



VII. C.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

PLANNING COMMISSION STAFF REPORT

Project Type: Amended Site Development Plan and Sign Approval

Meeting Date: October 26, 2009

From: Annissa McCaskill-Clay, AICP *agmc*
Lead Senior Planner

Location: 17300 N. Outer 40 Road

Applicant: Geneva Management Services

Description: **Chesterfield Valley Medical Building II:** An Amended Site Development Plan, Partial Amended Landscape Plan and request for a free-standing sign for a medical, dental, and professional office building zoned "PC" Planned Commercial District located north of I-64/Highway 40-61, west of Boone's Crossing, and south of North Outer Forty Road.

PROPOSAL SUMMARY

Geneva Management Services has submitted an Amended Site Development Plan, Partial Amended Landscape Plan and a request for a free-standing sign for the above-referenced development. There is currently a monument sign at the development however, the Petitioners propose to move the location for their signage and this new location must be shown on the Site Development Plan. The new free-standing sign is proposed to exceed the sign base and height requirements set forth in the City of Chesterfield Zoning Ordinance. A Partial Amended Landscape Plan has also been submitted to show required landscaping at the base of the sign. No other changes to the Site Development Plan have been proposed.

LAND USE AND ZONING HISTORY OF THE SUBJECT SITE

The project site is a 4.725 acre tract of land located north of I-64/Highway 40-61, west of Boone's Crossing, and south of the North Outer Forty Road. On November 17, 2002, the City of Chesterfield approved a change of zoning for the site to "PC" Planned Commercial via Ordinance 1918. The Site Development

Plan, Landscape Plan and Architectural Elevations for the site were approved by the Planning Commission on July 14, 2003. Subsequent to this approval, the Monarch Levee District required all landscaping trees and plantings to be removed from the seepage berm area, which resulted in an Amended Landscape Plan that was approved on November 23, 2003. On May 23, 2005, the City of Chesterfield approved an Amended Site Development Plan, Amended Landscape Plan, and Amended Architectural Elevations for additional sidewalks, entrances and landscaping to accommodate specific tenant needs.

LAND USE AND ZONING OF SURROUND PROPERTIES

Direction	Land Use Category	Zoning
North	Major Arterial; Agricultural/Flood Plain/Conservation	NU” Non-Urban District
South	Major Arterial; Mixed Commercial	“C8” Planned Commercial
East	Major Arterial; Mixed Commercial	“PC” Planned Commercial
West	Major Arterial; Mixed Commercial	“PI” Planned Industrial



STAFF ANALYSIS

- **Zoning/Ordinance Criteria**

The subject site is currently zoned “PC” Planned Commercial under the conditions of City of Chesterfield Ordinance 1918. The Ordinance requires the location of any proposed monument sign to be approved by the Planning Commission on the Site Development Plan. Ordinance 1918 also requires

landscaping for said monument sign to be approved by the Planning Commission. Attached please find the correspondence from the Petitioner regarding their request.

- **Comparison of Proposed Sign with Zoning Ordinance Criteria**

The terms of Ordinance 1918 requires conformance with the City of Chesterfield Zoning Ordinance's sign regulations. Section 1003.168.C.2 requires that freestanding signs in excess of six (6) feet in height, over fifty (50) square feet in sign face and sign bases over three (3) feet high be reviewed by the Planning Commission. Below is a comparison of the proposed sign against the criteria set forth in the Zoning Ordinance.

Criteria	Zoning Ordinance	Proposed Sign
Height	6 feet tall	16 feet, four inches tall
Sign Base Height	3 feet tall	9 feet tall
Sign Face	50 square feet	65.04 square feet

- **Sign Location**

As referenced above, the location of the proposed signage must be approved on the Amended Site Development Plan. Staff has reviewed the request for any sight distance issues and has determined the proposed location would not cause any visibility issues for vehicular traffic. Please see the Amended Site Development Plan for the location of the proposed sign.

- **Landscaping**

The Petitioners have provided a Partial Amended Landscape Plan for the proposed sign per the requirements of Section 1003.168.C and Ordinance 1918 and the City of Chesterfield Tree Preservation and Landscape Requirements.

