



VII. B.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

October 22, 2008

Planning Commission
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

The Planning Commission agenda for **October 27, 2008** will include the following item for your consideration:

The Smokehouse (Annie Gunn's Restaurant): Amended Architectural Elevations for a 1.85 acre parcel of land zoned "C-8" Planned Commercial District and located south of Chesterfield Airport Road and west of Baxter Road. (17T240201)

Dear Planning Commission:

Lawrence Fabric Structures and Dick Busch Architects, have submitted, on behalf of The Smokehouse and Annie Gunn's Restaurant Amended Architectural Elevations and an Architects Statement of Design for the above referenced project. The Department of Planning and Public Works has reviewed this submittal and submits the following report.

BACKGROUND

1. On September 20, 1993, the subject site was rezoned from "NU" Non-Urban to "C-8" Planned Commercial via City of Chesterfield Ordinance Number 837.
2. On October 18, 2004, City of Chesterfield Ordinance Number 2125 repealed Ordinance Number 837 to allow for an amendment to the floor area requirements.
3. On August 22, 2005, the Planning Commission approved an Amended Site Development Plan, Landscape Plan and Architectural Elevations with a vote of 9-0 with the requirement that trees be added to the plan to insure that all parking spaces are within 50' of a tree, and one additional tree to be added along the retaining wall.

SUBMITTAL INFORMATION

The request is for a one story addition to the building enclosing an existing patio for restaurant use. Materials will be a steel framed fabric membrane structure.

ARB RECOMMENDATIONS

This project was reviewed by the Architectural Review Board on October 16, 2008. The ARB forwarded the project for approval with a vote of 4-1 based on the following considerations:

“...the fact that it has been in this type of use, on this specific, unique facility in Chesterfield Valley. It is the only facility that we see that’s down there that has this on it and because of that and the icon that Annie Gunn’s and Smokehouse has been in the Valley, we can see for this one instance allowing it to continue that use and calling it a permanent structure to meet the code requirements...”

Architectural Review Board Members requested the following additional comments be included in the Planning Commission report:

Vice-Chair Rick Clawson wanted it to be known that he is not a fan of the structure. He thinks that the esthetics are not up to what it should be for the Valley, but because of who and where it is and the longevity of it, he is for its approval.

Board Member Mary Brown wanted it to be known that she thinks it fits in with the use, landscaping, building elevation, color scheme, and ambiance of the restaurant.

Chair Bud Gruchalla wanted it to be known that he was in apposition on the grounds of precedent. Additionally, he doesn’t believe that a financial situation or hardship should be an issue and feels it is not an appropriate permanent structure for the building.

DEPARTMENTAL INPUT

The submittal was reviewed and is in compliance with all City of Chesterfield ordinances. The Department of Planning and Public Works requests action on the Site Development Section Plan and Tree Stand Delineation Plan, Preservation Plan and Landscape Plan.

Respectfully submitted,



Mara M. Perry, AICP
Senior Planner

Cc: City Administrator
City Attorney
Director of Planning & Public Works
Planning and Development Services Director

