB meeting, with the desire to see a more detailed planting palette for the screening. The mechanical units are either in groups of three or six depending on the location of the site. An exhibit of the revised screening can be seen in Figure 7. The plantings generally consist of Hibiscus, Rose Glow Barberry, and Emerald Arborvitae varieties.

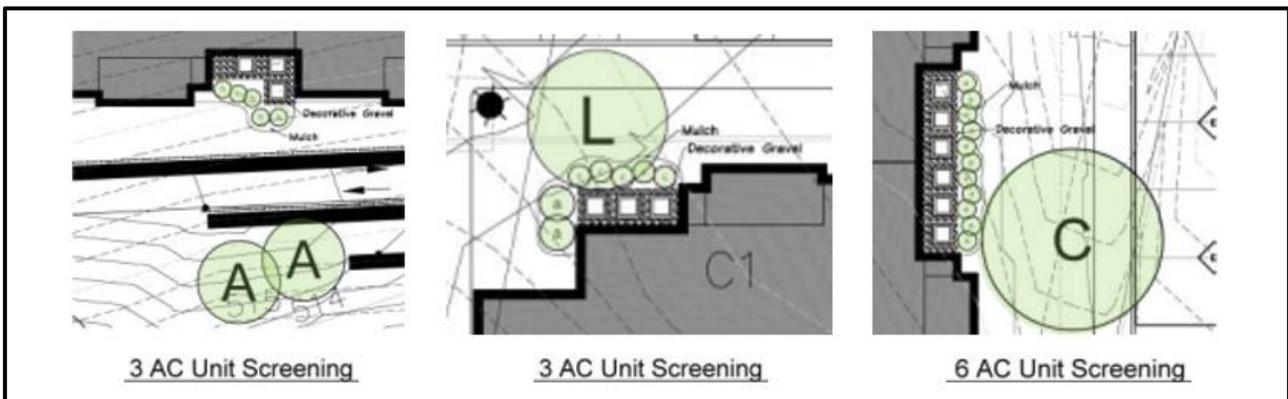


Figure 7: Mechanical Screening

The updated Site Plan includes two park features. In the south central area of the site is a pocket park just north of WHCR and on the eastern edge of the site is a pet park just west of OCR. The pocket park is roughly 850 square feet and the pet park is roughly 1,750 square feet. Both parks will have fencing around them similar to the fencing on the top of the retaining walls. An example picture of the fencing is included in the ARB packets. The BBQ area is directly to the west of the pocket park. The public art is positioned directly south of the pocket park. The 8’ pedestrian path is directly east of the pocket park.

Below in Figure 8 is a detail of the pocket park with call outs that lead to expanded details of both the BBQ area, and proposed public art.

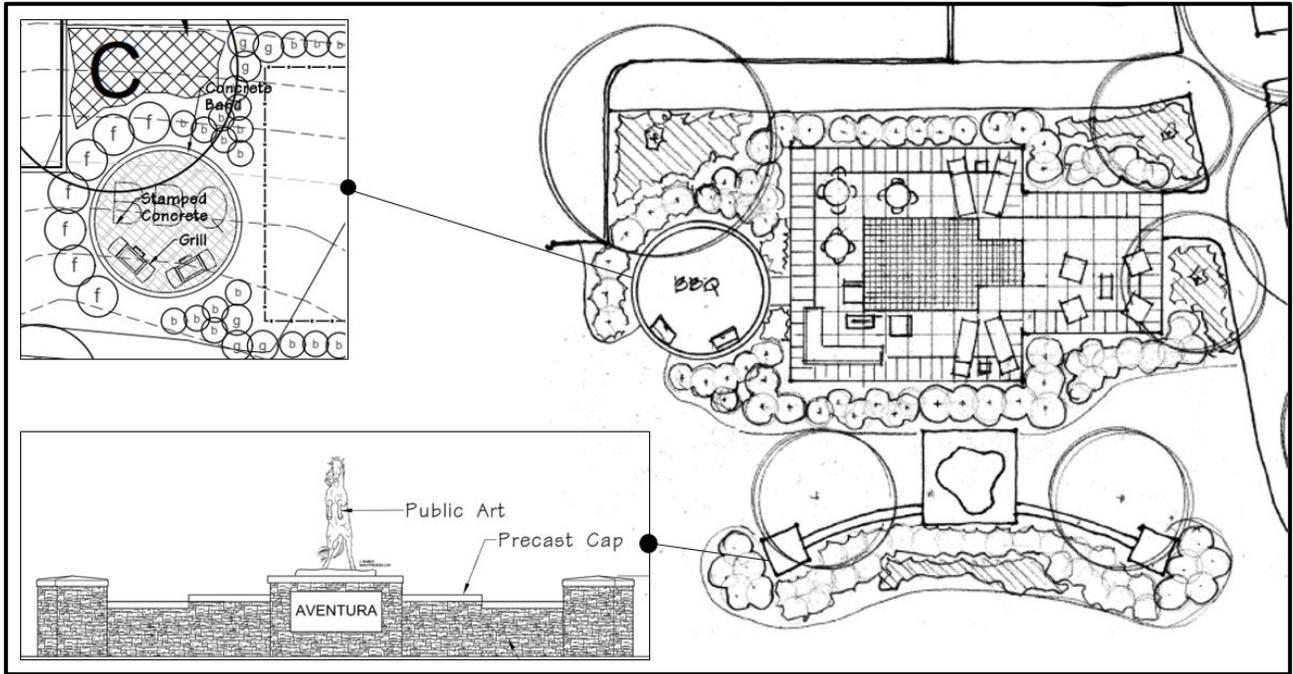


Figure 8: Pocket Park, BBQ, and Public Art

### G. Lighting

All of the lighting proposed within this submittal is utilitarian in nature. There are 117 proposed fixtures for the site and roughly 70% of the proposed fixtures are either parking lighting or carport lighting. Each fixture is of a black finish except for the carport fixture which will be white. All of the proposed lighting is fully shielded and flat lensed.

Figure 9 below is a comprehensive look of all proposed fixtures and their general placement throughout the site. There are additional street lights along OCR and WHCR beyond this image including alongside the proposed trail shelter. The entire lighting plan is attached within the packet.



Figure 9: Lighting

## **DEPARTMENT INPUT**

Be advised, this project is still going through development review by City Staff and will not proceed with approval until all outstanding items have been addressed.

Staff requests review and recommendation on this submittal for Aventura at Wild Horse Creek (Above All Development).

## **MOTION**

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Site Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Aventura at Wild Horse Creek (Above All Development), as presented, with a recommendation for approval (or denial) to PPW."
- 2) "I move to forward the Site Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Aventura at Wild Horse Creek (Above All Development) to PPW with the following recommendations..."

### Attachments

1. Architectural Review Packet Submittal

# AVENTURA AT WILD HORSE CREEK SITE PLAN

PART OF AVENTURA AT WILD HORSE CREEK, A CONSOLIDATION PLAT IN U.S. SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI



10/24/18  
LEONARD J. MEERS  
PROFESSIONAL ENGINEER  
E-28288

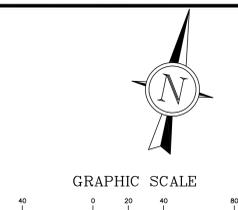
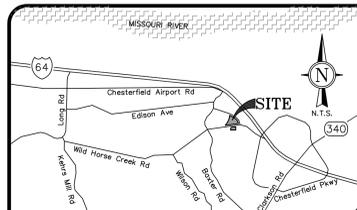
**GRIMES CONSULTING, INC.**  
Civil Engineering & Surveying Services  
3320 OLD TESSON ROAD  
ST. LOUIS, MO 63128  
TEL: (314) 849-2010  
FAX: (314) 849-2010  
www.grimesconsulting.com

DATE	REVISIONS	PER CITY COMMENTS
7/19/18		
10/27/18		
10/23/18		

A SITE PLAN FOR  
**AVENTURA AT WILD HORSE CREEK**  
CHESTERFIELD MO 63005

**SITE PLAN**

JOB NUMBER: 3044  
DRAWN BY: JLW  
DATE: 10/10/18  
CHECKED BY: LJM  
DATE: 10/10/18  
SHEET:  
**PSP3.3**



EXISTING	PROPOSED
UTILITY POLE	UTILITY POLE
GUY WIRE	GUY WIRE
LIGHT STANDARD	LIGHT STANDARD
ELECTRIC BOX	ELECTRIC BOX
ELECTRIC METER	ELECTRIC METER
ELECTRIC MANHOLE	ELECTRIC MANHOLE
OVERHEAD ELECTRIC LINE	OVERHEAD ELECTRIC LINE
UG ELECTRIC LINE	UG ELECTRIC LINE
TELEPHONE BOX	TELEPHONE BOX
TELEPHONE MANHOLE	TELEPHONE MANHOLE
UG TELEPHONE LINE	UG TELEPHONE LINE
FIRE HYDRANT	FIRE HYDRANT
WATER METER	WATER METER
WATER VALVE	WATER VALVE
WATER MANHOLE	WATER MANHOLE
WATER LINE	WATER LINE
GAS METER	GAS METER
GAS VALVE	GAS VALVE
GAS DRIP	GAS DRIP
GAS LINE	GAS LINE
STREET SIGN	STREET SIGN
BOLLARD OR POST	BOLLARD OR POST
MAILBOX	MAILBOX
SANITARY SEWER	SANITARY SEWER
STORM SEWER	STORM SEWER
STORM DRAIN GRATE INLET	STORM DRAIN GRATE INLET
STORM DRAIN AREA INLET	STORM DRAIN AREA INLET
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
FLARED END SECTION	FLARED END SECTION
FENCE: CHAIN LINK OR WIRE	FENCE: CHAIN LINK OR WIRE
FENCE: WOOD CONSTRUCTION	FENCE: WOOD CONSTRUCTION
GUARDRAIL	GUARDRAIL
MINOR CONTOUR INTERVAL	MINOR CONTOUR INTERVAL
MAJOR CONTOUR INTERVAL	MAJOR CONTOUR INTERVAL
SPOT ELEVATION	SPOT ELEVATION
BUSH OR SHRUB	BUSH OR SHRUB
TREE W/APPROXIMATE DIAMETER SIZE	TREE W/APPROXIMATE DIAMETER SIZE
FOUND SURVEY MONUMENT AS NOTED	FOUND SURVEY MONUMENT AS NOTED
SET SURVEY MONUMENT AS NOTED	SET SURVEY MONUMENT AS NOTED
CLEAN-OUT/DOWN-SPOUT	CLEAN-OUT/DOWN-SPOUT
SWALE	SWALE
UTILITY EASEMENT	UTILITY EASEMENT

**SETBACK REQUIREMENTS**

OLD CHESTERFIELD ROAD	20'
WILDHORSE CREEK ROAD	15'
WESTERN BOUNDARY OF LOT	15'
30' LANDSCAPE BUFFER ALONG ALL BOUNDARY LINES	

**PARKING SUMMARY**

TYPE	STANDARD	ACCESSIBLE	TOTAL
SURFACE (9'x19')	217	5	222
CARPET COVERED (9'x19')	117	3	120
TOTAL	334	8	342

ORDINANCE PARKING REQUIRED:  
1.75 PS REQUIRED PER UNIT = 1.75\*176=308 PS  
TOTAL REQUIRED PARKING = 308 PS

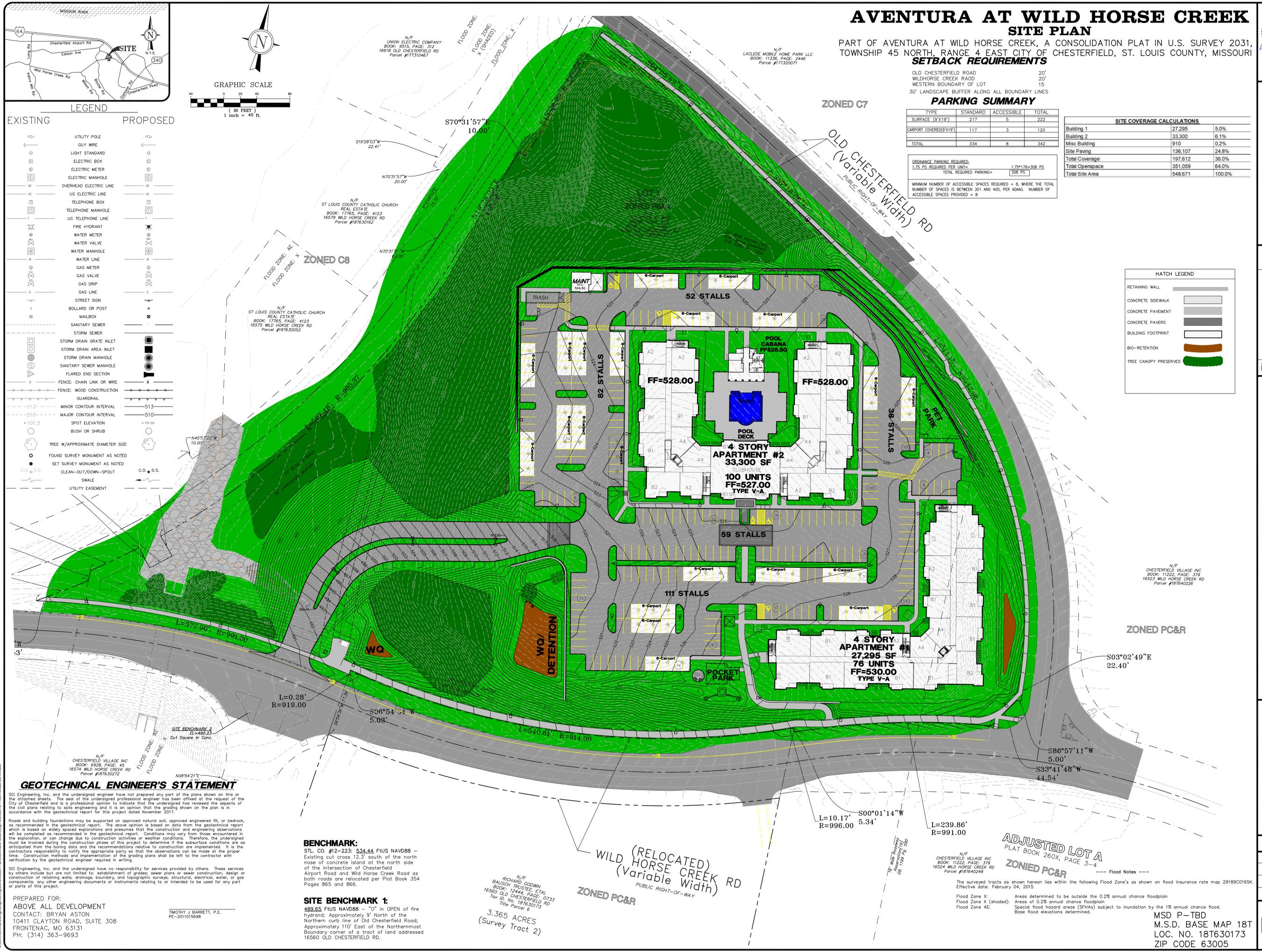
MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED = 8, WHERE THE TOTAL NUMBER OF SPACES IS BETWEEN 301 AND 400, PER ADAAG. NUMBER OF ACCESSIBLE SPACES PROVIDED = 8

**SITE COVERAGE CALCULATIONS**

Item	Area	Percentage
Building 1	27,295	5.0%
Building 2	33,300	6.1%
Misc Building	910	0.2%
Site Paving	136,107	24.8%
Total Coverage	197,612	36.0%
Total Openspace	351,059	64.0%
Total Site Area	548,671	100.0%

**HATCH LEGEND**

RETAINING WALL	[Hatch Pattern]
CONCRETE SIDEWALK	[Hatch Pattern]
CONCRETE PAVEMENT	[Hatch Pattern]
CONCRETE PAVERS	[Hatch Pattern]
BUILDING FOOTPRINT	[Hatch Pattern]
BIO-RETENTION	[Hatch Pattern]
TREE CANOPY PRESERVED	[Hatch Pattern]



**GEOTECHNICAL ENGINEER'S STATEMENT**

SCI Engineering, Inc. and the undersigned engineer have not prepared any part of the plans shown on this or the attached sheets. The seal of the undersigned professional engineer has been affixed at the request of the City of Chesterfield and is a professional opinion to indicate that the undersigned has reviewed the aspects of the civil plans relating to soils engineering and it is an opinion that the grading shown on the plan is in accordance with the geotechnical report for this project dated November 2017.

