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Architectural Review Board Staff Report

Project Type: Amended Architectural Elevations

Meeting Date: November 8, 2012

From: Kevin Neill, AICP
Project Planner

Cc: Aimee Nassif, Planning & Development Services Director

Location: South side of Swingley Ridge Road, west of Clarkson Road

Applicant: Dille & Traxel, LLC on behalf of Sterling Bank

Description: **16100 Swingley Ridge Road (Sterling Bank)**: Amended Site Development Plan, Landscape Plan, Architectural Elevations and an Architect's Statement of Design for a 1.915 tract of land zoned "C8" Planned Commercial District located on the south side of Swingley Ridge Road, west of Clarkson Road.

PROPOSAL SUMMARY

Dille & Traxel, LLC, on behalf of Sterling Bank, has submitted a request for Amended Architectural Elevations for 16100 Swingley Ridge Road. The request is for approval of amendments to the former 20,813 square foot office building.

The proposed exterior renovations include composite aluminum panels at top parapet around the perimeter; staining the brick to a darker burgundy color; painting the window framing black; a metal roof feature over the north courtyard to match the proposed parapet color; drive-thru canopy; landscaped sculpture park; and a tiered fountain.

HISTORY OF SUBJECT SITE

The subject site was developed in 1987 in accordance with "C8" Planned Commercial District development standards and regulations set forth in St. Louis County Ordinance 12,792. The site has functioned as a multi-tenant office building since its construction in 1987.



STAFF ANALYSIS

General Requirements for Site Design:

A. Site Relationships

The 25 year old office building is situated in the center of the site, with an existing parking lot to the north, a proposed drive-thru facility on the western portion of the site, and a proposed sculpture park on the east portion of the site. The entire 1.915 acre site is surrounded by a Hampton Inn to the northwest, EDSI Consulting Engineering Inc. office building to the north, and the Chesterfield US Post Office to the northeast, all of which are on the north side of Swingley Ridge Road. Located to the southeast of the subject site, east of Clarkson Road, is the 16090 Swingley Ridge Road office building. To the southwest of the subject site, south of Interstate 64, is the Drury Plaza Hotel.

B. Circulation System and Access

Vehicular access to the site will remain at the single access point off Swingley Ridge Road. Vehicles will access the proposed drive-thru facility from the western edge of the existing parking lot and will exit the proposed drive-thru facility at the same location. A new sidewalk will be constructed to connect the office building to the proposed sculpture park.

C. Topography

The site topography is currently characterized by gentle sloping contours and a variety of landscape elements. The proposed drive-thru facility will be constructed close to the current grade with little cut or fill necessary. The existing berm located east of the parking lot will be removed, with landscaping and deciduous shade trees installed along the proposed walkway.

D. Retaining Walls

The petitioner is proposing a single low-height landscaping/seating wall along the proposed walkway leading from the building to the sculpture park.

General Requirements for Building Design:

A. Scale

The proposed changes to the building will have little impact on the scale of the building. The proposed composite aluminum parapet panels will add approximately 3' to the overall building height, which will block some views of the low slope roof and will help to define the top of the building through the use of the contrasting metal material.

B. Design

The building design is characterized by its unique curved glass form on the south elevation and its brick façades on the north, east and west elevations. The recessed first floor on the north elevation allows for parking under the second floor. The proposed modifications to the building will maintain the building's form as described above while enhancing the building design through the use of aluminum panels along the parapet and the addition of a roof feature along the north elevation to help define the entry courtyard and the main building entrance.

The proposed drive-thru facility will consist of four concrete columns supporting a drive-thru canopy.

C. Materials and Color

Material changes to the existing building consist of the composite aluminum parapet previously described and the roof structure over the north courtyard. Changes to the color include the application of a dark burgundy stain to the existing brick, painting of the window frames black, the addition of the composite aluminum parapet along the top of the building, and painting of the rooftop preformed metal screening to match the proposed composite aluminum parapet feature. In addition, the structure over the north courtyard will be painted black to match the window frames, while the structure's silver standing seam metal roof will match the color of the composite aluminum panels.

The proposed drive-thru facility will complement the office building's materials and color through the use of concrete columns that will match the color of the concrete banding of the building, as well as pre-finished aluminum metal panels that mimic the proposed aluminum parapet.

D. Landscape Design and Screening

Modifications to the existing landscape are intended to complement the building improvements and improve views of the building and sculpture and fountain areas. A number of trees along Swingley Ridge Road and on the western portion of the site will be preserved, while some trees located on the property and within the MoDOT right-of-way to the south of the site that exhibit poor quality and block open views of the building will be removed. In addition, screening of the existing dumpster location will be provided by the use of White Pines and White Spruce trees.

The building perimeter will be enhanced by the use of landscape beds consisting of hardy shrubs and native perennials and grasses. The massing of these plantings into landscape beds will provide for

greater visual impact and ease of maintenance. The placement of Callery Chanticleer Pear trees at both ends of the south elevation of the building will add seasonal color and interest.

Proposed landscaping for the parking area consists of deciduous shade trees, deciduous and evergreen shrubs, perennial flowers and ground covering located in the parking islands and along the vehicular entrance.

The drive-thru facility will be complemented by deciduous shade trees along its perimeter, while ornamental Sweet Bay Magnolias, shrubs, perennial flowers, and ornamental grasses will fill the drive-thru island.

The sculpture park area, a key existing site feature, will be enhanced by a fountain spray plaza partially surrounded by deciduous shrubs and seasonal flowers. The walkway from the building to the sculpture park area will be lined by a seating wall constructed of masonry to match the building.

The only screening for the site consists of White Pines and White Spruce to screen the existing trash enclosure from Swingley Ridge Road.

E. Signage

Signage is not part of the proposal before Architectural Review Board and will be reviewed by Staff.

F. Lighting

Existing parking and building mounted lighting is proposed to be utilized as part of the amended elevations. New CLR-Recessed Canopy Lights are proposed to be installed under the proposed drive-thru canopy for safety and security. Finally, outdoor wall lamps mounted to the seating wall are proposed along the walkway from the building to the sculpture area.

DEPARTMENTAL INPUT

Staff has reviewed the Amended Site Development Plan, Landscape Plan, Architectural Elevations and Architect's Statement of Design. An initial comment letter has been sent to the applicant regarding Staff issues.

Staff requests action on the Amended Site Development Plan, Landscape Plan, Architectural Elevations and Architect's Statement of Design for 16100 Swingley Ridge Road (Sterling Bank).

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Plan, Landscape Plan, Architectural Elevations and Architect's Statement of Design for 16100 Swingley Ridge Road (Sterling Bank), as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Amended Site Development Plan, Landscape Plan, Architectural Elevations and Architect's Statement of Design for 16100 Swingley Ridge Road (Sterling Bank), to the Planning Commission with the following recommendations..."

Architectural Review Board
November 8, 2012

16100 Swingley Ridge Road (Sterling Bank)
Amended Site Development Plan

Attachments

1. Architectural Review Packet Submittal



ARCHITECTURAL REVIEW BOARD
Project Statistics and Checklist

Date of First Comment Letter Received from the City of Chesterfield _____

Project Title: Sterling Bank **Location:** 16100 Swingley Ridge Road

Developer: _____ **Architect:** Dille & Traxel, llc **Engineer:** Civil Design One

PROJECT STATISTICS:

Size of site (in acres): 1.915 acres **Total Square Footage:** 20,813 bldg **Building Height:** approx 30'

Proposed Usage: Financial Institution

Exterior Building Materials: Masonry, glass fiber reinforced concrete bands, aluminum window and spandrel panels

Roof Material & Design: Low slope single ply membrane roof behind parapets

Screening Material & Design: Existing preformed metal panel screening around roof top units (detail provided)

Description of art or architecturally significant features (if any): Existing building with new composite aluminum panels at parapet, roof element over courtyard, various landscape features and fountains per drawings.

ADDITIONAL PROJECT INFORMATION:

Staining existing brick around perimeter of building to a darker burgundy color (sample provided)

Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- Details of screening, retaining walls, etc.
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
- Landscape Plan.
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be brought to the ARB meeting)
- Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.

