



VILA

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

September 22, 2008

Planning Commission
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

The Planning Commission agenda for **October 27, 2008** will include the following item for your consideration:

RE: 1513 Timberlake Manor Parkway: A request for a Residential Addition to the southwest side of an existing home zoned "R2" Residence District and located at 1513 Timberlake Manor Parkway, in the Thousand Oaks Subdivision.

Planning Commission:

S.W. Scheipeter Construction has submitted for your review a request for an addition to a residential structure in excess of 500 square feet.

BACKGROUND INFORMATION

The property in question is part of the Thousand Oaks Subdivision; an existing residential subdivision zoned "R2" Residence District.

CITY OF CHESTERFIELD PROCEEDURE

1. Section 1003.126B "Residential Additions" states that any addition greater than five-hundred (500) square feet shall be approved by the City of Chesterfield Planning Commission. The section also states the following:

"Residential Additions, including the height of all additions, shall be harmonious and compatible with the existing residential dwellings."
2. If the addition request is approved, the building of this structure will be reviewed for approval by the Department of Planning & Public Works and then forwarded to St. Louis County for permits and inspections.
3. If the addition is not approved, the petitioner may apply for a variance from the zoning ordinance before the Board of Adjustment.

SUBMITTAL INFORMATION

1. The item for consideration is an addition to a residential structure in excess of five-hundred (500) square feet.
2. The proposed addition will include a single story "in-law suite" that will have a total foot print of 1,435 square feet.
3. The existing two story residence has a height of twenty-five (25) feet and the proposed addition will have a height of seventeen (17) feet.
4. The existing structure utilizes a combination of brick and vinyl siding and an asphalt shingled roof. The proposed addition will utilize vinyl siding and an asphalt shingled roof to match existing materials.
5. The proposed addition meets all ordinance requirements and standards.

DEPARTMENTAL INPUT

The submittal is in compliance with all applicable City of Chesterfield Ordinances. The Department of Planning & Public Works requests action on the residential addition.

Respectfully submitted,



Shawn P. Seymour, AICP
Project Planner

Respectfully submitted,



Mara M. Perry, AICP
Senior Planner

Cc: City Administrator
City Attorney
Director of Planning & Public Works
Planning & Development Services Director

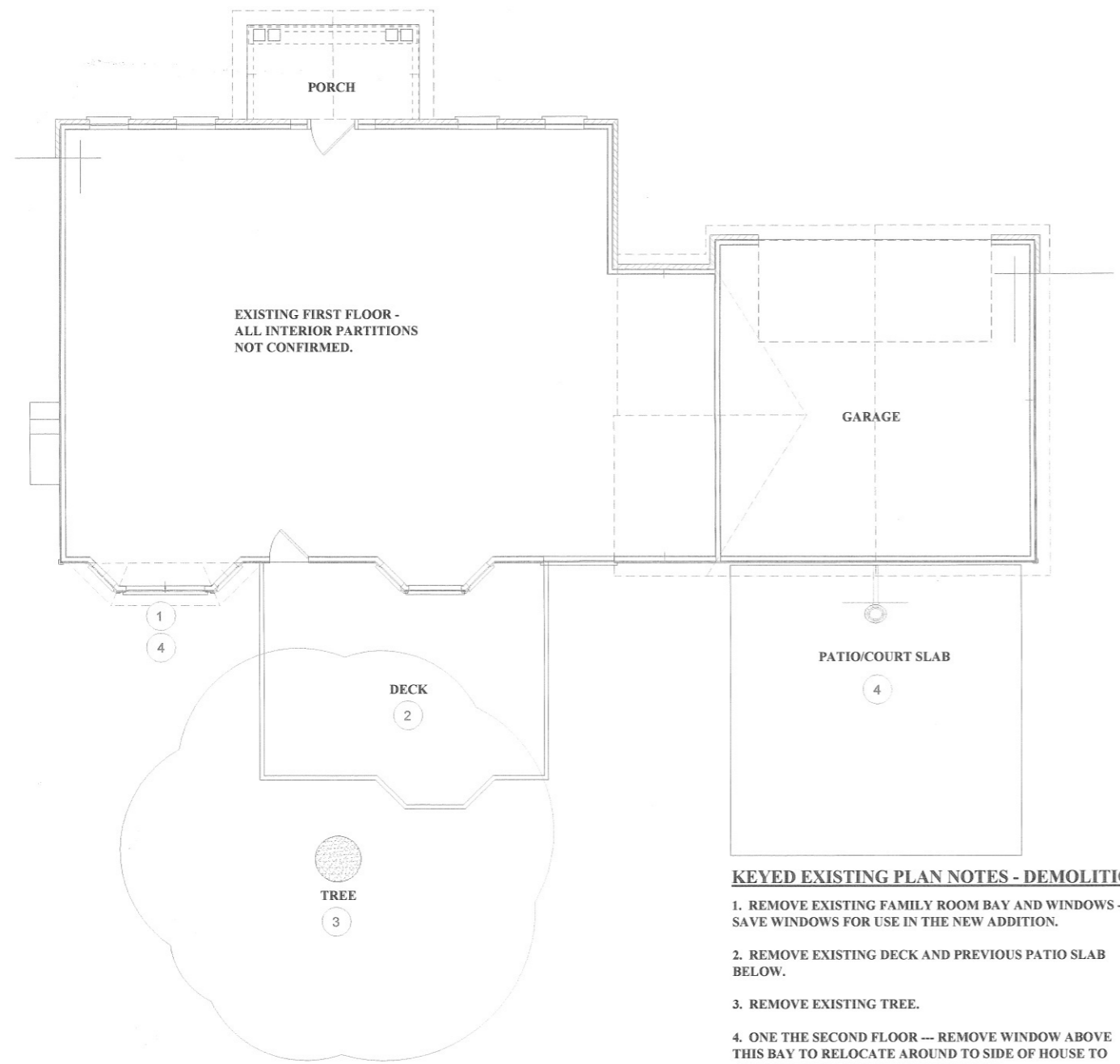
Attachments: Site Plan
Architectural Elevations