Roads and building foundations may be supported on approved natural soil, approved engineered fill, or bedrock, as recommended in the geotechnical report. The above opinion is based on data from the geotechnical report which is based on widely spaced explorations and presumes that the construction and engineering observations will be completed as recommended in the geotechnical report. Conditions may vary from those encountered in the exploration, or can change due to construction activities or weather conditions. Therefore, the undersigned must be involved during the construction phase of this project to determine if the subsurface conditions are as anticipated from the boring data and the recommendations relative to construction are implemented. It is the contractor's responsibility to notify the appropriate party so that the observations can be made at the proper time. Construction methods and implementation of the grading plans shall be left to the contractor with verification by the geotechnical engineer required in writing.

SCI Engineering, Inc. and the undersigned have no responsibility for services provided by others. These services by others include but are not limited to: establishment of grades; sewer plans or sewer construction; design or construction of retaining walls; drainage, boundary, and topographic surveys; structural, electrical, water, or gas components; any other engineering documents or instruments relating to or intended to be used for any part or parts of this project.

**BENCHMARK:**  
STL. CO. #12-223: 534.44 FUS NAVD88 - Existing cut cross 12.3' south of the north nose of concrete island at the north side of the intersection of Chesterfield Airport Road and Wild Horse Creek Road as both roads are relocated per Plat Book 354 Pages 855 and 866.

**SITE BENCHMARK 1:**  
489.85 FUS NAVD88 - 10" IN OPEN OF fire hydrant; Approximately 9' North of the Northern curb line of Old Chesterfield Road; Approximately 110' East of the Northernmost Boundary corner of a tract of land addressed 16560 OLD CHESTERFIELD RD.

N/E RICHARD GODWIN  
BAUSCH TRUSTEE, ETAL  
16560 OLD CHESTERFIELD RD  
LOT 12, NO. 18176-3073  
Title Parcel 6  
3.365 ACRES  
(Survey Tract 2)

**ADJUSTED LOT A**  
PLAT BOOK 260X, PAGE 3-4  
ZONED PC&R

The surveyed tracts as shown hereon lies within the following Flood Zone's as shown on flood insurance rate map 29189C0165K. Effective date: February 04, 2015

Flood Zone X: Areas determined to be outside the 0.2% annual chance floodplain  
Flood Zone X (shaded): Areas of 0.2% annual chance floodplain  
Special flood hazard areas (SFHAs) subject to inundation by the 1% annual chance flood. Base flood elevations determined.

MSD P-TBD  
M.S.D. BASE MAP 18T  
LOC. NO. 18T630173  
ZIP CODE 63005





2 BUILDING TWO - SOUTH ELEVATION  
132' x 71'



1 BUILDING TWO - EAST ELEVATION  
132' x 113'

<b>TRIM COLOR</b>
PRAIRIE WINDS PPG. 1111-1
<b>ROOF COLOR</b>
SHINGLE MNFR: CERTAINTEED
<b>METAL STANDING SEAM</b>
MNFR: OTHERS COLOR: TBD
<b>STONE</b>
MNFR: STONECRAFT



Parker Associates Tulsa, LLC

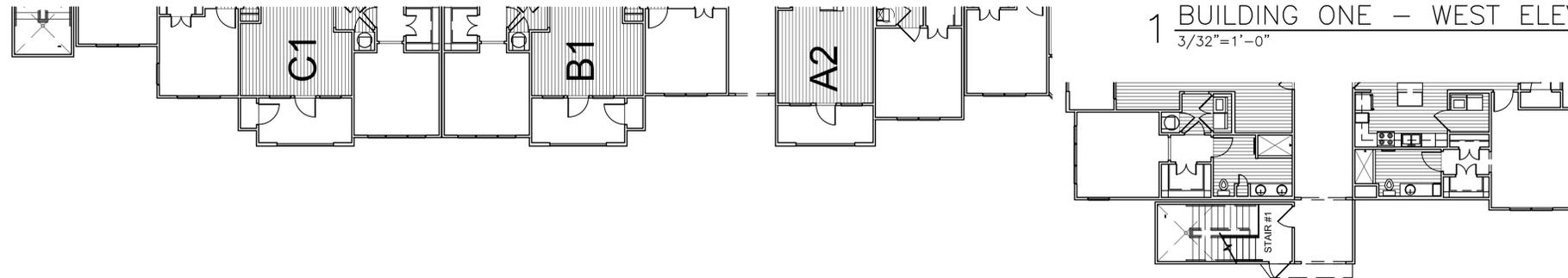
rosemann & ASSOCIATES inc.



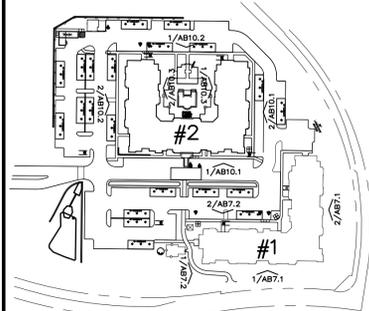
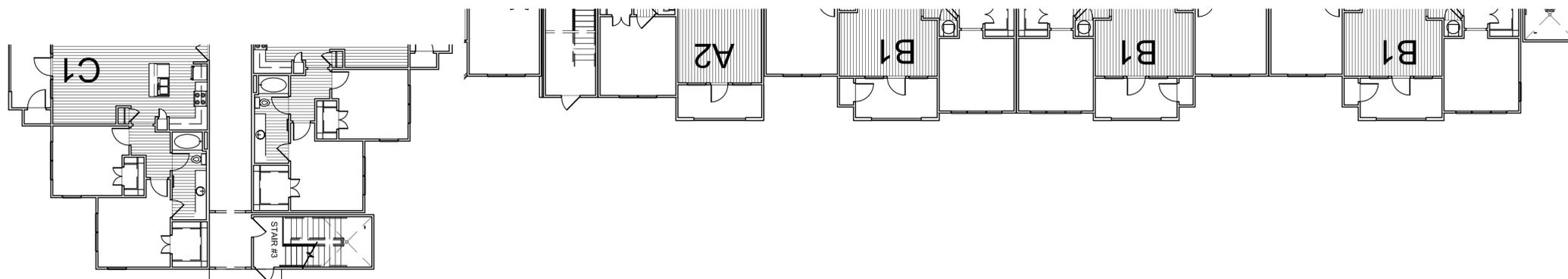
KEYNOTES



1 BUILDING ONE - WEST ELEVATION  
3/32"=1'-0"



2 BUILDING ONE - NORTH ELEVATION  
3/32"=1'-0"



ELEVATION KEY PLAN

Aventura at Wild Horse Creek  
Chesterfield, Missouri



Parker Associates Tulsa, LLC  
2202 E. 49th Street, Suite 200  
Tulsa, Oklahoma 74105  
918-742-2485

BRYAN HULST - ARCHITECT OF RECORD  
MISSOURI LICENSE A-2015013986

Aventura at Wild Horse Creek, LLC  
10411 CLAYTON RD., STE. 308  
ST. LOUIS, MO 63131  
PH. 314-363-9693

JOB NUMBER: 218011  
DRAWN BY: SL,HA  
DATE: 4/5/18

BUILDING ONE ELEVATIONS

SHEET NUMBER: AB7.2 OF 11



2 BUILDING ONE - SOUTH ELEVATION  
302' x 114'



1 BUILDING ONE - EAST ELEVATION  
302' x 114'

**TRIM COLOR**  
PRAIRIE WINGS  
PG. 1111-1

**ROOF COLOR**  
SHINGLE  
MNFR: CERTAINTEED

**METAL STANDING SEAM**  
MNFR: OTHERS  
COLOR: TBD

**STONE**  
MNFR: STONECRAFT

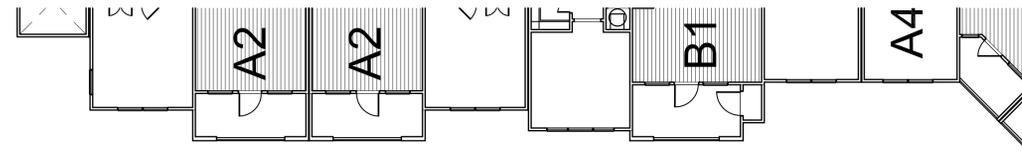




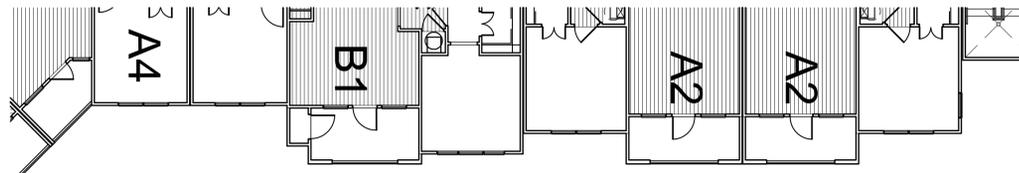
KEYNOTES



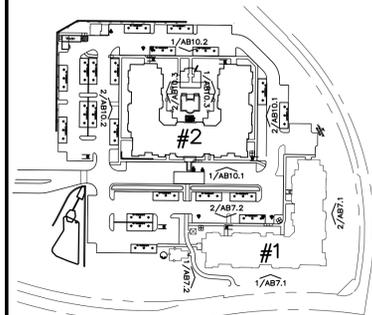
1 BUILDING TWO - EAST COURTYARD ELEVATION  
3/32"=1'-0"



2 BUILDING TWO - WEST COURTYARD ELEVATION  
3/32"=1'-0"



- ARCHITECTURAL ASPHALT SHINGLES
- CEMENT FIBER STUCCO BOARD SIDING
- DECORATIVE FYPON BRACKET
- CEMENT FIBER SIDING
- INSULATED VINYL WINDOW, WITH VINYL SHUTTERS
- MANUFACTURED STONE SILL
- STANDING SEAM ROOF ON PRE-MANUFACTURED ALUMINUM FRAME
- MANUFACTURED THINSET STONE VENEER
- CONDENSERS, AS SHOWN ON SITE PLAN, SCREENED WITH LANDSCAPING AS DETAILED ON LANDSCAPE PLANS



ELEVATION KEY PLAN

**Aventura at Wild Horse Creek**  
Chesterfield, Missouri



Parker Associates Tulsa, LLC  
2202 E. 49th Street, Suite 200  
Tulsa, Oklahoma 74105  
918-742-2485

BRYAN HULST - ARCHITECT OF RECORD  
MISSOURI LICENSE A-2015013986

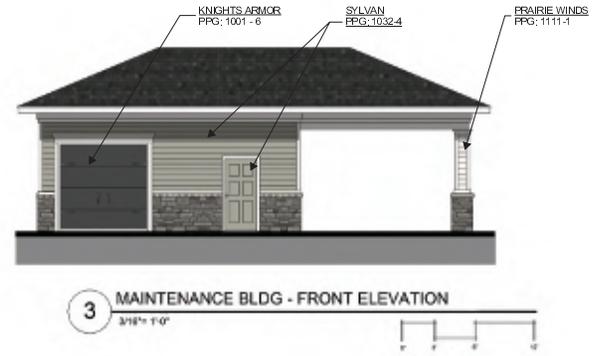
Aventura at Wild Horse Creek, LLC

10411 CLAYTON RD., STE. 308  
ST. LOUIS, MO 63131  
PH 314-363-9693

JOB NUMBER: 218011  
DRAWN BY: SL/HA  
DATE: 4/5/18

BUILDING TWO ELEVATIONS

SHEET NUMBER AB10.3 OF 11



**TRIM COLOR**  
 PRAIRIE WINDS  
 PPG: 1111-1

**ROOF COLOR**  
 SHINGLE  
 MNFTR: CERTAINTED

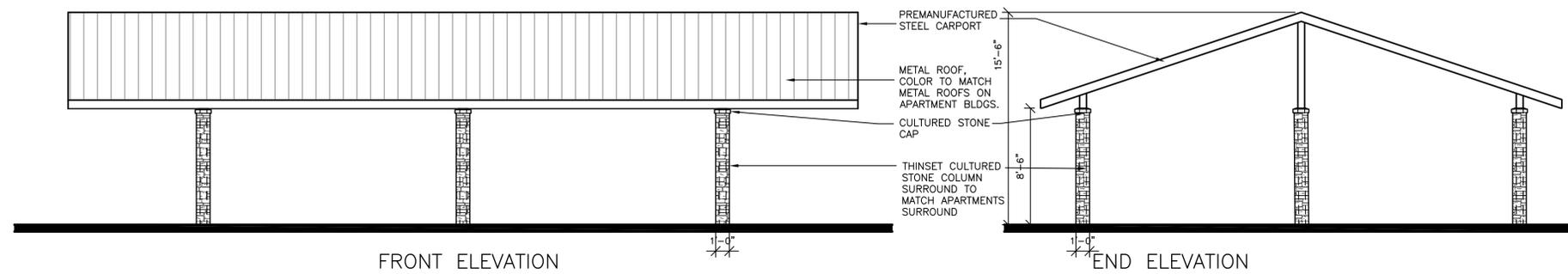
**METAL STANDING SEAM**  
 MNFTR: OTHERS  
 COLOR: TBD

**STONE**  
 MNFTR: STONECRAFT



Parker Associates Tulsa, LLC

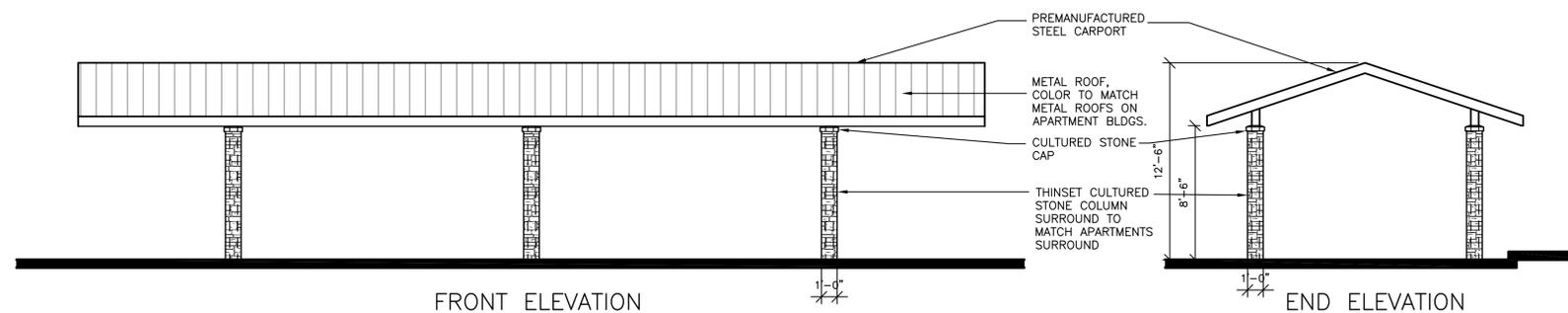
**rosemann**  
 & ASSOCIATES P.C.