Sterling Bank, Chesterfield

SHEET INDEX:

ARCHITECT STATEMENT OF DESIGN
SITE LIGHTING CUT SHEET

C-ASDP-1	CIVIL SITE PLAN
L1	LANDSCAPE PLAN
L2	COLORED SITE/LANDSCAPE PLAN
A-1	EXTERIOR BUILDING RENDERING
A-2	EXTERIOR BUILDING ELEVATIONS
A-3	DRIVE THRU CANOPY
A-4	DUMPSTER ENCLOSURE
A-5	PHOTOS OF ADJACENT PROPERTIES

Sterling Bank, Chesterfield

ARCHITECT'S STATEMENT OF DESIGN

The proposed renovation/design of this existing development into a financial facility is one that enhances the original design qualities of the site and building in its surroundings. The building sits comfortably with prominent views from all directions with its unique curved glass wall façade facing South and main entrance on the North side. The site includes a new drive thru canopy, a variety of landscape plantings, paved courtyard, walks, fountain features within nicely landscaped sculpture park on East side. The site design, layout, materials and colors all compliment the building and surrounding developments.

Centered on the South glass wall is an existing vertical masonry element that helps break the horizontal glass walls and concrete banding. There is a tiered fountain proposed and centered at the base of this feature on South side. Brick masonry veneer cover the N, E & West elevations. The exterior building will include new composite aluminum panels at top parapet around the perimeter, existing brick to be stained a darker burgundy color, window framing painted black and roof feature over North courtyard with metal roof to match the parapet color. See drawings attached for additional details.

The proposed project includes the addition of a drive-thru facility and landscaped sculpture park associated with the existing two-story office building which has a footprint of 18,791 square feet at 16100 Swingley Ridge Road. The subject site is 1.915 acres in size, and governed under the terms and conditions of City of Chesterfield Ordinance Number 12792

The interior of the building will be renovated with no additional square footage proposed.

General requirements for Site Design

Site Relationships:

The subject site is currently occupied by an existing two-story, 18,791 square feet footprint office building. The proposed drive-thru facility will be on the western portion of the site, and connect to the existing parking lot on the northern side of the site. The proposed landscaped sculpture park will be on the eastern portion of the site and have pedestrian access via a new sidewalk from the building. The site is 1.915 acres surrounded to the Northwest by a Hampton Inn, to the North by the EDSI Consulting Engineering Inc. office building, to the Northeast by the US Post Office, all across Swingley Ridge Road. Across Olive Blvd. to the Southeast is the 16090 Swingley, and across the intersection of Olive Blvd. and I-64 there is an undeveloped parcel. To the southwest, across I-64 there is a Drury Plaza Hotel.

Circulation System and Access:

There are no proposed changes to vehicular access to the subject site. Vehicles would access the site from the existing entrance off of Swingley Ridge Road, access the drive-thru facility via the existing parking lot, and exit the site at the same location. No additional vehicular access is being requested. Pedestrian access to the proposed private landscaped park will be via a new sidewalk from the building.

Topography:

In general the topography of the site has relatively gentle sloping contours with a variety of landscape elements. The proposed drive-thru facility will be constructed at or close to the existing grade with very little cut or fill necessary. The existing berm to the east of the parking lot will be removed and a private landscaped, sculpture park with fountain will be installed.

Retaining Walls:

Low height landscape/seating walls are created along the walkway to the East sculpture park. See attached drawings.

General requirements for Building Design**Scale:**

The prominent location, open space and dramatic views from all directions allows for this existing 2 story building to have a nice setting and proportion in relation to adjacent properties and buildings in the area. The proposed new composite aluminum parapet design adds approximately 3' to the overall height at perimeter which blocks some views of the low slope roof and helps to clearly define the top of the building with a contrasting material.

Design:

This building is unique in form with a curved glass front facing the South and masonry veneer façade facing North, East and West. The proposed exterior renovation keeps this unique form as is but does enhance the top parapet with the aluminum panels as currently the top parapet is undefined. There is some parking below the upper floor plan on North. The North side roof feature helps define the entry courtyard and main entrance to building.

Material and Colors:

The existing building materials will not change other than the top parapet as described above. The existing brick will be stained a dark burgundy, the window frames will be painted black, the existing rooftop preformed metal screening will be painted to match the composite aluminum parapet panels. The structure over the North courtyard will be painted black with a silver standing seam metal roof to match the color of the composite aluminum panels. The landscape materials and color palate will all compliment the proposed building design as shown in attached drawings.

Landscape Design and screening:**DEVELOPMENT LANDSCAPING**

The landscape development for the overall site is to enhance the existing site with new plantings around the building, parking and private sculpture park area. Some of the existing trees within the property and MODOT right of way will be removed which exhibit poor quality and block potential open views of the new building improvements. Significant views of the building and sculpture fountain area are opened up and improved by this proposed landscape scheme, while still preserving some of the existing trees along Swingley Ridge Road and the west side of the site. Screening is provided by use of White Pines and White Spruce trees around the existing dumpster location.

BUILDING LANDSCAPING

Building landscape is enhanced with a mix of hardy shrubs and native perennials and grasses which will be dwarf in size and massed into landscape beds for greater visual impact and ease of maintenance. The sculpture park is an important focal feature of the site and the landscape development will naturally reflect the modern and clean contemporary design of the existing artwork and building. Callery Chanticleer Pear trees frame both ends of the front of the building which will offer seasonal color and interest.

PARKING/DRIVES AREA LANDSCAPING

Landscaping for the parking area and drives is primarily focused around the proposed ATM drive through and within the parking lot islands. Scarlet Sentinel Maple is proposed around the outside of the drive through lanes and Hybrid Autumn Blaze Maple is proposed within the parking islands. In addition, ornamental trees are proposed within the drive through island which will be Sweet Bay Magnolia complimented with shrubs, perennials and ornamental grasses around the ATM structure. These trees and plantings will offer seasonal color and interest for this significant addition to the site.

WALLS AND FENCING

The Private Sculpture Park features a plaza seating area and walkway to a fountain spray plaza area for the existing sculpture. As part of the development of this key existing feature, a proposed seat wall is planned along the walk connection to the sculpture/fountain area. This wall will be constructed of masonry to match the building. The walkway will be lit with recessed lighting within the wall and have a decorative precast concrete cap stone. No fencing is proposed for the site.

SCREENING

Screening for the site will be only done for the existing dumpster location with the addition of White Pines and White Spruce as shown on the plans. The intent of most of the site is to open views and visibility of the building and new site development features and amenities.

Signage:

Not applicable at this time

Lighting:

The only new building lighting are can lights under the new proposed drive thru canopy (see attached drawings and cut sheet)



1901 | tekno | josep lluscà

acabados | finishes | erläuterungen | finitions

03 ■ gris metalizado | gray metallic | grau matt | gris métallisé



08 □ níquel satinado | satin nickel | nickel | nickel satiné — 



complementos | complements | zubehör | compléments




31 □ cristal mate blanco | matt white | glas weiss | verre blanc

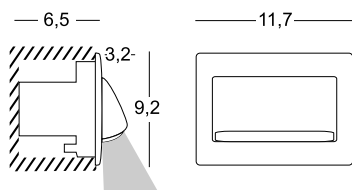
bombillas | bulbs | leuchtmittel | ampoules

54 max. 1 x 4 w. LED 220/240 v. 

66 max. 1 x 25 w. G9 230 v.  

79 max. 1 x 20 w. G4 12 v.  

	120
	128
	126





LOCATION SKETCH (N.T.S.)

ZONING: C-8

SITE AREA:

PARCEL 1 = 56,317.54 = 1.29 AC.
 PARCEL 2 = 11,786.55 = 0.27 AC.
 PARCEL 3 = 4,922.27 = 0.11 AC.
 PARCEL 4 = 10,346.50 = 0.24 AC.
 TOTAL = 83,422.86 = 1.91 AC.

EXISTING CONDITIONS:

BUILDING: 0.43 AC. x 4.20 C.F.S./AC = 1.81 C.F.S.
 PAVEMENT: 0.52 AC. x 3.54 C.F.S./AC = 1.86 C.F.S.
 GRASS: 0.96 AC. x 1.70 C.F.S./AC = 1.62 C.F.S.
 TOTAL RUNOFF = 5.29 C.F.S.

PROPOSED CONDITIONS:

BUILDINGS: 0.43 AC. x 4.20 C.F.S./AC + 0.01 AC. x 3.54 C.F.S./AC. = 1.84 C.F.S.
 PAVEMENT: 0.70 AC. x 3.54 C.F.S./AC = 2.48 C.F.S.
 GRASS: 0.78 AC. x 1.70 C.F.S./AC. = 1.33 C.F.S.
 TOTAL RUNOFF = 5.65 C.F.S.