DUPLICATION OF THIS
DRAWING IS PROHIBITED
WITHOUT PRIOR
EXPRESSED WRITTEN
CONSENT FROM S.W.
SCHEIPETER
CONSTRUCTION.

NO	DATE	REVISIONS

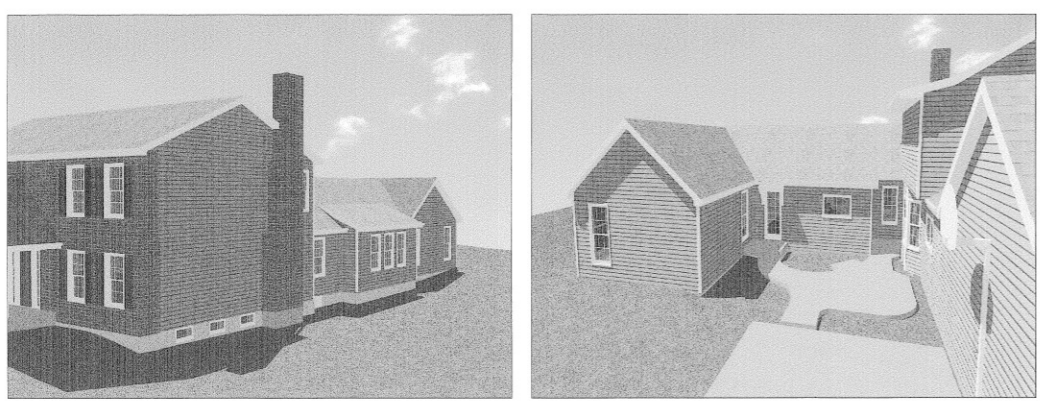
DRAWN BY: SHEET NO.
JWH
CHECKED BY: **A1**
DWG NO: **A1**
DATE: 13 OCT. 2008 OF 4
CONSTRUCTION DRAWINGS