FRONT ELEVATION

END ELEVATION

2 TYPICAL DOUBLE BAY CARPORT ELEVATION  
3/16"=1'-0"



FRONT ELEVATION

END ELEVATION

1 TYPICAL SINGLE BAY CARPORT ELEVATION  
3/16"=1'-0"

**Aventura at Wild Horse Creek**  
Chesterfield, Missouri



Parker Associates Tulsa, LLC  
2202 E. 49th Street, Suite 200  
Tulsa, Oklahoma 74105  
918-742-2485

BRYAN HULST - ARCHITECT OF RECORD  
MISSOURI LICENSE A-2015013986

**Aventura at Wild Horse Creek, LLC**

10411 CLAYTON RD., STE. 308  
ST. LOUIS, MO 63131  
PH. 314-363-9693

JOB NUMBER: 218011  
DRAWN BY: SL,HA  
DATE: 4/5/18

CARPORT ELEVATION

SHEET NUMBER SD4 OF 4



Parker Associates Tulsa, LLC  
2202 East 49<sup>th</sup> Street South  
Suite 200  
Tulsa, Oklahoma 74105

Phone: 918-742-2485  
Fax: 918-742-2486  
www.parkertulsa.com

## **Architect's Statement of Design**

10/24/18

**Project:** Aventura at Wild Horse Creek Apartment Project

**Location:** Northwest Quadrant of the Wild Horse Creek Road and Old Chesterfield Road Intersection, Chesterfield, MO.

### **Project Overview:**

The project contains two apartment buildings containing a total of 176 units. Site amenities will include the following: Clubhouse that is integral with apartment Building 2, pool, pool cabana, maintenance building with carwash, trash compactor with recycle center, and carport structures.

### **Site Access:**

The site has one point of access off Wild Horse Creek Road. The boulevard entry drive aligns with an existing curb cut across from Burkhardt Place. The parking is generally centralized in the interior of the site and loops around Building 2 which allows for improved traffic flow. Apartment buildings and landscape berms screen the majority of the parking from the adjacent public right of ways. The parking area located at the northwest part of the site will be screened from off-site traffic by a substantial existing tree line. There is a public sidewalk along both public roads. The sidewalk at Wild Horse Creek ties to the interior sidewalks of the site. There is an accessible route that connects all buildings and amenities throughout the site.

### **Topography:**

The existing topography is extensive with over 70' of change with the high point located near the center of the site. The proposal is to lower the grade at the center of the site creating a flattened area for the proposed structures. Even so, there will be the need for retaining walls at the perimeter of the site. The mosaic block retaining wall shown at Building 1 along Wild Horse Creek Road has a maximum height of 5'. The triple tiered mosaic block retaining wall along Old Chesterfield Road has an overall height of 21.5' height (maximum height of each tier is 7'). The standard versa-lok retaining wall at the NW corner of the site and along the bio-retention basin on the west are a maximum of 19' and 12.5' high respectively and are located along the tree preservation area and are screened from the public view. The retaining walls will be constructed of modular block and with a stone type finish that will complement the stone on the Buildings. The retaining walls will be required to be engineered with sealed drawings provided by the supplier.

**Building Design:**

**Scale:**

The proposed apartment buildings are 4-story in height with pitched roofs. The maximum height of Building 1 and 2 is 58' (tower element at building corners). The facades employ horizontal banding and material changes to break up the building height and length which help achieve a sense of human scale. Balcony elements and other building offsets occur at each unit which provides visual breaks and shadow lines along building elevations.

**Design:**

The buildings incorporate a number of design elements that lend a residential feel to the project. The exterior materials include stone, cementitious stucco board and cementitious horizontal siding. Elements including window shutters, cornice brackets and pitched roofs also give a residential feel. All buildings will be constructed of the same materials. Siding and stucco board areas will employ complementary color schemes including accent colors to visually break up the building scale and to provide interest.

**Materials and Colors:**

The exterior materials will include thin set manufactured stone, cementitious stucco board, cementitious horizontal siding and stucco which accentuate the club. Colors and sample board will be submitted by the Owner separate from this document.

**Landscape Design and Screening:**

A landscape design meeting the City standards is submitted separately from this document. Tree and shrubs are planned at the site perimeters as well as around each structure. Heat pump condensers located around the perimeter of the apartment buildings will be screened with shrubbery.

**Lighting:**

A site lighting plan is submitted separately from this document. The general parking lighting will be provided by LED fixtures that have zero up-light. The clubhouse will have 10 wall mounted decorative fixtures to accentuate the club entry. All site lighting will meet the Lighting Standards as provided for in the Unified Development Code.

Sincerely,



Bryan E. Hulst, AIA  
Member



**Color Scheme**  
**Aventura at Wild Horse Creek**  
**Above All Development**

*Revised 10/25/2018*

**ROOF:** CERTAINTEED - DRIFTWOOD

**STONE:** STONECRAFT - HAMILTON HARITAGE

**FASCIAS/GUTTERS:** ROLLEX - SHELL

**SOFFITS:** PROVIA WOODHAVEN - LINEN

**BALCONY RAILINGS:** PRE-FINISHED WHITE

**SHUTTERS:** PROVIA SHUTTERS - 018 TUXEDO GREY NS / ANTIQUE WHITE

**POOL DECK:** H&C ACRYLA - DECK - HC141 CEMENTED DEAL

**STAIRS & RAILINGS, METAL CANOPIES**

PPG 1007-7 BARK

*High Gloss*

**MAIN ENTRY DOORS**

PPG 1081-5 FIRE DUST

*High Gloss Latex Finish*

**TRIM**

All Trim, Ceilings, Balcony Doors

PPG 1111-1 PRAIRIE WINDS

*Satin Finish*

**BUILDING 1**

**SHUTTERS** - ANTIQUE WHITE

**B1** - SHARKSKIN PPG 1025-4

**B2** - KNIGHTS ARMOUR PPG 1001-6

**B3** - PRARIE WINDS PPG 1111-1

**B4** - ANTELOPE PPG 15-09

**Building 2**

**SHUTTERS** - ANTIQUE WHITE/ TUXEDO GRAY

**B1** - PLUNGE POOL PPG 11-25

**B2** - SYLVAN PPG 1032-4

**B3** - PRARIE WINDS PPG 1111-1

**B4** - KNIGHTS ARMOUR PPG 1001-6

**B5** - ANTELOPE PPG 15-09

**Pool House/Trash**

**B1** - SYLVAN PPG 1032-4

**B2** - PRARIE WINDS PPG 1111-1

**B3**- KNIGHTS ARMOUR PPG 1001-6

Aerial



# Surrounding Properties

Wild Horse Creek & Old Chesterfield Rd



Sachs Property



Mobile Home Park



# MONTAGE PLUS®



## ORNAMENTAL STEEL FENCE

Montage Plus ornamental steel fence has the versatility to fit many different project applications. With its ability to traverse varying grades, variety of distinct product styles and unmatched coating performance, Montage Plus is the preferred choice for ornamental fence.



PRIMARY APPLICATIONS

- Commercial Developments
- Self Storage
- Apartments (Multi-Family)
- Parks & Recreation
- Schools & Universities

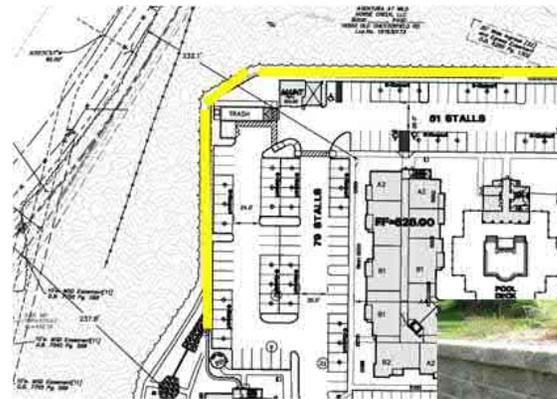


AMERISTARFENCE.COM | 888-333-3422

ASSA ABLOY, the global leader in door opening solutions

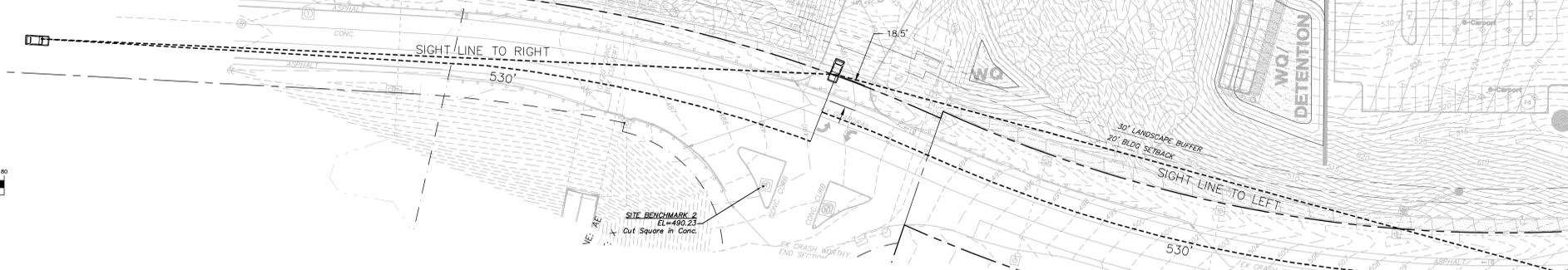
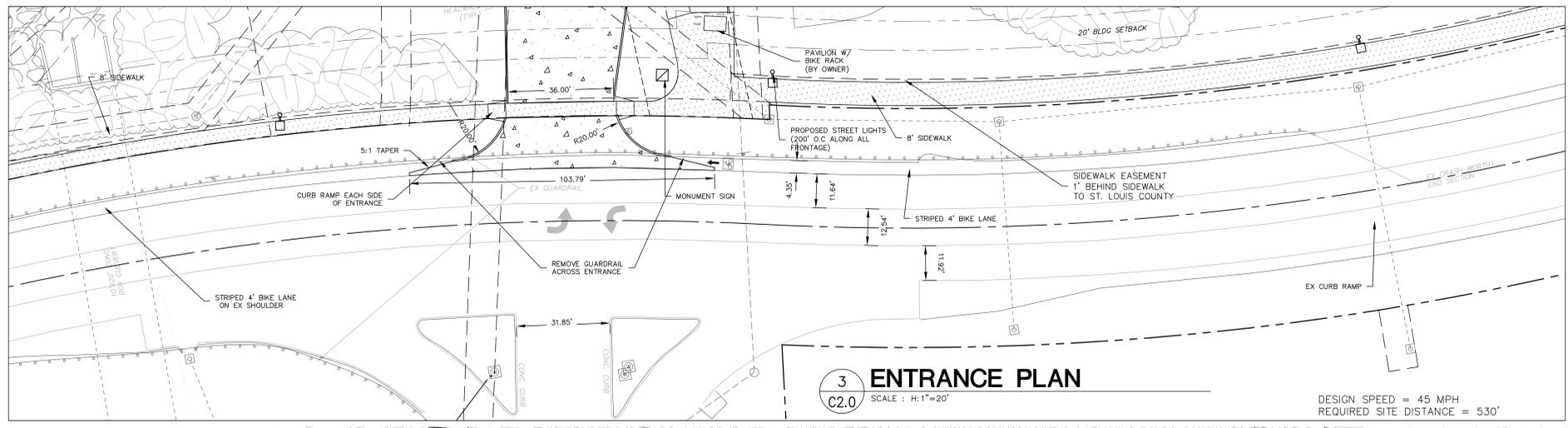
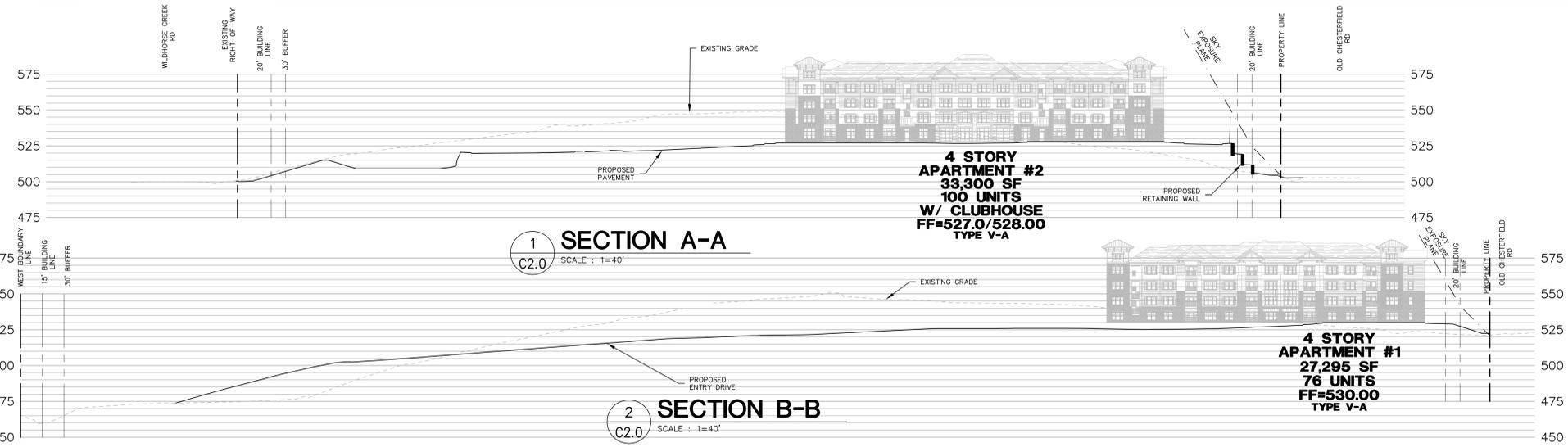
**AMERISTAR**

**ASSA ABLOY**



**GENERAL NOTES:**

- THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, OR LOCATION OF THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.
- ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
- BOUNDARY AND TOPOGRAPHIC SURVEY BY GRIMES CONSULTING.
- ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF CHESTERFIELD, MO.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING.
- GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES MAY BE REQUIRED.
- ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- ALL STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- NO SLOPES SHALL EXCEED A 1V:3H SLOPE (UNLESS JUSTIFIED BY A GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY CHESTERFIELD).
- DEVELOPMENT SHALL COMPLY WITH ALL APPROPRIATE ZONING AND SUBDIVISION ORDINANCES.
- ALL SIDEWALKS TO BE CONSTRUCTED TO ADA STANDARDS.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO CITY OF CHESTERFIELD STANDARDS.
- A LAND DISTURBANCE PERMIT WILL BE REQUIRED. SITE PLAN/PLAT APPROVAL IS NOT TO BE CONSTRUED AS APPROVAL OF A LAND DISTURBANCE PERMIT.
- ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED, OR ITS VISUAL IMPACT OTHERWISE REDUCED, AS APPROVED BY THE PLANNING COMMISSION ON THE SITE DEVELOPMENT PLAN.
- ALL UTILITY SERVICE SHALL BE INSTALLED UNDERGROUND.
- SIGNAGE APPROVAL IS A SEPARATE PROCESS.
- MAXIMUM HEIGHT OF ALL LIGHT STANDARDS SHALL BE 20 FEET MEASURED FROM FINISHED GRADE.
- TRASH ENCLOSURE SHALL CONSIST OF A BRICK VENEER ON BLOCK BACK-UP TO MATCH THE VENEER OF THE BUILDING.