Attachments:
Packet for Amended Architectural Elevations with Photographs

PROPOSED MEMBRANE STRUCTURE FOR

**ANNIE GUNN'S
RESTAURANT**

16806 CHESTERFIELD AIRPORT ROAD
CHESTERFIELD, MISSOURI 63005

CITY OF CHESTERFIELD
PLANNING COMMISSION

RECEIVED
OCT 20 2008
DEPT. OF PLANNING
& PUBLIC WORKS



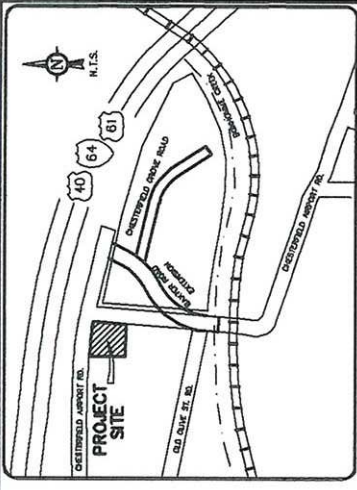
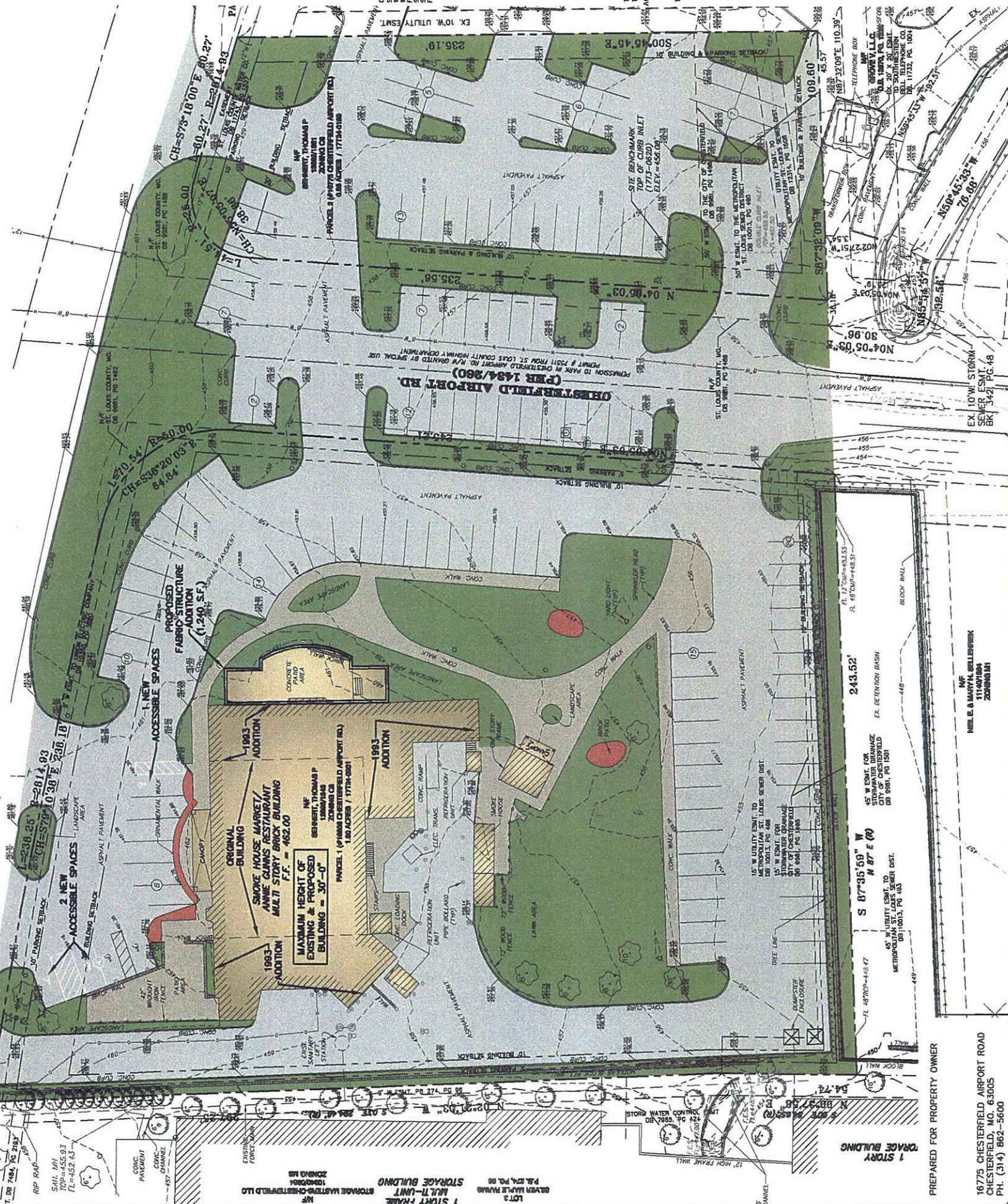
DATE: 10-17-08

TABLE OF CONTENTS

1. COLOR SITE PLAN WITH CONTOURS, LOCATION MAP &
ADJACENT LAND USE
2. NOT USED
3. COLOR RENDERING NORTH ELEVATION
4. ACTUAL PHOTOGRAPH NORTH ELEVATION
5. COLOR RENDERING EAST ELEVATION
6. ACTUAL PHOTOGRAPH EAST ELEVATION
7. COLOR RENDERING SOUTH ELEVATION
8. ACTUAL PHOTOGRAPH SOUTH ELEVATION

AMENDED SITE DEVELOPMENT PLAN FOR SMOKEHOUSE/ANNIE GUNN'S FABRIC STRUCTURE ADDITION

A TRACT OF LAND IN U.S. SURVEY 2031
TOWNSHIP 45 NORTH, RANGE 4 EAST
CITY OF CHESTERFIELD, ST. LOUIS COUNTY MISSOURI



LEGEND

- UTILITY ROLE**
- Fire Hydrant
 - Gas Valve
 - Sanitary Sewer
 - Storm Sewer
 - Gas Line
 - Water Line
 - Overhead Electric Line
- ABBREVIATIONS**
- N/F: NOW OR FORMERLY
 - W: WIDE
 - DB: DEED BOOK
 - PL: PLAT BOOK
 - PC: PLAT PAGE
 - CC: CONC. CONCRETE
 - SA: SANITARY
 - WH: MANHOLE
 - R: RADIUS
 - L: LENGTH
 - TBR: TO BE REMOVED
 - UP: TO BE USED IN PLACE