TRUSTEE APPROVAL SIGNATURES

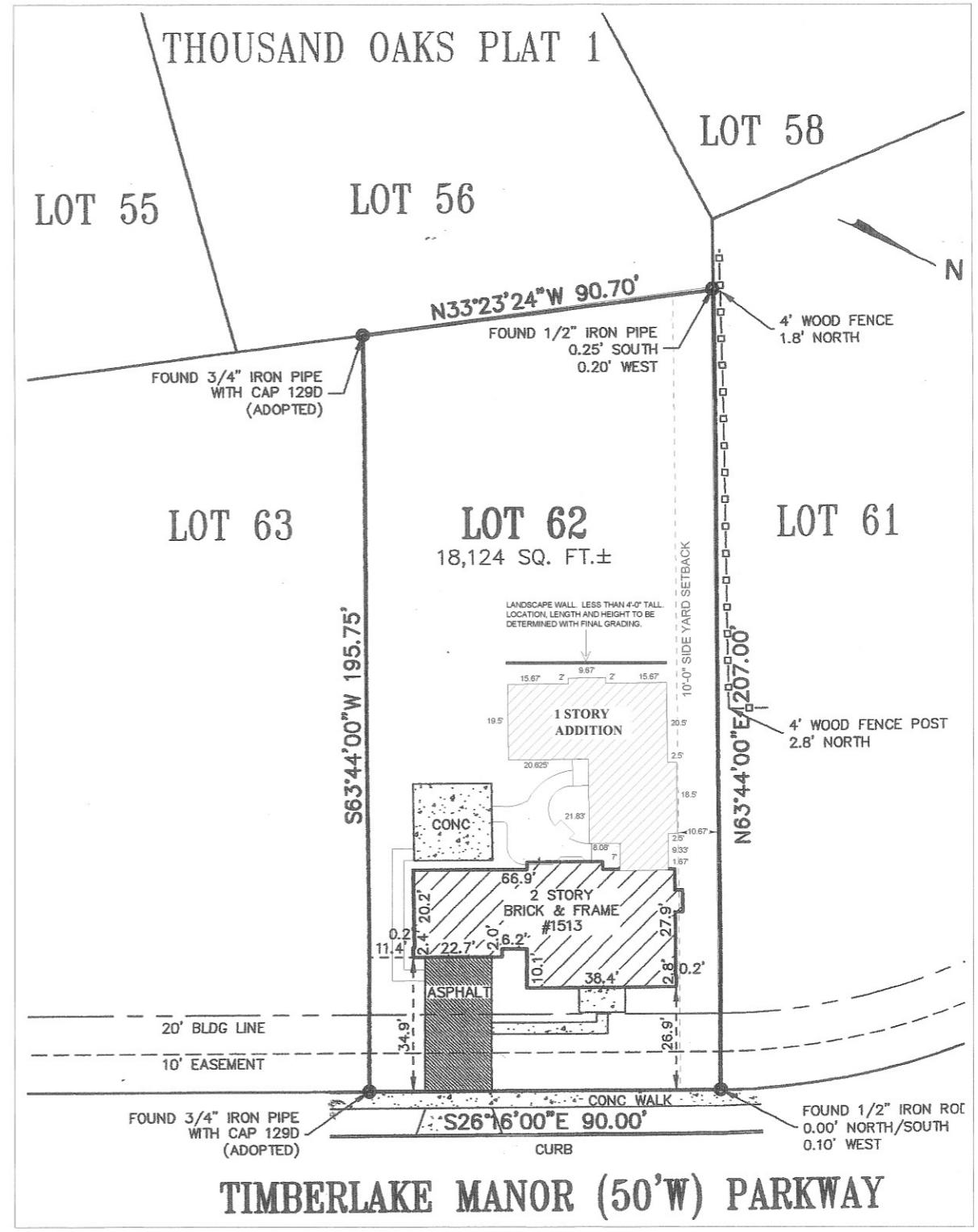


1 EXISTING MAIN FLOOR PLAN
A1 SCALE: 3/16" = 1'-0"

- KEYED EXISTING PLAN NOTES - DEMOLITION**
1. REMOVE EXISTING FAMILY ROOM BAY AND WINDOWS - SAVE WINDOWS FOR USE IN THE NEW ADDITION.
 2. REMOVE EXISTING DECK AND PREVIOUS PATIO SLAB BELOW.
 3. REMOVE EXISTING TREE.
 4. ONE THE SECOND FLOOR -- REMOVE WINDOW ABOVE THIS BAY TO RELOCATE AROUND TO SIDE OF HOUSE TO ALLOW NEW ROOF WITHOUT CONFLICT.
 5. PATIO/COURT SLAB TO REMAIN.