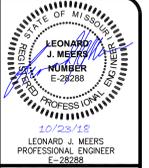
Design Speed (mph)	Sight Distance for Left Turn From Major Road ("C" & "Z")				Sight Distance for Left Turn From Minor Road ("T")			
	W+1 Lane	W+2 Lanes	W+3 Lanes	W+4 Lanes	W+1 Lane	W+2 Lanes	W+3 Lanes	W+4 Lanes
15	170'	180'	190'	200'	125'	135'	145'	155'
20	225	240	250	265	165	180	195	210
25	280	295	310	325	205	220	235	250
30	335	350	370	390	245	265	285	305
35	390	410	440	480	290	315	345	380
40	445	475	520	580	340	375	420	480
45	500	535	590	660	400	450	510	580
50	555	595	660	740	465	525	595	680
55	610	655	730	820	530	600	680	780
60	665	715	800	900	600	680	770	880
65	720	775	870	980	675	770	875	995
70	775	835	940	1060	750	855	975	1105

POSTED SPEED = 40 MPH

**ST. LOUIS COUNTY NOTES:**

- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
- NO SLOPES WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
- STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS SHALL MEET MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.
- ALL SIDEWALKS AND ASSOCIATED ACCESSIBILITY IMPROVEMENTS WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY ADA STANDARDS.
- A SIGNED/SEALED NOTE SHALL BE ADDED TO THE CONSTRUCTION PLANS INDICATING THAT THE UNIMPROVED EXISTING SIDEWALK/PEDESTRIAN PATH ALONG THE PROJECT FRONTAGE MEETS CURRENT ST. LOUIS COUNTY ADA STANDARDS.
- ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS.
- ALL HYDRANTS, POWER POLES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY ROAD RIGHT-OF-WAY SHALL HAVE A MINIMUM TWO (2) FOOT SETBACK FROM FACE OF CURB OR EDGE OF PAVEMENT, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
- ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE "ST. LOUIS COUNTY" AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
- PRIOR TO "SPECIAL USE PERMIT" ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MAY BE REQUIRED TO BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.
- CONTINUOUS PEDESTRIAN ACCESS SHALL BE PROVIDED DURING THE CONSTRUCTION PROCESS. PRIOR TO THE START OF CONSTRUCTION, ADEQUATE PEDESTRIAN ACCESS AROUND THE SITE SHALL BE PROVIDED AND VERIFIED. NO EXISTING SIDEWALK SHALL BE REMOVED WITHOUT PROVIDING ADEQUATE PEDESTRIAN FACILITIES AND ROUTES DURING CONSTRUCTION ACTIVITIES.

PREPARED FOR:  
ABOVE ALL DEVELOPMENT  
CONTACT: BRYAN ASTON  
10411 CLAYTON ROAD, SUITE 308  
FRONTENAC, MO 63131  
PH: (314) 363-9693



**GRIMES CONSULTING, INC.**  
Civil Engineering & Surveying Services  
12300 OLD TESSON ROAD  
SUITE 300D  
FRONTENAC, MO 63131  
PH: (314) 849-6100  
FAX: (314) 849-6010  
www.grimesconsulting.com

REV. NO.	REMARKS	DATE
1	PER CITY COMMENTS	7/18/18
2	PER COUNTY COMMENTS	10/2/18
3	REVISED LAYOUT	10/22/18

A SITE PLAN FOR  
**AVENTURA AT WILD HORSE CREEK**  
CHESTERFIELD MO 63005

**SITE PLAN**

SHEET TITLE

JOB NUMBER: 3044

DRAWN BY: JLW

DATE: 10/10/18

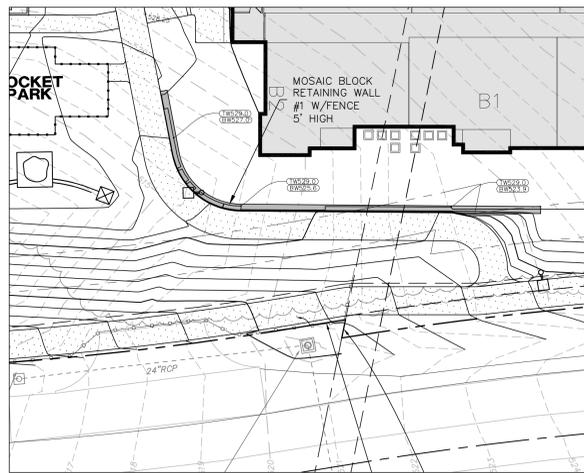
CHECKED BY: LJM

DATE: 10/10/18

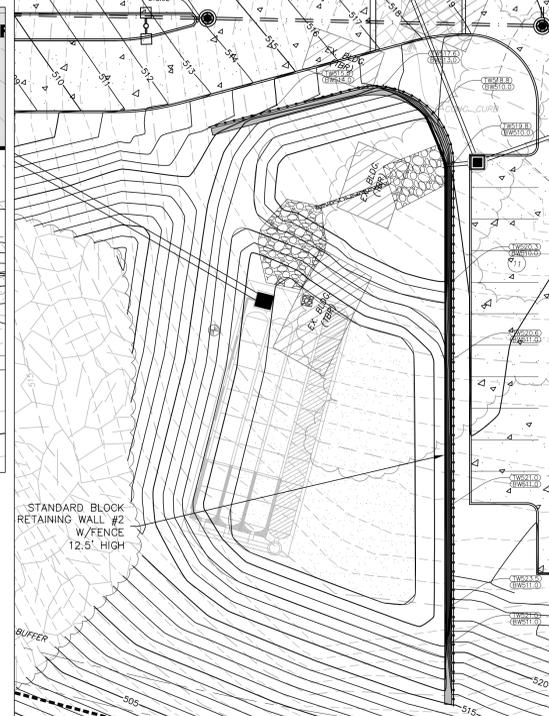
SHEET:

**C2.0**

MSD P-TBD  
M.S.D. BASE MAP 18T  
LOC. NO. 18T630173  
ZIP CODE 63005



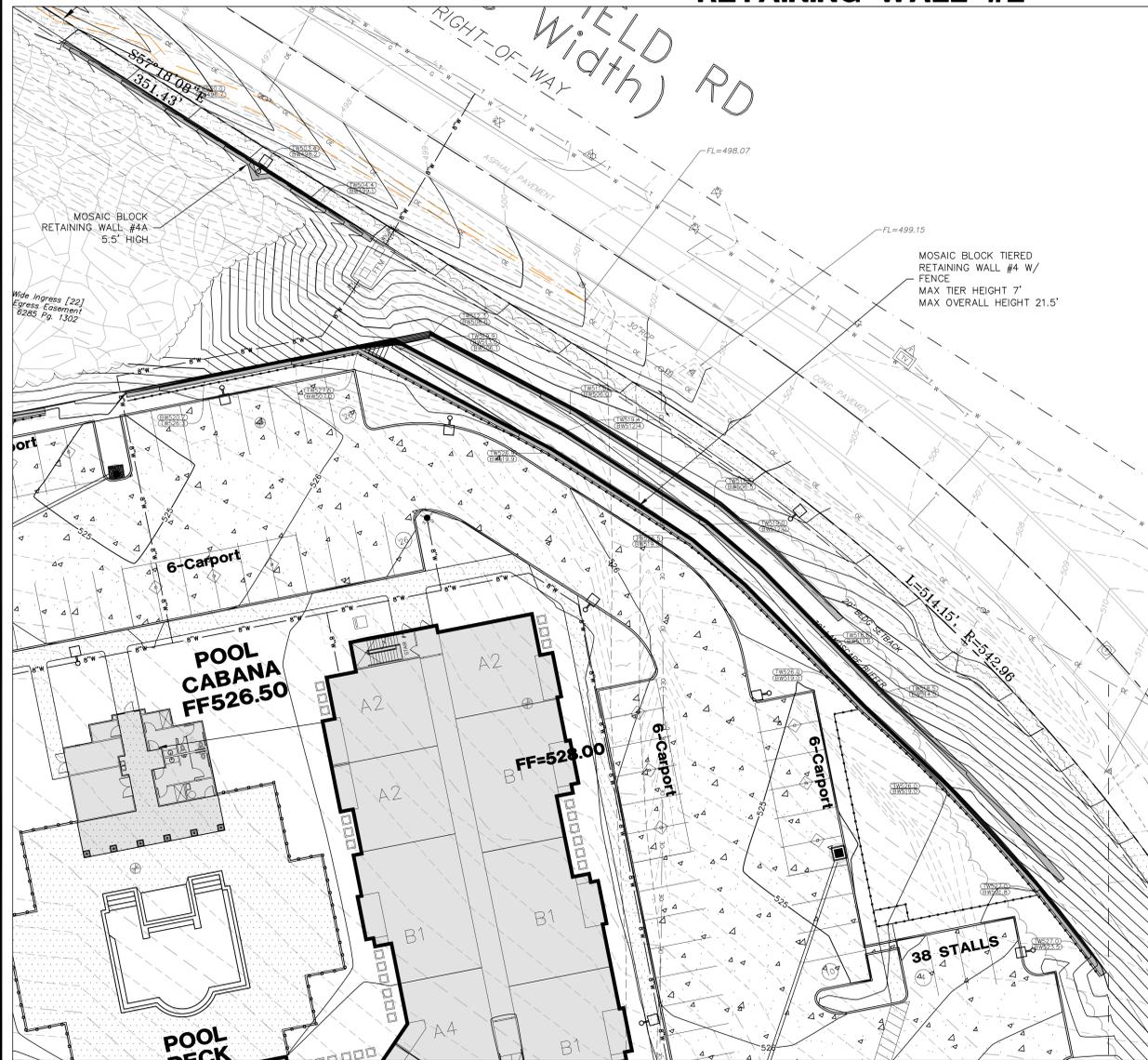
**RETAINING WALL #1**



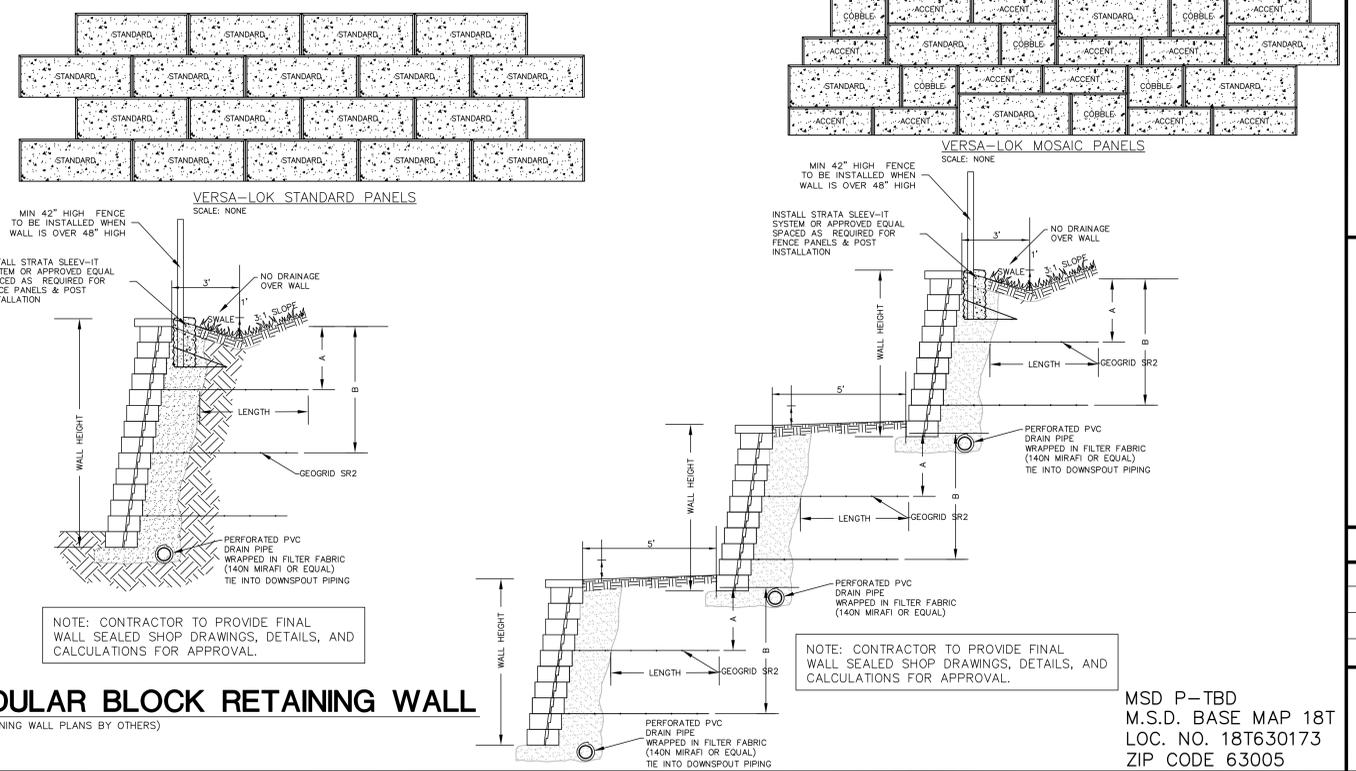
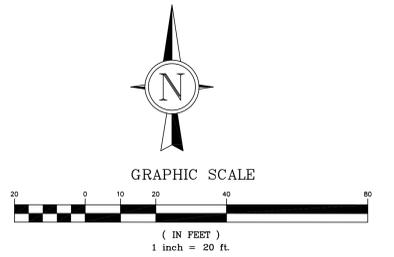
**RETAINING WALL #2**