PERTINENT DATA

CURRENT ZONING: C-1P
 SITE AREA: 1.29 ACRES
 WATER DISTRICT: CHESTERFIELD
 SEWER DISTRICT: CHESTERFIELD
 FEMA MAP NUMBER: 58060C04 H
 DATE: AUG. 2, 1985

GREENSPACE CALCULATIONS

EXISTING BUILDING: 114 SEATS @ 1 SPACE / 3 SEATS = 38 SPACES (REQUIRED)
 PROPOSED EMPLOYEES: 2030 SF @ 5.5 SPACES / 1000 SF = 12 SPACES (REQUIRED)
 TOTAL SPACES REQUIRED: 50 SPACES (REQUIRED)

PARKING REQUIREMENTS

EXISTING BUILDING: 114 SEATS @ 1 SPACE / 3 SEATS = 38 SPACES (REQUIRED)
 PROPOSED EMPLOYEES: 2030 SF @ 5.5 SPACES / 1000 SF = 12 SPACES (REQUIRED)
 TOTAL SPACES REQUIRED: 50 SPACES (REQUIRED)

GENERAL NOTES:

- 1) THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE RECORDS AND DO NOT GUARANTEE THE ACTUAL LOCATION OR DEPTH OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS.
- 2) ALL SEWERMAINS TO BE CONSTRUCTED TO ST. LOUIS COUNTY ADA STANDARDS.
- 3) ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY AND CITY OF CHESTERFIELD STANDARDS.
- 4) ALL CURBING AND DRAINAGE TO BE CONFORMANCE WITH ST. LOUIS COUNTY AND CITY OF CHESTERFIELD STANDARDS.
- 5) ALL SLOPES SHALL EXCEED 3% (HORIZONTAL) TO 1% (VERTICAL).
- 6) ALL GROUND AREAS TO BE SEEDED OR SOODED ONCE GRADING IS COMPLETED.
- 7) STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL OR ARTIFICIAL DRAINAGE POINT.
- 8) EXISTING CONTOURS, WATER LINE, AND SANITARY SEWER LOCATIONS TAKEN FROM CHESTERFIELD GROVE CONSTRUCTION PLANS DESIGNED BY J.R. GRIMES CONSULTING ENGINEERS, INC.

PERMITTED DATA

CURRENT ZONING: C-1P
 SITE AREA: 1.29 ACRES
 WATER DISTRICT: CHESTERFIELD
 SEWER DISTRICT: CHESTERFIELD
 FEMA MAP NUMBER: 58060C04 H
 DATE: AUG. 2, 1985

PARKING REQUIREMENTS

EXISTING BUILDING: 114 SEATS @ 1 SPACE / 3 SEATS = 38 SPACES (REQUIRED)
 PROPOSED EMPLOYEES: 2030 SF @ 5.5 SPACES / 1000 SF = 12 SPACES (REQUIRED)
 TOTAL SPACES REQUIRED: 50 SPACES (REQUIRED)

GENERAL NOTES:

- 1) THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE RECORDS AND DO NOT GUARANTEE THE ACTUAL LOCATION OR DEPTH OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS.
- 2) ALL SEWERMAINS TO BE CONSTRUCTED TO ST. LOUIS COUNTY ADA STANDARDS.
- 3) ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY AND CITY OF CHESTERFIELD STANDARDS.
- 4) ALL CURBING AND DRAINAGE TO BE CONFORMANCE WITH ST. LOUIS COUNTY AND CITY OF CHESTERFIELD STANDARDS.
- 5) ALL SLOPES SHALL EXCEED 3% (HORIZONTAL) TO 1% (VERTICAL).
- 6) ALL GROUND AREAS TO BE SEDED OR SOODED ONCE GRADING IS COMPLETED.
- 7) STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL OR ARTIFICIAL DRAINAGE POINT.
- 8) EXISTING CONTOURS, WATER LINE, AND SANITARY SEWER LOCATIONS TAKEN FROM CHESTERFIELD GROVE CONSTRUCTION PLANS DESIGNED BY J.R. GRIMES CONSULTING ENGINEERS, INC.

DATE

REV. NO.