2 PROPOSED CONCEPT SKETCHES
A1 SCALE: NTS



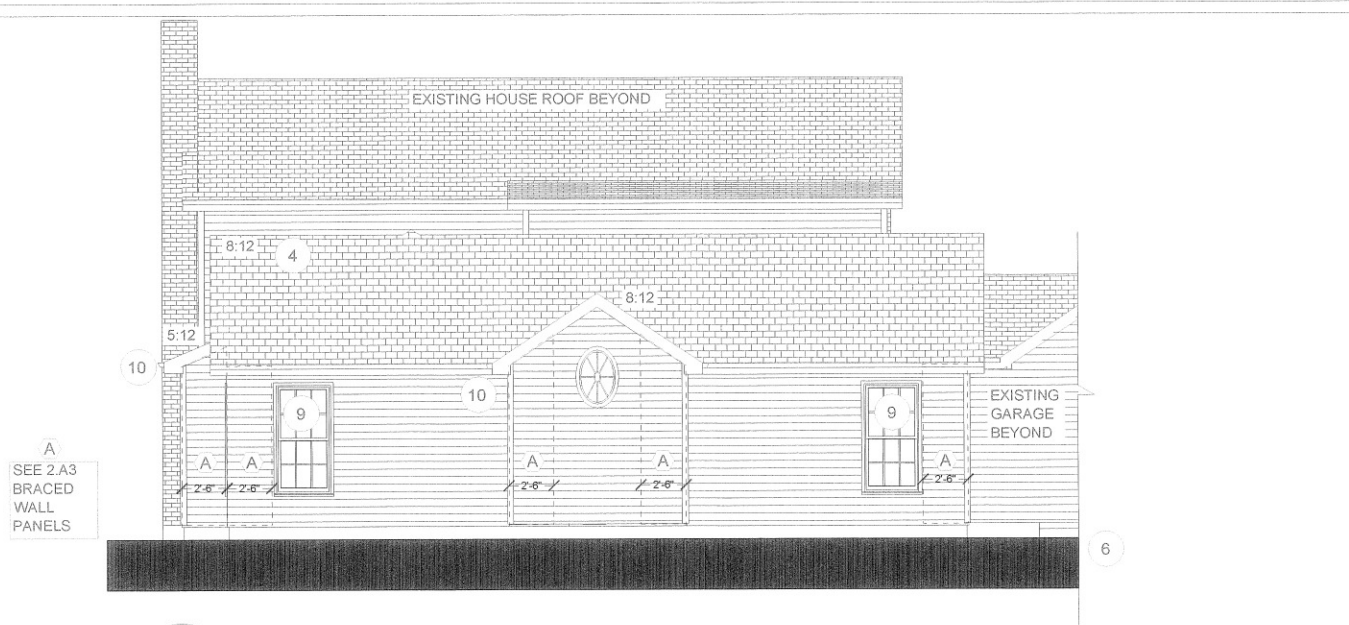
3 PROPOSED SITE PLAN
A1 SCALE: 1" = 20'-0"



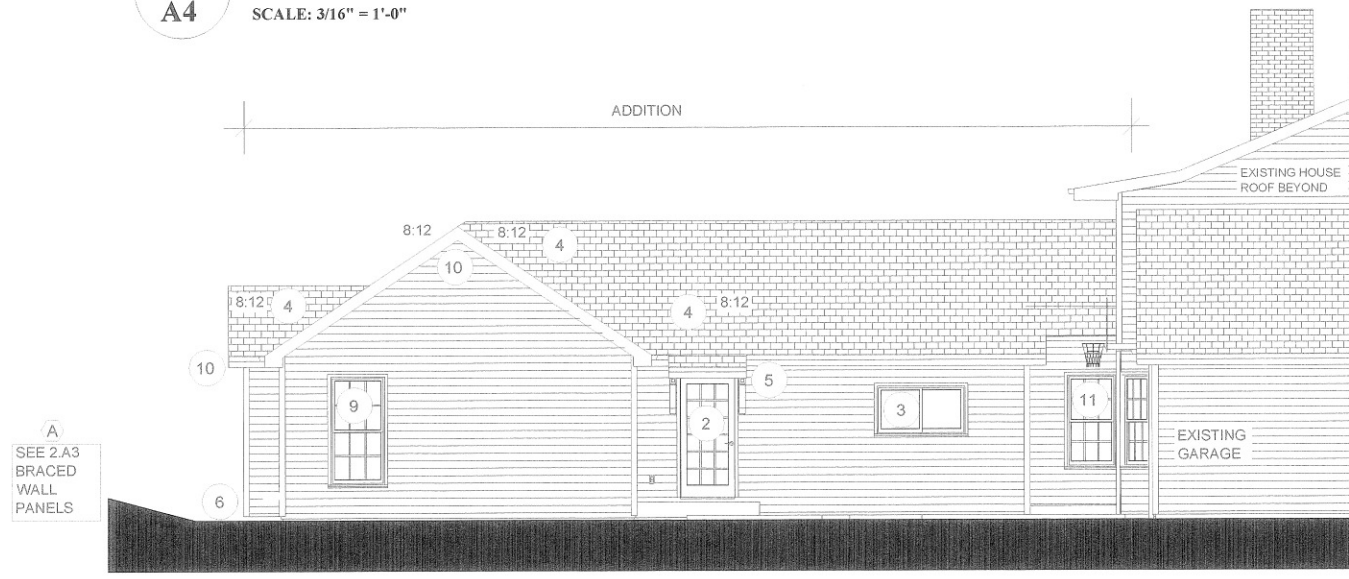
Jeffrey W. Hyatt
10-13-08

DUPLICATION OF THIS DRAWING IS PROHIBITED WITHOUT PRIOR EXPRESSED WRITTEN CONSENT FROM S.W. SCHEIPETER CONSTRUCTION.