TOTAL INCREASE = 5.65 C.F.S. - 5.29 C.F.S. = 0.36 C.F.S.

DISTURBED AREA = 0.49 AC.

DIFFERENTIAL RUNOFF CALCULATIONS

----- (Name of Owner(s)) ----- the owner (s) of the property shown on this plan for and in consideration of being granted a permit to develop property under the provisions of Chapter 100.3, ----- (applicable subsection) ----- (present zoning) ----- Ordinance #524, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the Planning Commission, or voided or vacated by order of ordinance of the City of Chesterfield Council.

(Signature)-----
 (Name Typed)-----

State of -----) SS.
 County of -----)

On this ----- day of ----- A.D. 20----- before me personally appeared ----- (Officer of corporation) ----- to me known,

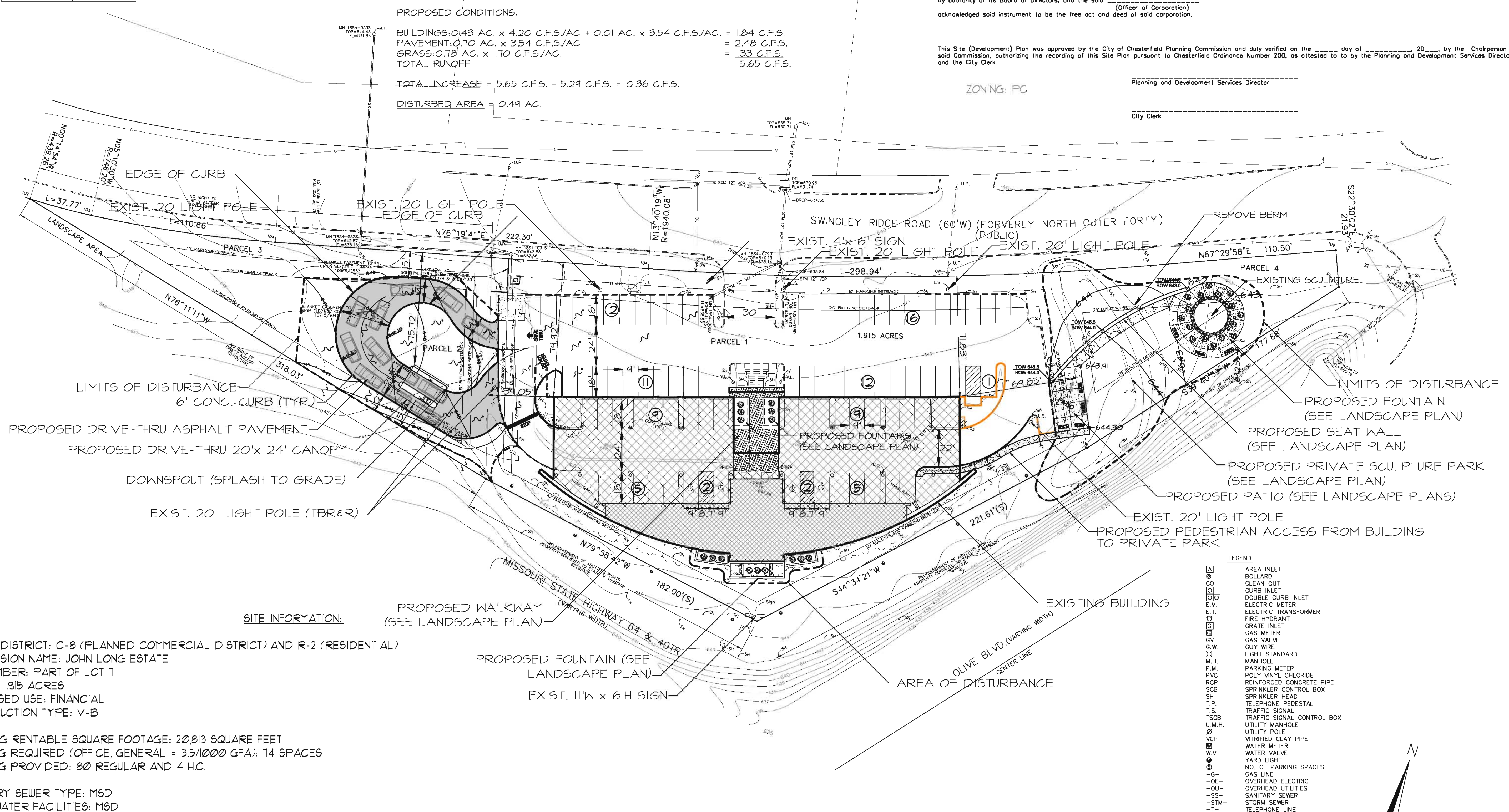
who, being sworn in, did say that he/she is the ----- (Title) ----- of the ----- (Name of Corporation) ----- a corporation in the State of ----- and that the seal affixed to the foregoing instruments is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said ----- (Officer of Corporation) ----- acknowledged said instrument to be the free act and deed of said corporation.

This Site (Development) Plan was approved by the City of Chesterfield Planning Commission and duly verified on the ----- day of ----- 20----- by the Chairperson of said Commission, authorizing the recording of this Site Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Planning and Development Services Director and the City Clerk.

ZONING: FC

Planning and Development Services Director

City Clerk



SITE INFORMATION:

ZONING DISTRICT: C-8 (PLANNED COMMERCIAL DISTRICT) AND R-2 (RESIDENTIAL)
 SUBDIVISION NAME: JOHN LONG ESTATE
 LOT NUMBER: PART OF LOT 1
 AREA = 1.915 ACRES
 PROPOSED USE: FINANCIAL
 CONSTRUCTION TYPE: V-B

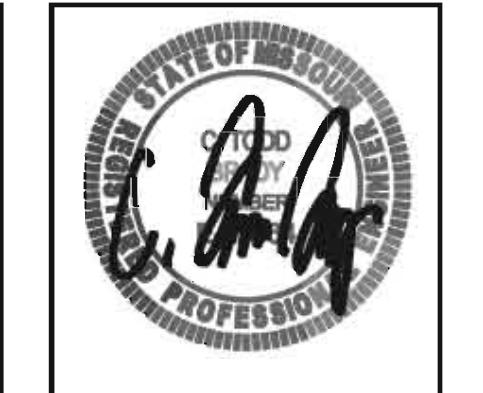
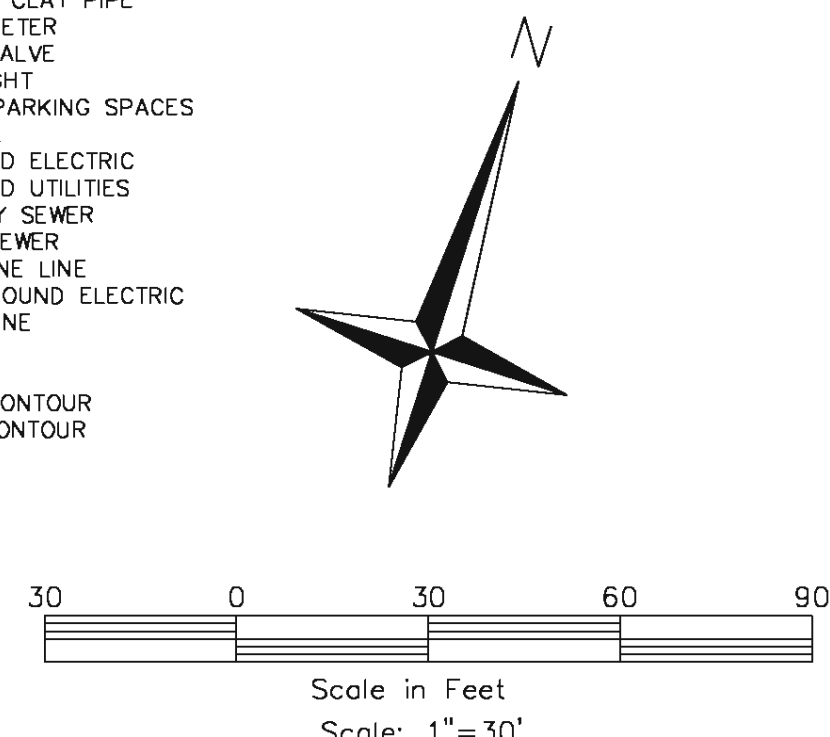
BUILDING RENTABLE SQUARE FOOTAGE: 20,813 SQUARE FEET
 PARKING REQUIRED (OFFICE, GENERAL = 3.5/1000 GFA): 14 SPACES
 PARKING PROVIDED: 80 REGULAR AND 4 H.C.