**RETAINING WALL #3**



**RETAINING WALL #4**



**5 MODULAR BLOCK RETAINING WALL**  
 C2.0 (SEE RETAINING WALL PLANS BY OTHERS)

PREPARED FOR:  
 ABOVE ALL DEVELOPMENT  
 CONTACT: BRYAN ASTON  
 10411 CLAYTON ROAD, SUITE 308  
 FRONTENAC, MO 63131  
 PH: (314) 363-9693

LEONARD J. MEERS  
 PROFESSIONAL ENGINEER  
 E-28288

10/23/18

**GRIMES CONSULTING, INC.**  
 Civil Engineering & Surveying Services

GRIMES CONSULTING, INC. E-107-2  
 PROFESSIONAL LAND SURVEYING CORPORATION, LS-34-D

3330 OLD TESSON ROAD  
 ST. LOUIS, MO 63128  
 TEL: (314) 899-8000  
 FAX: (314) 899-8000  
 www.grimesconsulting.com

REV. NO.	REMARKS	DATE
1	PER CITY COMMENTS	7/16/18
2	PER COUNTY COMMENTS	10/27/18
3	REVISED LAYOUT	10/23/18

A SITE PLAN FOR  
**AVENTURA AT WILD HORSE CREEK**  
 CHESTERFIELD MO 63005

**SITE PLAN**

SHEET TITLE

JOB NUMBER: **3044**

DRAWN BY: **JLW**

DATE: **10/10/18**

CHECKED BY: **LJM**

DATE: **10/10/18**

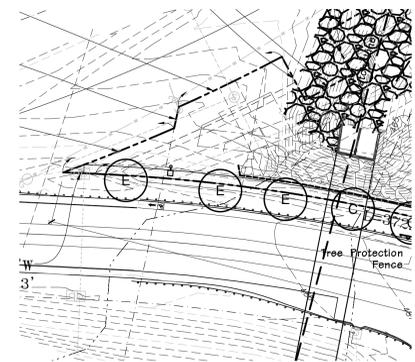
SHEET:

MSD P-TBD  
 M.S.D. BASE MAP 18T  
 LOC. NO. 18T630173  
 ZIP CODE 63005

**C3.0**

**GENERAL NOTES:**

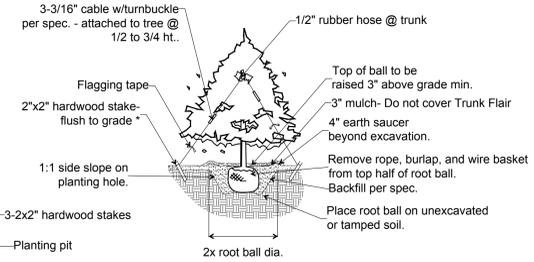
- 1) Openpace ratio is 63.6%. Total Site 548,671 SF/Open Space 349,120 SF
- 2) Street trees-Old Chesterfield Road 1,060.5 lf - 356.4 lf met by existing trees = 672.1 lf/50 13.5 or 14 street trees
- 3) Street Trees-Wildhorse Creek Road - 1,171.9 lf/50 = 23.4 or 24 street trees
- 4) All street trees will be located at least 3' from proposed curb.
- 5) All street trees will be located at least 10' from all storm sewer structures.
- 6) All street trees will be located at least 25' from all Street lights, Signs, and Intersections.
- 7) Street Trees along Old Chesterfield Road to be small ornamental trees where under overhead electric lines.
- 8) All turf areas around building will be added balance of site will be seeded.
- 9) An in-ground irrigation system will be provided.



**Street Tree**  
SCALE 1"=40'-0"

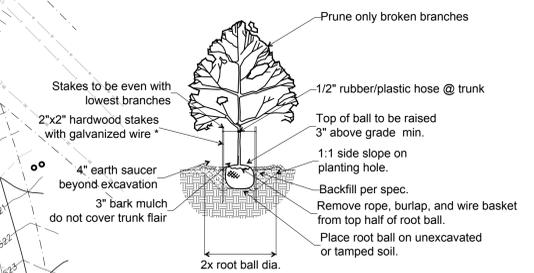
PLANTING SCHEDULE									
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT	NAME	CATEGORY	PERCENTAGE	
A	36	Picea pungens	Colorado Spruce	6-10'	30-40'	Medium Growing	Evergreen	15.3%	
B	27	Pinus strobus	White Pine	6-10'	45'+	Fast Growing	Evergreen	11.4%	
C	39	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	2 1/2"	45'+	Fast Growing	Deciduous	16.5%	
D	21	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	2 1/2"	45'+	Fast Growing	Deciduous	6.9%	
E	22	Tilia americana 'Redmond'	Redmond Linden	2 1/2"	45'+	Medium Growing	Deciduous	9.3%	
F	10	Quercus bicolor	Swamp White Oak	2 1/2"	45'+	Medium Growing	Deciduous	3.4%	
G	6	Taxodium distichum	Bald Cypress	6-8'	45'+	Medium Growing	Deciduous	3.5%	
H	9	Cercis canadensis 'Merlot'	Merlot Red Bud	2 1/2"	25'+	Fast Growing	Ornamental	3.6%	
I	16	Crataegus laevigata 'Superba'	Crimson cloud Hawthorn	2 1/2"	25'+	Medium Growing	Ornamental	6.8%	
K	12	Ostrya virginiana	Hophornbeam	2 1/2"	30'+	Slow Growing	Ornamental	5.0%	
L	16	Carpinus caroliniana	American Hornbeam	2 1/2"	20'+	Medium Growing	Ornamental	4.3%	
M	12	Cornus florida	Flowering Dogwood	2 1/2"	20'+	Medium Growing	Ornamental	5.0%	
N	6	Juniperus virginiana 'Taylor'	Taylor Juniper	6-8'	24'	Maintain @ 7'	Ht	Evergreen	3.5%
a	26	Thuja occidentalis 'Emerald'	Emerald Arborvitae	4-6'	4'	O.C.			
b	156	Ilex X 'Mesog' China Girl'	China Girl Holly	24"	3'	O.C.			
c	77	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetpire	24"	3'	O.C.			
d	97	Juniperus sabina 'Buffalo'	Buffalo Juniper	16-24"	4'	O.C.			
e	135	Hibiscus syriacus 'Antong Two'	Lil' Kim Rose of Sharon	24"	3'	O.C.			
f	16	Euonymus alatus 'Compata'	Dwarf Burning Bush	24-30"	4'	O.C.			
g	56	Viburnum x 'Juddii'	Judd Viburnum	24-30"	4'	O.C.			
h	94	Berberis thunbergii a. 'Rose Glow'	Rose Glow Barberry	24"	30'	O.C.			
aa	354	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	1 qt	16"	O.C.			
bb	300	Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	1 qt.	12"	O.C.			
cc	89	Calamagrostis a. 'Karl Foerster'	Feather Reed Grass	1 qt.	16"	O.C.			
dd	336	Liriope muscari 'Big Blue'	Big Blue Liriope	1 qt.	12"	O.C.			
ee	730	Sporobolus heterolepis	Prairie Dropseed	1 qt.	16"	O.C.			
	500	Annuale to be selected		C. P.	9"	O.C.			
	-	Bioretention Plantings per M&P		C. P.	16"	O.C.			

Evergreen 71 = 30.0%  
Deciduous 100 = 42.4%  
Ornamental 67 = 26.4%

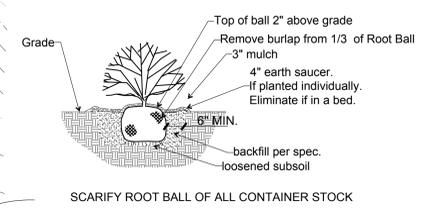


**TYPICAL EVERGREEN PLANTING**

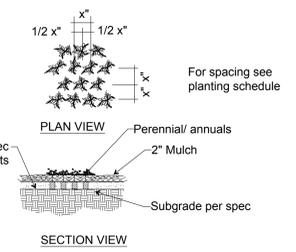
- Staking should be done only when:
- Planting in soft, loose soils
- Root balls with sandy soil, or wet clay
- Trees located in an extremely windy location



**DECIDUOUS TREE PLANTING**



**TYPICAL SHRUB PLANTING**



**TYPICAL PERENNIAL PLANTING**

STATE OF MISSOURI  
DANIELS ARCHITECTS  
LANDSCAPE ARCHITECT  
NUMBER LA-81  
10/23/2018  
Douglas A. DeLong, Landscape Architect LA-81  
Consultants:  
HANSSEN'S  
OFallon, MO Branson, MO  
Phone: 636-378-1826  
www.hanssens.com

**Aventura At Wild Horse Creek  
Chesterfield, Missouri**  
Above All Development

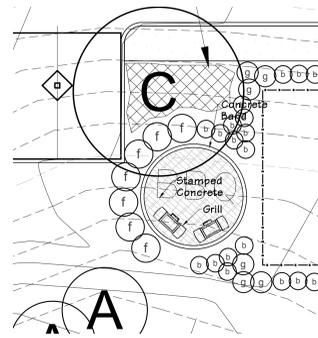
Revisions:

Date	Description	No.
6/11/18	City Comments	1
7/23/18	City Comments	2
9/19/18	City Comments	4
10/11/18	City Comments	5
10/23/18	Site Plan	6

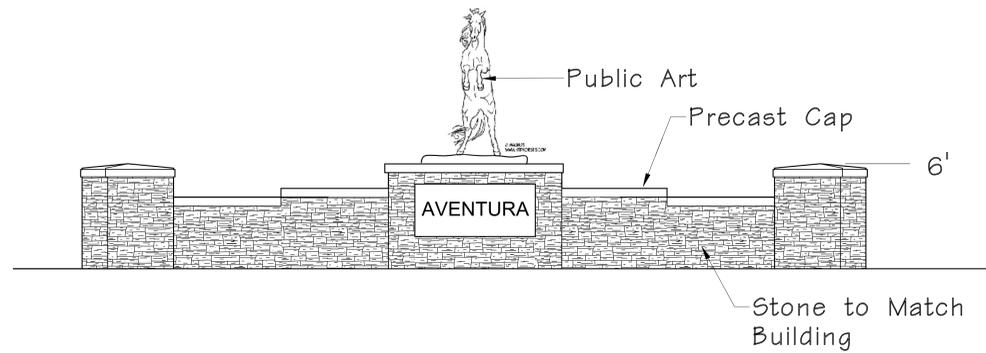
Drawn: **BAD**  
Checked: **DAD**

DeLong  
landscape architecture, LLC  
7620 West Bruno Ave  
St. Louis, MO 63117  
(314) 346-4856  
delong.la@gmail.com  
Missouri State Certified Landscape Architect #003000045

Sheet Title: **Landscape Plan**  
Sheet No: **L-1**  
Date: **6/11/2018**  
Job #: **127.006**



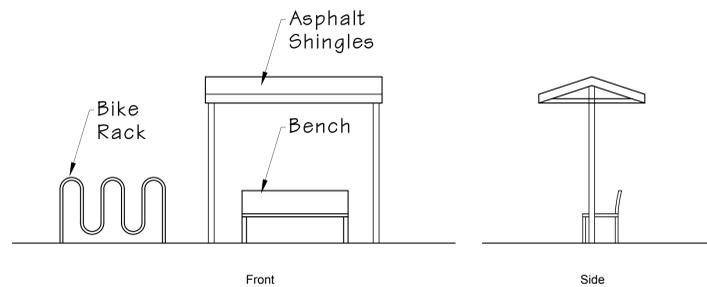
5 BBQ Patio  
SCALE 1"=10'-0"



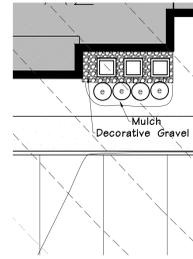
6 Entry Monument-Public Art  
SCALE 1/4"=1'-0"



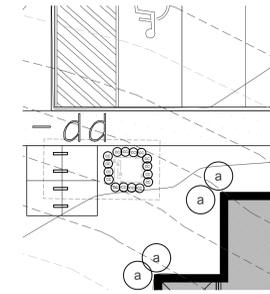
7 Future Trail Head  
SCALE 1"=10'-0"



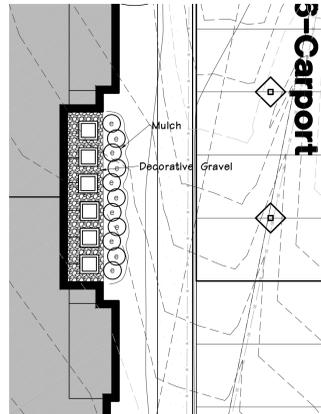
8 Elevations-Bike Shelter  
SCALE 1/4"=1'-0"



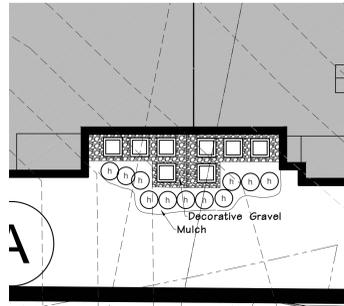
1 3 AC Unit Screening  
SCALE 1"=10'-0"



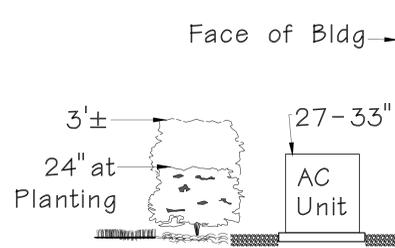
9 Typical Transformer Screening  
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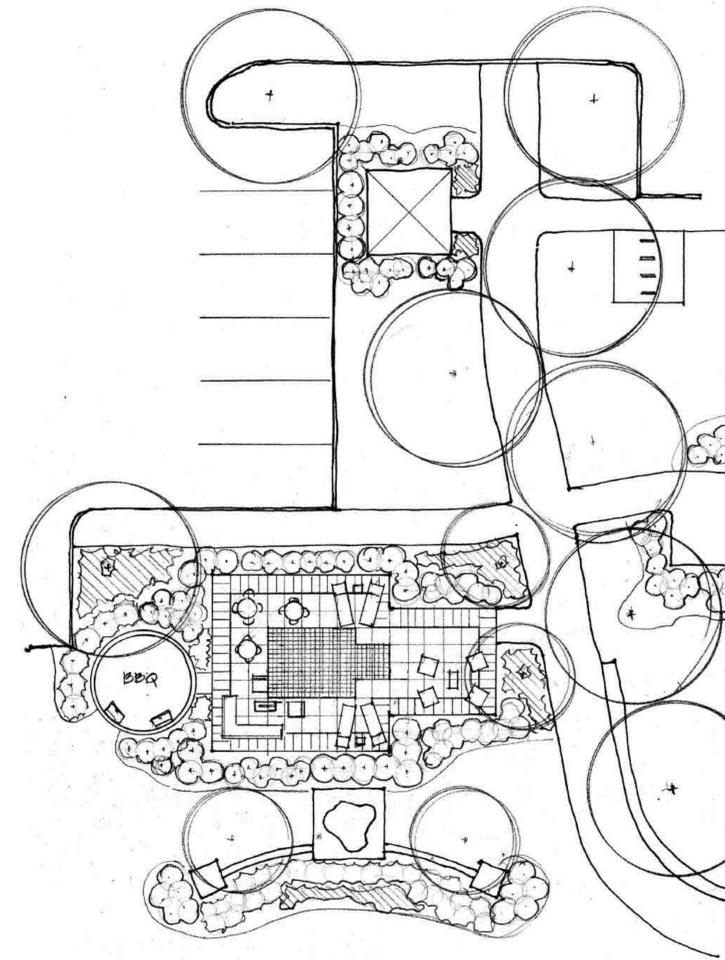
2 6 AC Unit Screening  
SCALE 1"=10'-0"