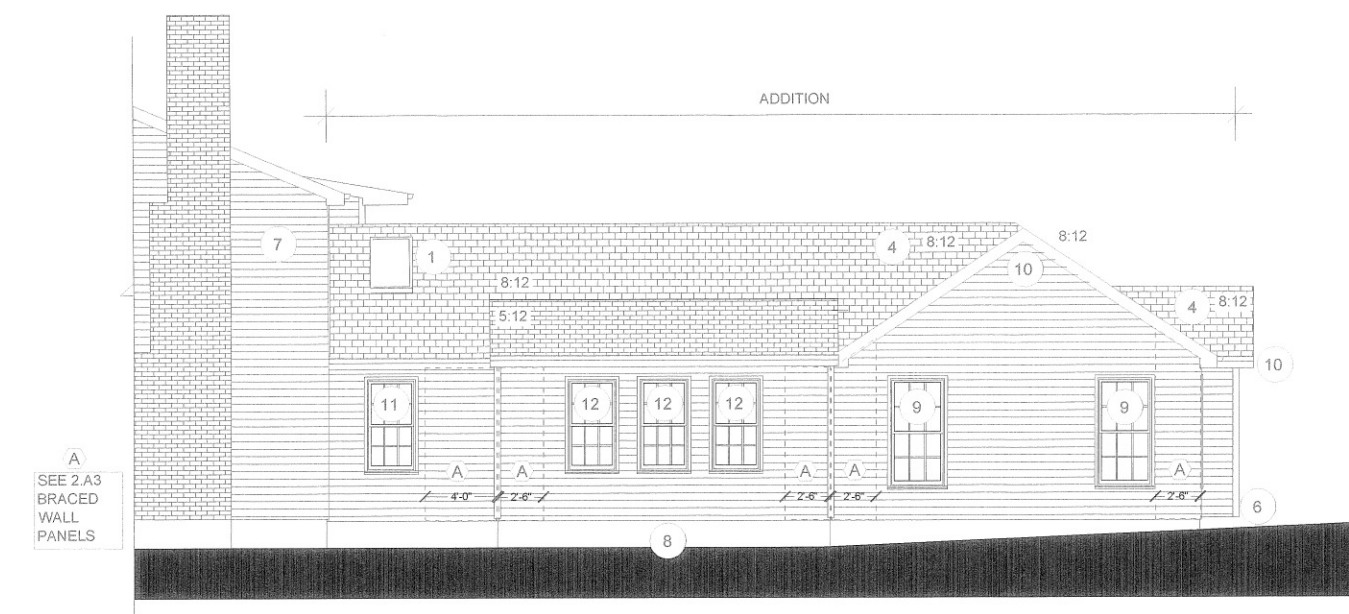
NO	DATE	REVISIONS



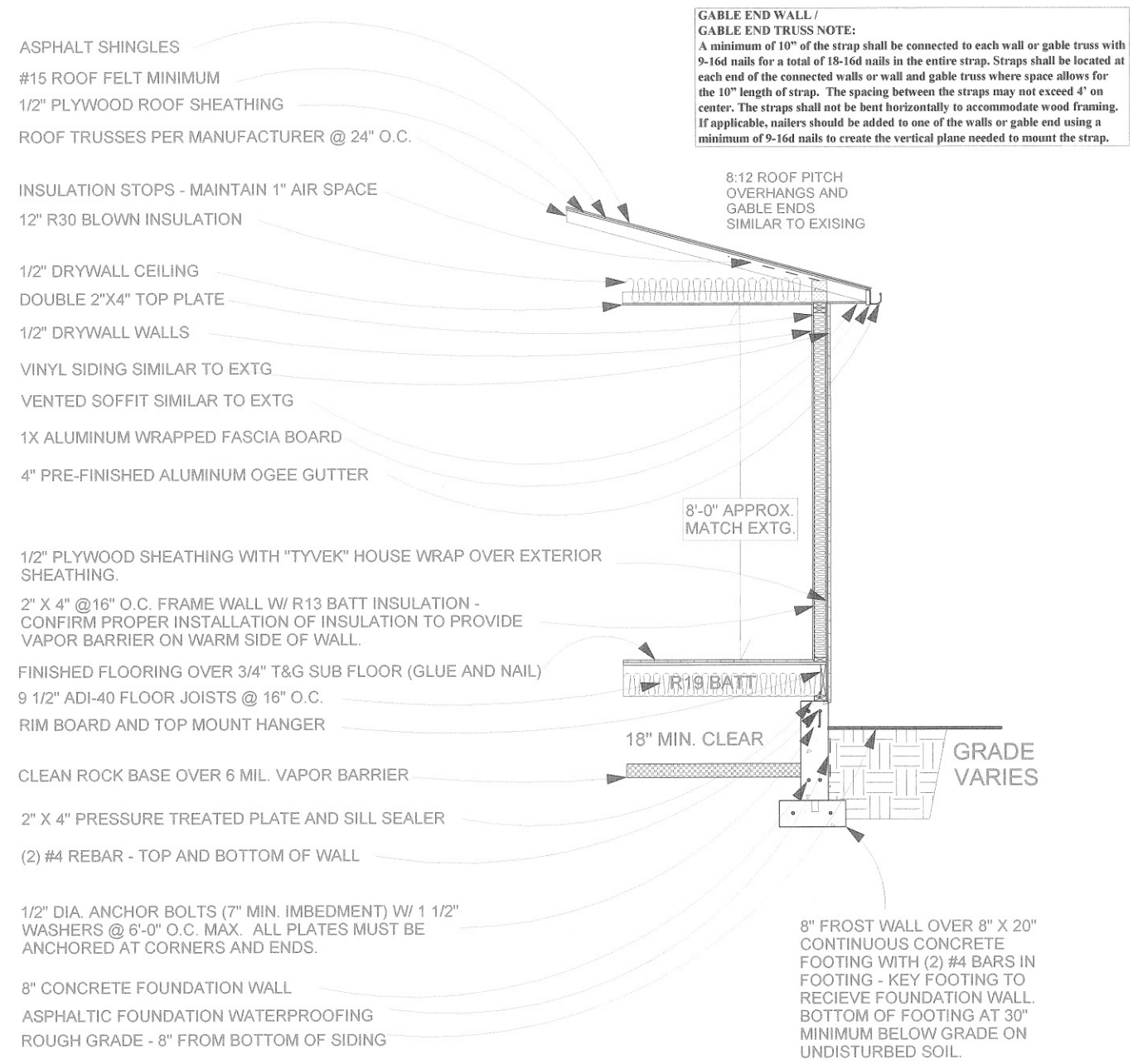
1 PROPOSED WEST ELEVATION
A4 SCALE: 3/16" = 1'-0"



2 PROPOSED SOUTH ELEVATION
A4 SCALE: 3/16" = 1'-0"



3 PROPOSED NORTH ELEVATION
A4 SCALE: 3/16" = 1'-0"



4 PROPOSED ADDITION SECTION
A4 SCALE: 1/2" = 1'-0"

KEYED ELEVATION NOTES

1. VELUX FS104 SKYLIGHT
2. PROVIDE NEW PATIO DOOR (3068). GLASS TO BE TYPE II SAFETY GLAZING.
3. NEW KITCHEN SLIDER WINDOW - ANDERSEN G53.
4. PROVIDE ASPHALT SHINGLE ROOF SIMILAR TO EXISTING - PROVIDE RIDGE VENT.
5. EXTENDED TAILS FOR SMALL COVERED PORCH AREA.
6. SLOPE GRADE AWAY FROM NEW FOUNDATION.
7. LOCATION OF RELOCATED SECOND FLOOR BEDROOM WINDOW. INFILL PREVIOUS SECOND FLOOR WINDOW OPENING.
8. NEW CONCRETE FOUNDATION - CRAWL SPACE (CONDITIONED)
9. NEW EGRESS BEDROOM DH WINDOWS - EGRESS WINDOW - ANDERSEN TW30510.
10. ALUMINUM WRAPPED SOFFIT AND FASCIA.
11. REUSE WINDOW FROM BAY IN THE "BUFFER ROOM" OR NEW WINDOWS - ANDERSEN TW2852
12. NEW WINDOWS IN GREAT ROOM - NEW WINDOWS - ANDERSEN TW2852.

Jeffrey W. Hyatt
10-17-08