SANITARY SEWER TYPE: M&D
 STORMWATER FACILITIES: M&D

TOTAL SITE AREA: 83,423 SF.
 BUILDING FOOTPRINT AREA: 18,191 SF. (EXIST.) + 482 SF. (PROPOSED DRIVE-THRU CANOPY) = 18,673 SF.
 VEHICULAR PAVEMENT: 22,893 SF. (EXIST.) + 4438 SF. (PROPOSED DRIVE THRU) = 27,331 SF.
 OPEN SPACE: 36,813 SF.
 OPEN SPACE PERCENTAGE: 44% OPEN

FLOOR AREA RATIO: 0.25

- LEGEND**
- ⊕ AREA INLET
 - ⊙ BOLLARD
 - ⊖ CLEAN OUT
 - ⊕ CURB INLET
 - ⊕⊖ DOUBLE CURB INLET
 - ⊕ E.M.
 - ⊕ E.T.
 - ⊕ FIRE HYDRANT
 - ⊕ GRATE INLET
 - ⊕ GAS METER
 - ⊕ G.V.
 - ⊕ G.W.
 - ⊕ GUY WIRE
 - ⊕ LIGHT STANDARD
 - ⊕ M.H.
 - ⊕ P.M.
 - ⊕ PARKING METER
 - ⊕ P.V.C.
 - ⊕ R.C.P.
 - ⊕ S.C.B.
 - ⊕ S.H.
 - ⊕ T.P.
 - ⊕ T.S.
 - ⊕ T.S.C.B.
 - ⊕ U.M.H.
 - ⊕ UTILITY MANHOLE
 - ⊕ UTILITY POLE
 - ⊕ V.C.P.
 - ⊕ VITRIFIED CLAY PIPE
 - ⊕ W.P.
 - ⊕ W.M.
 - ⊕ W.V.
 - ⊕ YARD LIGHT
 - ⊕ NO. OF PARKING SPACES
 - ⊕ GAS LINE
 - ⊕ OVERHEAD ELECTRIC
 - ⊕ OVERHEAD UTILITIES
 - ⊕ SANITARY SEWER
 - ⊕ STORM SEWER
 - ⊕ TELEPHONE LINE
 - ⊕ UNDERGROUND ELECTRIC
 - ⊕ WATER LINE
 - ⊕ FENCE
 - ⊕ ADDRESS
 - ⊕ MAJOR CONTOUR
 - ⊕ MINOR CONTOUR



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C. TODD BRADY
 LICENSE NO. E-23564

ARCHITECTURAL CORPORATION
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DATE: 04-25-12
 SHEET TITLE: AMENDED SITE DEVELOPMENT PLAN
 JOB NO: 12-024
 SHEET: C-ASDP-1

ABBREVIATIONS

- CL - Centerline
- C.O - Cleanout
- D.S - Downspout
- E.P - Edge Of Pavement
- F.F - Finished Floor
- F.G - Finished Grade
- FL - FLOWLINE
- G.L - Gutterline
- L.S - Light Standard
- (T.B.R.) - To Be Removed
- T.O.C - Top Of Curb
- T.P - Top Of Pavement
- T.O.W - Top Of Wall
- C.M - Concrete Monument
- T.W - Top Of Walk
- PL - Property Line
- A.L - Area Inlet
- R.W - Right Of Way
- G.I - Grate Inlet
- M.H - Manhole
- O.I.P - Old Iron Pipe
- R - Radius
- P.B - Plat Book
- D.B - Deed Book
- T.B.K - Top Of Bank
- T.S - Toe Of Slope
- C.M.P - Corrugated Metal Pipe
- P.V.C - Polyvinyl Chloride Pipe
- V.C.P - Vitrified Clay Pipe
- C.P - Non-Reinforced Concrete Pipe
- R.C.P - Reinforced Concrete Pipe
- D.I.P - Ductile Iron Pipe
- F.F - Face To Face
- B.B - Back To Back
- (U.I.P.) - Use In Place
- B.W - Bottom Of Wall
- T.I - Top Of Island
- T.G - Top Of Grade
- (Typ.) - Typical
- Conc. - Concrete
- RE - Refer
- DB - Detail

PROPOSED LANDSCAPE LEGEND

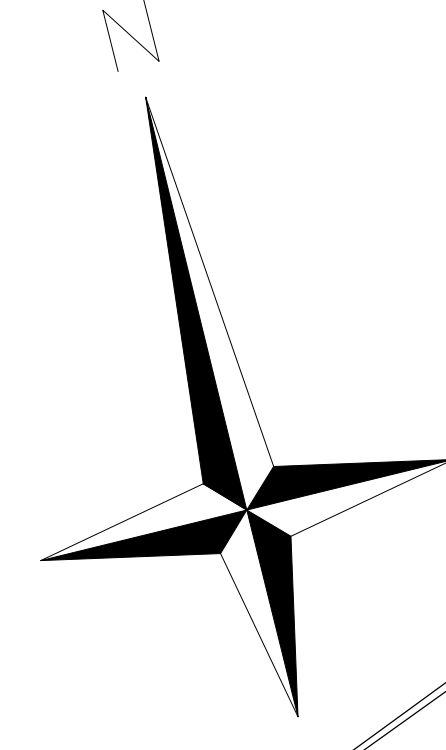
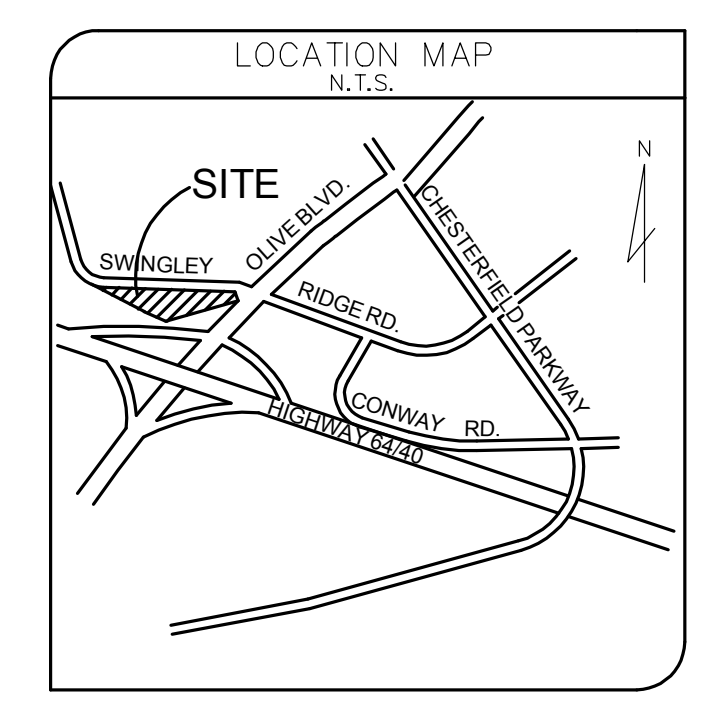
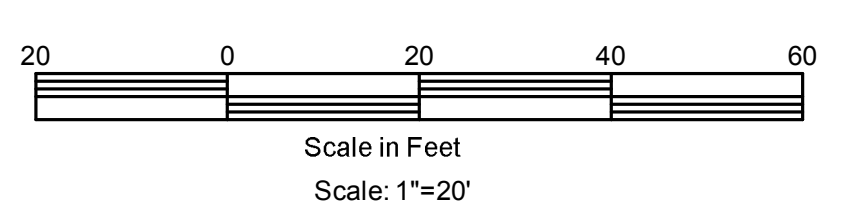
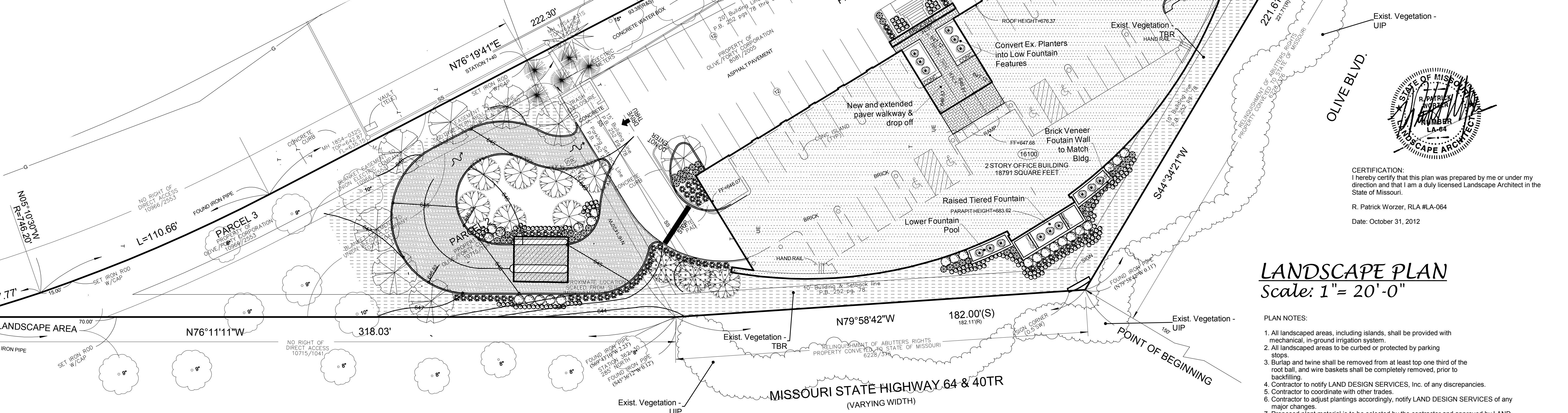
- (9) 2.5' CAL. PROPOSED DECIDUOUS SHADE TREE
- (2) 3' CAL. PROPOSED DECIDUOUS ORNAMENTAL TREE
- (5) 6-8 FT. PROPOSED EVERGREEN TREE
- (8) 18-24" PROPOSED DECIDUOUS SHRUB
- (1) 18-24" PROPOSED EVERGREEN SHRUB
- (1) 1 GAL. PROPOSED PERENNIAL FLOWER
- (2) 3 GAL. PROPOSED ORNAMENTAL GRASS
- (4) 45' 1 QT. PROPOSED GROUND COVER
- (1) 1625' 2" C.P. PROPOSED SEASONAL FLOWERS
- (1) 1,950 S.Y. SOD