3 8 AC Unit Screening  
SCALE 1"=10'-0"



4 Section AC Unit Screening  
SCALE 1/2"=1'-0"



Pocket Park  
SCALE 1"=10'-0"

Revisions:

Date	Description	No.
6/17/18	City Comments	1
7/23/18	City Comments	2
8/28/18	Added Details	3
9/19/18	City Comments	4
10/11/18	City Comments	5
10/23/18	Site Plan	6

Drawn: BAD  
Checked: DAD

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Missouri State Certificate of Authority: #003800045

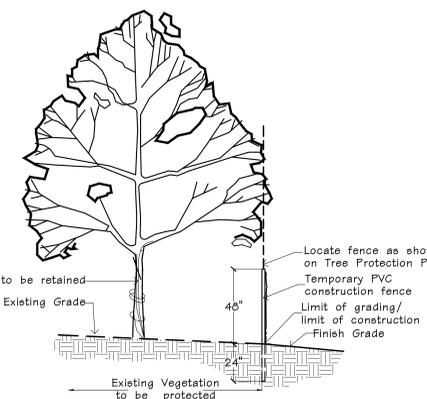
Sheet Title: Landscape Details  
Sheet No: L-2  
Date: 7/19/2018  
Job #: 127.006

**TREE PROTECTION NOTES:**

- 1) Preserved woodland canopy is delineated with shading.
- 2) Pre-construction meeting to be held on-site to include a presentation of tree protection measures to operators; construction supervisors; developer's representative; and city zoning inspector.
- 3) Clearing Limits to be rough staked in order to facilitate location for installation of protection fencing. No early maintenance schedule is required. Where noted on plan, contractor to trench and root prune prior to any grading activity. Required siltation devices to be installed along limit of disturbance line.
- 4) No clearing or grading shall begin in areas where the treatment and preservation measures have not been completed including the installation of tree protection fencing along all "Limit of Disturbance" lines shown on the plan.
- 5) Tree Protection Fencing shall be 4-foot high temporary plastic construction fence. No equipment traffic/parking, concrete washout, material storage or other such construction activity shall be permitted to penetrate the protection fencing or disrupt the Protected Woodland Area except for the removal of dead or invasive plant material. Any proposed plantings shall be subject to the review and approval of the City Arborist. All ground plane shall be mulched with hardwood bark mulch. Tree Protection Signage will be placed along the Protection Fencing as shown as the dashed line on the plan.
- 6) Tree protection measures to be maintained throughout construction sequence.

**TREE PROTECTION ACTION KEY SEQUENCE:**

- 1) Survey limit of disturbance.
- 2) Install tree protection fencing.
- 3) Post tree protection signage on fence (No signs will be posted on trees).
- 4) Maintain tree protection area as an off-limits zone.



**TREE PROTECTION DETAIL**  
n.t.s.

**TREE PRESERVATION SUMMARY:**

Total Site Area = 548,671 sq. ft. or 12.59 Ac.  
Existing Tree Canopy Coverage = 465,016 sq. ft. or 10.7 Ac.  
Existing Tree Canopy in Easements = 35,580.0 sq. ft. (Excludes Easements to be Vacated)  
Net Existing Tree Canopy = 429,436.0 sq. ft.

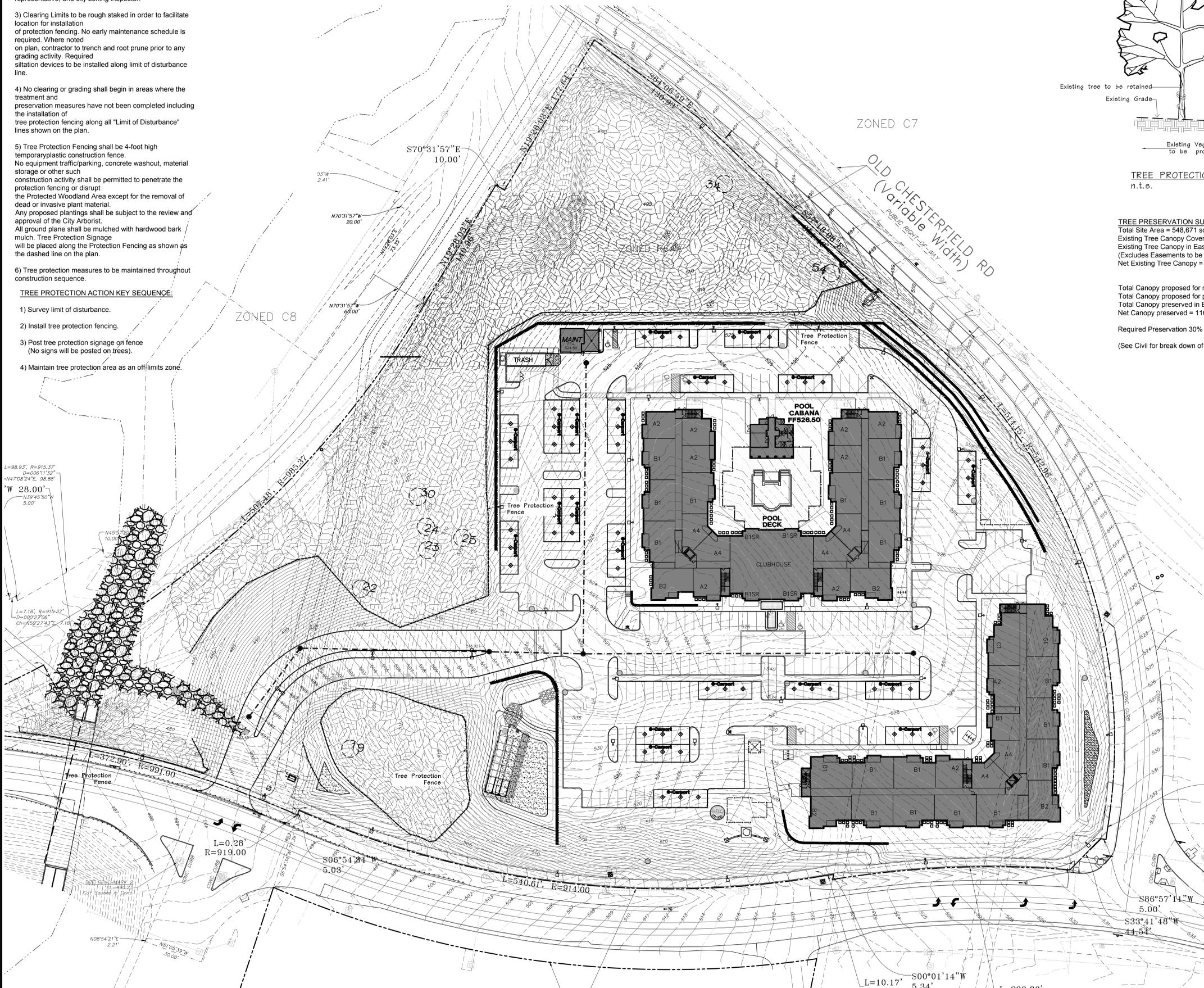
Total Canopy proposed for removal = 327,544.0 sq. ft. (70.4%)  
Total Canopy proposed for preservation = 137,472 sq. ft. (29.6%)  
Total Canopy preserved in Easements = 20,846.0 sq. ft.  
Net Canopy preserved = 116,626.0 sq. ft. (30.1%)

Required Preservation 30% = 128,830.8 sq. ft.

(See Civil for break down of preserved trees in each easement)

TREE NUMBER	SPECIES_01	DBH_EXACT	CROWN_CLAS	CONDITION	T.B.R.
1	oak northern red	26	31-40	Fair (60-69)	T.B.R.
2	sycamore American	28	31-40	Good (70-79)	T.B.R.
3	oak northern red	20	31-40	Fair (60-69)	T.B.R.
4	sycamore American	20	31-40	Fair (60-69)	T.B.R.
5	hackberry	20	31-40	Fair (60-69)	T.B.R.
6	pine eastern white	28	41-50	Fair (60-69)	T.B.R.
7	maple silver	26	31-40	Fair (60-69)	T.B.R.
8	sycamore American	42	51-60	Good (70-79)	T.B.R.
9	maple silver	32	41-50	Fair (60-69)	T.B.R.
10	maple silver	20	31-40	Fair (60-69)	T.B.R.
11	hackberry	20	31-40	Fair (60-69)	T.B.R.
12	ash green	20	31-40	Fair (60-69)	T.B.R.
13	maple silver	24	31-40	Fair (60-69)	T.B.R.
14	hackberry	24	31-40	Fair (60-69)	T.B.R.
15	walnut black	20	41-50	Fair (60-69)	T.B.R.
16	Basswood spp	22	31-40	Fair (60-69)	T.B.R.
17	oak northern red	20	31-40	Good (70-79)	T.B.R.
18	hackberry	24	31-40	Fair (60-69)	T.B.R.
19	maple silver	20	31-40	Fair (60-69)	T.B.R.
20	oak shingle	24	41-50	Good (70-79)	T.B.R.
21	oak northern red	22	41-50	Good (70-79)	T.B.R.
22	oak chinquapin	24	41-50	Fair (60-69)	T.B.R.
23	oak white	22	31-40	Good (70-79)	T.B.R.
24	oak shingle	26	41-50	Good (70-79)	T.B.R.
25	maple sugar	26	41-50	Good (70-79)	T.B.R.
26	oak black	28	41-50	Fair (60-69)	T.B.R.
27	oak black	20	31-40	Fair (60-69)	T.B.R.
28	oak black	24	31-40	Fair (60-69)	T.B.R.
29	oak black	24	31-40	Fair (60-69)	T.B.R.
30	oak shingle	20	31-40	Fair (60-69)	T.B.R.
31	ash green	20	31-40	Fair (60-69)	T.B.R.
32	cherry black	22	31-40	Fair (60-69)	T.B.R.
33	Basswood spp	24	41-50	Fair (60-69)	T.B.R.
34	hackberry	24	41-50	Fair (60-69)	T.B.R.
35	sycamore American	24	41-50	Fair (60-69)	T.B.R.
36	sycamore American	28	41-50	Fair (60-69)	T.B.R.
37	sycamore American	24	41-50	Fair (60-69)	T.B.R.
38	maple sugar	24	41-50	Fair (60-69)	T.B.R.
39	maple sugar	20	31-40	Good (70-79)	T.B.R.
40	maple silver	24	41-50	Good (70-79)	T.B.R.
41	maple sugar	38	41-50	Fair (60-69)	T.B.R.
42	oak black	38	51-60	Fair (60-69)	T.B.R.
43	maple silver	20	31-40	Fair (60-69)	T.B.R.
44	maple silver	24	41-50	Fair (60-69)	T.B.R.
45	maple sugar	40	41-50	Fair (60-69)	T.B.R.
46	maple sugar	24	41-50	Fair (60-69)	T.B.R.
47	maple sugar	24	41-50	Fair (60-69)	T.B.R.
48	cherry black	20	31-40	Fair (60-69)	T.B.R.
49	oak black	30	41-50	Good (70-79)	T.B.R.
50	oak black	22	31-40	Fair (60-69)	T.B.R.
51	maple sugar	20	31-40	Fair (60-69)	T.B.R.
52	maple sugar	22	31-40	Fair (60-69)	T.B.R.
53	sycamore American	26	41-50	Dead (0)	T.B.R.
54	maple silver	28	41-50	Fair (60-69)	T.B.R.
55	cherry black	30	41-50	Fair (60-69)	T.B.R.
56	oak white	28	41-50	Fair (60-69)	T.B.R.
57	oak black	24	41-50	Fair (60-69)	T.B.R.

NOTE: These larger trees were located and identified. However, it was determined that none of these met two or more of the criteria to be classified as Monarch trees.



**Tree Preservation Plan**  
SCALE 1"=40'-0"

Tree Protection Plan Prepared under direction of Skip Kincaid of Hansen's Tree Service Certified Arborist MW-0155BW  
*Skip Kincaid*  
Base Map Provided by: Gimnes Consulting

STATE OF MISSOURI  
DOUGLAS A. DELONG  
LANDSCAPE ARCHITECT  
NUMBER LA-81  
10/24/2018  
Douglas A. DeLong, Landscape Architect LA-81  
Consultants:  
**HANSEN'S**  
O'Fallon, MO Branson, MO  
Phone: 636-378-1828  
www.hansentree.com

**Aventura At Wild Horse Creek**  
**Chesterfield, Missouri**  
Above All Development

Revisions:

Date	Description	No.
6/17/18	City Comments	1
9/19/18	City Comments	1
10/11/18	City Comments	5
10/24/18	Site Plan	6