REMARKS

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE



ANNIE GUNN'S



NORTH ELEVATION

3509 Tree Court Industrial Blvd.
St. Louis, MO 63122
(636)861-0100
(800)527-3840
(636)861-0150 Fax
sales@lawrencefabric.com
www.lawrencefabric.com

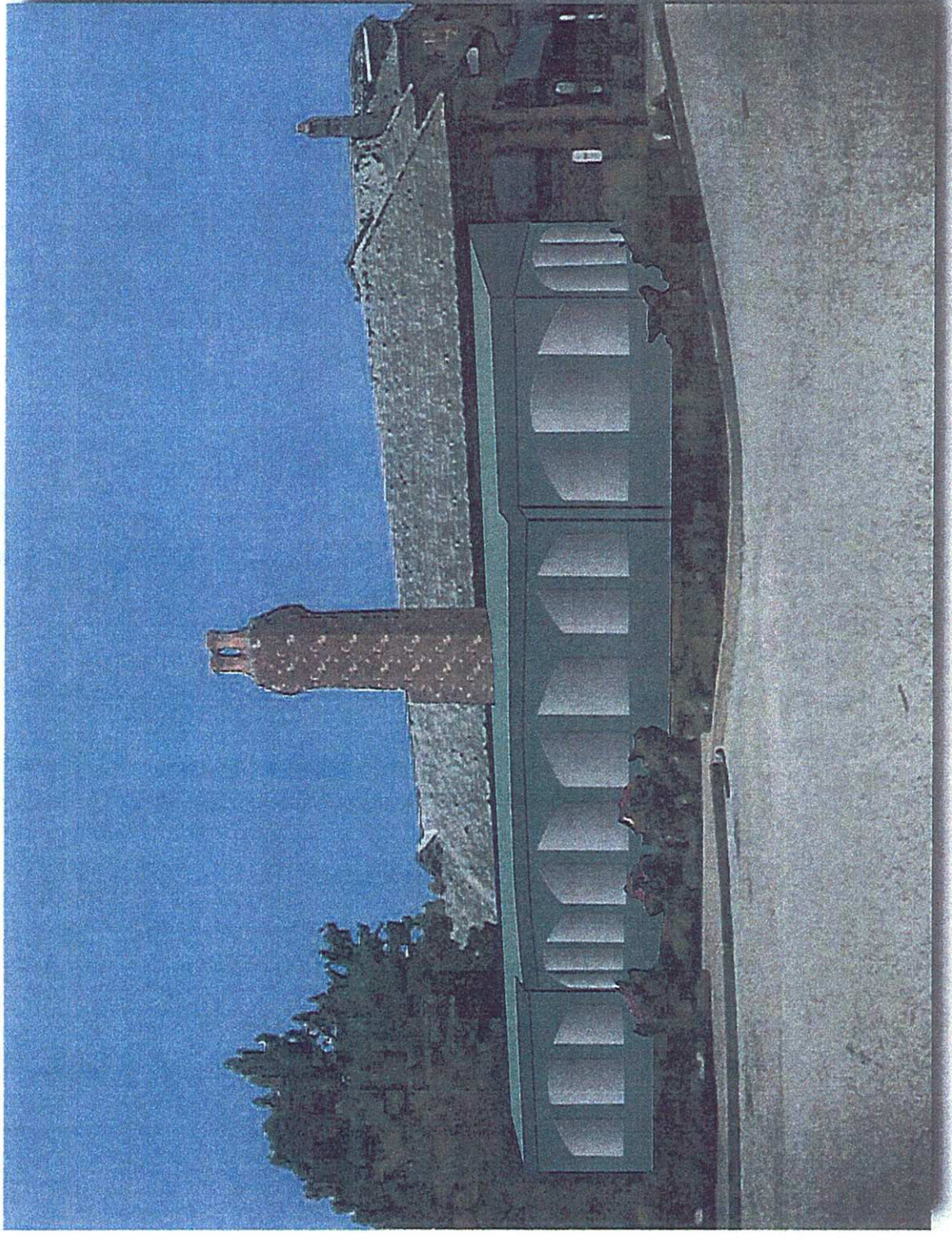
©2008-19417

ACTUAL PHOTOGRAPH



NORTH ELEVATION

ANNIE GUNN'S



EAST ELEVATION

©2008-19417

3509 Tree Court Industrial Blvd.
St. Louis, MO 63122
(636)861-0100
(800)527-3840
(636)861-0150 Fax
sales@lawrencefabric.com
www.lawrencefabric.com

ACTUAL PHOTOGRAPH



EAST ELEVATION

ANNIE GUNN'S



LAWRENCE
Fabric Structures Inc.

SOUTH ELEVATION

©2008-19417

3509 Tree Court Industrial Blvd.
St. Louis, MO 63122
(636)861-0100
(800)527-3840
(636)861-0150 Fax
sales@lawrencefabric.com
www.lawrencefabric.com

ACTUAL PHOTOGRAPH



SOUTH ELEVATION