EXISTING LANDSCAPE LEGEND

- EXIST. DECIDUOUS TREE - TO REMAIN
- EXIST. EVERGREEN TREE - TO REMAIN
- EXIST. VEGETATION - TO REMAIN
- EXIST. VEGETATION - TO BE REMOVED

LANDSCAPE TREE LIST

Quantity	Scientific Name	Common Name	Mature Height Feet	Growth Rate and Size Class
(9) DECIDUOUS SHADE TREES - 2.5" caliper				
(2)	<i>Acer x freemanii 'Jeffersred'</i> Maple	Hybrid Autumn Blaze	45+	Med/Fast (Large)
(7)	<i>Acer x freemanii 'Scarsen'</i> Maple	Scarlet Sentinel	45+	Fast (Large)
(2) DECIDUOUS ORNAMENTAL TREES - 3" caliper				
(2)	<i>Carpinus betulus</i>	European Hornbeam	35-40	Slow/Med (Medium)
(6)	<i>Carpinus caroliniana</i>	American Hornbeam	20-35	Med (Small)
(7)	<i>Magnolia virginiana</i>	Sweetbay Magnolia	15-25	Med (Small)
(6)	<i>Pyrus calleryana 'Chantidee'</i>	Callery Chantidee Pear	15-25	Med (Small)
(5) EVERGREEN TREES - 6-8 ft.				
(3)	<i>Pinus strobes</i>	Eastern White Pine	45+	Fast (Large)
(2)	<i>Picea glauca</i>	White Spruce	30-40	Med (Medium)



LANDSCAPE PLAN
Scale: 1" = 20'-0"

- PLAN NOTES:**
- All landscaped areas, including islands, shall be provided with mechanical, in-ground irrigation system.
 - All landscaped areas to be curbed or protected by parking stops.
 - Burlap and twine shall be removed from at least top one third of the root ball, and wire baskets shall be completely removed, prior to backfilling.
 - Contractor to notify LAND DESIGN SERVICES, Inc. of any discrepancies.
 - Contractor to coordinate with other trades.
 - Contractor to adjust plantings accordingly, notify LAND DESIGN SERVICES of any major changes.
 - Proposed plant material is to be selected by the contractor and approved by LAND DESIGN SERVICES or Owner prior to installation.
 - Tree locations and planting beds to be located by the contractor and approved by LAND DESIGN SERVICES or Owner prior to installation.
 - All planting beds to receive a 3 inch layer of shredded bark mulch in a continuous bed. Apply a granular pre-emergent weed control barrier prior to mulching.
 - Quantity of sod and seed shown is for bidding purposes only. Submit unit cost for any additional cost or credit.
 - Contractor is responsible for installing all plant material shown on plan.
 - All landscape work shall conform to City of Chesterfield standards and requirements.
 - Refer to Sht. TDP-1 for Tree Delineation Plan.
 - Refer to Sht. TDP-1 for Tree Preservation Plan and Tree Canopy removal calculations.
 - Existing conditions based on a survey prepared by Volz Engineering, September 2012.
 - Proposed conditions based on an Amended Site Development Plan prepared by Civil Design One, September 2012.

TREE CANOPY REPLACEMENT CALCULATION
Tree Canopy Area to be replaced - 1,107 s.f.
Proposed Tree Canopy Area Replacement -
(9) Large Deciduous Shade Trees x 400 s.f. = 3600
(10) Medium Deciduous Ornamental Trees x 300 = 3000
(11) Small Deciduous Ornamental Trees x 200 = 2200
TOTAL TREE CANOPY REPLACEMENT = 8,800 S.F.



CERTIFICATION:
I hereby certify that this plan was prepared by me or under my direction and that I am a duly licensed Landscape Architect in the State of Missouri.
R. Patrick Worzer, RLA #LA-064
Date: October 31, 2012

ARB
SUBMITTAL
10/31/2012

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environmental design
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PREPARED FOR:
DILLE & TRAVEL, llc
4061 Hwy pp Suite 2
Poplar Bluff, Mo 63901

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File: C:\012proj\012-04\CL-1-10-23-12

Sheet No.
L-1

Ckd. By: Dwn. By:
RPW BLB/RPW
Org Date: Project No:
10/31/12 012-04

A second original of this document is on file at the office of LAND DESIGN SERVICES, Inc. Any unauthorized alterations or changes made without the expressed consent from LAND DESIGN SERVICES, Inc. shall deem us not responsible for any said alterations and changes.

ABBREVIATIONS

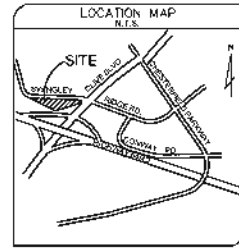
CL	Concrete
CO	Circle
DS	Down Spout
EP	Edge Of Pavement
FP	Finish Floor
FQ	Finished Grade
FL	Flowline
GL	Grade Line
LS	Light Standard
TR	To Be Removed
TO	Top Of curb
TOC	Top Of Curb
TOP	Top Of Pavement
TOV	Top Of Walk
CM	Concrete Monument
TWA	Top Of Walk
PL	Plastic Pipe
AL	Area Note
BSW	Back Sill Wall
QI	Circle Wall
MM	Manhole
OJP	Onion Pipe
H	Header
PS	Plan Room
DB	Drive Block
TAB	Top Of Base
TS	Top Of Slope
CMP	Concrete Manhole Pipe
PVC	Polyvinyl Chloride Pipe
VCP	Victory Concrete Pipe
CP	Cast In Place Concrete
RCP	Reinforced Concrete Pipe
SP	Subgrade
FF	Face of Face
BB	Back of Back
SW	Side of Wall
TS	Top of Slope
TR	To Be Removed
RE	Retain
DI	Detail

PROPOSED LANDSCAPE LEGEND

	2.5' CAL. PROPOSED DECIDUOUS SHADE TREE
	2.5' CAL. PROPOSED DECIDUOUS ORNAMENTAL TREE
	3.5' CAL. PROPOSED EVERGREEN TREE
	8.9' 18" 2" PROPOSED DECIDUOUS SHRUB
	1.75' 12" 2" PROPOSED EVERGREEN SHRUB
	1.45' 1 GAL. PROPOSED PERENNIAL FLOWER
	2.8' 1 GAL. PROPOSED ORNAMENTAL GRASS
	1.45' 1 QT. PROPOSED GROUND COVER
	0.675' 2" CP. PROPOSED SEASONAL FLOWERS
	TURF

EXISTING LANDSCAPE LEGEND

	EXIST. DECIDUOUS TREE - TO REMAIN
	EXIST. EVERGREEN TREE - TO REMAIN
	EXIST. SHRUB - TO REMAIN
	EXIST. VEGETATION - TO REMAIN
	EXIST. VEGETATION - TO BE REMOVED



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10/31/2012

gateway
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studio, inc
planning
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Creative Vision...Sustainable Resources...Eco-friendly

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File: C:\01\2012\01-04\CL1 10-25-12

Sheet No.
L-2

Clk. By: Dwm. By:
RPM BLS/RPW
Org/Date: Project No:
10/31/12 012 04



CERTIFICATION
I hereby certify that this plan was prepared by me or under my direction and that I am a duly licensed Landscape Architect in the State of Missouri.
R. Patrick Worzer, RLA #A-064
Date: October 31, 2012

**COLORED SITE/
LANDSCAPE PLAN**
Scale: 1" = 20'-0"

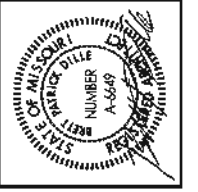


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N.T.S.