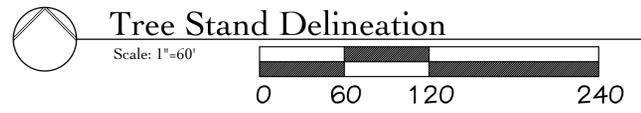
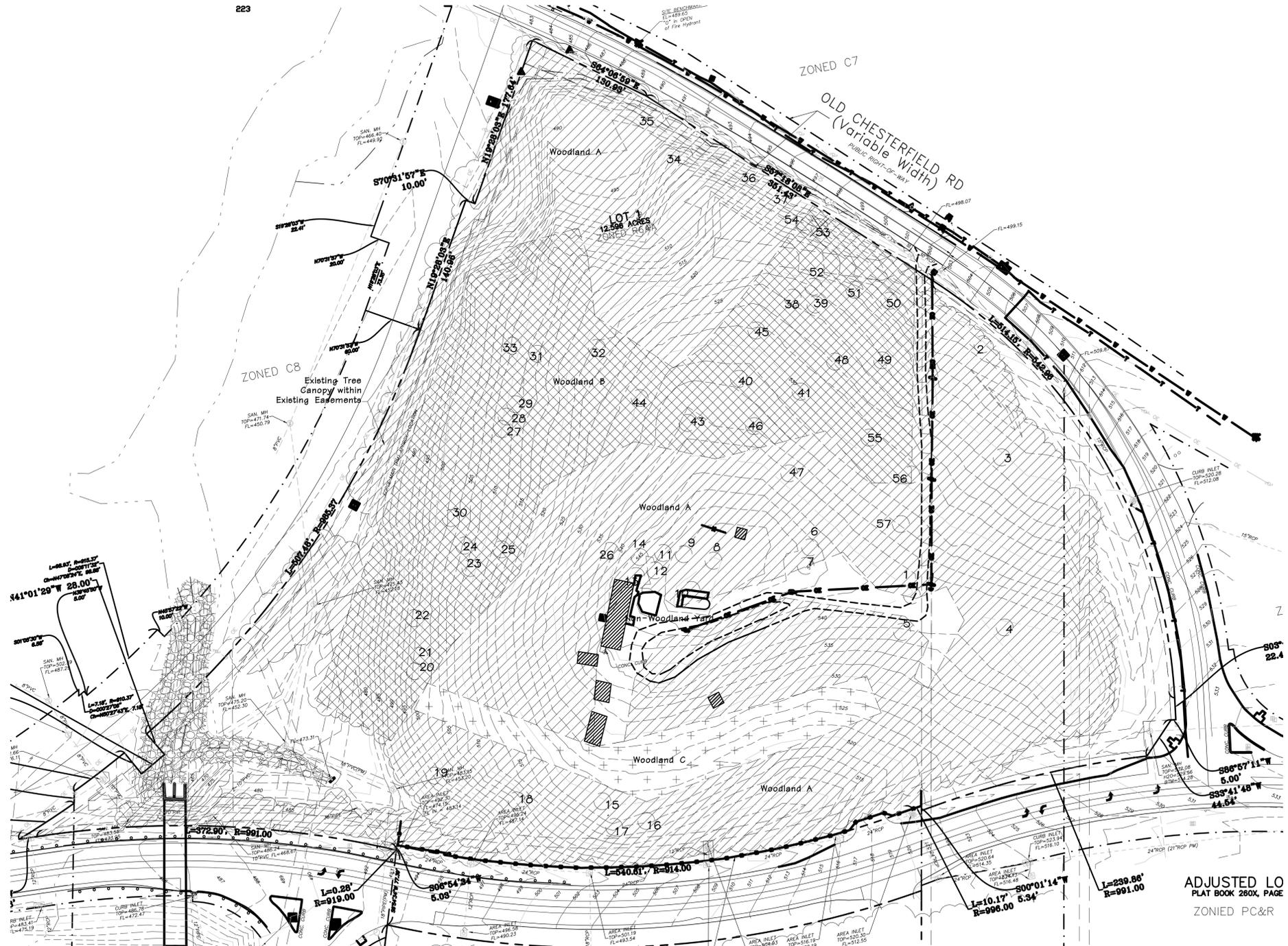
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Checked: **DAD**

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and  
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(314) 346-4856  
delong.la@gmail.com  
Missouri State Certification of Landscape Architect: 00103000145

Sheet Title:	<b>Tree Preservation Plan</b>
Sheet No.:	<b>TPP</b>
Date:	<b>6/11/2018</b>
Job #:	<b>127,006</b>

TREE NUMBER	SPECIES_01	DBH_EXACT	CROWN_CLAS	CONDITION
1	oak northern red	26	31-40	Fair (60-69)
2	sycamore American	28	31-40	Good (70-79)
3	oak northern red	20	31-40	Fair (60-69)
4	sycamore American	20	31-40	Fair (60-69)
5	hackberry	20	31-40	Fair (60-69)
6	pine eastern white	28	41-50	Fair (60-69)
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14	hackberry	24	31-40	Fair (60-69)
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22	oak chinkapin	24	41-50	Fair (60-69)
23	oak white	22	31-40	Good (70-79)
24	oak shingle	26	41-50	Good (70-79)
25	maple sugar	26	41-50	Good (70-79)
26	oak black	28	41-50	Fair (60-69)
27	oak black	20	31-40	Fair (60-69)
28	oak black	24	31-40	Fair (60-69)
29	oak black	24	31-40	Fair (60-69)
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55	cherry black	30	41-50	Fair (60-69)
56	oak white	28	41-50	Fair (60-69)
57	oak black	24	41-50	Fair (60-69)

NOTE: These larger trees were located and identified. However, it was determined that none of these met two or more of the criteria to be classified as Monarch trees.



**LEGEND**

	Location
	Reference Number
	Dead Tree

**Tree Stand Delineation Narrative**  
September 13, 2017

The overall Lot comprises a total of 12.6 Ac and has a total of 10.4 Ac. of Woodlands. The attached detailed Tree Stand Delineation map was completed by field inspection.

**Woodland A:** A majority of the site is young woodland that has signs of past disturbance. Overstory is a mix of oak species, sugar maple, silver maple, hackberry, and a few of the planted white pine. Understory varies from thick honeysuckle to elm and maple. This woodland covers acreage north of Wild Horse Creek Road. Part of it encompasses an area of old field near the gazebo that now is grown up in young woodland. Average stand diameter is 8" DBH.

**Woodland B:** A high-quality hardwood stand with scattered large diameter oaks and sugar maple. While some exceed 20" DBH they do not meet the criteria to be classified as Monarch trees. Overstory is white oak, red oak, black oak, silver maple, and sugar maple. Understory was sparse due to dense canopy with very little honeysuckle intrusion. Average overstory diameter is 16" DBH.

**Woodland C:** Pine Plantings: Remnants of a double row of white pines are still present. Most have declined and have received no maintenance. Crown dieback and branch death is extensive. Some still have decent health and might add to the project. The remainder are in poor condition. Average diameter is 12" DBH.

**Non-Woodland Yard Area:** An abandoned yard area with no salvageable trees. The area is thick with small diameter volunteer sprouts and is comprised of impervious surfaces such as the house, outbuildings, roadway, and pool.

WOODLAND A =	7.2 Ac.	(315,560.3 sq. ft.)
WOODLAND B =	2.9 Ac.	(128,016.7 sq. ft.)
WOODLAND C =	0.6 Ac.	(21,439.0 sq. ft.)
<b>Total Existing Canopy</b>	<b>10.7 Ac</b>	<b>(465,016.0 sq. ft.)</b>
Existing Canopy in Existing Easements:	(35,580.0 sq. ft.)	
<b>Net Canopy:</b>	<b>(429,436.0 sq. ft.)</b>	

Tree Stand Delineation Prepared under direction of Skip Kincaid of Hansen's Tree Service Certified Arborist MW-0155BW

*Skip Kincaid*

Base Map Provided by: Grimes Consulting

Douglas A. DeLong, Landscape Architect LA-81

Consultants:

**HANSEN'S**  
O'Fallon, MO Branson, MO  
Phone: 636-378-1830  
www.hansentree.com

# Aventura at Wild Horse Creek Chesterfield, MO

Above All Development

Revisions:

Date	Description	No.
11/12/17	City Comments	1
9/20/18	Amended	2

Drawn: BAD  
Checked: DAD

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Missouri State Certificate of Authority: #013300146

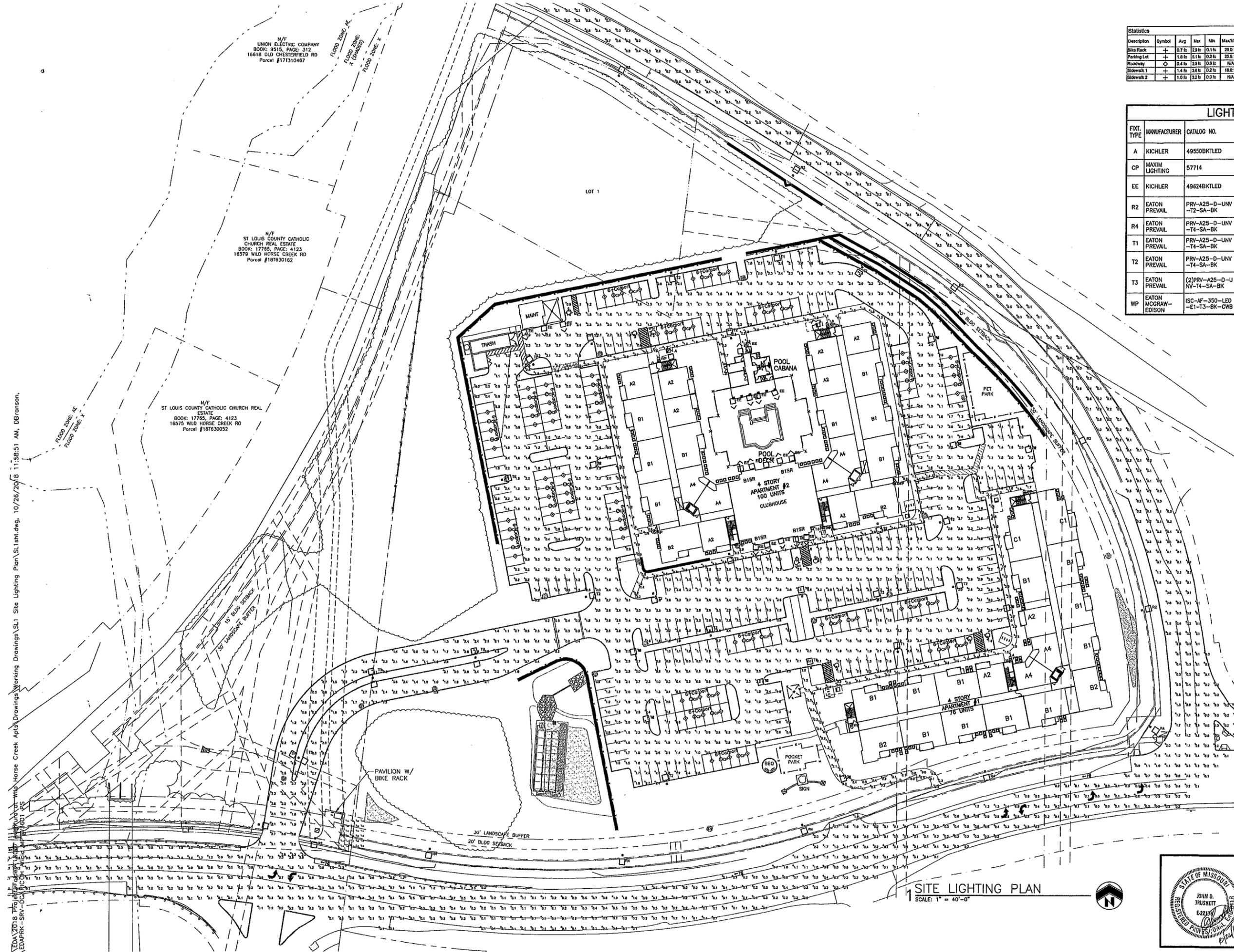
Sheet Title:	Amended Tree Stand Delineation
Sheet No:	<b>TSD-1</b>
Date:	9/13/2017
Job #:	127.006

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Bike Rack	+	0.7 ft	2.0 ft	0.1 ft	29.0:1	7.0:1
Parking Lot	+	1.8 ft	5.1 ft	0.3 ft	23.5:1	8.0:1
Roadway	○	0.4 ft	2.3 ft	0.0 ft	N/A	N/A
Sidewalk 1	+	1.4 ft	3.8 ft	0.2 ft	18.0:1	7.0:1
Sidewalk 2	+	1.0 ft	3.2 ft	0.0 ft	N/A	N/A

LIGHT FIXTURE SCHEDULE									
FIXT. TYPE	MANUFACTURER	CATALOG NO.	QTY	VOLTS	WATS	LAMP(S)	FINISH	MOUNT	REMARKS
A	KICHLER	49550BKTL	2	120	8	LED, 3000°K	TEXTURED BLACK	WALL, +12'-0"	ADDRESS
CP	MAXIM LIGHTING	57714	42	120	20	LED, 3000°K	WHITE	CARPORIT CEILING	CARPORIT
EE	KICHLER	49824BKTL	19	120	17	LED, 3000°K	TEXTURED BLACK	WALL, +10'-0"	
R2	EATON PREVAL	PRV-A25-D-UNV-T2-SA-BK	7	120	87	LED, 4000°K	BLACK	20' POLE	TYPE 2 DISTRIBUTION
R4	EATON PREVAL	PRV-A25-D-UNV-T4-SA-BK	6	120	87	LED, 4000°K	BLACK	20' POLE	TYPE 4 DISTRIBUTION
T1	EATON PREVAL	PRV-A25-D-UNV-T4-SA-BK	4	120	87	LED, 4000°K	BLACK	20' POLE	TYPE 4 DISTRIBUTION
T2	EATON PREVAL	PRV-A25-D-UNV-T4-SA-BK	25	120	87	LED, 4000°K	BLACK	20' POLE	TYPE 4 DISTRIBUTION
T3	EATON PREVAL	(2)PRV-A25-D-UNV-T4-SA-BK	3	120	180	LED, 4000°K	BLACK	20' POLE	TYPE 4 DISTRIBUTION
WP	EATON MCGRAW-EDISON	ISC-AF-350-LED-E1-T3-BK-CWB	9	120	20	LED, 4000°K	BLACK	WALL, +20'-0"	WALLPACK, BATTERY PACK

**GENERAL NOTES**

- 1 ALL ELECTRIC LIGHTING SHALL BE CONTROLLED AUTOMATICALLY BY PHOTOELECTRIC CELLS. STREET AND RESIDENTIAL LIGHTING SHALL BE ON FROM DUSK TO DAWN.
- 2 THE SOURCE OF ILLUMINATION SHALL NOT BE LOWER THAN TEN (10) FEET ABOVE GRADE.
- 3 MOUNTING HEIGHTS OF LIGHTING FIXTURES SHALL NOT EXCEED TWENTY (20) FEET.

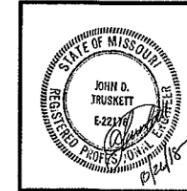


**1 SITE LIGHTING PLAN**  
SCALE: 1" = 40'-0"

**Aventura at Wild Horse Creek**  
Chesterfield, Missouri



J.E. PARKER - ARCHITECT OF RECORD  
MISSOURI LICENSE # A-005138  
Parker Associates Tulsa, LLC  
2202 East 49th Street South,  
Suite 200  
Tulsa, OK 74105  
(918)-742-2485



JOB NUMBER: 000000  
DRAWN BY: JT/AC/RL/DM/OB/SN  
DATE: 10/26/2018  
SHEET NUMBER **SL1** OF 3

E:\2018 Projects\Aventura at Wild Horse Creek\Aventura at Wild Horse Creek\Working Drawings\SL1 Site Lighting Plan\SL1.sldwg, 10/26/2018 11:58:51 AM, DBronson, 10/26/2018 11:58:51 AM, DBronson, EDAPRK-SRV-DC

### WAFFER LED | SURFACE MOUNT

#### 57710 / 57712 / 57714

- Die Cast Aluminum
- Site options between 5', 7' and 10'
- Ultra Thin 0.5" H
- Approved for use in closets and storage areas
- Available in White (WT), Bronze (BZ), and Silver-Metal (SM)
- Tric Dimmable with Electronic Low Voltage Drivers
- Easy to install: fits in 3.25" and 4" Outlet Box
- Edge-Lit LED Technology
- Suitable for Wall Location
- ETL/cETL IP65

**PRODUCT DESCRIPTION**  
Wafer designed for the discriminating consumer who wants the low profile look of recessed without the high cost. Manufactured of die cast aluminum, Wafer brings ultimate heat dissipation to its edge lit technology. Edge lighting gives very even light distribution while dispersing heat over a larger area. The result of this longer LED life and better light diffusion.