DEPARTMENTAL INPUT

Staff has reviewed the submittal and has found it to be in compliance with all applicable City of Chesterfield ordinances. The Petitioners are requesting 1.) To amend the Site Development Plan to show the new location for signage; 2.) Approval of Free-Standing sign which exceeds the criteria set forth in Ordinance 1918 and the City of Chesterfield Zoning Ordinance; and 3.) To amend the Landscape Plan to address said sign.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Amended Site Development Plan, Partial Amended Landscape Plan and request for a free-standing sign for Chesterfield Valley Medical Building II."
- 2) "I move to approve the Amended Site Development Plan, Partial Amended Landscape Plan and request for a free-standing sign for Chesterfield Valley

Medical Building II with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Cc: City Administrator
City Attorney
Department of Planning and Public Works

Attachments: Amended Site Development Plan
Partial Amended Landscape Plan
Sign Elevations

GENEVA
MANAGEMENT SERVICES

Karen A. Cooksey
Senior Property Manager
141 E. Madison Ave.
Kirkwood, Mo 63122
Karen@genevawealth.com



October 1, 2009

Annissa McCaskill-Clay, AICP
City of Chesterfield
690 Chesterfield Pkwy W
Chesterfield, MO 63017-0760

Re: Chesterfield Valley Medical Building II Amended Site Development Plan and Free-Standing Sign

Dear Ms. McCaskill:

Please find below answers to the questions proposed by the City of Chesterfield.

2. The sign proposed is subject to Planning Commission Approval. Per Section 1003.168.3.3 of the City of Chesterfield Zoning Ordinance, please provide a written statement addressing the following:
 - (a) The underlying business, directional, or informational purpose of such a sign.
 - The building has no identification which makes it difficult to recognize for incoming patients.
 - (b) Why such a sign should exceed the maximum height and/or outline area specification for a particular sign in order to accomplish the underlying purpose as stated in item (a) above.
 - The building is a destination, patients looking for the building find it very difficult to locate.
 - The building sits in a valley with an extreme slop making normal signage impossible to read.
 - The extreme slop makes it necessary for the height of the sign to exceed normal requirements.
 - (c) What the proponent of such a sign believes the adverse impact may be upon the underlying business, directional, or informational purpose of such a sign if the proponent is compelled to reduce the height and/or outline area of such a

sign to within the maximum height and/or outline area specification for any one (1) sign and the factual basis supporting such belief.

- Under current conditions the sign is not visible.
- Poses a safety hazard to current traffic flow.
- The building sits in a low valley at the confluence of two exit ramps and a busy overpass. The current traffic patterns are heavy and under the existing conditions, those looking for the building contribute to the traffic congestion. Additionally, patients coming to the building are constantly calling building tenants requesting directions via cell phone. These patients generally are already at the building site but do not recognize it; in many instances they are looking straight at the building. The amount of confusion that this causes to the local traffic pattern is immeasurable, not to mention dangerous.

(d) The approximate distance the proposed sign will be from other existing or planned structures visible or planned to be visible within a radius of one thousand (1,000) feet from said sign, identifying such structures with sufficient particularity to enable the Planning Commission to determine whether there is a reasonable likelihood of an adverse public health, convenience, welfare and/or safety impact within the one thousand (1,000) foot radius area while maintaining the high aesthetic quality of said area.

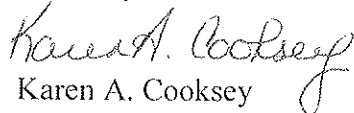
- We are the only building located directly adjacent to the exit ramps and overpass.
- The existing buildings and open space sit on flat land or in the flood plain or are not developed.
- The elevation of the existing ramps and overpass are configured in such a way that they cannot be modified or altered. Our buildings positioning, laying in a valley with an extreme down slope, is the only one impacted in this way.
- North Outer Road gives the other structures because of their positioning and site lines easy visual identification.
- Our new sign will have no negative impact on any surrounding structures either now or in the future. It will impact them in a positive manner as the sign will help relieve traffic congestion.

(e) What steps, if any, the proponent has taken to integrate the design with the surrounding environment including, but not limited to, use of colors and materials, size and character of typeface(s), regularity of overall shape, type of illumination, orientation and situation of such a sign in order to minimize the amount of visual clutter, and to avoid the distraction to pedestrians and motorists beyond that necessary to convey the underlying business, information, or directional purpose of said sign.

- The sign as designed fits with the current building motif. We have ensured that the sign design blends in with the building in relation to color, architecture, typeface, orientation and overall shape. We have minimized any visual clutter and made it a point that the sign serves the purpose of information not of distraction. This sign will be of help to both motorist and pedestrians alike as it will eliminate the existing hardship that exists currently because of lack of proper identification.
- (f) If no steps (referred in item (e) above) have been taken, why such steps should not be required of the proponent.
- This point does not apply.
- (g) Any other information, such as length of frontage, special speed limit or topographic considerations, that the proponent deems pertinent to the approval of such a sign request.
- We do not wish to add any information pertaining to this point.

I look forward to the continued efforts of the City of Chesterfield in approving this plan. Thank you for your assistance and cooperation in this matter. It is greatly appreciated. If you need additional information, please do not hesitate to contact me.