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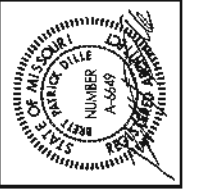


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DATE: 31 OCT, 2012
SHEET TITLE: RENDERING
JOB NO: 12-11
SHEET:

A-1

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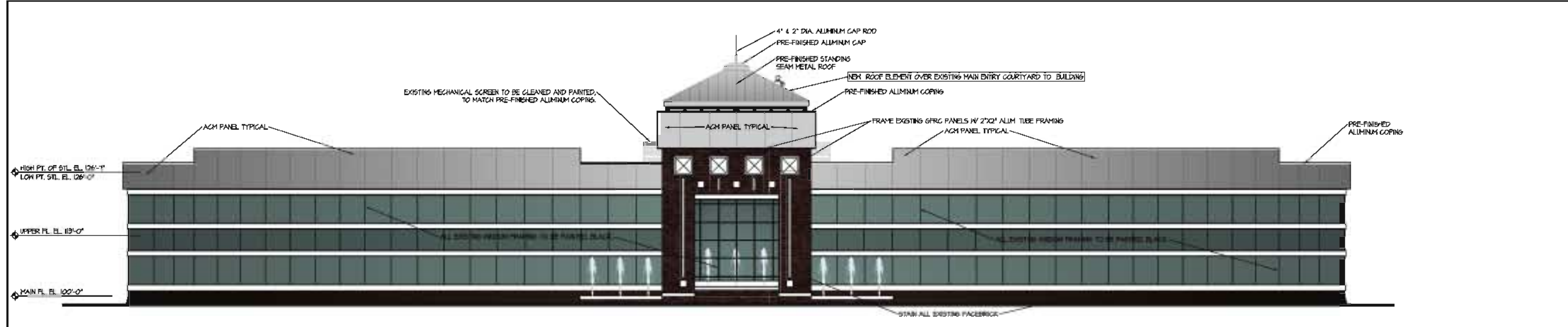
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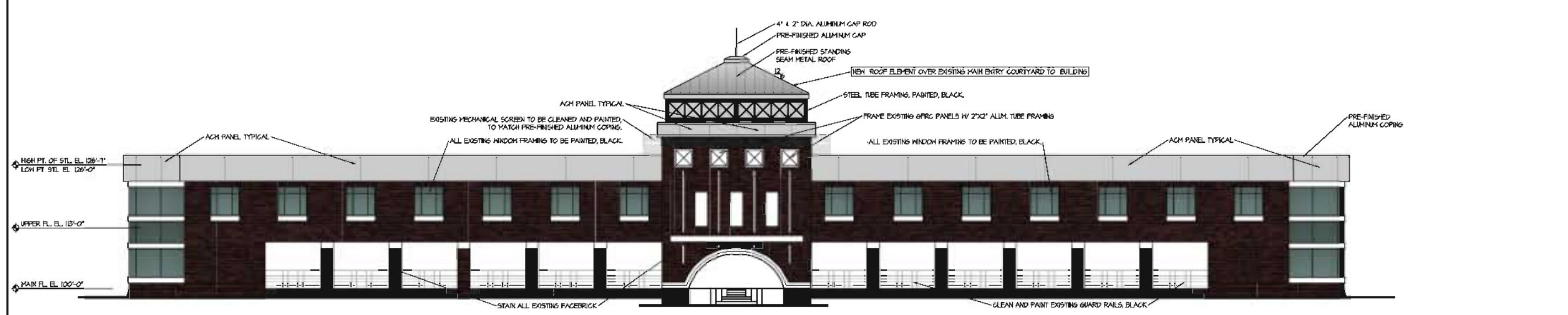
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DATE: 31 OCT, 2012
SHEET TITLE: ELEVATIONS
JOB NO: 12-11
SHEET

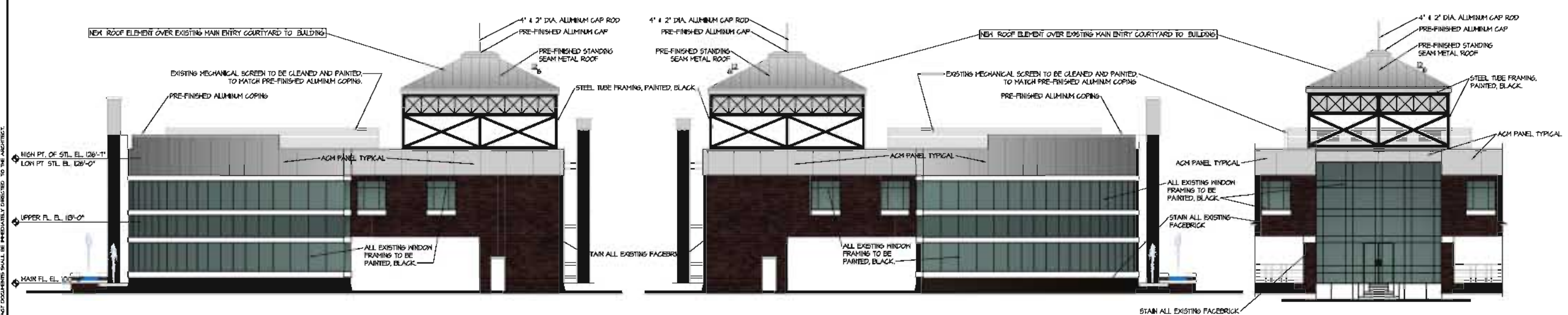
A-2



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



NORTH ELEVATION
SCALE: 3/32" = 1'-0"

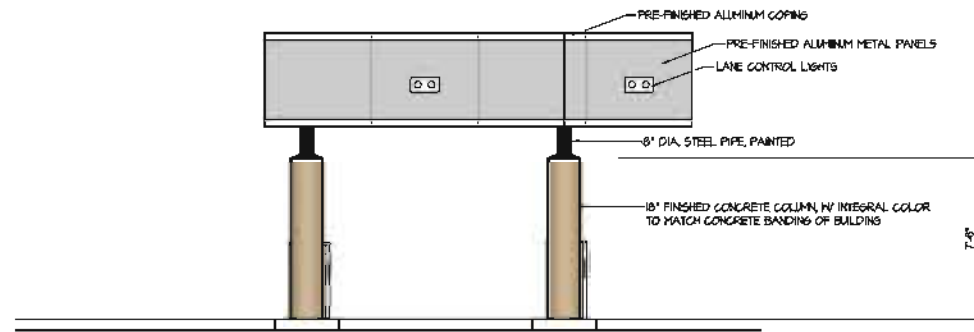


EAST ELEVATION
SCALE: 3/32" = 1'-0"

WEST ELEVATION
SCALE: 3/32" = 1'-0"