**MEASUREMENTS**

MODEL DIMENSION	HANGING WEIGHT
57710 5" D x 5.1" H	0.58 lb
57712 7" D x 6.8" H	1.21 lb
57714 10" D x 8.3" H	1.75 lb

**LAMPING**

MODEL	BULB TYPE	CR	LUMENS	COL. TEMP.	DIMMABLE	INPUT
57710	15W PCB LED (integrated)	90+	700	400	3000K	ELV 120V
57712	15W PCB LED (integrated)	90+	1050	900	3000K	ELV 120V
57714	20W PCB LED (integrated)	90+	1400	1200	3000K	ELV 120V

**FINISHES OPTIONS:**  
White (WT)  
Bronze (BZ)  
Silver-Metal (SM)

**MATERIAL:**  
Die Cast Aluminum  
PMMA Acrylic Diffuser

**AVAILABLE SIZES:**  
5" | 7" | 10"

**RATINGS:**  
ETL/cETL IP65  
Wet location  
Brandy Store  
CA Title 24  
ADA

**ADDITIONAL:**  
RATED LIFE: 50,000 Hours  
OPERATING TEMP: -20°C (-4°F), 40°C (104°F)  
PHOTOMETRIC: Report Found On file

Always consult a qualified electrician before installing any lighting product

**MAXIM LIGHTING**  
WESTERN DISTRIBUTION CENTER (HEADQUARTER)  
253 NORTH VINELAND AVE | CITY OF INDUSTRY, CA 91744  
EASTERN DISTRIBUTION CENTER  
4200 SHIRLEY DR. | ATLANTA, GA 30336  
P: 626-956-4200 | F: 626-956-4225 | maximlighting.com

### Amber Valley Collection

#### Amber Valley Large LED Wall Lantern BKT

#### 49624BKTLED (Textured Black)

**TYPE EE**

**Project Name:** \_\_\_\_\_  
**Location:** \_\_\_\_\_  
**Type:** \_\_\_\_\_  
**Qty:** \_\_\_\_\_  
**Comments:** \_\_\_\_\_

**Ordering Information**  
Product ID: 49624BKTLED  
Finish: Textured Black  
Collection: Amber Valley Collection

**Dimensions**  
Extension: 10.00"  
Height from center of Wall opening: 9.75"  
Base Backplate: 6.25 X 6.00  
Weight: 7.14 LBS

**Photometrics**  
Kelvin Temperature: 3000 K  
Color Rendering Index: 90

**Specifications**  
Material: Aluminum  
Diffuser Description: Etched Seeded

**Electrical**  
Dimmable: Yes  
This LED is compatible with most standard incandescent dimmers, LED dimmers, and electronic low voltage dimmers. For more information, go to [kicler.com/dimming](http://kicler.com/dimming).

**Dimmable Notes**  
Voltage: 120 V  
Input Voltage: Single(120)

**Qualifications**  
Safety Rated: Wet  
Title 24: Yes  
Expected Life Span: 40000 Hours  
Warranty: [www.kicler.com/warranty](http://www.kicler.com/warranty)

**Primary Lamping**  
Light Source: LED  
Lamp Included: Integrated  
# of Bulb/LED Modules: 1  
Delivered Lumens: 875  
Initial Lumens: 1400  
Delivered Efficacy: 51

**KICHLER**  
771 East Pleasant Valley Road  
Cleveland, Ohio 44131-8010  
Tel: 330.668.0200 or kicler.com

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### LUMEN MAINTENANCE

Ambient Temperature	50,000 Hours*	60,000 Hours*	Theoretical 100,000 Hours*	Theoretical L70 Hours**
25°C	> 96%	> 95%	> 97%	> 280,000
40°C	> 88%	> 85%	> 87%	> 250,000
55°C	> 75%	> 62%	> 61%	> 230,000

\* IESNA TM-21-09  
\*\* IESNA TM-21-09

### LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.03
15°C	1.01
20°C	1.00
25°C	0.99

**ORDERING INFORMATION**

Product Family	Light Engine	Driver	Voltage	Distribution	Mounting	Color
PRV-Preval	A1 (4x1 LED) 8,100 Nominal Lumens A2 (4x1 LED) 10,350 Nominal Lumens A3 (4x1 LED) 15,500 Nominal Lumens A4 (4x1 LED) 18,900 Nominal Lumens	DR-Dimming (0-10V)	LMV-4 Universal (120-277V) 3A7-3A7V 4A8-4A8V	T3-Type II T3-Type III T4-Type IV T5-Type V	MA-Standard Vertical Arm MA-Adapted Arm WM-Wall Mount Arm	AA-Open BA-Bracket (Forward) MA-8 pole DP-Dark Platinum GM-Grip the Maxillo WH-White

**NOTES**  
1. Customer is responsible for engineering analysis to verify pole and fixture compatibility for all applications. Refer to installation instructions (MSD000000) and pole utility paper (APR1800) for additional support information.  
2. Design/Spec Consultant is certified and qualified for DLC Standard, refer to [www.designlight.org](http://www.designlight.org) for details.  
3. Product 400K CCT +/- 3% DR.  
4. Consult factory for all other product options.  
5. For use with 480V drive systems, per NEC, not for use with ungrounded systems. Transformer systems or other grounded systems (commonly 3-phase 4-wire Delta/Wye 208V/120V, 277V/180V/120V, 480V/277V/180V) are not permitted.  
6. Different housing styles may have different lumen outputs. See files for this product on the website.  
7. Standard lead time is 4 weeks. See additional lead times for 400K and 500K when applicable. See files for this product on the website.  
8. Luminaire photo images are for factory installed and require no other components (chassis, LED, DIM, or DIMM) in accordance with the product page on the website.  
9. Luminaire photo images are for factory installed and require no other components (chassis, LED, DIM, or DIMM) in accordance with the product page on the website.  
10. Not available in conjunction with 480V lumen package in MA High Ambient.  
11. Not available with MA or WM options.  
12. Reserve 2X wall mount option.

**STACK ORDERING INFORMATION**

Product Family	Light Engine	Voltage	Distribution	Options (Add as Suffix)
PRV-Preval	A1 (4x1 LED) 8,100 Nominal Lumens A2 (4x1 LED) 10,350 Nominal Lumens A3 (4x1 LED) 15,500 Nominal Lumens A4 (4x1 LED) 18,900 Nominal Lumens	LMV-4 Universal (120-277V) 3A7-3A7V	T3-Type II T4-Type IV	MBV-DIM-LED-Integrated Sensor for Dimming Operation, or M3-30" Mounting Height, or M3-36" Mounting Height, or M3-42" Mounting Height, or M3-48" Mounting Height, or M3-54" Mounting Height, or M3-60" Mounting Height, or M3-66" Mounting Height, or M3-72" Mounting Height, or M3-78" Mounting Height, or M3-84" Mounting Height, or M3-90" Mounting Height, or M3-96" Mounting Height, or M3-102" Mounting Height, or M3-108" Mounting Height, or M3-114" Mounting Height, or M3-120" Mounting Height, or M3-126" Mounting Height, or M3-132" Mounting Height, or M3-138" Mounting Height, or M3-144" Mounting Height, or M3-150" Mounting Height, or M3-156" Mounting Height, or M3-162" Mounting Height, or M3-168" Mounting Height, or M3-174" Mounting Height, or M3-180" Mounting Height, or M3-186" Mounting Height, or M3-192" Mounting Height, or M3-198" Mounting Height, or M3-204" Mounting Height, or M3-210" Mounting Height, or M3-216" Mounting Height, or M3-222" Mounting Height, or M3-228" Mounting Height, or M3-234" Mounting Height, or M3-240" Mounting Height, or M3-246" Mounting Height, or M3-252" Mounting Height, or M3-258" Mounting Height, or M3-264" Mounting Height, or M3-270" Mounting Height, or M3-276" Mounting Height, or M3-282" Mounting Height, or M3-288" Mounting Height, or M3-294" Mounting Height, or M3-300" Mounting Height, or M3-306" Mounting Height, or M3-312" Mounting Height, or M3-318" Mounting Height, or M3-324" Mounting Height, or M3-330" Mounting Height, or M3-336" Mounting Height, or M3-342" Mounting Height, or M3-348" Mounting Height, or M3-354" Mounting Height, or M3-360" Mounting Height, or M3-366" Mounting Height, or M3-372" Mounting Height, or M3-378" Mounting Height, or M3-384" Mounting Height, or M3-390" Mounting Height, or M3-396" Mounting Height, or M3-402" Mounting Height, or M3-408" Mounting Height, or M3-414" Mounting Height, or M3-420" Mounting Height, or M3-426" Mounting Height, or M3-432" Mounting Height, or M3-438" Mounting Height, or M3-444" Mounting Height, or M3-450" Mounting Height, or M3-456" Mounting Height, or M3-462" Mounting Height, or M3-468" Mounting Height, or M3-474" Mounting Height, or M3-480" Mounting Height, or M3-486" Mounting Height, or M3-492" Mounting Height, or M3-498" Mounting Height, or M3-504" Mounting Height, or M3-510" Mounting Height, or M3-516" Mounting Height, or M3-522" Mounting Height, or M3-528" Mounting Height, or M3-534" Mounting Height, or M3-540" Mounting Height, or M3-546" Mounting Height, or M3-552" Mounting Height, or M3-558" Mounting Height, or M3-564" Mounting Height, or M3-570" Mounting Height, or M3-576" Mounting Height, or M3-582" Mounting Height, or M3-588" Mounting Height, or M3-594" Mounting Height, or M3-600" Mounting Height, or M3-606" Mounting Height, or M3-612" Mounting Height, or M3-618" Mounting Height, or M3-624" Mounting Height, or M3-630" Mounting Height, or M3-636" Mounting Height, or M3-642" Mounting Height, or M3-648" Mounting Height, or M3-654" Mounting Height, or M3-660" Mounting Height, or M3-666" Mounting Height, or M3-672" Mounting Height, or M3-678" Mounting Height, or M3-684" Mounting Height, or M3-690" Mounting Height, or M3-696" Mounting Height, or M3-702" Mounting Height, or M3-708" Mounting Height, or M3-714" Mounting Height, or M3-720" Mounting Height, or M3-726" Mounting Height, or M3-732" Mounting Height, or M3-738" Mounting Height, or M3-744" Mounting Height, or M3-750" Mounting Height, or M3-756" Mounting Height, or M3-762" Mounting Height, or M3-768" Mounting Height, or M3-774" Mounting Height, or M3-780" Mounting Height, or M3-786" Mounting Height, or M3-792" Mounting Height, or M3-798" Mounting Height, or M3-804" Mounting Height, or M3-810" Mounting Height, or M3-816" Mounting Height, or M3-822" Mounting Height, or M3-828" Mounting 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M3-1044" Mounting Height, or M3-1050" Mounting Height, or M3-1056" Mounting Height, or M3-1062" Mounting Height, or M3-1068" Mounting Height, or M3-1074" Mounting Height, or M3-1080" Mounting Height, or M3-1086" Mounting Height, or M3-1092" Mounting Height, or M3-1098" Mounting Height, or M3-1104" Mounting Height, or M3-1110" Mounting Height, or M3-1116" Mounting Height, or M3-1122" Mounting Height, or M3-1128" Mounting Height, or M3-1134" Mounting Height, or M3-1140" Mounting Height, or M3-1146" Mounting Height, or M3-1152" Mounting Height, or M3-1158" Mounting Height, or M3-1164" Mounting Height, or M3-1170" Mounting Height, or M3-1176" Mounting Height, or M3-1182" Mounting Height, or M3-1188" Mounting Height, or M3-1194" Mounting Height, or M3-1200" Mounting Height, or M3-1206" Mounting Height, or M3-1212" Mounting Height, or M3-1218" Mounting Height, or M3-1224" Mounting Height, or M3-1230" Mounting Height, or M3-1236" Mounting Height, or M3-1242" Mounting Height, or M3-1248" 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Height, or M3-2076" Mounting Height, or M3-2082" Mounting Height, or M3-2088" Mounting Height, or M3-2094" Mounting Height, or M3-2100" Mounting Height, or M3-2106" Mounting Height, or M3-2112" Mounting Height, or M3-2118" Mounting Height, or M3-2124" Mounting Height, or M3-2130" Mounting Height, or M3-2136" Mounting Height, or M3-2142" Mounting Height, or M3-2148" Mounting Height, or M3-2154" Mounting Height, or M3-2160" Mounting Height, or M3-2166" Mounting Height, or M3-2172" Mounting Height, or M3-2178" Mounting Height, or M3-2184" Mounting Height, or M3-2190" Mounting Height, or M3-2196" Mounting Height, or M3-2202" Mounting Height, or M3-2208" Mounting Height, or M3-2214" Mounting Height, or M3-2220" Mounting Height, or M3-2226" Mounting Height, or M3-2232" Mounting Height, or M3-2238" Mounting Height, or M3-2244" Mounting Height, or M3-2250" Mounting Height, or M3-2256" Mounting Height, or M3-2262" Mounting Height, or M3-2268" Mounting Height, or M3-2274" Mounting Height, or 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Mounting Height, or M3-3108" Mounting Height, or M3-3114" Mounting Height, or M3-3120" Mounting Height, or M3-3126" Mounting Height, or M3-3132" Mounting Height, or M3-3138" Mounting Height, or M3-3144" Mounting Height, or M3-3150" Mounting Height, or M3-3156" Mounting Height, or M3-3162" Mounting Height, or M3-3168" Mounting Height, or M3-3174" Mounting Height, or M3-3180" Mounting Height, or M3-3186" Mounting Height, or M3-3192" Mounting Height, or M3-3198" Mounting Height, or M3-3204" Mounting Height, or M3-3210" Mounting Height, or M3-3216" Mounting Height, or M3-3222" Mounting Height, or M3-3228" Mounting Height, or M3-3234" Mounting Height, or M3-3240" Mounting Height, or M3-3246" Mounting Height, or M3-3252" Mounting Height, or M3-3258" Mounting Height, or M3-3264" Mounting Height, or M3-3270" Mounting Height, or M3-3276" Mounting Height, or M3-3282" Mounting Height, or M3-3288" Mounting Height, or M3-3294" Mounting Height, or M3-3300" Mounting Height, or M3-3306" Mounting Height, or M3-3312" Mounting Height, or M3-3318" Mounting Height, or M3-3324" Mounting Height, or M3-3330" Mounting Height, or M3-3336" Mounting Height, or M3-3342" Mounting Height, or M3-3348" Mounting Height, or M3-3354" Mounting Height, or M3-3360" Mounting Height, or M3-3366" Mounting Height, or M3-3372" Mounting Height, or M3-3