Sincerely,

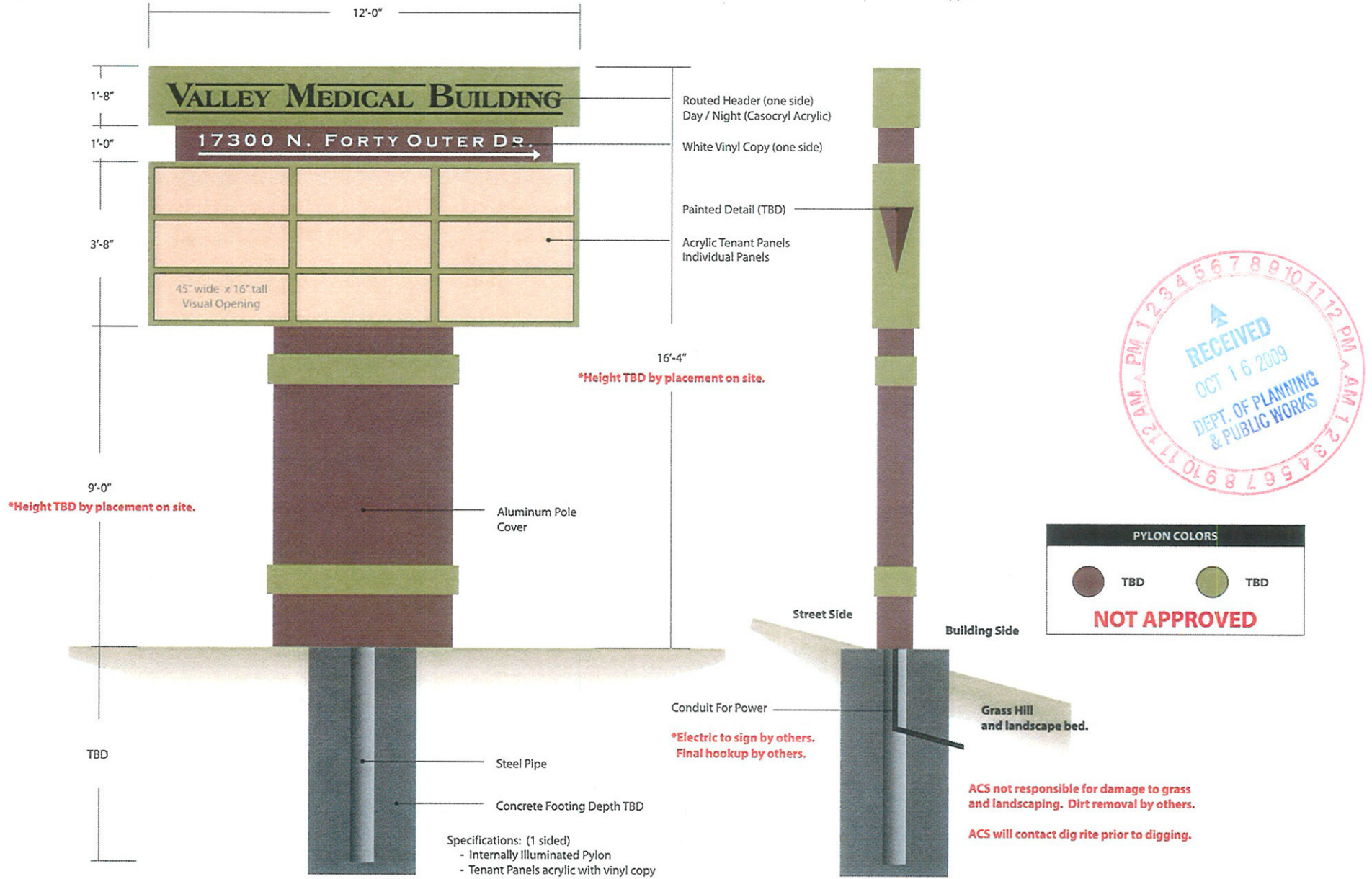

Karen A. Cooksey

Geneva Management Services

Senior Property Manager

CLIENT Geneva

exterior pylon



DESIGNER RJM FILE projects | geneva | chesterfieldvalleymedicalbldg | entrance_monument

DATE 05.13.09 concept drawing

4065 Wedgeway Court Saint Louis, MO 63045 p. 314.209.1915 f. 314.209.1917 toll. 888.449.2701 www.acsignworks.com

CUSTOMER APPROVAL X

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***Sign Facing South East.**

proposed pylon



adler custom signworks

4065 wedgeway ct.
st. louis, mo 63045
tel 314.209.1915
fax 314.209.1917
toll 888.449.2701