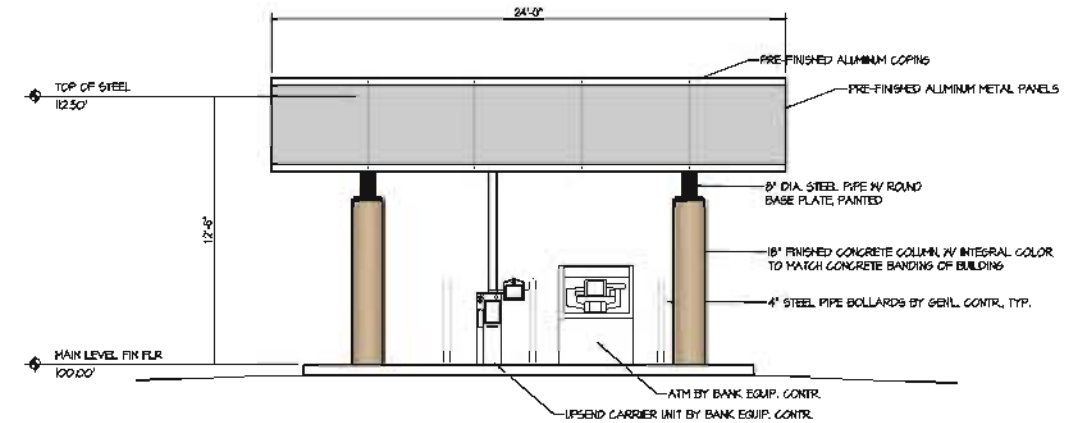
NORTH ELEVATION AT ENTRY
SCALE: 3/32" = 1'-0"

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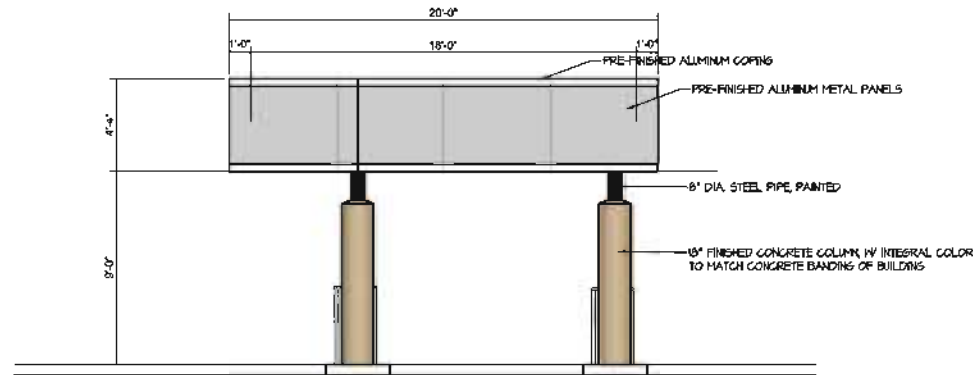
1 WEST ELEVATION

SCALE: 1/4" = 1'-0"



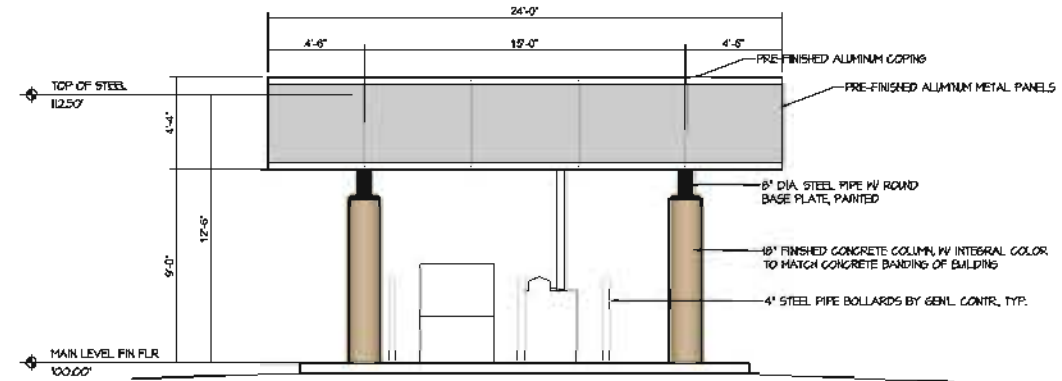
2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



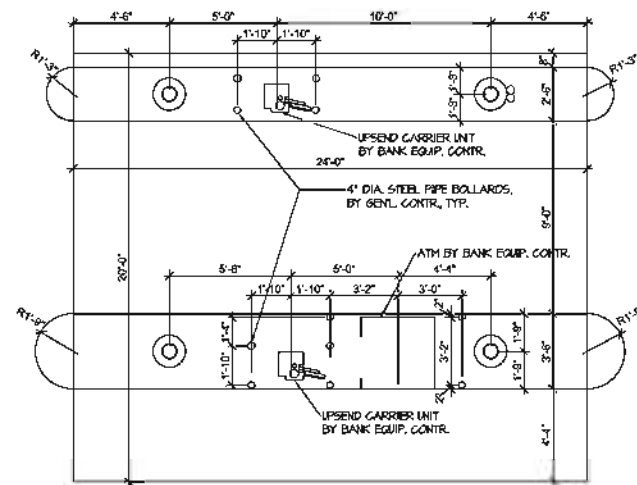
3 EAST ELEVATION

SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

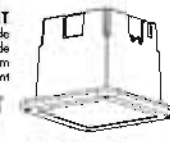


5 CANOPY PLAN

SCALE: 1/4" = 1'-0"

NITE-BRITES CLR-RECESSED CANOPY LIGHT

210 watt Pulse Start Ceramic Metal Halide
50-150 watt Metal Halide
35-150 watt High Pressure Sodium
24-42 watt Compact Fluorescent



CL-44050

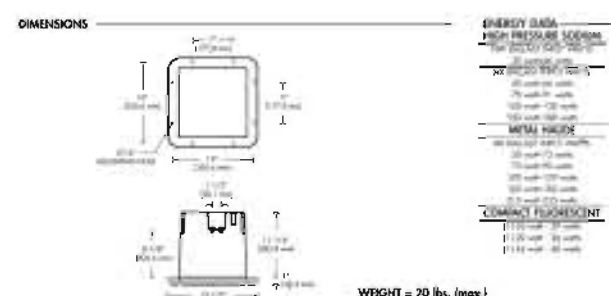
ORDERING MATRIX

ITEM	DESCRIPTION	QTY	UNIT
CL-44050	CLR-Recessed Canopy Light	1	EA

RECESSED CANOPY LIGHT

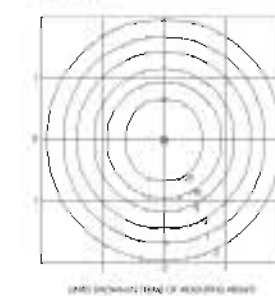
The recessed canopy light provides a wide light distribution with low glare and is ideal for use in building entries, walkways or garages.

ASSEMBLED IN THE USA



Philips Lighting is a Philips group brand **PHILIPS**

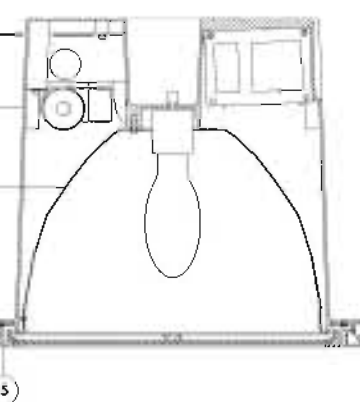
PHOTOMETRICS



CHARACTERISTICS	VALUE	UNIT
Beam Spread	30°	°
Beam Diameter	3.0	ft
Beam Area	7.07	sq ft
Beam Volume	21.21	cu ft
Beam Length	7.07	ft
Beam Weight	141.42	lb

PRODUCT FEATURES

1. This light fixture is made of high quality materials for long life.
2. The light fixture is designed for easy installation and removal.
3. The light fixture is designed for easy cleaning and maintenance.
4. The light fixture is designed for easy replacement of the light bulb.
5. The light fixture is designed for easy replacement of the light bulb.



CL-44050 **PHILIPS**

REVISIONS

NO.	DESCRIPTION

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PROFESSIONAL LICENSE NO. 2004000400

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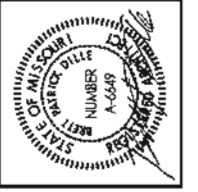
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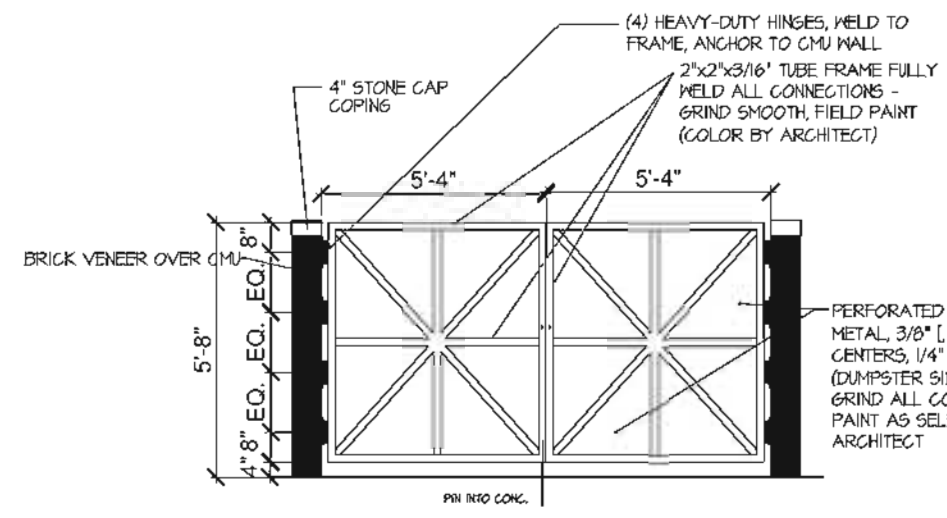
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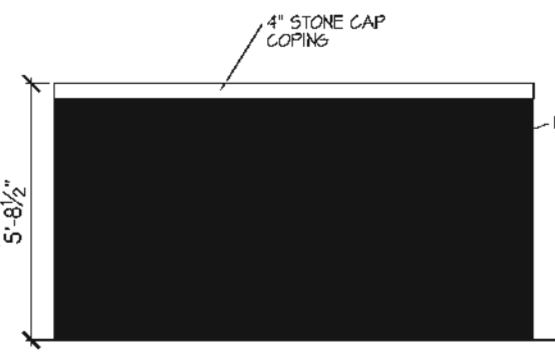
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DATE: 31 OCT. 2012
SHEET TITLE: SCREEN WALL
JOB NO: 12-11
SHEET:

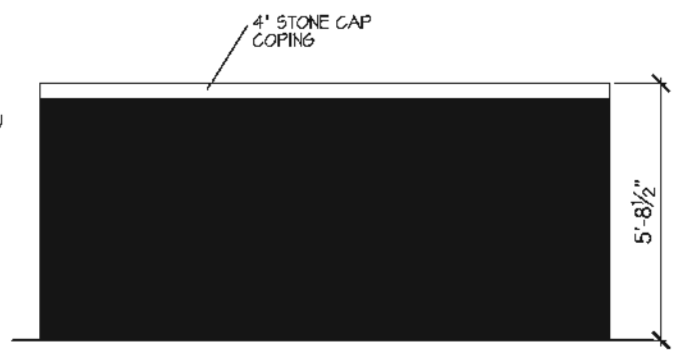
A-4



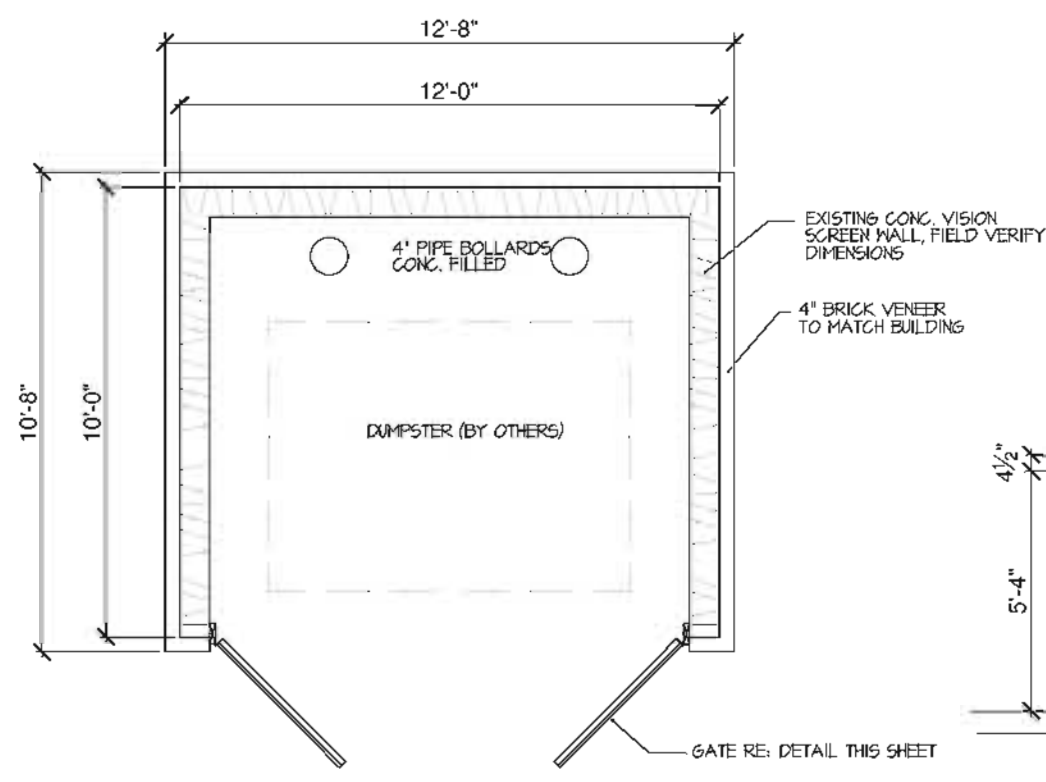
2 SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



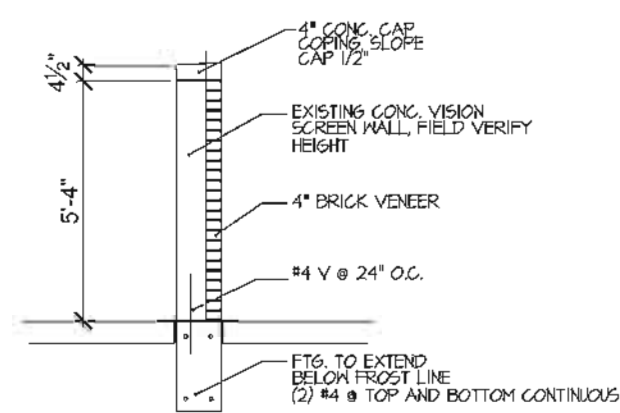
2 EAST AND WEST ELEVATION
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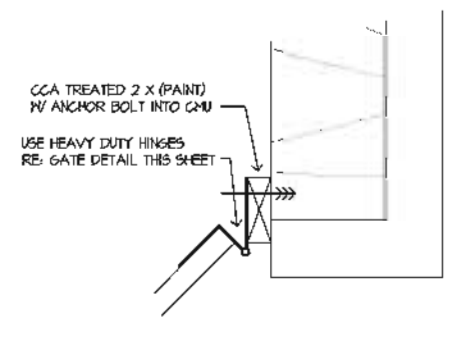
3 NORTH ELEVATION
SCALE: 1/2" = 1'-0"



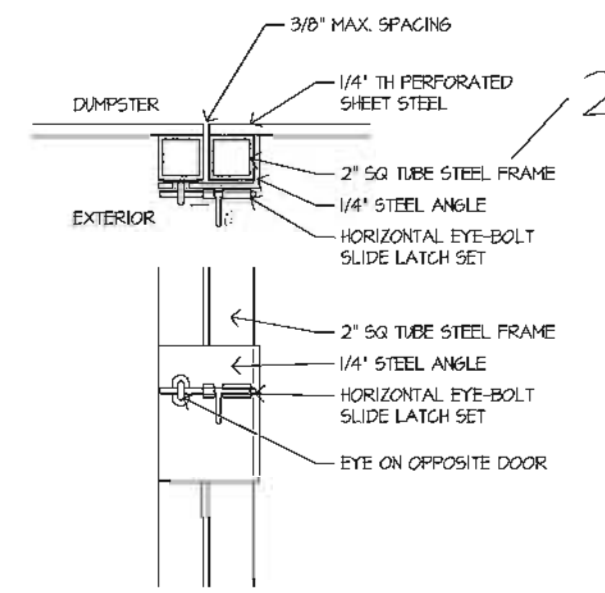
4 DUMPSTER ENCLOSURE
SCALE: 1/2" = 1'-0"



5 DUMPSTER ENCLOSURE
SCALE: 1/2" = 1'-0"



6 DUMPSTER ENCLOSURE
SCALE: N.T.S.



7 DUMPSTER LATCH
SCALE: 3" = 1'-0"

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PHOTOS OF ADJACENT SITES

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JOB NO: 12-11
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A-5